

# KERR RESIDENCE

## PROPOSED ALTERATIONS, ADDITIONS & SECONDARY DWELLING

40 WILLOW TREE CRESCENT  
BELROSE  
N.S.W. 2085

30 JULY, 2019

### PLAN OR DOCUMENT CERTIFICATION

I AM A QUALIFIED STRUCTURAL DRAFTSPERSON

I HOLD THE FOLLOWING QUALIFICATIONS

BUILDING CERTIFICATE - SYDNEY TAFE

MEMBER: BUILDING DESIGNERS ASSOCIATION AUSTRALIA - Accreditation No. 6255

FURTHER I AM APPROPRIATELY QUALIFIED TO CERTIFY THIS  
COMPONENT OF THE PROJECT.

I HEREBY STATE THAT THESE PLANS OR DETAILS COMPLY WITH THE  
CONDITIONS OF DEVELOPMENT CONSENT OF THE APPROPRIATE  
LOCAL GOVERNMENT AUTHORITY AND / OR THE RELEVANT AUSTRALIAN  
BUILDING INDUSTRY STANDARDS.

SALLY GARDNER 30/07/19

*Sally Gardner*

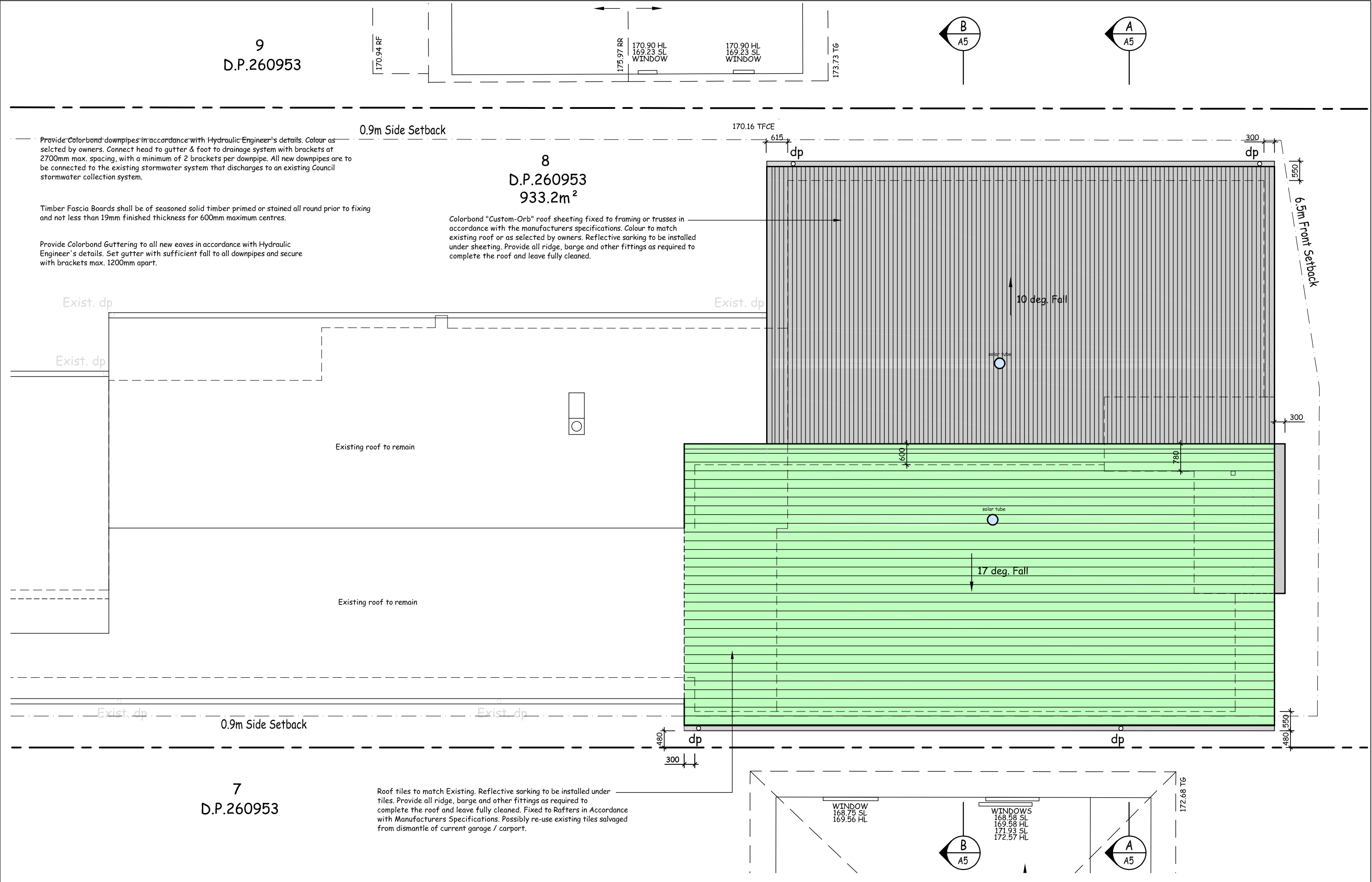
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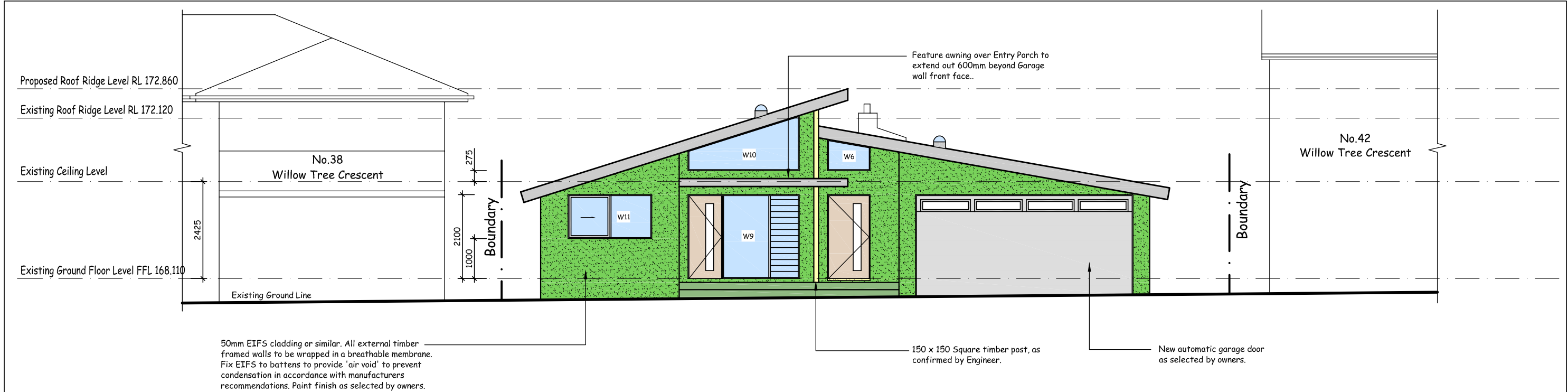
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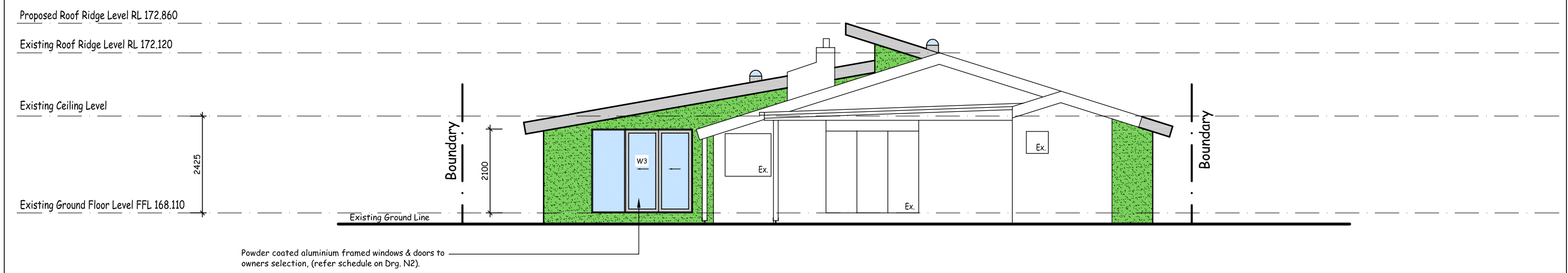
47 Towradgi Street, Narrabeena, NSW, 2099 Australia  
ABN 17 751 732 195  
Accreditation Number 6255  
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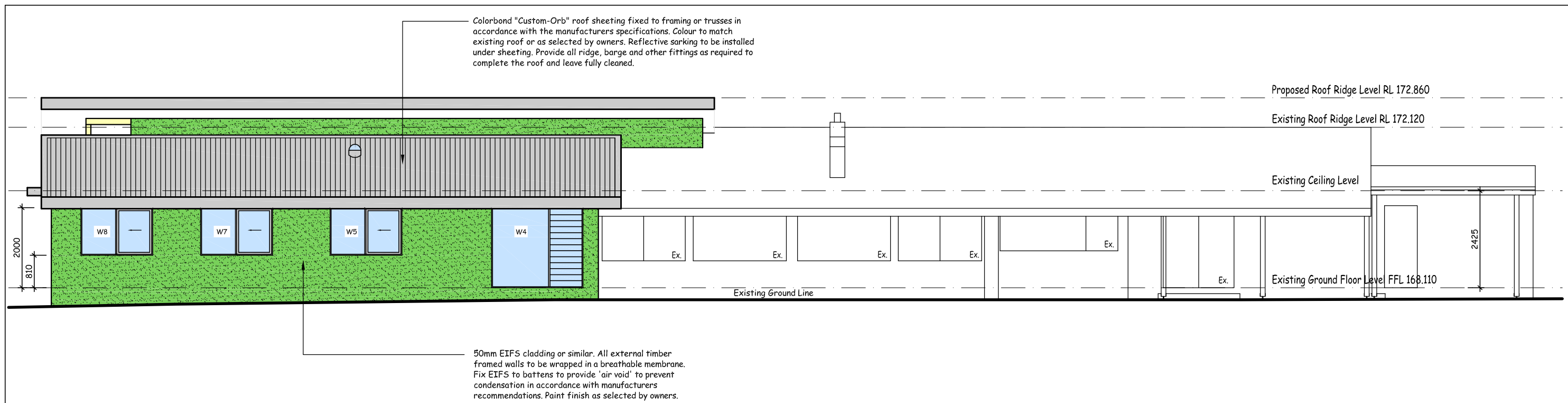
			 <div>Accreditation Number 6255</div>	 	47 Towradgi Street Narraweena, NSW, 2099  ABN 17 751 732 195	Clients  <b>Kate &amp; Mark KERR</b>	Project <b>PROPOSED ALTERATIONS, ADDITIONS &amp; SECONDARY DWELLING 40 WILLOW TREE CRESCENT, BELROSE</b>	True North 	Scale <b>1:100 @ A3</b>	Job Number <b>3-0118</b>		
			<div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div> <div><b>SALLY GARDNER DESIGN AND DRAFT</b></div> <div>PLANS DRAWN FOR APPROVAL</div>	<div>SustainAbility Design™ Specialist</div>			Drawing Title <b>ROOF PLAN</b>		Drawn <b>R.G.</b>	Checked <b>S.G.</b>	Drawing Number <b>A1</b>	Rev. <b>-</b>
	Date	Amendments			<a href="http://www.designanddraft.com.au">http:// www.designanddraft.com.au</a>				Date <b>30 JULY, 2019</b>			



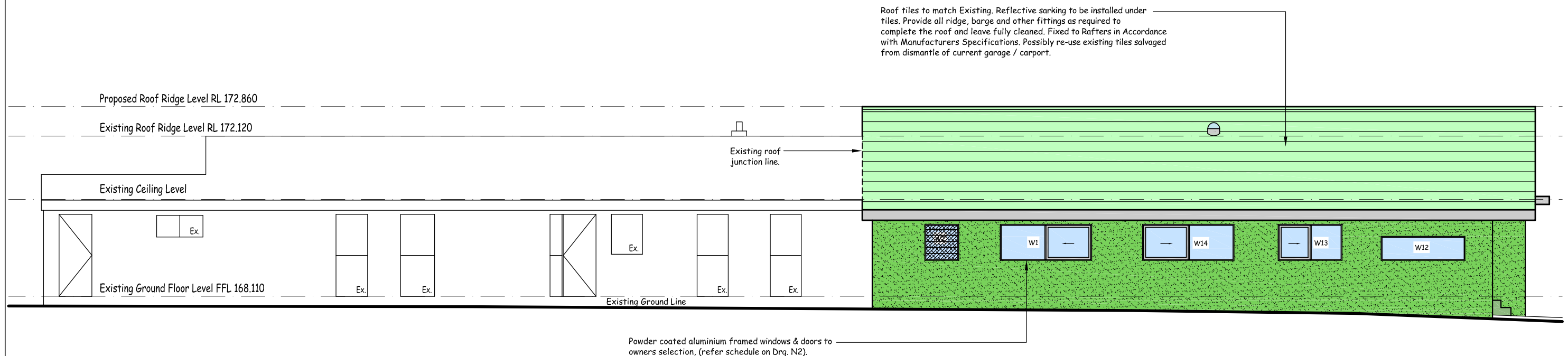
SOUTH ELEVATION



NORTH ELEVATION



## EAST ELEVATION



## WEST ELEVATION

			Accreditation Number 6255		47 Towradgi Street Narraweena, NSW, 2099 ABN 17 751 732 195		Clients <b>Kate &amp; Mark KERR</b>		Project <b>PROPOSED ALTERATIONS, ADDITIONS &amp; SECONDARY DWELLING 40 WILLOW TREE CRESCENT, BELROSE</b>		True North		Scale <b>1:100 @ A3</b>		Job Number <b>3-0118</b>	
			bda		SALLY GARDNER DESIGN AND DRAFT		SDS		Drawing Title <b>ELEVATIONS - SHEET 2 of 2</b>		Drawn <b>R.G.</b>		Checked <b>S.G.</b>		Date <b>30 JULY, 2019</b>	
Date			Amendments		http:// www.designanddraft.com.au										Drawing Number <b>A4</b>	
															Rev. <b>-</b>	



- "Approval" - obtained by either an "Accredited Certifying Authority" or "Local Council".
- The Owner will directly pay all fees associated with the following: building approval from Council or Accredited Certifier, any footpath and kerb deposits with the local council, insurance fees to Building Services Corporation, Long Service Leave Levies and approval fees by water and sewerage authorities. All other fees are to be paid by the Builder.

The amount of any local authority deposits which are forfeited due to damage or other causes, will be deducted from payments due to the Builder.
- The Builder is to provide at his/her own expense, adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Works insurance to be as stated in the contract conditions.
- All tenderers are to visit the site to satisfy themselves as to the nature and extent of the works, facilities available and difficulties entailed in the works, as variations will not be allowed due to work arising owing to neglect of this clause.
- These drawings shall be read in conjunction with all structural and other consultant's drawings and specifications and with any such written instructions as may be issued during the course of the contract.
- Set out dimensions shown on the drawings shall be verified by the Builder on site before commencement of any work. Dimensions shall not be obtained by scaling the drawings. Use only figured dimensions. All dimensions are in millimetres.
- The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval.
- Any detailing in addition to what is supplied shall be resolved between the Owner and the Builder, to the Owner's approval, except for any structural details or design which is to be supplied by the Engineer.
- All work to be carried out in a tradesman like manner and in accordance with the standards, codes and regulations of the Standards Association of Australia, National Construction Code of Australia and any Statutory Authority having jurisdiction over the works.
- All structural work is to be in accordance with the structural details prepared by a suitably qualified Structural Engineer. Including but not limited to, all piers, footings, concrete slabs, retaining walls, steelwork, formwork, underpinning, additional structural loads, timber framing, wind bracing and associated connections. Builder to obtain prior to finalising tender, unless previously obtained by owners.
- All brickwork is to be selected by owners and is to comply with AS 1640. All masonry is to comply with AS 3700.
- Provide all metalwork and flashings necessary to satisfactorily complete the works.
- All timber construction to be in accordance with AS 1684 - "Timber Framing Code".
- All glazing installed is to comply with AS 1288, AS 2047 and in accordance with manufacturer's recommendations.

- ## DRAWING SCHEDULE

- N1. Specification & Drawing List
- N2. Residence Schedules & Basix Commitments
- N3. Secondary Dwelling Schedules & Basix Commitments
- E1. Existing Floor Plan
  - A1. Roof Plan
  - A2. Proposed Floor Plan
  - A3. Elevations Sheet 1 of 2
  - A4. Elevations Sheet 2 of 2
  - A5. Sections
    - S1. Site Analysis Plan
    - S2. Site Plan and Calculations
    - S3. Sediment Control & Site Management Plan
    - S4. Shadow Diagram at 9am
    - S5. Shadow Diagram at 12 noon
    - S6. Shadow Diagram at 3pm

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WINDOW SCHEDULE

NO.	HEIGHT	WIDTH	LOCATION	FRAME / GLAZING STYLE	U value : SHGC	Additional Basix Requirements
W1	0.900	2.290	Bed R1	Powder Coated Aluminium framed Sliding window with clear glazing	6.44 : 0.75	
W2	0.900	0.850	Ensuite	Powder Coated Aluminium framed Louvred window with frosted glazing	6.39 : 0.56	
W3	2.100	2.530	Living 2	Powder Coated Aluminium framed Stacking Sliding doors with clear glazing	6.44 : 0.75	
W4	2.000	2.290	Living 2	Powder Coated Aluminium framed Fixed / Louvred window with clear glazing	4.48 : 0.46	Requires Pyrolytic Low-e glazing
W5	1.190	1.775	Bed R5	Powder Coated Aluminium framed Fixed window with clear glazing	4.12 : 0.66	Requires Double Glazing
W6	0.685	1.070	Entry	Powder Coated Aluminium framed Fixed window with clear glazing	6.44 : 0.75	
W7	1.19	1.800	Garage	Powder Coated Aluminium framed Fixed window with clear glazing		
W8	1.19	1.800	Garage	Powder Coated Aluminium framed Fixed window with clear glazing		

All sizes listed include the frame and are nominal sizes for BASIX Certification.  
All glazing assemblies will comply with AS2047 and AS1288  
All external glazing is to have a maximum reflectivity index of 25%.  
# - Denotes window requiring additional shading device to BASIX Certification requirements. Refer Basix Certificate for details.

DOOR & WINDOW NOTE:  
All Doors and Windows to be keyed alike with deadlocks to all sashes & doors. Provide weather strips and door seals around openings to prevent drafts.  
All new bedroom windows, where the floor level of the room is 2.0m or more above outside finished ground level, must be supplied with either permanently fixed robust mesh screens or permanent window locks which prevent the window from opening more than 125mm, if the lowest openable portion of the window is within 1.7m of the floor, in accordance with NCC requirements, for child safety.  
Wind loading compliance to all new windows and glazed doors to be confirmed by the Engineer prior to ordering and installation.

BASIX COMMITMENTS

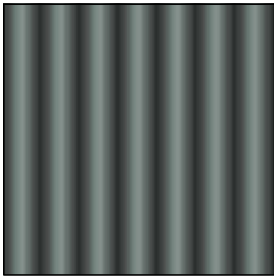
TAPS: Must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.  
TOILETS: Must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.  
SHOWER HEADS: Must have a flow rate no greater than 9 litres per minute or a 3 star water rating.  
Install aerators on bathroom hand basins & kitchen sinks.

LIGHTING : Basix requirements  
A minimum of 40% of new or altered light fixtures must be fitted with flourescent, compact flourescent or light-emitting diode (LED) lamps.

BASIX INSULATION SCHEDULE

Construction	Additional insulation required (R-value)
concrete slab on ground floor.	nil
external wall: external insulated façade system (EIFS) (R1.73)	R2.5
external wall: framed (weatherboard, fibro, metal clad) (R0.40)	R1.30 (or R1.70 including construction)
internal wall shared with garage: plasterboard (R0.36)	nil
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking

ROOF METAL COLOUR SCHEDULE



Colour classification in accordance with NSW Basix (Dark - solar absorbance > 0.70)  
"Woodland Grey" - Colorbond roof sheeting.

BASIX COMMITMENTS - SECONDARY DWELLING

Landscape:  
The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.

Fixtures:  
Taps: Must have a minimum 4 star water rating.  
Toilets: Must have a minimum 4 star water rating.  
Showerheads: Must have a minimum 3 star rating.  
Install aerators on bathroom hand basins & kitchen sinks.

Alternative Water:  
The applicant must configure 1 off x 1500L rainwater tanks, to collect rain runoff from at least 40.0 square metres of the roof area of the development.  
Rainwater tank to be connected to all toilets and at least 1 outdoor tap.

Windows, Glazed Doors and Skylights:  
The following requirements must also be satisfied in relation to each window and glazed door:  
• Except where the glass is 'single clear' or 'single toned', each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) +/-10% of that listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Hot Water:  
The owner is required to install a : Solar (electric boost) with a performance of 26 to 30 STC's or better.

Cooling system  
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3.5 Star.  
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: Ceiling Fans

Heating system  
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1 phase Airconditioning; Energy rating: 3.5 Star.  
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.

Ventilation  
The applicant must install the following exhaust systems in the development:  
At least 1 Bathroom: Individual fan not ducted: manual switch On/off.  
Kitchen: Individual fan: ducted to facade: manual switch On/off.  
Laundry: Individual fan: ducted to facade or roof: manual switch On/Off.

Artificial Lighting  
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:  
• at least 2 of the bedrooms / study;  
• at least 1 of the living / dining rooms;  
• the kitchen;  
• all bathrooms/toilets;  
• the laundry;  
• all hallways;

Natural lighting  
The applicant must install a window and/or skylight in the Kitchen of the development for natural lighting.  
The applicant must install a window and/or skylight in 1 bathroom, toilets in the development for natural lighting.

Other:  
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.  
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.  
The applicant must install a fixed outdoor clothes drying line as part of the development.

THERMAL COMFORT INSULATION SCHEDULE

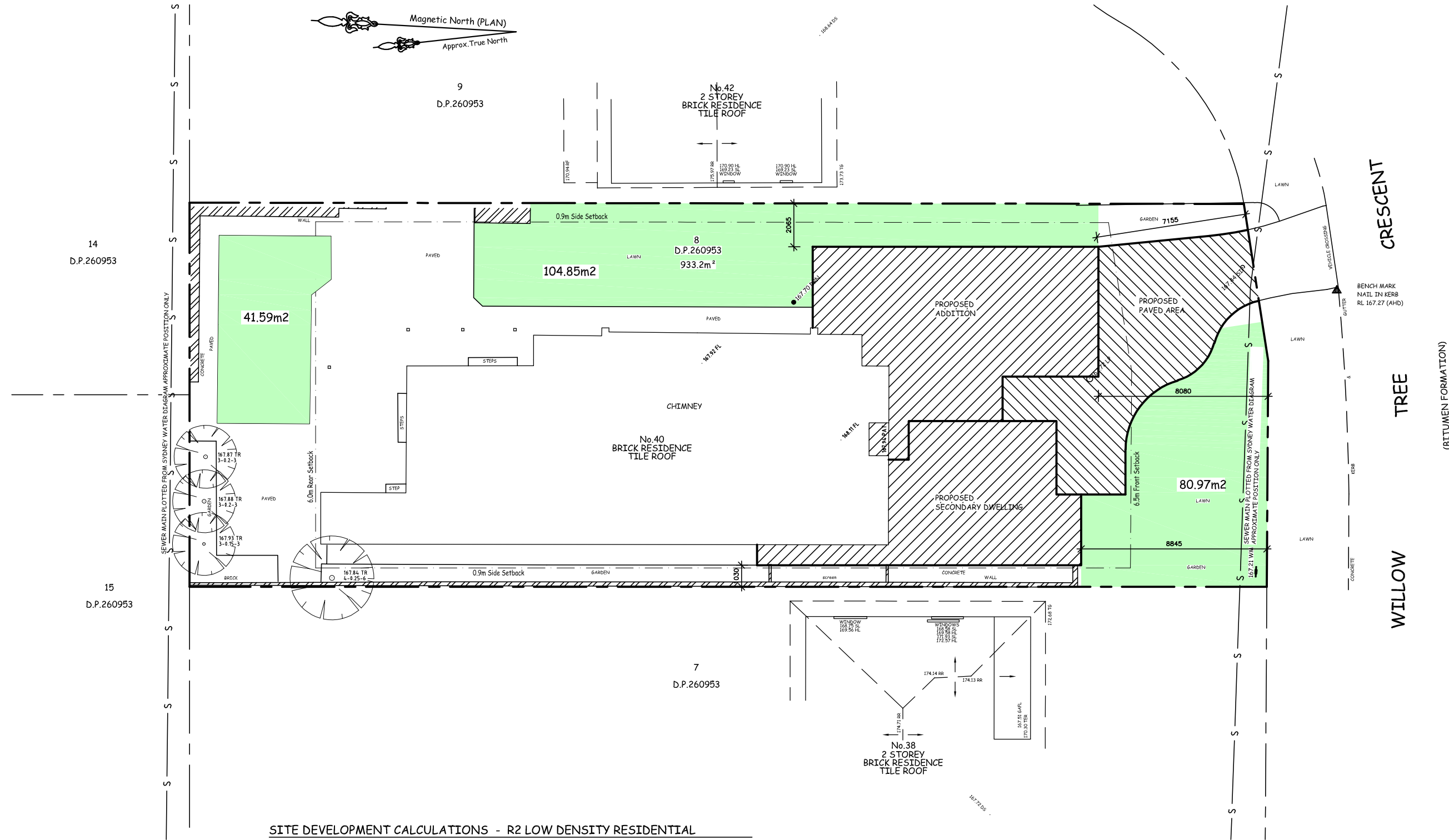
Construction	Additional insulation required (R-value)
External wall (EW1) – EPS Cavity Panel on battens.	Foil, reflective both sides + bulk insulation R2.5
Internal wall (IW1) – Shaft liner party wall with plaster	No insulation
Internal wall (IW2) – Cavity wall, direct fix plasterboard, single gap	No insulation
Roof – Tiles on timber frame	Foil, gap above, reflective side down, anti-glare

WINDOW SCHEDULE

NO.	HEIGHT	WIDTH	LOCATION	FRAME / GLAZING STYLE	U value : SHGC	Additional Requirements
W9	2.100	2.790	Secondary Dwelling	Powder Coated Aluminium framed Hinged door & Fixed / Louvred window with clear glazing	5.4 : 0.58	Aluminium B SG High Solar Gain Low-E
W10	0.940	2.790	Secondary Dwelling	Powder Coated Aluminium framed Fixed window with clear glazing	5.4 : 0.58	Aluminium B SG High Solar Gain Low-E
W11	1.100	2.100	Secondary Dwelling	Powder Coated Aluminium framed Sliding window with clear glazing	5.4 : 0.58	Aluminium B SG High Solar Gain Low-E
W12	0.900	2.100	Secondary Dwelling	Powder Coated Aluminium framed Fixed window with clear glazing	5.4 : 0.58	Aluminium B SG High Solar Gain Low-E
W13	0.900	1.600	Secondary Dwelling	Powder Coated Aluminium framed Sliding window with clear glazing	5.4 : 0.58	Aluminium B SG High Solar Gain Low-E
W14	0.900	2.290	Secondary Dwelling	Powder Coated Aluminium framed Sliding window with clear glazing	5.4 : 0.58	Aluminium B SG High Solar Gain Low-E





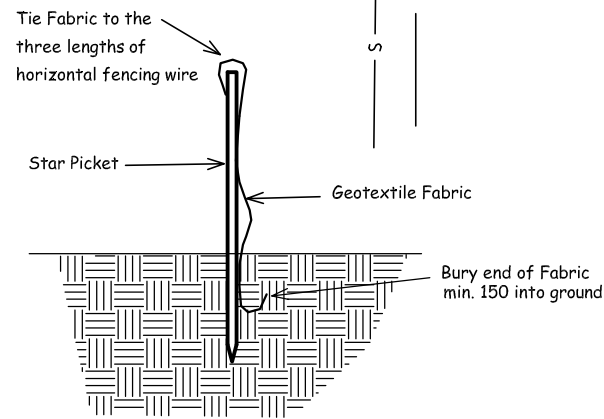
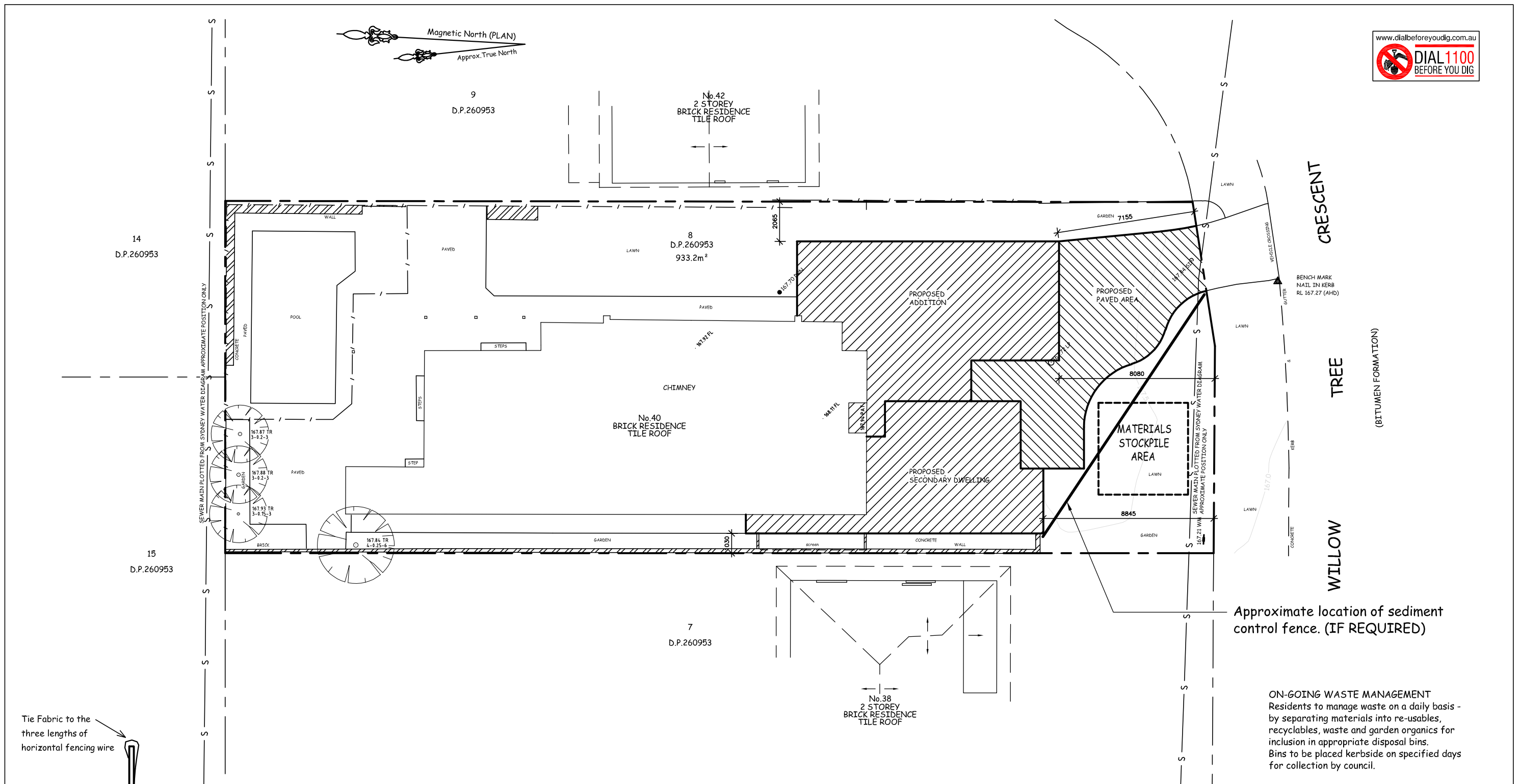


SITE DEVELOPMENT CALCULATIONS - R2 LOW DENSITY RESIDENTIAL

	Existing m2	Existing %	Proposed m2	Proposed %	Control	Compliance
Site Area = 933.2 m2						
Residence	228.01		384.5			
Driveway	174.84		66.82			
Paving / Deck	200.5		187.84			
Garage	21.37		0.0			
Site Coverage	624.72	66.94	639.16	68.49		
Total Landscaped Open Space (Excludes areas of less than 2.0m wide)	249.32	26.72	227.41	24.37	40% min.	NO
Total Pervious Site Area	308.48	33.06	294.04	31.51		

Denotes Proposed Landscape Area  
(excludes areas less than 2m wide)





## Sediment Control Fence

### SEDIMENT NOTE :

1. All Erosion and Sediment Control measures to be inspected and maintained daily by the site manager.
2. Minimise disturbed areas, remove excess soil from excavated area as soon as possible.
3. All material stockpile to be clear from drains, gutters and footpaths, or within sediment fence area.
4. Drainage to be connected to stormwater as soon as possible. If stored on site, it must be filtered before releasing into stormwater system or waterways.
5. Roads and footpaths to be swept daily.

### ON-SITE PRACTICES :

All trenches must be filled immediately after services are laid.  
Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry, must not be washed into stormwater system. It's against the law to pollute waters with any solid, liquid or gas. Where possible, construct a depression or earth dam below brick, concrete or tile cutting. If this is not possible, pass waste water through a filtration system prior to release.

### DUST CONTROL :

To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especially during the movement of machinery is required.  
Where excavating into rock, keep the surface moist to minimise dust. Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated. Prevent dust by covering stockpiles.

### BUILDING WASTE DISPOSAL

All waste material to be sorted and transported to the local authorized waste management centre for potential re-use by recycling.  
Garden waste to be delivered to an authorized Recycling centre for chipping for reuse as mulch.  
Any Asbestos materials located on the site during the demolition process is to be properly disposed of in accordance with the guidelines of the relevant regulatory authority.  
Every attempt will be made to keep waste to a minimum.

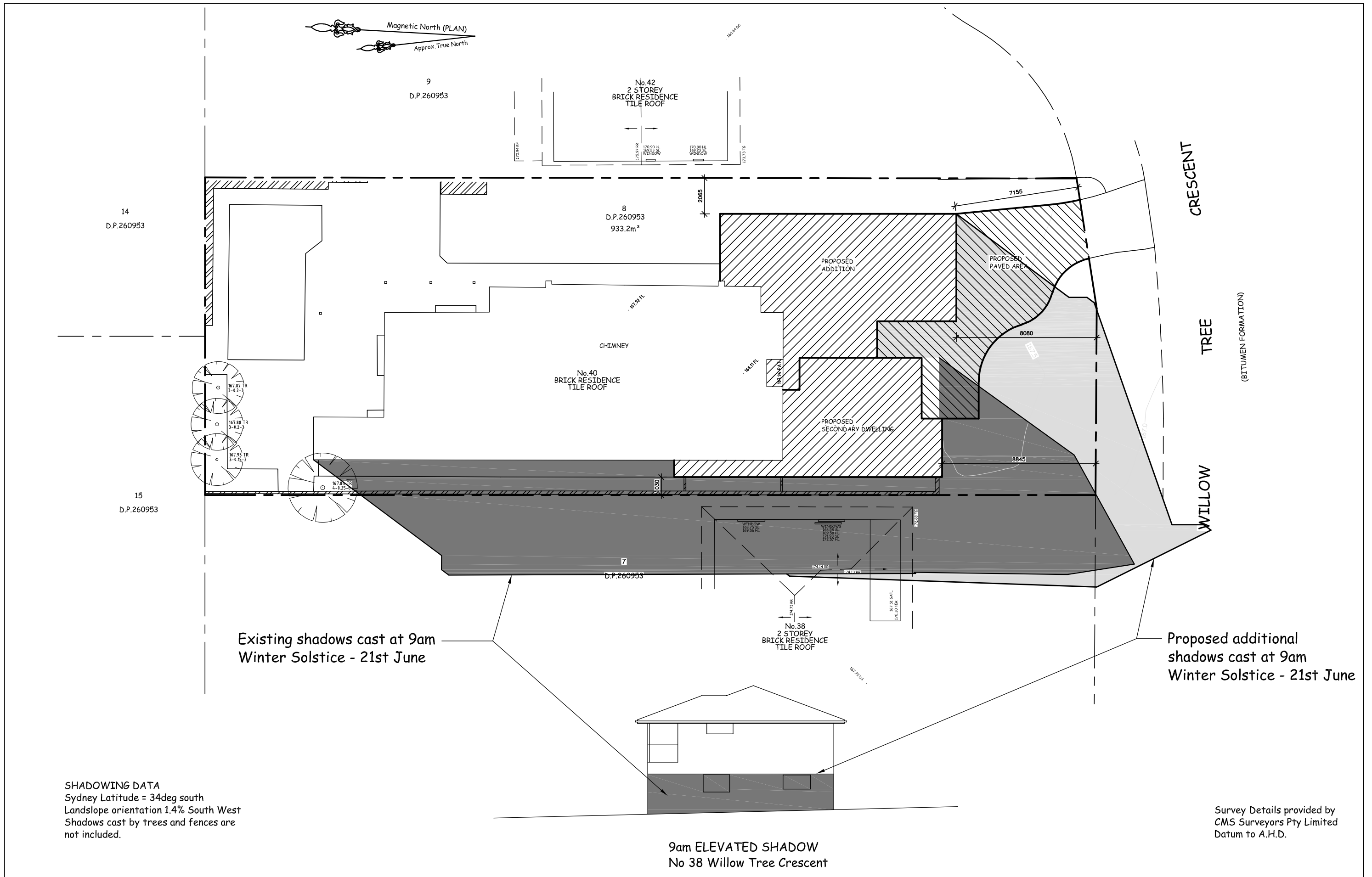
### STOCKPILES :

All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips require council's permission.  
All stockpiles are to be placed away from the drainage lines and street gutters. It is best to locate these on the highest part of the site if possible. Place waterproof covering over stockpiles.  
If required provide diversion drain & bank around stockpiles.

Approximate location of sediment control fence. (IF REQUIRED)

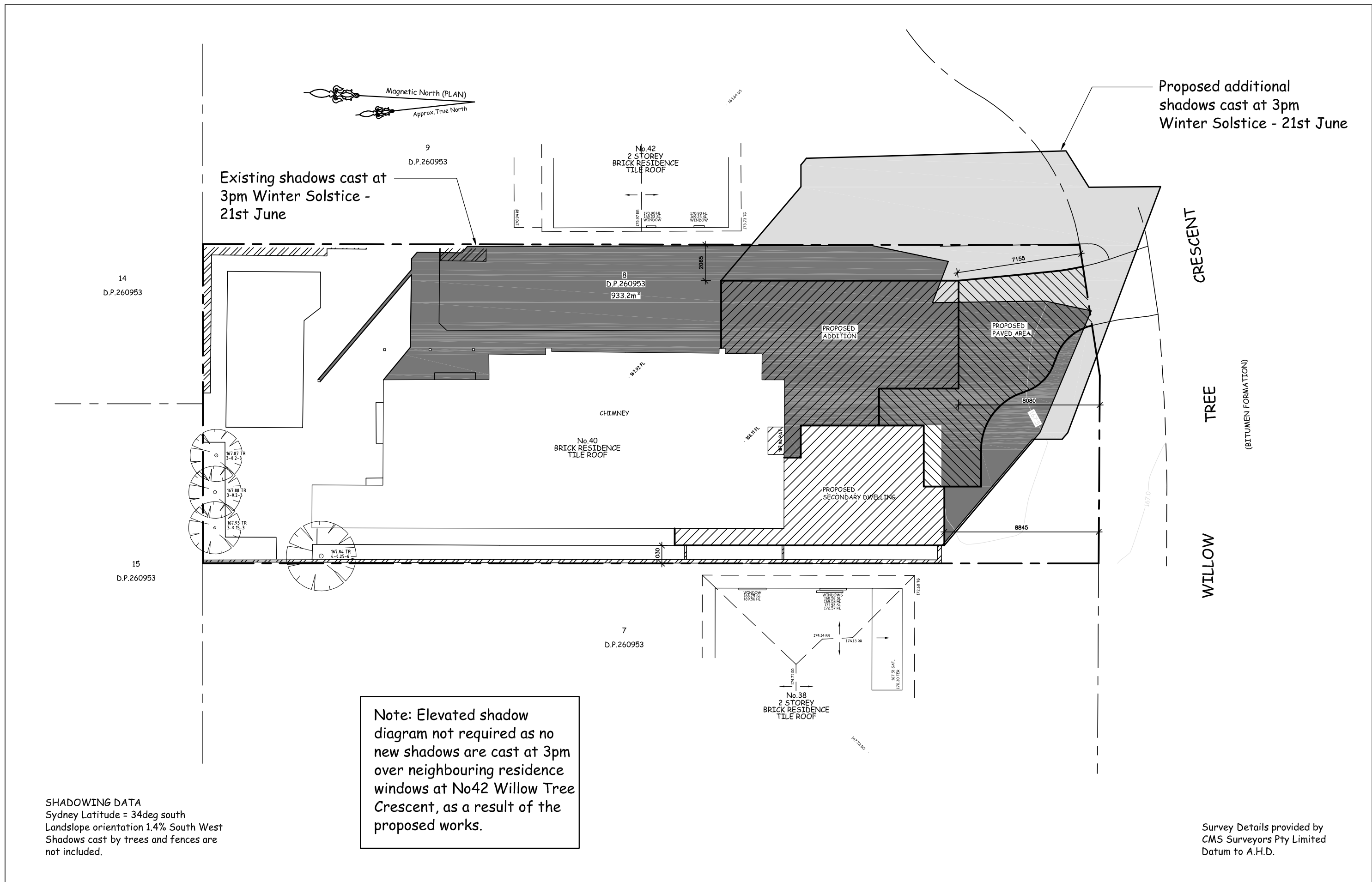
**ON-GOING WASTE MANAGEMENT**  
Residents to manage waste on a daily basis - by separating materials into re-usables, recyclables, waste and garden organics for inclusion in appropriate disposal bins. Bins to be placed kerbside on specified days for collection by council.

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Date	Amendments		<b>SALLY GARDNER DESIGN AND DRAFT</b>		<a href="http://www.designanddraft.com.au">http:// www.designanddraft.com.au</a>	Drawing Title <b>SEDIMENT CONTROL &amp; SITE MANAGEMENT PLAN</b>	Drawing Number <b>S3</b>	Rev. <b>-</b>	Drawn <b>R.G.</b>	Checked <b>S.G.</b>
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				<div>Drawing Title</div> <div>9am SHADOW DIAGRAM - WINTER SOLSTICE</div>		<div>Drawn</div> <div>R.G.</div>	<div>Checked</div> <div>S.G.</div>	<div>Drawing Number</div> <div>S4</div>	<div>Rev.</div> <div>-</div>
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Date		Amendments		<a href="http://www.designanddraft.com.au">http:// www.designanddraft.com.au</a>						Date 30 JULY, 2019				Rev. -	