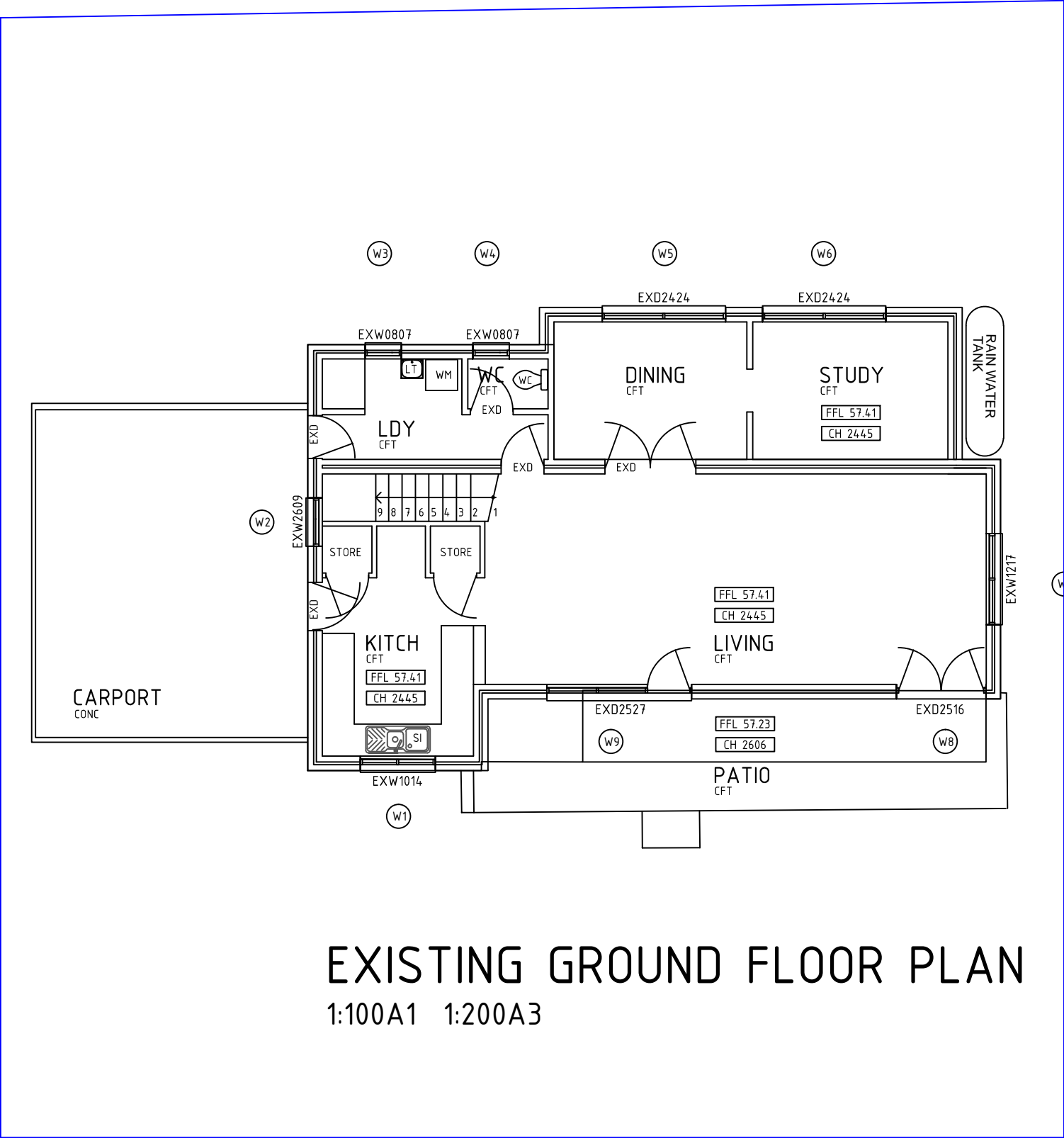


EXISTING WINDOW/DOOR SCHEDULE

WIN. NO.	HEIGHT(mm)	WIDTH (mm)	ACTION
W1	1000	1400	SLIDING
W2	2600	900	FIXED
W3	800	700	SLIDING
W4	800	700	SLIDING
W5	2400	2400	SLIDING DOOR
W6	2400	2400	SLIDING DOOR
W7	1200	1700	SLIDING
W8	2500	1600	HINGED GLAZED
W9	2500	2700	DOOR UNIT WITH WINDOW
W10	2100	1800	SLIDING
W11	800	700	SLIDING
W12	800	700	SLIDING
W13	1400	1600	SLIDING
W14	2100	3900	SLIDING DOOR
W15	2100	2700	SLIDING DOOR
W16	2100	1400	HINGED GLAZED
W17	1500	2400	SLIDING
W18	1500	2400	SLIDING



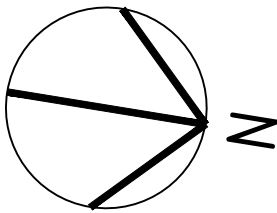
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Date
3/03/2021











Issue
1

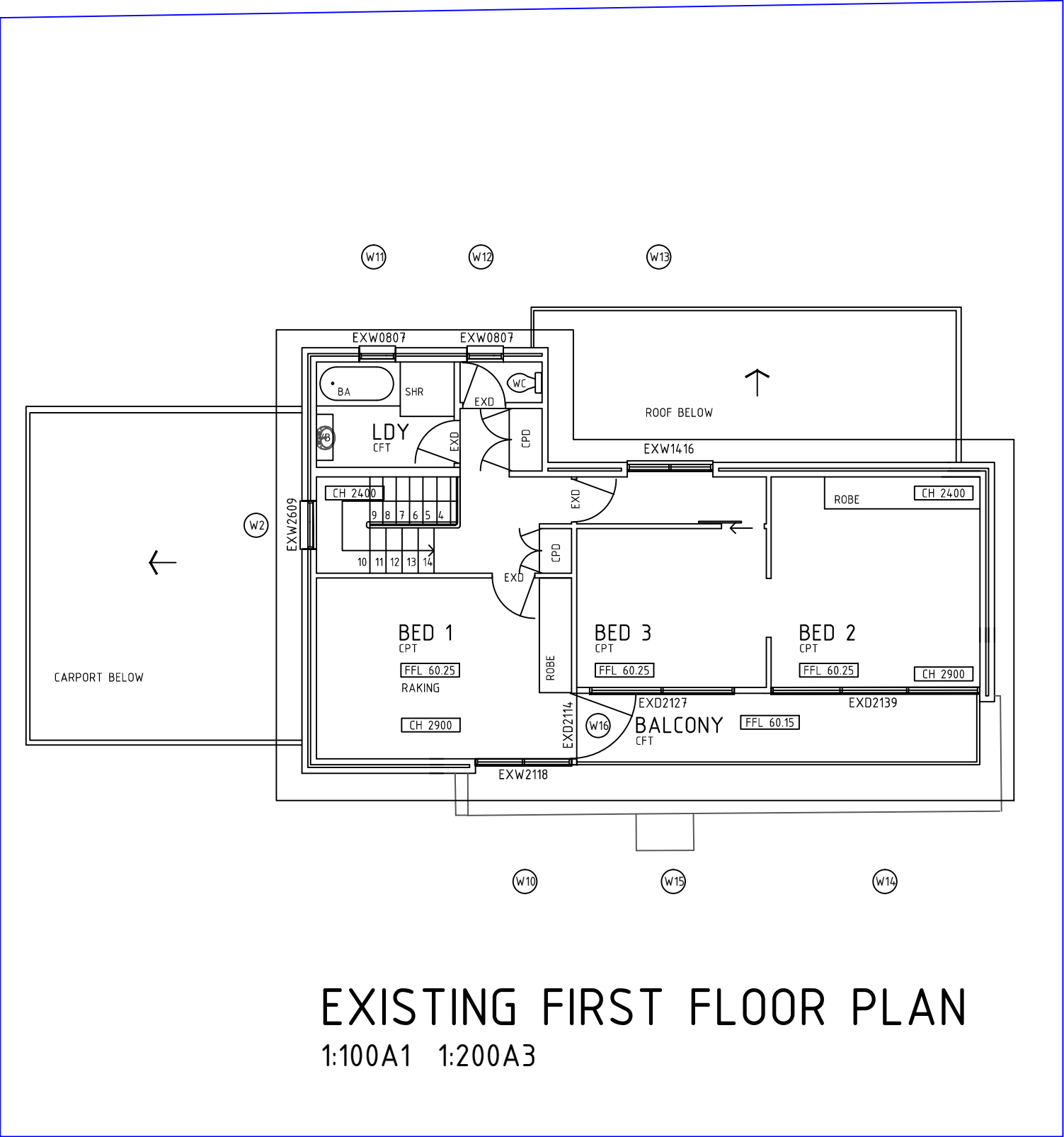
Amendment
preliminary



Project: Big 8 group
Address: 6 Lyly Road, Allambie Heights
Scale: 1:100
Sheet Title: EXISTING GROUND FLOOR PLAN
File Name: 6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG
Date: May 2021

LEGEND:

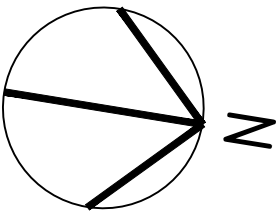
VOS	VERIFY ON SITE
EX	EXISTING
	EXISTING WALLS
EXW	EXISTING WINDOW
EXD	EXISTING DOOR
ASW	ALUMINIUM SLIDING WINDOW
ADH	ALUMINIUM DOUBLE HUNG WINDOW
ASD	ALUMINIUM SLIDING DOOR
DP	DOWNPIPE
OG	OBSURE GLAZING
	SMOKE ALARM
	FLOOR WASTE
FP	FIREPLACE
FG	FIXED GLASS
SI	SINK
R	REFRIGERATOR
CT	COOKTOP
CPD	CUPBOARD
EMR	EXISTING METAL ROOF
NMR	NEW METAL ROOF
SL	SIDE LIGHT
SK	SKYLIGHT
ASW	WINDOW HEIGHT X WIDTH
ASD	DOOR HEIGHT X WIDTH
	WINDOW NUMBER
	FINISHED FLOOR LEVEL
	FINISHED CEILING HEIGHT (MM)
	EXISTING GROUND RELATIVE LEVEL
	PROPOSED GROUND RELATIVE LEVEL
	COLUMN
	ROOF FALL



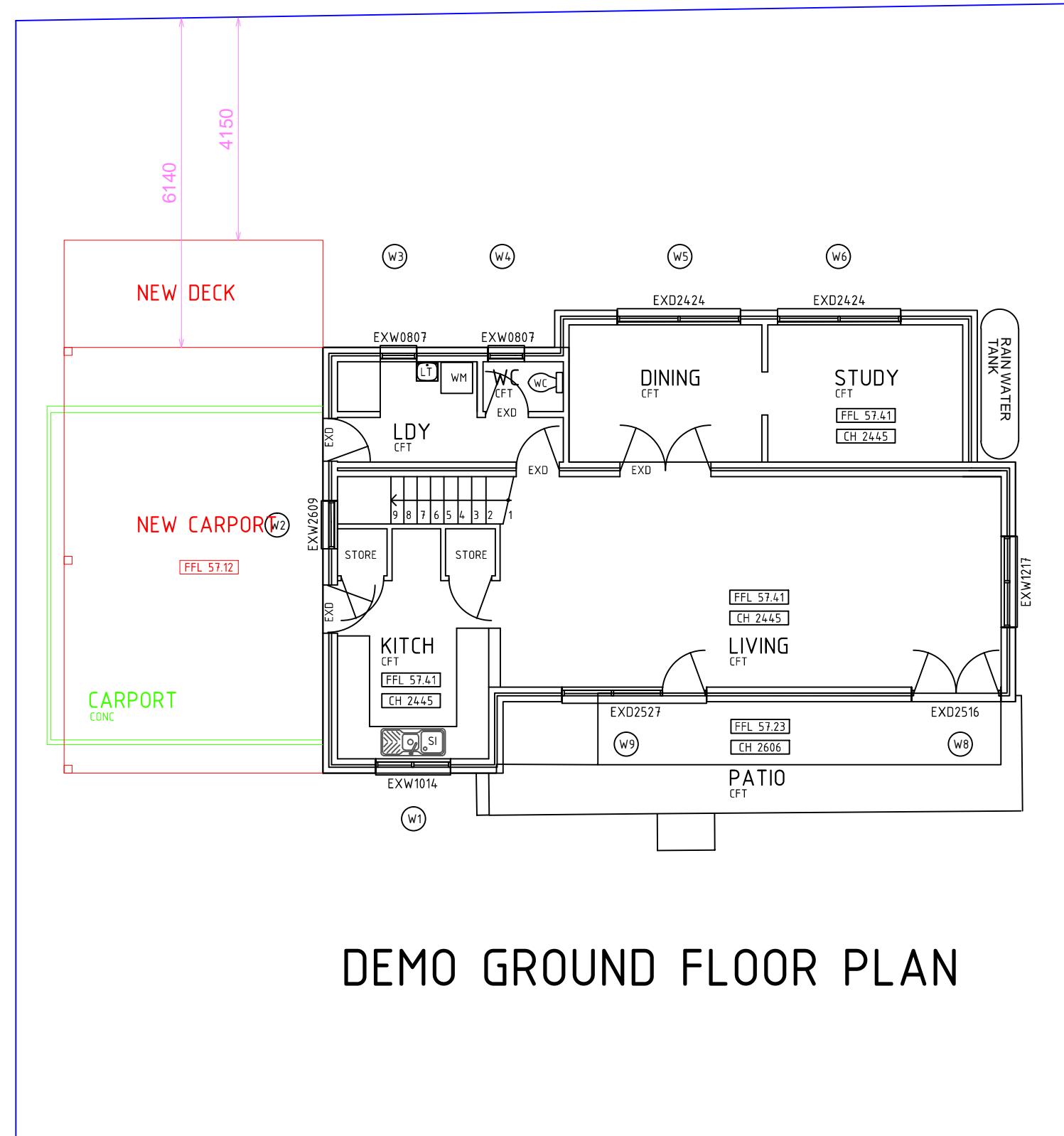
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Date	Issue	Amendment
3/03/2021	1	preliminary



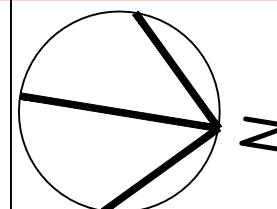
Project: Big 8 group
Address: 6 Lyly Road, Allambie Heights
Scale: 1:100
Sheet Title: EXISTING FIRST FLOOR PLAN
File Name: 6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG
Date: May 2021



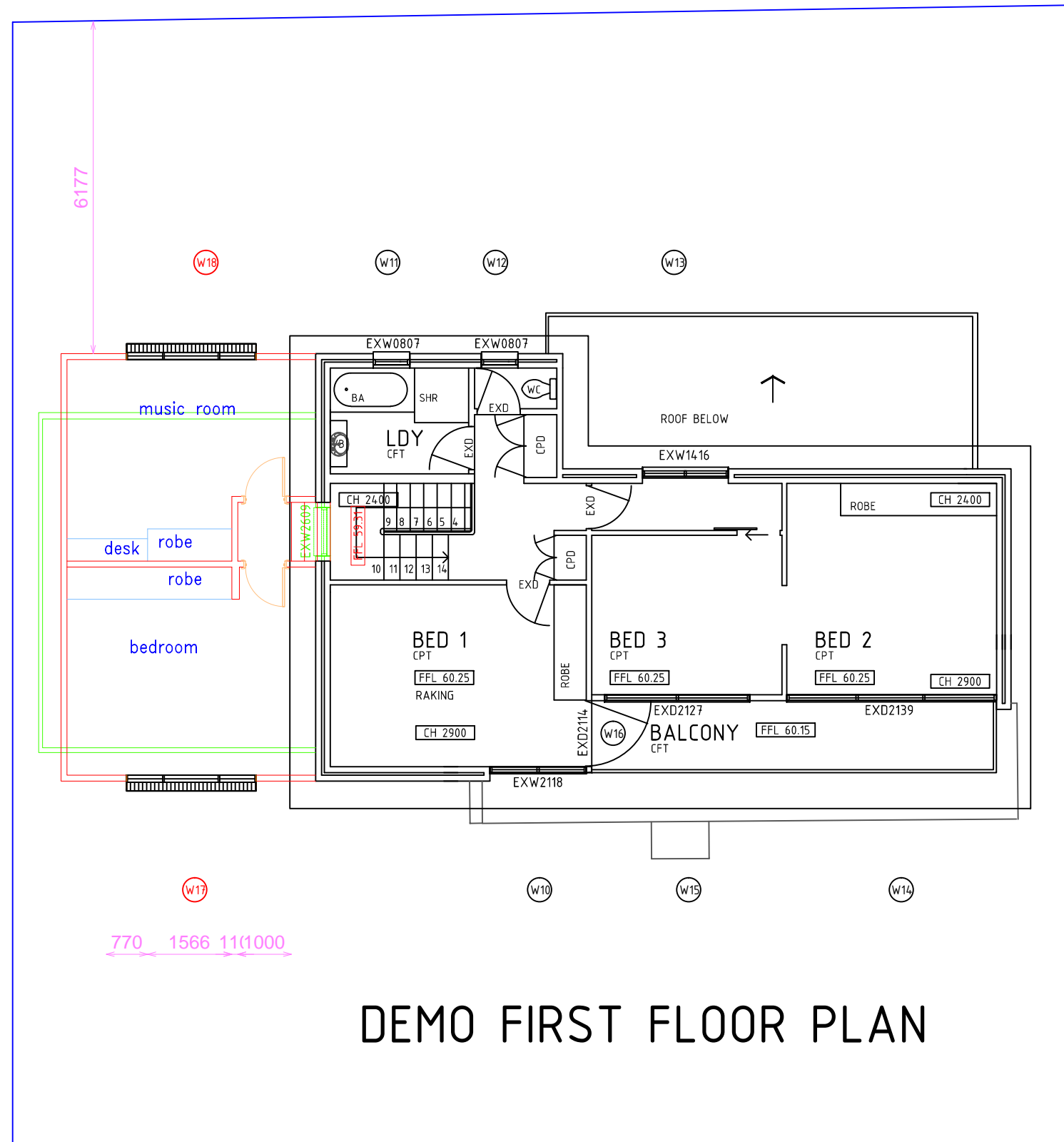
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Date	Issue	Amendment
3/03/2021	1	preliminary



Project: Big 8 group
Address: 6 Lyly Road, Allambie Heights
Scale: 1:100
Sheet Title: DEMO GROUND FLOOR PLAN
File Name: 6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG
Date: May 2021



DEMO FIRST FLOOR PLAN

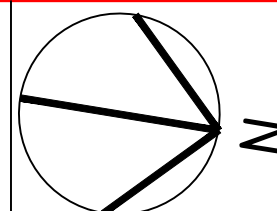
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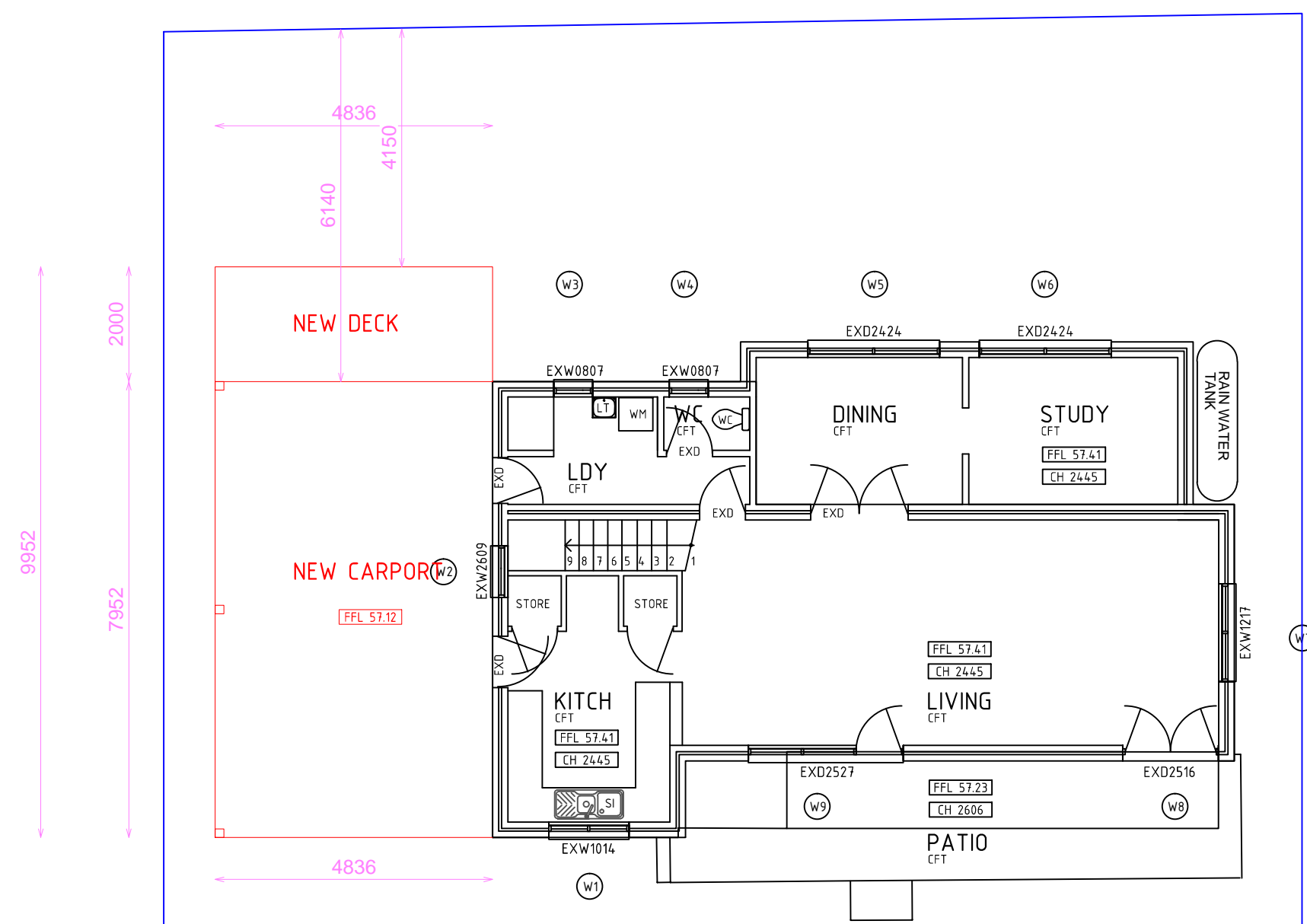
Date
3/03/2021

Issue
1

Amendment
preliminary



Project: Big 8 group
Address: 6 Lyly Road, Allambie Heights
Scale: 1:100
Sheet Title: DEMO FIRST FLOOR PLAN
File Name: 6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG
Date: May 2021

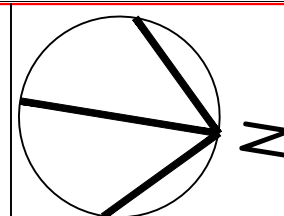


PROPOSED GROUND FLOOR PLAN

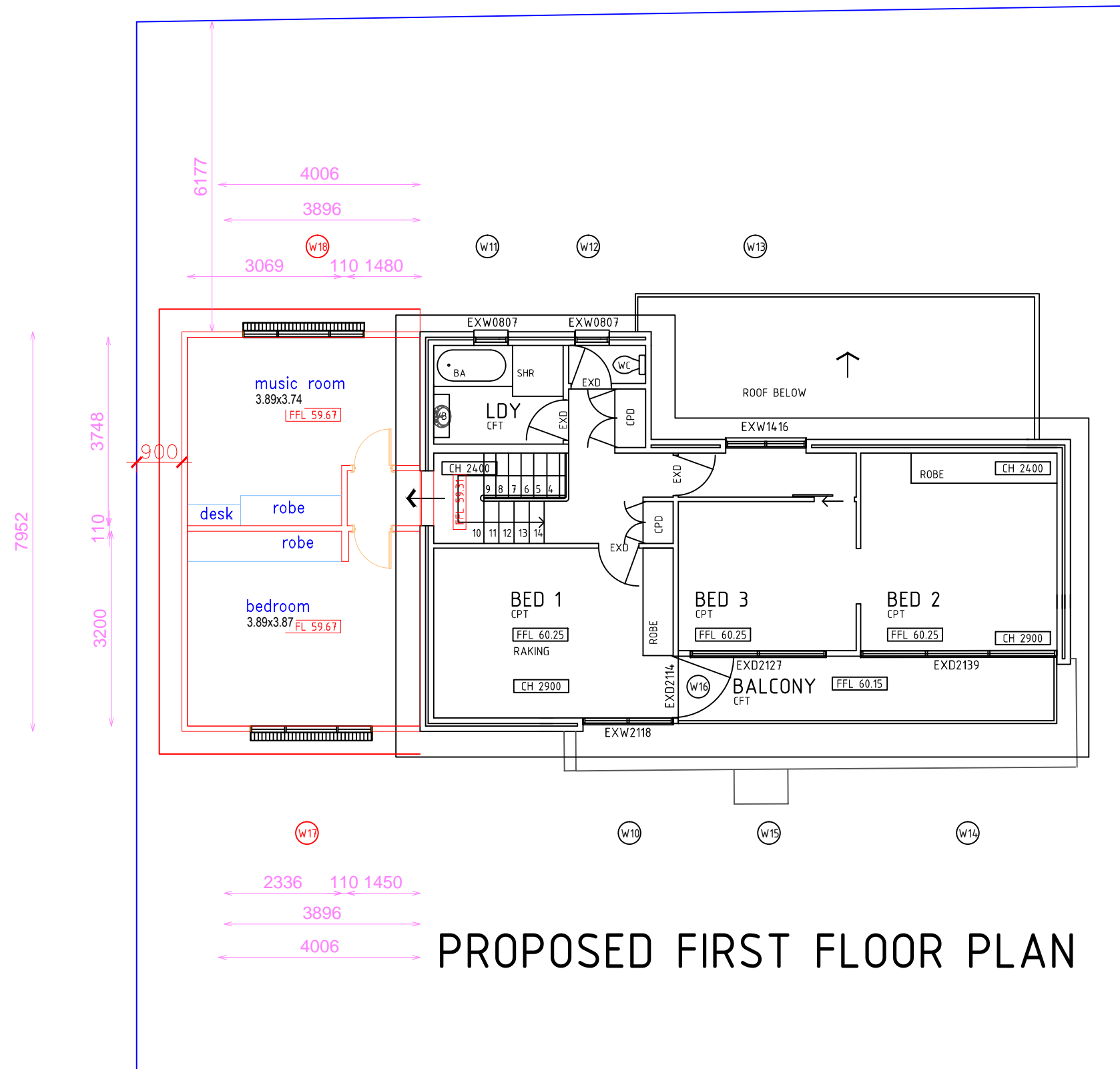
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Date	Issue	Amendment
3/03/2021	1	preliminary



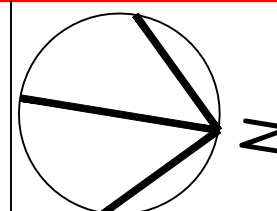
Project: Big 8 group
Address: 6 Lyly Road, Allambie Heights
Scale: 1:100
Sheet Title: PROPOSED GROUND FLOOR PLAN
File Name: 6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG
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3/03/2021	1	preliminary



Project: Big 8 group
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Scale: 1:100
Sheet Title: PROPOSED FIRST FLOOR PLAN
File Name: 6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG
Date: May 2021



CEILING LEVEL

RL 62.37



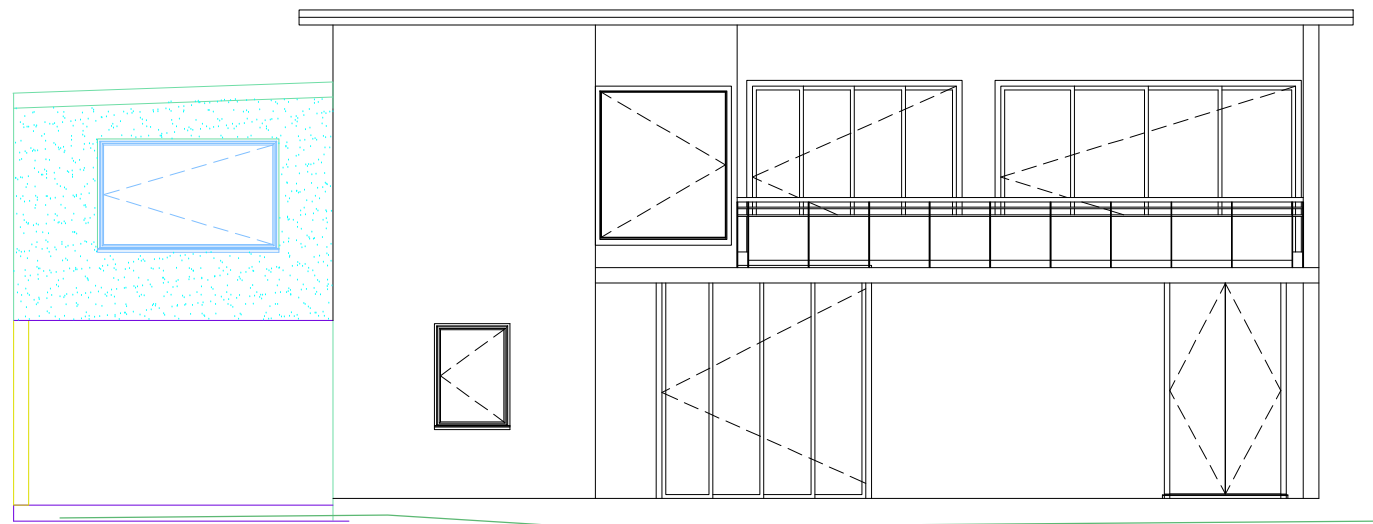
FIRST FLOOR EXTENSION

RL 59.67



CARPORT LEVEL

RL 57.12



EAST ELEVATION



CEILING LEVEL

RL 62.37



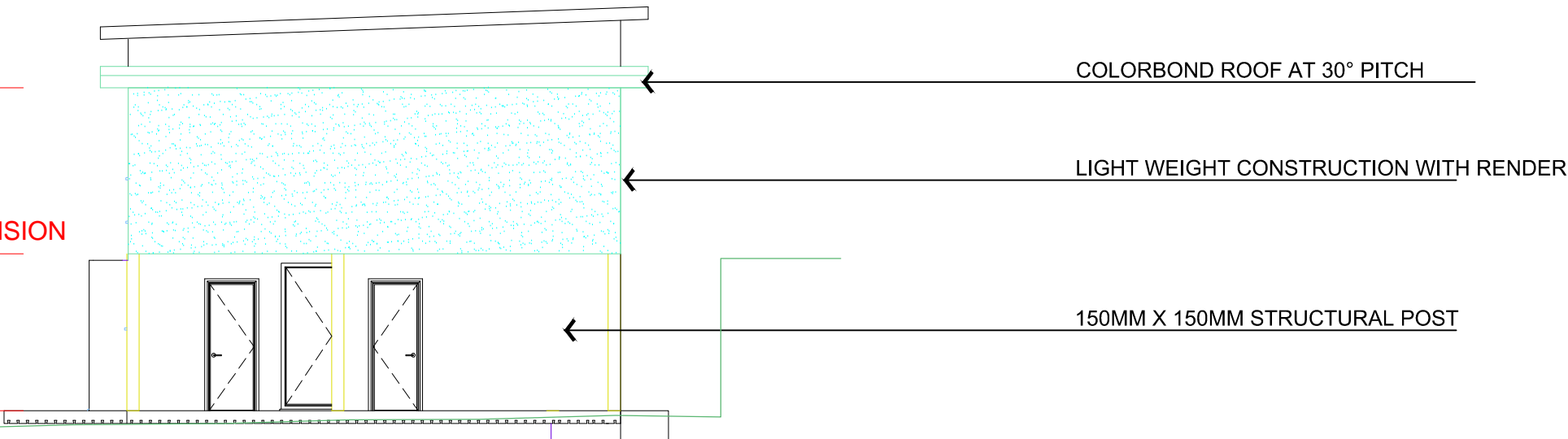
FIRST FLOOR EXTENSION

RL 59.67



CARPORT LEVEL

RL 57.12



SOUTH ELEVATION

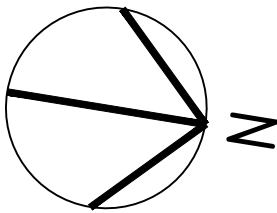
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Date
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Issue
1

Amendment
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Project: Big 8 group
Address: 6 Lyly Road, Allambie Heights
Scale: 1:100
Sheet Title: ELEVATIONS
File Name: 6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG
Date: May 2021



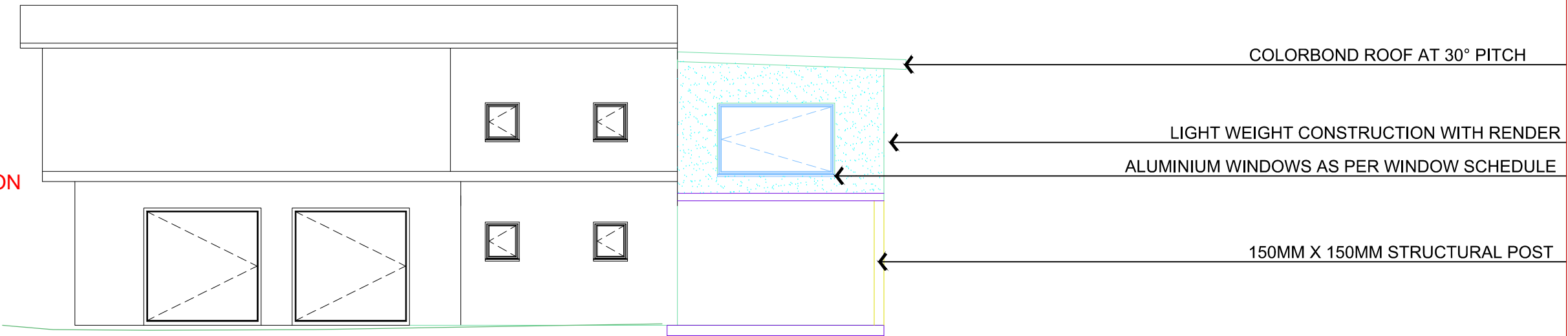
CEILING LEVEL
RL 62.37



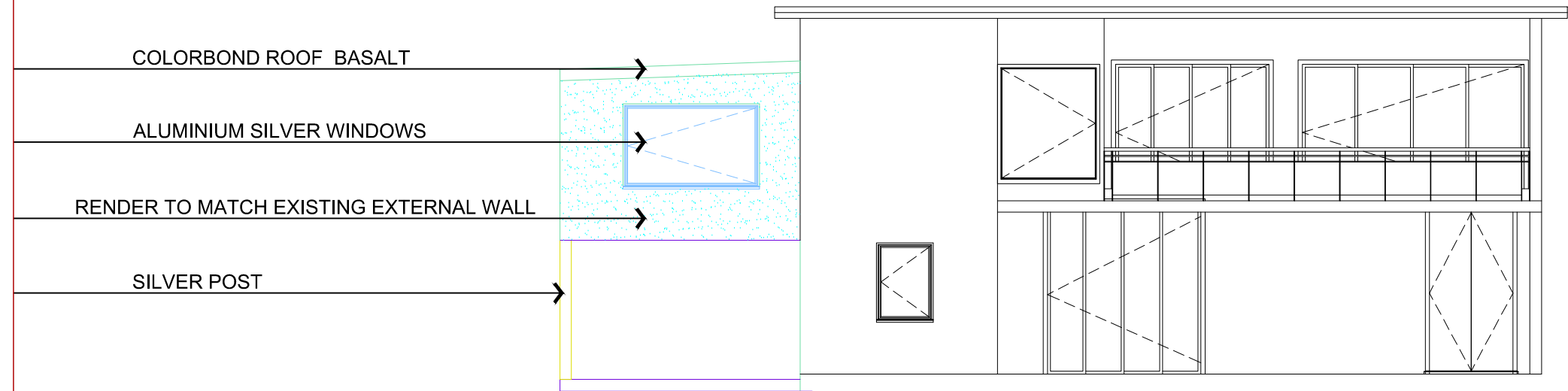
FIRST FLOOR EXTENSION
RL 59.67



CARPORT LEVEL
RL 57.12



WEST ELEVATION

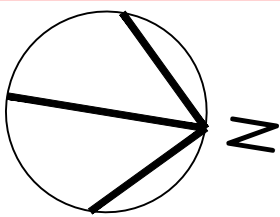


SCHEDULE OF COLOURS & FINISHES

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Date	Issue	Amendment
3/03/2021	1	preliminary



Project: Big 8 group
Address: 6 Lyly Road, Allambie Heights
Scale: 1:100
Sheet Title: ELEVATIONS 2
File Name: 6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG
Date: May 2021



CEILING LEVEL

RL 62.37



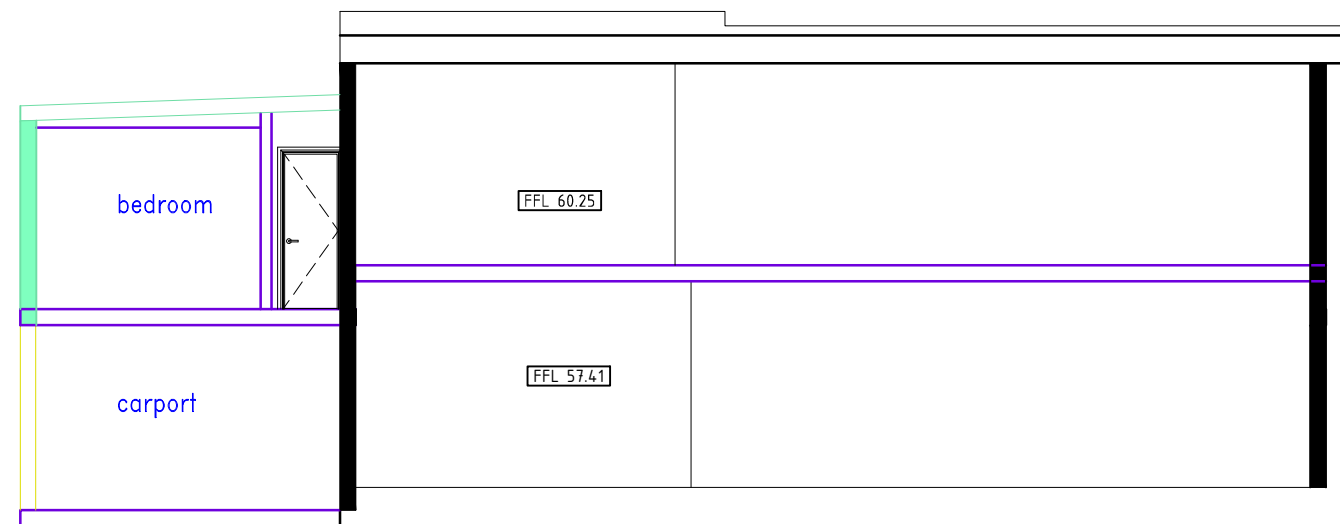
FIRST FLOOR EXTENSION

RL 59.67



CARPORT LEVEL

RL 57.12



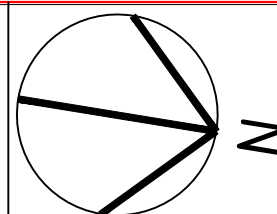
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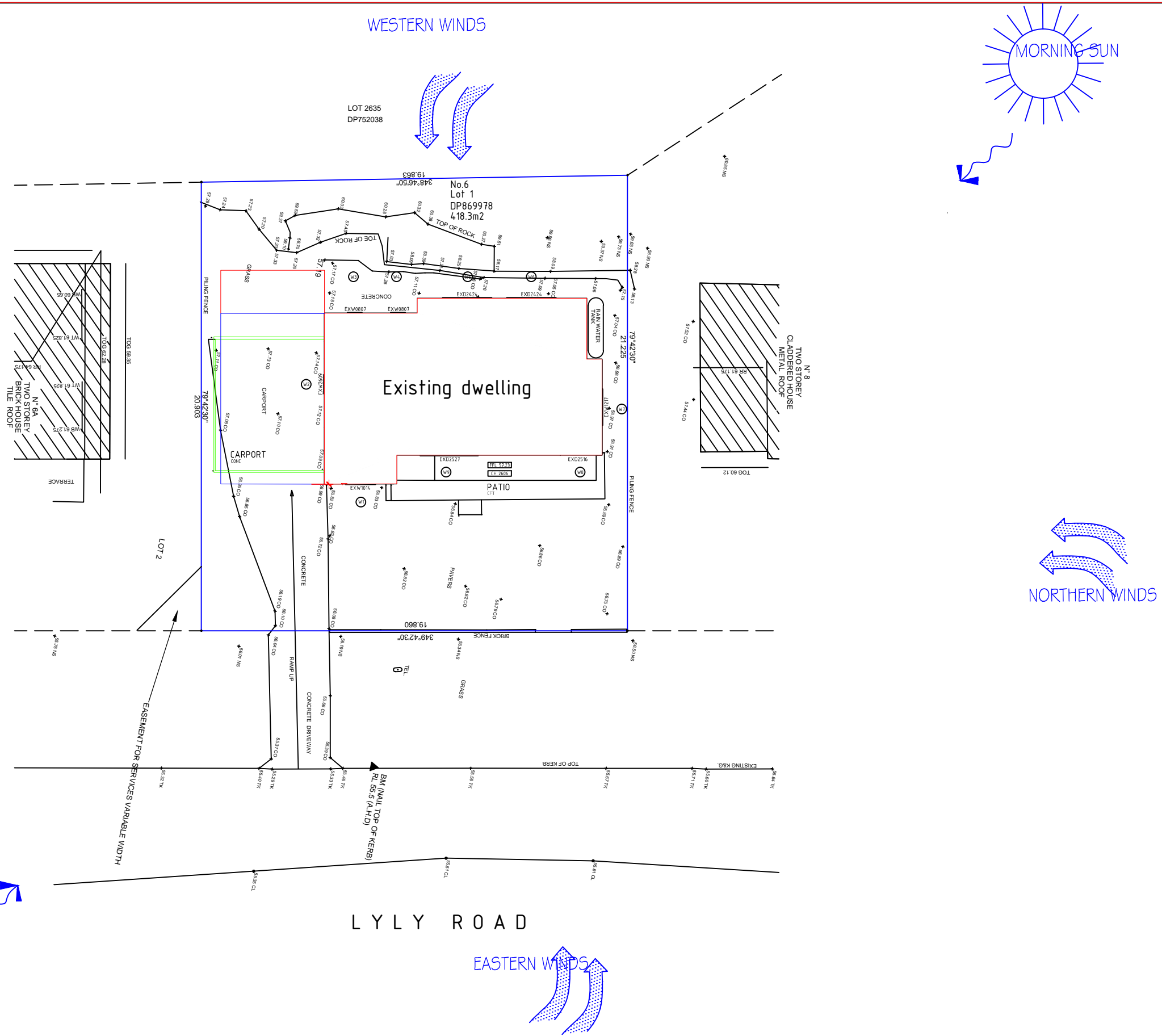
Date
3/03/2021

Issue
1

Amendment
preliminary



Project: Big 8 group
Address: 6 Lyly Road, Allambie Heights
Scale: 1:100
Sheet Title: SECTION
File Name: 6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG
Date: May 2021



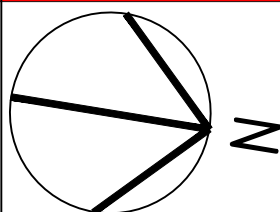
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Date
3/03/2021

Issue
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Amendment
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Project: **Big 8 group**
Address: **6 Lyly Road, Allambie Heights**
Scale: **1:100**
Sheet Title: **SITE ANALYSIS**
File Name: **6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG**
Date: **May 2021**

Construction Management Plan

The following Construction Management Plan will highlights the following:

- Location of material storage.
- Location of any plant & equipment (cranes, hoists etc)
- Maximum intended weight and size of construction and delivery vehicles.
- How vehicles will access and egress the site.
- How material storage (loading / unloading) will be carried out on site without blocking access to adjoining properties for residents, service and emergency vehicles.
- Intended timing of deliveries to site.
- Contact details for of person with authority to respond to any construction related access issues.
- Intended communication of construction details to adjoining residents
- Details of any signage to be erected on the site

Location of material storage

Materials will be store on site in locations marked "A", "B" and "C" as shown on associated plans.
Location "A" - Driveway - heavy / bulky materials such as bricks / steel / roof tiles etc will be stored on the driveway under the carport and on adjacent paving area in order to allow lifting off delivery truck and placement for storage without "double handling" of materials. Fragile materials such as tiles, plumbing fittings and fixtures etc will also be stored here so as to minimize possibility of damage and to provide security against theft.
Location "B" - Lawn - timber / prefabricated frames and trusses etc will be stored on the front lawn. These materials are generally of longer lengths and light enough to allow manual handling from delivery truck to storage area.

NOTE - Material deliveries are to be timed so that only materials required for the scope of works to be carried out at that stage are on site in order to ensure the site is not cluttered and to allow easy access for trades / residents to and from the site.

Location of any plant & equipment

Plant and equipment (cranes, hoists, rubbish bins etc) will be located in Location "A" (same as for material storage) to avoid damage to existing established landscaping.

NOTE - Use of plant & equipment is to be timed so that material storage does not interfere with locating plant or equipment in the required area.

Construction and delivery vehicles

Construction vehicles will generally take the shape of trade utes / vans. Delivery vehicles are to be of fixed tray type with maximum weight of 3 tones. Concrete delivery is to be in the form of mini-mix vehicle. Rubbish bins are to be limited to 4 cubic meter bins during demolition stage and reduced to 3 cubic meter bins for general site cleaning as necessary.

Vehicle access and egress

Construction vehicles (utes / vans) can access and egress the site without any special requirements. Delivery trucks are not to enter the site and must stay on the public road to avoid damage to road crossing, footpath and or driveway.

Material delivery and handling

Materials delivered to site are to be unloaded from delivery truck on site wherever possible and stored in appropriate locations as specified immediately. Where unloading is not possible on site materials are to be unloaded at street level and manually carried onto site and stored in appropriate locations as specified immediately.

NOTE - At no time are materials to be stored on the road, access handle, nature strip or adjoining properties.

HOURS OF WORK
ALL CONSTRUCTION/DEMOLITION WORK RELATING TO THE DEVELOPMENT CONSENT WITHIN THE RESIDENTIAL AMENITY WORK CARRIED OUT ONLY BETWEEN THE RESTRICTED HOURS OF 7.00AM TO 5.30PM MONDAYS TO FRIDAYS AND 8.00AM TO 12.00 NOON ON SATURDAY. NO WORK IS TO BE DONE ON SUNDAY AND PUBLIC HOLIDAYS.

TIMING OF DELIVERIES
MATERIAL DELIVERIES WILL GENERALLY TAKE PLACE BETWEEN 8.00AM AND 3.00PM THE DAY BEFORE THE MATERIALS WILL BE REQUIRED ON SITE.

CONTACT DETAILS
A CONSTRUCTION SUPERVISOR WILL BE APPOINTED UPON RECEIPT OF THE REQUIRED CONSTRUCTION CERTIFICATE. THE SUPERVISORS DETAILS INCLUDING NAME AND MOBILE CONTACT NUMBER WILL BE PROVIDED TO THE ADJOINING RESIDENTS. EMERGENCY CONTACT DETAILS (NAME & CONTACT NUMBER) WILL ALSO BE PROVIDED IN THE EVENT THAT THE SUPERVISOR IS NOT CONTACTABLE. THE OFFICE NUMBER FOR CONTACT DURING NORMAL BUSINESS HOURS WILL BE DISPLAYED ON SIGNAGE TO BE ERECTED ON THE SUBJECT SITE (TO IDENTIFY THE SITE TO TRADES AND MATERIAL DELIVERIES).

NOTE - THESE DETAILS CANNOT BE PROVIDED AT THIS TIME AS WORK IS ALLOCATED TO ONE OF FIVE SUPERVISORS PENDING CURRENT WORKLOAD AT TIME OF CONSTRUCTION CERTIFICATE RELEASE.

COMMUNICATION WITH ADJOINING RESIDENTS
UPON RECEIPT OF THE CONSTRUCTION CERTIFICATE THE ADJOINING RESIDENTS WILL BE NOTIFIED THAT WORKS ARE BEING ARRANGED TO BEGIN. THIS WILL PROVIDE APPROXIMATELY 3 WEEKS NOTICE IN THIS REGARD. THIS NOTIFICATION WILL INCLUDE ALL CONTACT DETAILS PER ABOVE. FURTHER TO THIS THE CONSTRUCTION SUPERVISOR WILL INTRODUCE HIMSELF TO THESE RESIDENTS A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT.

SIGNAGE
SIGNAGE IN THE FORM OF A SITE SIGN TO IDENTIFY THE BUILDER'S NAME AND CONTACT DETAILS AND THE PRINCIPAL CERTIFYING AUTHORITY WILL BE REQUIRED ON SITE. THE LOCATION OF THIS SIGNAGE IS SHOWN ON THE ASSOCIATED PLANS.

SOIL & WATER MANAGEMENT PLAN
ALL SEDIMENT CONTROLS ARE TO BE INSTALLED BEFORE WORK COMMENCES
ANY AREAS OF EXPOSED SOIL ARE TO BE MINIMISED
ALL TOP-SOIL IS TO BE RETAINED ON SITE FOR RE-USE
MATERIAL & SOIL STOCKPILES ARE TO BE PROTECTED BY SEDIMENT FENCING
STOCKPILES & WORK AREAS ARE TO BE AS INDICATED BY THE CONSTRUCTION MANAGEMENT PLAN TO PRESERVE EXISTING VEGETATION
SURFACE WATER FLOW DURING CONSTRUCTION ARE TO BE CONTROLLED AS FOLLOWS:
- CLEAN RUN OFF IS TO BE DIVERTED AROUND DISTURBED AREAS
- SLOPE GRADIENT & FLOW DISTANCE ARE TO BE MINIMISED WITHIN DISTURBED AREAS
- DISTURBED AREAS ARE TO BE PROMPTLY REHABILITATED
SEDIMENT FENCE ARE TO BE REGULARLY MONITORED & MAINTAINED DURING CONSTRUCTION

Construction Noise & Vibration Management Plan

The following actions will be implemented to keep the noise & vibration to a minimum:

Location of any plant & equipment

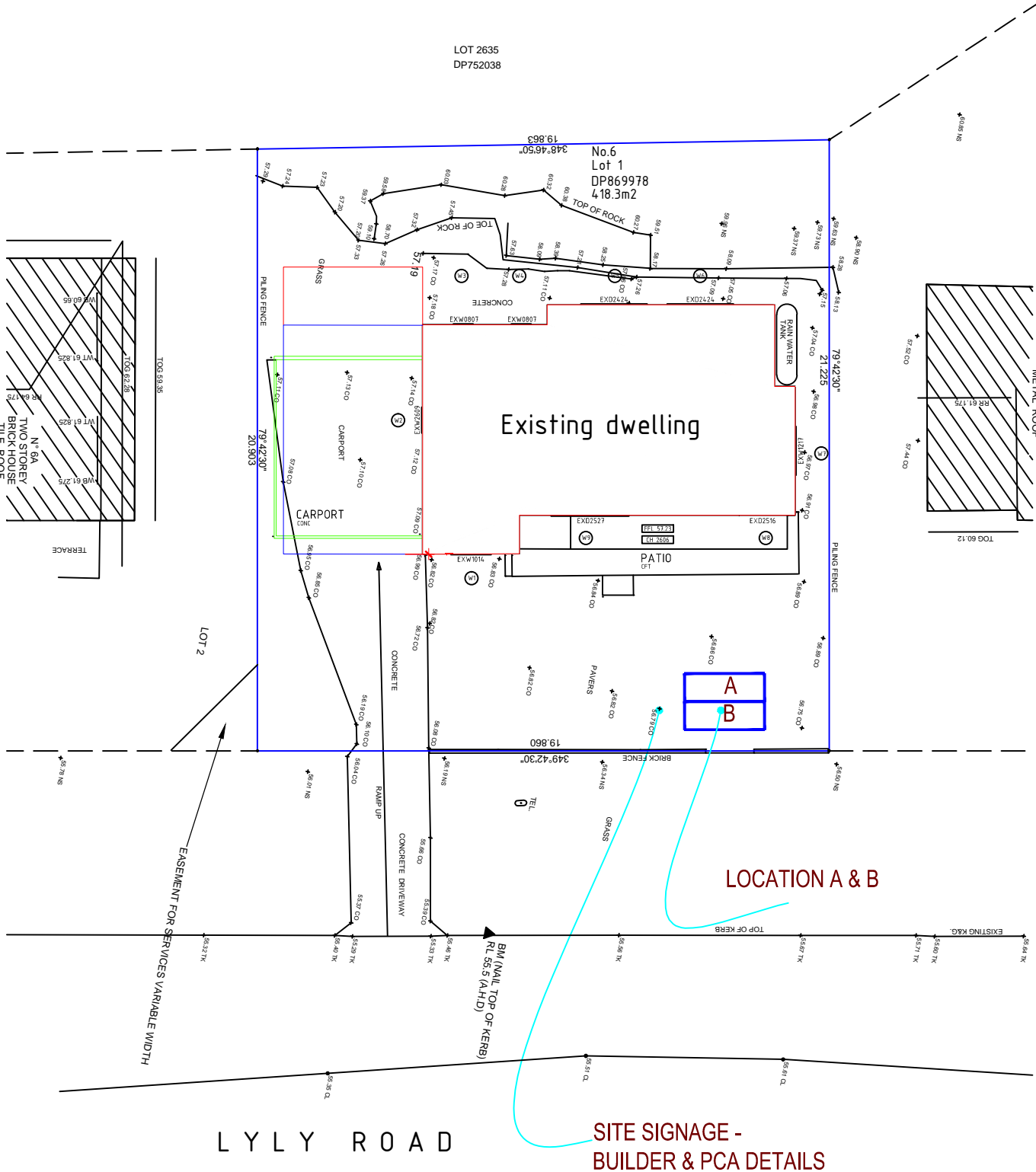
Plant and equipment (cranes, hoists, etc) will be located in the front yard facing the street.

The most commonly used equipment will be nail guns, electric saws & hammers, which will be done during the day time.

NOTE - Use of plant & equipment will be timed so that material storage does not interfere with locating plant or equipment in the required area.

Hours of Work

All Construction/Demolition work relating to the Development Consent within the residential amenity work carried out only between the restricted hours of 7.00am to 5.30pm Mondays to Fridays and 8.00am to 12.00 noon on Saturday. No work is to be done on Sunday and Public Holidays.



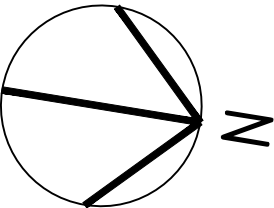
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Issue
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File Name: 6 LYLY RD, ALLAMBIE HEIGHTS_RECOVER.DWG
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