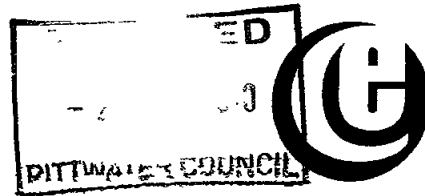


COUNCIL COPY

Bernie Cohen & Associates Pty Ltd Trading as
ESSENTIAL CERTIFIERS

ACN 100386650
ABN 84047117254



essentialCERTIFIERS

PO Box 208 Casula Mall NSW 2170 ☎ Level 1, 405 Hume Hwy, Liverpool 2170
Telephone (02) 9612 5000 ☎ Facsimile (02) 9612 5050

C C No

CONSTRUCTION CERTIFICATE

CC2011-00478

This certificate is issued by a Private Certifying Authority and verifies that if the applicant carries out the proposed work in accordance with the plans and specifications that are approved the work will comply with the Environmental Planning and Assessment Regulation 2000

COUNCIL

PITTWATER

APPLICANT

Name Royal Motor Yacht Club C/- James Clifford Const
Address 56 Bathurst Street, LIVERPOOL 2170
Contact no (telephone/fax) 96015177

OWNER

Name Royal Motor Yacht Club
Address 46 Prince Alfred Parade, NEWPORT 2106
Contact no (telephone/fax) 99975511

SUBJECT LAND

Address 46 Prince Alfred Parade, NEWPORT 2106
Lot No 262
DP - 752046

DESCRIPTION OF DEVELOPMENT

Type of Work Building work Subdivision

Description Minor alterations to the existing gaming level within the existing Royal Motor Yacht Club

Essential Certifiers Certificate No CC2011-00478

COUNCIL'S D/A CONSENT

Development Consent No	N0320/10
D A Approval Date	16/08/2010

BUILDING CODE OF AUSTRALIA BUILDING CLASSIFICATION	9b
---------------------------------------------------------------	----

BUILDER or OWNER/BUILDER

Name	James Clifford Construction
Contractor Licence No	n/a

\$ VALUE OF WORK

Building	\$400,000 00
----------	--------------

DATE C C APPLICATION RECEIVED

Date Received	21/10/2010
---------------	------------

DETERMINATION

Decision	Approved
Date of Decision	28/10/2010

ATTACHMENTS

- \$30 00 Cheque for Council Submission Fee
- Proposed Schedule of Essential Fire Safety Measures by Essential Certifiers dated 26/10/10
- Record of Inspection for Pre CC Site Inspection by Essential Certifiers dated 25/10/10
- Long Service Levy Receipt No 89635 dated 26/10/10
- Structural Adequacy Certificate by Cardno dated 19/10/10
- Sydney Water Approval/Stamp dated 21/10/10
- Structural Plans by Cardno
Drg No 609273-S001 Rev 1 dated 18/10/10

IMPORTANT NOTE It is the applicant's responsibility to ensure the mandatory PCA site sign supplied herewith, is displayed at this building site throughout construction

Essential Certifiers Certificate No CC2011 00478

**PLANS AND SPECIFICATIONS
APPROVED**

List plan no(s) and specifications
reference

- Architectual Plans by Altis Architecture Project No 822A 09
Drg No A101 Issue 01 dated 18/10/10
Drg No A102 Issue 02 dated 18/10/10
Drg No A103 Issue 03 dated 20/10/10
Drg No A201 Issue 02 dated 18/10/10
Drg No SK01 dated 20/10/10

RIGHT OF APPEAL

*under S109K where the Certifying Authority is a Council an applicant
may appeal to the Land and Environmental Court against the refusal to
issue a Construction Certificate or imposition of conditions on the
consent within 12 months from the date of the decision*

ACCREDITATION BODY

BUILDING PROFESSIONALS BOARD
10 Valentine Street, Parramatta NSW 2150

CERTIFICATE

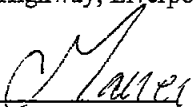
Certificate Final

I certify that the work if completed in accordance with these plans and
specifications (with such modifications verified by the Certifying
Authority as may be shown on that documentation) will comply with the
requirements of the Environmental Planning and Assessment Regulation
2000 as referred to in Section 81A(5) of the Environmental Planning
and Assessment Act 1979

CERTIFYING AUTHORITY

Name of Certifying Authority Essential Certifiers
Name of Accredited Certifier Chris Manzi
Accreditation No BPB0248
Contact No (02) 9612-5000
Address Level 1, 405 Hume Highway, Liverpool NSW 2170

SIGNED



Essential Certifiers Certificate No CC2011-00478



essentialCERTIFIERS

ESSENTIAL FIRE SAFETY MEASURES

The following is a list of essential fire safety measures that are applicable to this building under Clause 166 of the EP&A regulations 2000

Proposed Schedule of Essential Fire Safety Measures

Essential Service	Australian Standard	Building Code of Australia
Emergency Lighting	AS 2293 1 2005	E4 4
Exit Signs	AS 2293 1 2005	E4 8
Fire Collars	AS 1530 4 2005	Spec C3 15
Portable fire extinguishers	AS 2444 - 2001	E1 6

Note All existing and proposed fire safety measures are to be assessed annually and a copy referred to the relevant local council and to the NSW Fire Brigades. The Annual Fire Safety Statement is to be prominently displayed in each building

RECEIVED

COUNCIL COPY



BY

Bernie Cohen and Associates Pty Ltd T/As Essential Certifiers Liverpool
ABN 84047117254

PO Box 208 Casula Mall NSW 2170
Level 1 405 Hume Highway
Liverpool NSW 2170

P 02 9612 5000
F 02 9612 5050
E info@essentialcertifiers.com.au
www.essentialcertifiers.com.au

essentialCERTIFIERS
LIVERPOOL

CONSTRUCTION CERTIFICATE APPLICATION FORM

Construction Certificate In accordance with Clause 139, Part 8, Division 2 of the Environmental Planning and Assessment Regulations 2000

PART A – Identification of the Land

Lot No 262 Street No 46 DP No 752046

Street PRINCE ALFRED PDE Suburb NEWPORT Postcode 2106

PART B – Owners Details

Mr Mrs Miss Other

Surname/s

First names/s

Company/Organisation ROYAL MOTOR YACHT CLUB

Full Address of Owner 46 PRINCE ALFRED PDE, NEWPORT NSW 2106

Phone 9997 5511 Mobile

Fax 9997 4318 Email info@royalmotor.com.au

PART C – Applicant Details (Person having Benefit of Development Consent) within the meaning and under the EP&A ACT 1979

Mr Mrs Miss Other

Surname/s

First Name/s

Company/Organisation ROYAL MOTOR YACHT CLUB

Full Address of Applicant 46 PRINCE ALFRED PDE, NEWPORT NSW 2106

Phone 9997 5511 Mobile

Fax 9997 4318 Email info@royalmotor.com.au

Owners Declaration

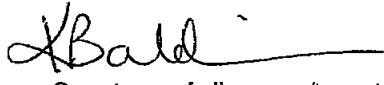
I/we understand that this engagement shall be subject to the Terms and Conditions in the fee proposal (if any)

I/we as owners/applicants of the land to which the application relates I/we consent to the making of the application I/we also give consent for officers/certifiers of Essential Certifiers Liverpool to enter the land to carry out inspections relating to this application

I/we declare that I/we will notify Essential Certifiers Liverpool to carry out any critical stage inspection or make arrangements with the Builder to carry out this function on my/our behalf as a condition of my/our Building contract

Royal Motor Yacht Club
Name of all owners/tenants

Name of all applicants



Signatures of all owners/tenants

Signatures of all applicants/tenants

Date 19/10/10

Date

PART D – Billing Details

Billing Name JAMES CLIFFORD CONST P/L ABN

Billing Address PO BOX 258, LIVERPOOL BC NSW 1871

PART E – Appointment of Agent

As the owner(s) of the above property I/ we consent to information being provided to the following parties (who act on my/our behalf as an agent) during the course of my/our application

Name of person(s) /company/organisation of Agent JAMES CLIFFORD CONSTRUCTION

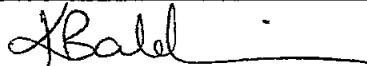
Agent Address 56 BATHURST ST LIVERPOOL NSW 2170

Phone/Fax Agent 9601 5177 / 9821 1069

Email dl@jamesclifford.com.au

Owner(s)/ Tenants Name

Signatures of all owners/tenants



Date 19/10/10

PART F – Builders Details Owner Builders Details

Name **JAMES CLIFFORD CONST** License No/ Owner Builder Permit No

Address **56 BATHURST ST LIVERPOOL NSW 2170**

Phone **9601 5177**

Mobile **0418 695 145**

Fax **9821 1069**

Email **dl@jamesclifford.com.au**

PART G – Description of Development

Describe the work to be carried out

MINOR ALTERATIONS WITHIN EXISTING CLUB

Cost of Development \$ **400,000**

Your Ref

Number of Stores

Number of Structures

Building Classification

Has development consent been granted for the development?

No

Yes

Consent Number **N0320/10**

Date of Determination **16 AUG 2010**

Council Area **PITTWATER COUNCIL**

Has a Section 96 Modification been granted for the development?

No

Yes

Modification Number

Date of Modification



essentialCERTIFIERS
LIVERPOOL

**SCHEDULE OF DETAILS FOR THE
AUSTRALIAN BUREAU OF STATISTICS**

CONSTRUCTION CERTIFICATE NUMBER

PARTICULARS OF THE PROPOSAL

All New Buildings

Area of subject site (m²) 15,000 m² (1504ha)

Does the site contain dual occupancy? No Yes

Current use of existing building/s on the subject site (if vacant state vacant) CLUB

Floor area of existing building/s in m² except if being demolished 1690 sqm

Gross floor area in m² of proposed addition/s or new building/s If multiple buildings please itemise 1690 sqm

Proposed use of all parts of the addition/s or new building/s CLUB

Residential Dwellings Only

Number of pre existing dwellings	Number of dwellings to be demolished
Number of proposed new dwellings	Number of storeys of proposed dwelling

Materials Used in Building

Tick the box alongside which best describes the material/s to be used in the construction of the proposed new work/s

WALLS	ROOF	FRAME	FLOOR
Brick Veneer	<input checked="" type="checkbox"/> Aluminium	Timber	<input checked="" type="checkbox"/> Concrete
Full Brick	<input checked="" type="checkbox"/> Concrete	Steel	<input checked="" type="checkbox"/> Timber
Single Brick	Concrete Tiles	Other (describe below)	Other (describe below)
Concrete Block	Fibrous Cement		
Concrete/Masonry	Fibreglass		
Concrete	Masonry Shingle		
Steel	Terracotta Shingle		
Fibrous Cement	Tiles – other		
Hardiplank	Slate		
Timber/Weatherboard	Steel	<input checked="" type="checkbox"/>	
Cladding/Aluminium	Terracotta Tiles		
Curtain Glass	Other (describe below)		
Other (describe below)			

Bernie Cohen & Associates Pty Ltd Trading as

ESSENTIAL CERTIFIERS

ACN 100386650
ABN 84047117254



essentialCERTIFIERS

PO Box 208 Casula Mall NSW 2170 ☎ Level 1, 405 Hume Hwy, Liverpool 2170
Telephone (02) 9612 5000 ☎ Facsimile (02) 9612 5050

RECORD OF INSPECTION

CC No CC2011 00478
COUNCIL PITTWATER

Type of Inspection Pre CC Site Inspection
Date of Inspection 25/10/2010
Applicant Name Royal Motor Yacht Club C/ James Clifford Const
Owner Name Royal Motor Yacht Club
Builder Name James Clifford Construction

SUBJECT LAND
Address 46 Prince Alfred Parade, NEWPORT 2106

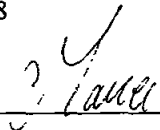
COUNCIL'S D/A CONSENT
Development Consent No N0320/10
D A Approval Date 16/08/2010

CERTIFICATE DETERMINATION
Decision
Date of Decision

RESULT OF INSPECTION
Result Satisfactory
Re Inspection Required No

CERTIFYING AUTHORITY
Name of Certifying Authority Essential Certifiers
Name of Accredited Certifier Chris Manzi
Accreditation No BPB0248

Signature



Essential Certifiers Certificate No CC2011 00478

26 October 2010

Building and Construction Industry
Long Service Payments Corporation
Level 1
19 21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel 13 14 41
Fax. (02) 9287 5685
Email. info@lspc.nsw.gov.au
www.lspc.nsw.gov.au
ABN 93 646 090 808

ROYAL MOTOR YACHT CLUB
PO BOX 258
LIVERPOOL NSW 1871

As per your request for a copy of your receipt no 00089635 dated 26 October 2010, the following information is provided

Received from (Name of person or organisation paying for levy)	the amount of
ROYAL MOTOR YACHT CLUB	\$1,400 00

Payment details

being payment for Long Service Levy as detailed below

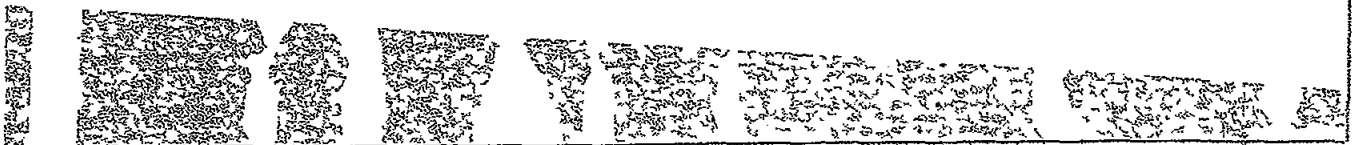
Levy Payment Form number	5009548
Council/Department/Authority	PITTWATER COUNCIL
D A. Number	DA320-10
Work address	46 PRINCE ALFRED PARADE NEWPORT NSW 2106
Estimated value of work	\$400,000 00
Levy payable (No exemption)	\$1,400 00
Total levy paid	\$1,400 00

Signed



Date 26/10/10

95972





Our Ref 609273_LO-1 CF

Contact Cosmo Fannola

19 October 2010

James Clifford Construction
56 Bathurst Street
LIVERPOOL NSW 2170

Attention Mr Derek Lee

Dear Sir,

**PROPOSED ALTERATIONS & ADDITIONS AT THE
ROYAL MOTOR YACHT CLUB, NEWPORT (HORSESHOE ROOM)**

This is to certify that it is our opinion that the existing building structure at the above property is structurally adequate to support the proposed alterations and additions as documented on Architectural Drawing No's 822A O9/A101, A102, A103 & A201 dated May 2010 and prepared by Altis Architecture and in accordance with our Structural Drawing 609273-S001

Yours faithfully

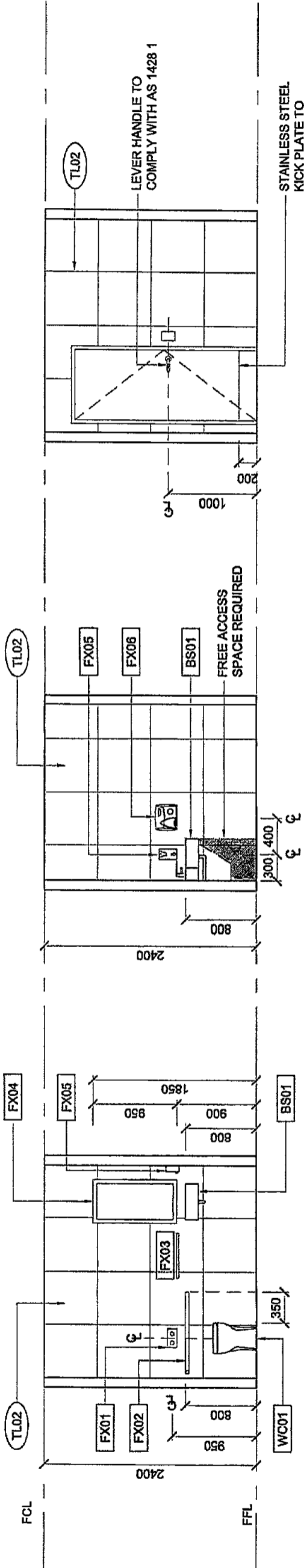
Cosmo Fannola BE MIE NPER
Principal - NSW Building Structures
for Cardno

Cardno (NSW/ACT) Pty Ltd
ABN 95 001 145 035

Level 3
Cardno Building
910 Pacific Highway
Gordon NSW 2072
Australia

Phone 61 2 9496 7700
Fax 61 2 9499 3902

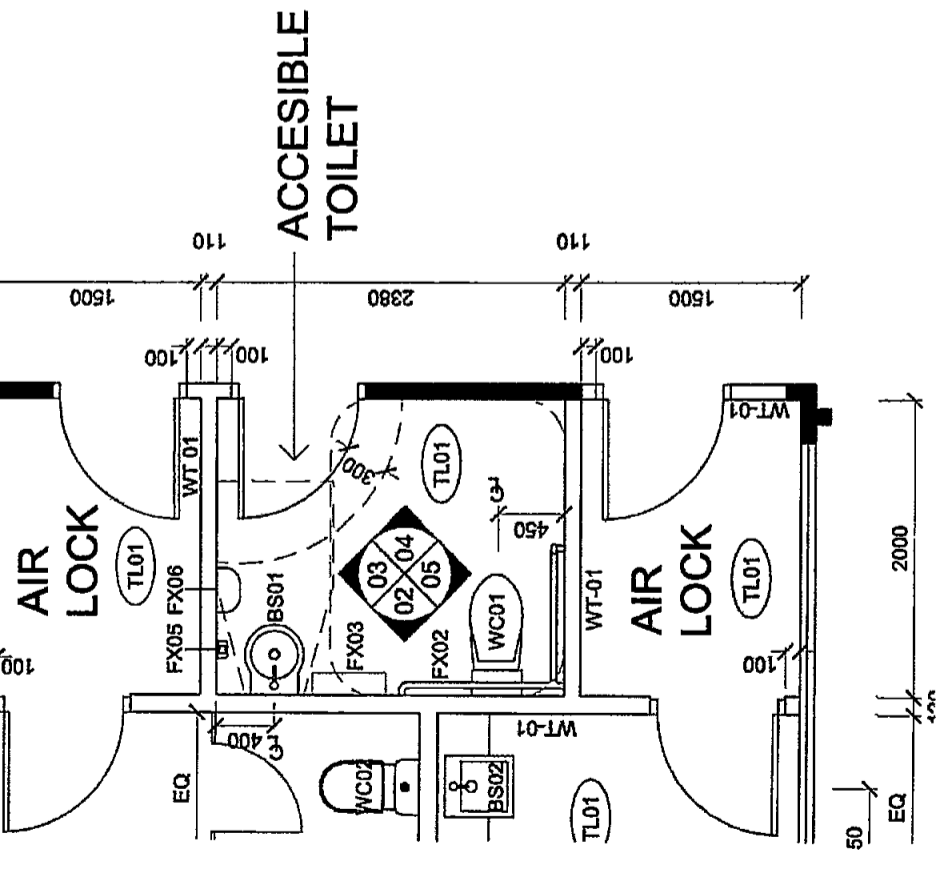
www.cardno.com.au



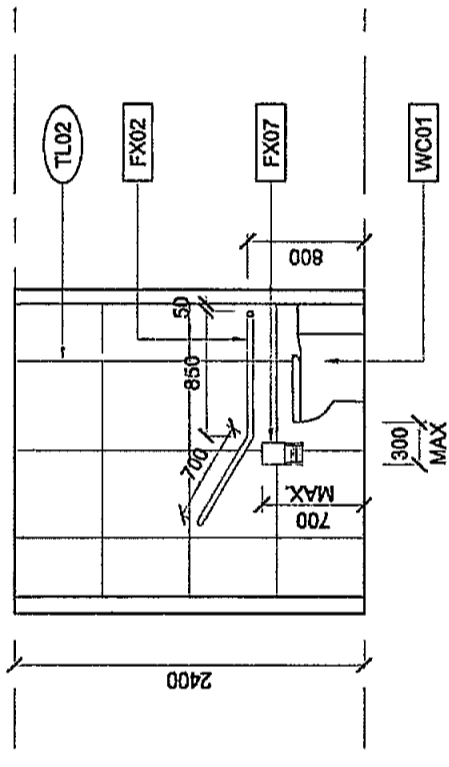
02 ELEVATION
SCALE 1:50

03 ELEVATION
SCALE 1:50

04 ELEVATION
SCALE 1:50



01 FLOOR PLAN
SCALE 1:50



05 ELEVATION
SCALE 1:50

- LEGEND
- FX01 - PUSH BUTTON
 - FX02 - STAINLESS STEEL GRABRAIL
 - FX03 - STAINLESS STEEL SHELF
 - FX04 - MIRROR
 - FX05 - SOAP DISPENSER
 - FX06 - HAND DRYER
 - FX07 - TOILET PAPER HOLDER
 - TL01 - FLOOR TILE
 - TL02 - WALL TILE

Essential Certifier's Certificate No

11/00478

Officer C. Manzi
Accreditation No BPB0248

COUNCIL COPY

ALTIS architecture P 02 9384 9000 02 9571 7930 lower deck Jones Bay wharf Suite 123 / 25 32 Pirrama Road Pyrmont NSW 2009 Australia SCALE 1:50 @ A3	DRAWING TITLE: DISABLED TOILET DETAILS	DRAWING NO: SK 01
	PROJECT: ROYAL WATER YACHT CLUB	PROJECT NO: 822A 09
DATE: 20 10 10		REV: 01



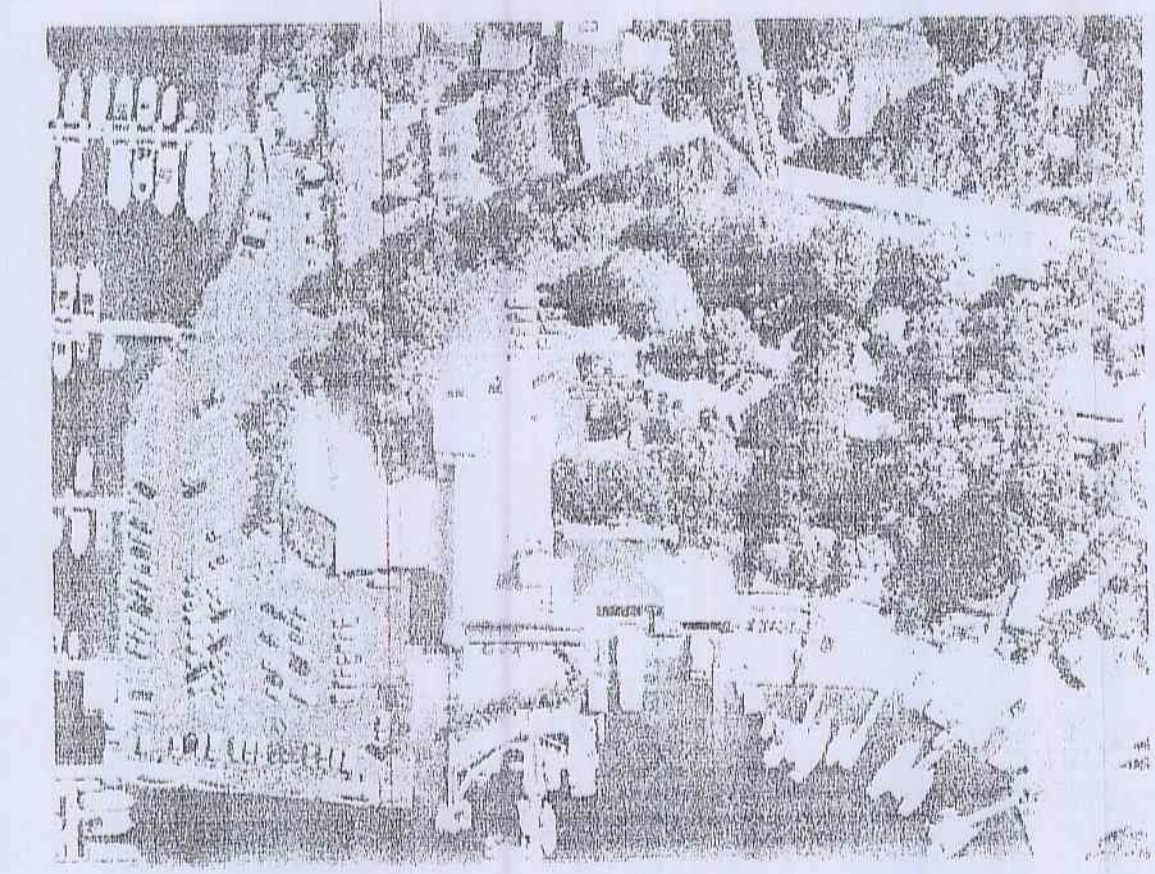
SITE PLAN
SCALE: 1:200

SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainier.
3. It is the responsibility of the applicant to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No: 3447296

Reece, Wetherill Park
Quick Check Agent on behalf of
SYDNEY WATER
Per: [Signature] 21.10.10
Internal fit out only

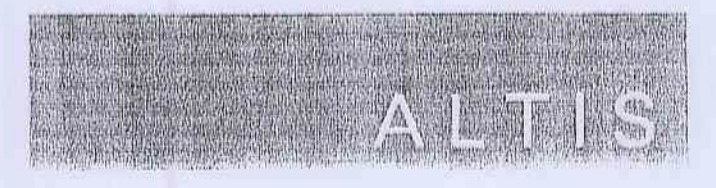
COUNCIL COPY



01 AERIAL VIEW
NTS

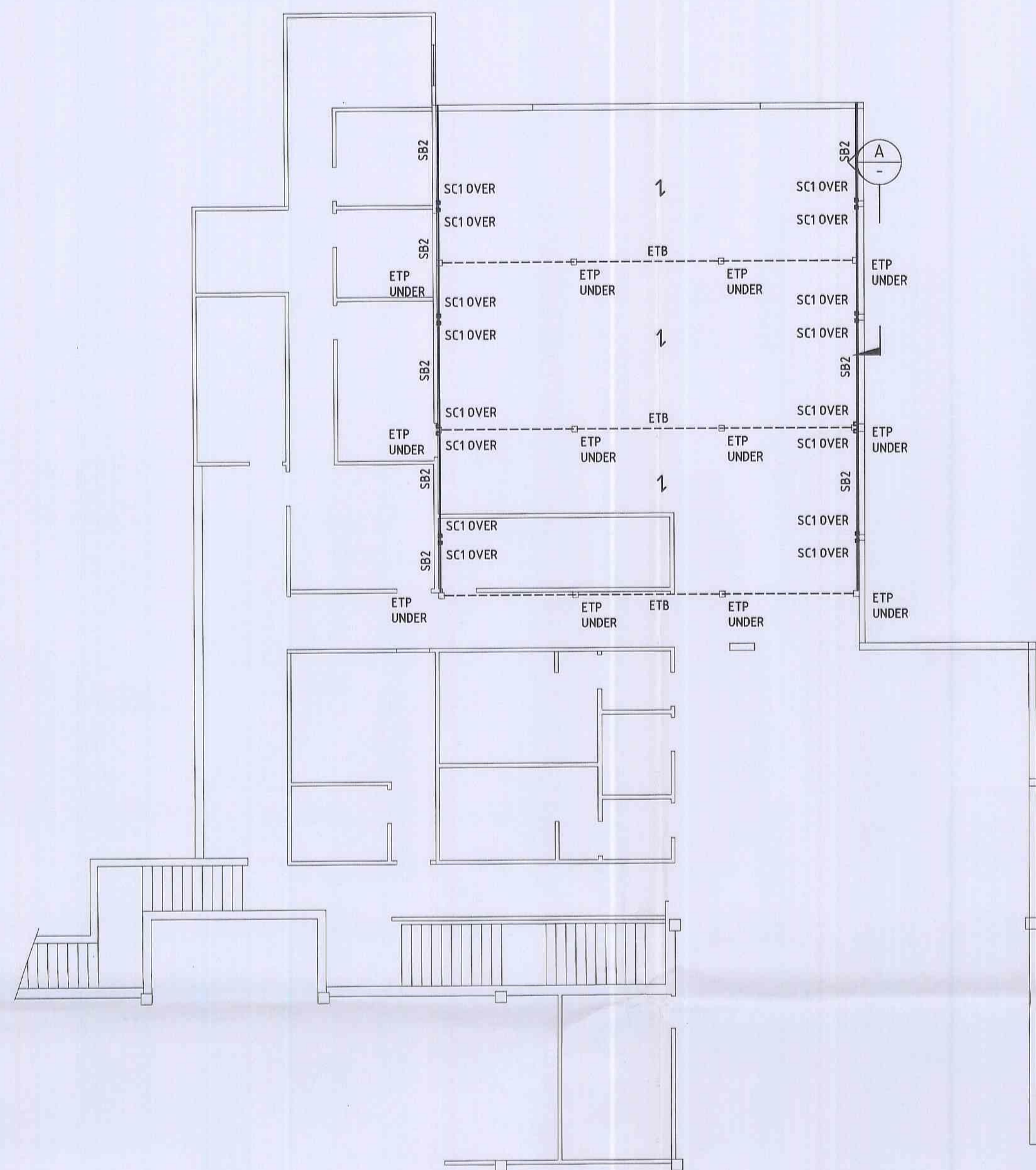
LEGEND:
 EXISTING CONSTRUCTION TO REMAIN
 PROPOSED EXTERNAL WORKS

ROYAL MOTOR YACHT CLUB
 BAR LOUNGE UPGRADE WORKS
 46 Prince Alfred Parade,
 Newport Beach NSW 2106



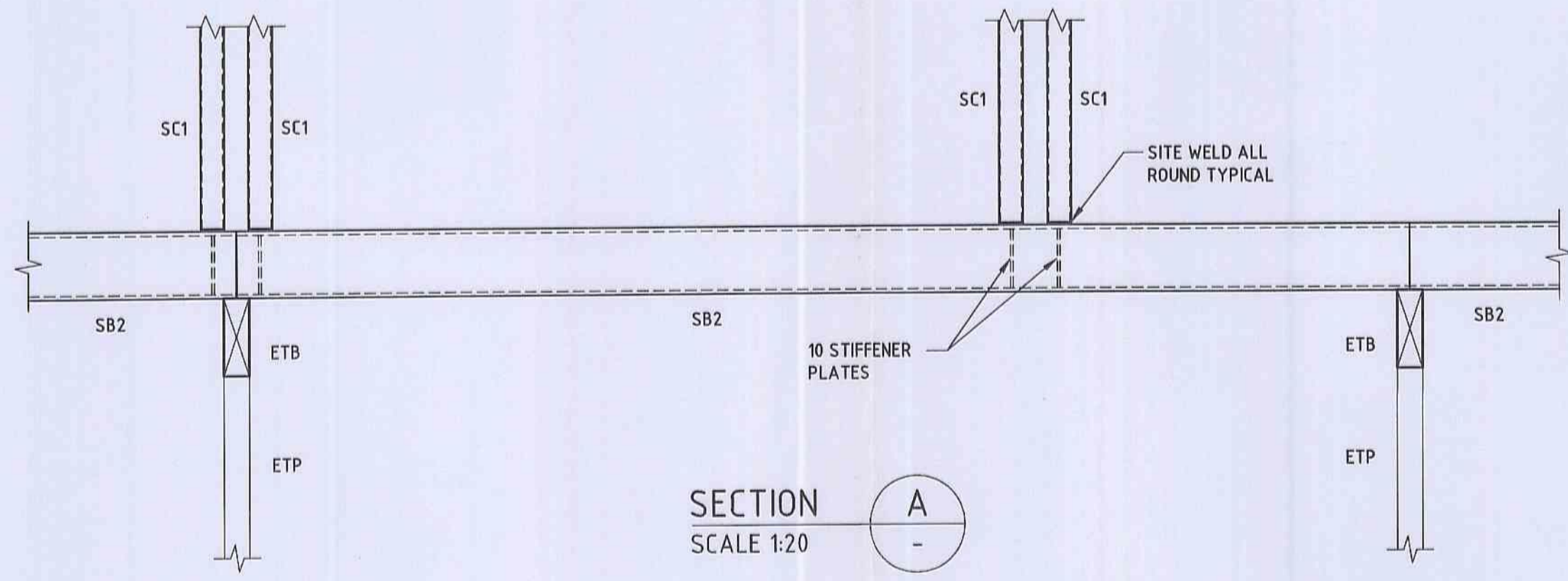
PITTWATER COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE DEVELOPMENT CONSENT CONDITIONS.
 THE PLANS ARE THE PROPERTY OF PITTWATER COUNCIL AND WILL BE DESTROYED UPON REQUEST.
 SCALE: 1:200 @ A1
 DATE: MAY 2010
 PROJECT: 822A.09
 SHEET: A101 A



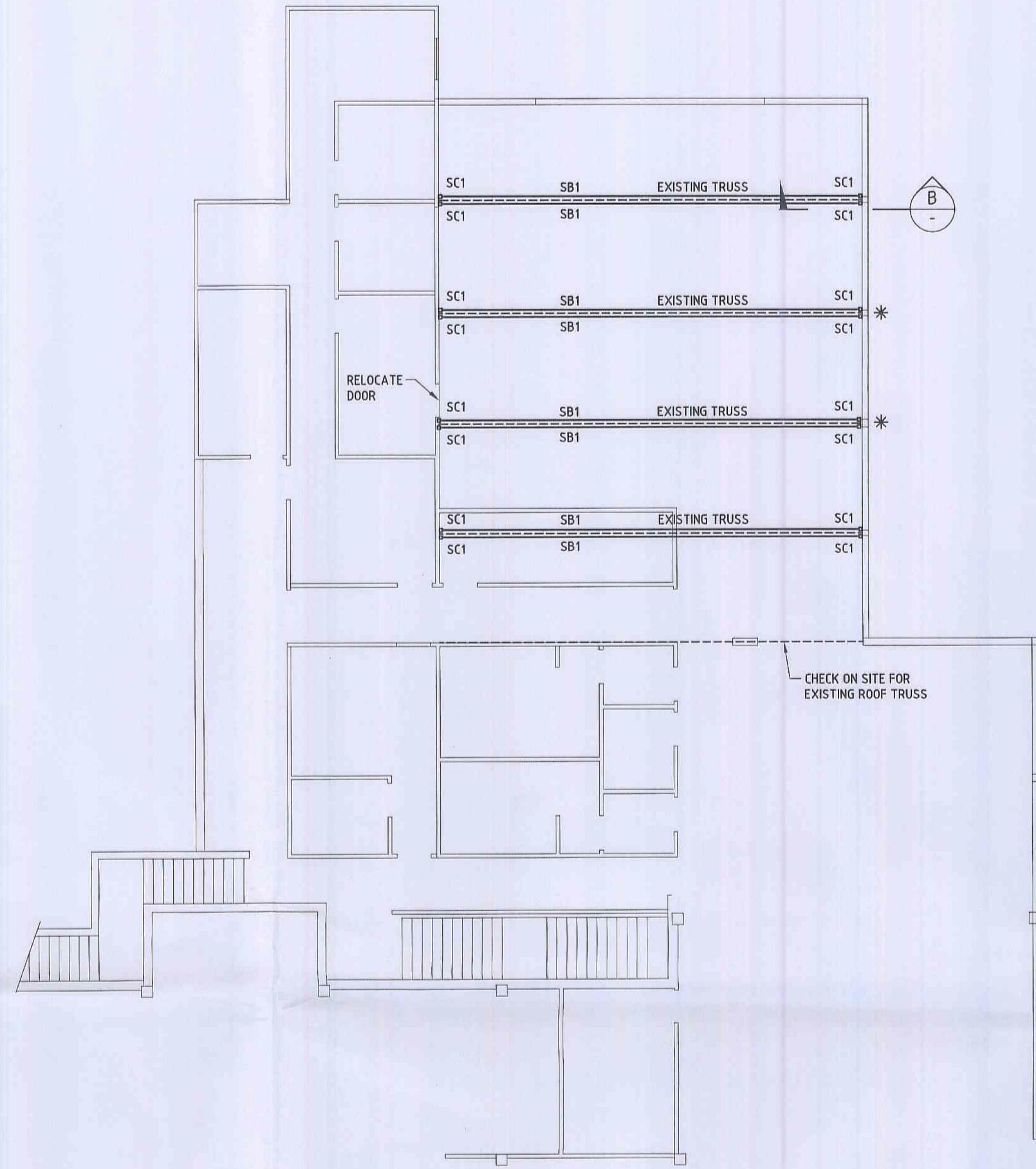
EXISTING FLOOR STIFFENING BEAM PLAN - HORSESHOE COVE ROOM
 SCALE 1:100

- FLOOR BEAM SB2 --- 250 PFC
 ETP --- EXISTING TIMBER BEARER
 SC1 --- 90x90x6 SHS
 ETP --- EXISTING TIMBER POST
 EXISTING FLOOR JOIST DIRECTION (290x45 AT 450 CTS)



SECTION A
 SCALE 1:20

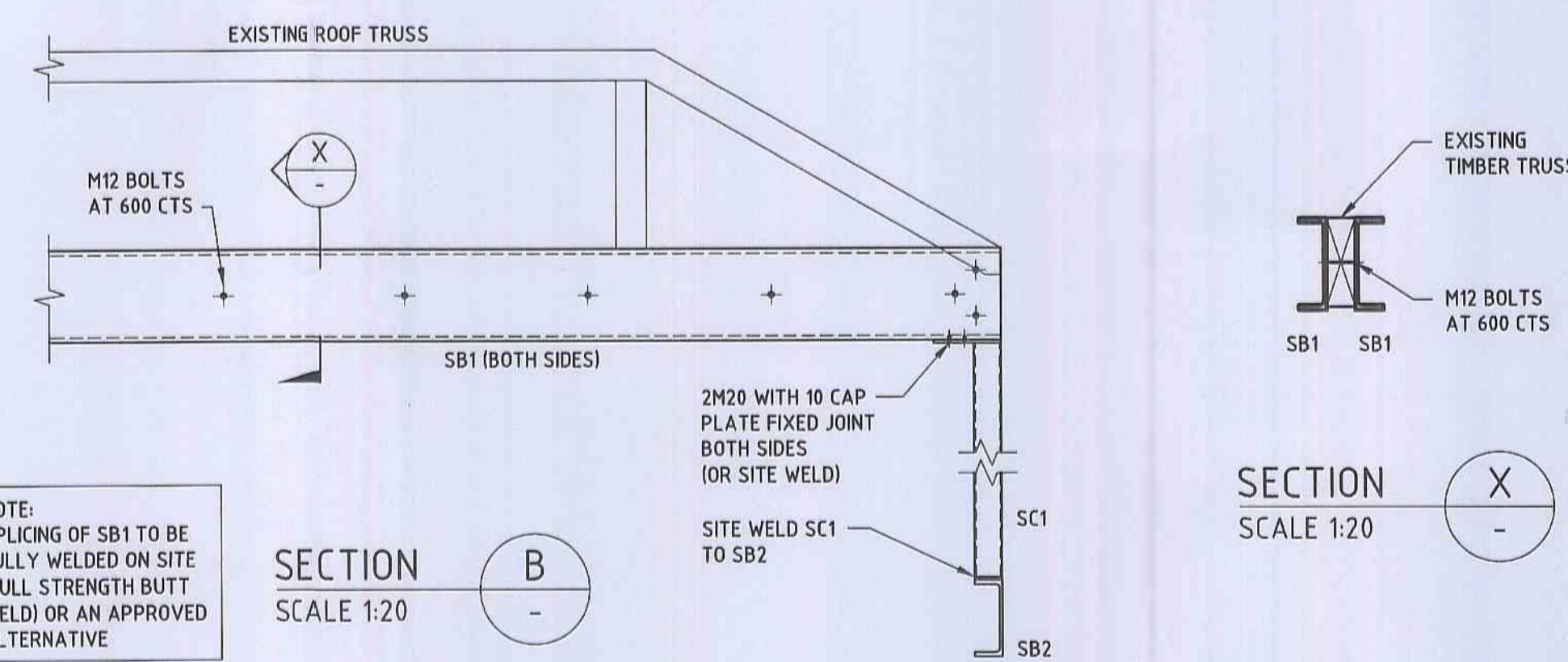
NOTE:
 SPLICING OF SB1 TO BE FULLY WELDED ON SITE (FULL STRENGTH BUTT WELD) OR AN APPROVED ALTERNATIVE



EXISTING ROOF TRUSS - STIFFENING PLAN
 SCALE 1:100

- STIFFENING BEAM SB1 --- 300 PFC
 COLUMNS SC1 --- 90x90x6 SHS

NOTE
 * ALLOW TO FIX NEW STEEL COLUMNS SC1 TO EXISTING TIMBER POSTS. DETAIL TO BE CONFIRMED ON SITE (ALLOW FOR 100x100x10 ANGLE + 2M12 BOLTS AT THIRD POINTS)



SECTION B
 SCALE 1:20

SECTION X
 SCALE 1:20

- GENERAL NOTES**
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE SUPERINTENDENT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
 - MATERIALS AND WORKMANSHIP SHALL BE ACCORDANCE WITH THE RELEVANT AND CURRENT SAA CODES, LOCAL GOVERNMENT REQUIREMENTS OR OTHER RELEVANT BUILDING AUTHORITY.
 - ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER OR THE ENGINEER'S DIMENSIONS SHALL NOT BE SCALD.
 - DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. THE OCCUPATIONAL HEALTH AND SAFETY ACT AND WORKCOVER CODES OF PRACTICE SHALL BE COMPLIED WITH.
 - U.N.O. DIMENTS "UNLESS NOTED OTHERWISE". ALL DIMENSIONS SHOWN ARE IN MILLIMETRES UNDO.

- FOUNDATIONS**
- FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100 kPa U.N.O. FOUNDATION MATERIAL SHALL BE APPROVED FOR THE PRESSURE. REPAIRS TO CONCRETE IN FOOTINGS.
 - REFER TO GEOTECHNICAL REPORT NO. _____ BY _____

- LOADING**
- SUPERIMPOSED FLOOR LOADS ARE GENERALLY IN ACCORDANCE WITH AS/NZS1091.1 OR AS NOTED IN TABLE 1.1.
 - WIND LOADS ARE IN ACCORDANCE WITH AS/NZS1091.2 AS FOLLOWS:
 REGION = A BULK WIND VELOCITY $V_w = 45$ MPA TERRAIN CATEGORY = 3
 - EARTHQUAKE LOADS ARE IN ACCORDANCE WITH AS1171 PART 4 AS FOLLOWS:
 REGION = 1
 - LIVE LOADING: $S = 1$

Element	Design Live Load kPa
ROOF	0.25
GROUND FLOOR UNO	5.0

- STEELWORK NOTES**
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SAA CODE AS 1100 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
 - STEELWORK SHALL BE USED FOR BARS AND SECTIONS TO AS 3678 GRADE 355 MPa FOR YELLOW SECTIONS TO AS 183 GRADE 450 MPa FOR COLD FORMED SECTIONS TO AS 1037.
 - FLAT TOPS OF SHAPED STEEL BEAMS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE COMMENCING FABRICATION. APPROVAL SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR CORRECTNESS OF DIMENSIONS OR COMPLIANCE WITH THE CONTRACT DOCUMENTS.
 - ALL WELDS SHALL BE E48 ELECTRODE 4mm CONTINUOUS FILLET WELDS IN FEM U.N.O. AND WILL BE CATEGORY OF 1B AS 1551.
 - ALL BOLTS TO BE GALVANNEED. ALL BOLTS TO BE M20 GRADE 8.8 IN 2mm CLEARANCE HOLES U.N.O. PLATES, CLEATS AND FITTINGS SHALL BE 3mm PLATE U.N.O.
 - ALL WELDING SHALL BE IN ACCORDANCE WITH AS 1554.
 - ALL STEELWORK EXPOSED TO VIEW SHALL HAVE WELD CAPPLER, FLOW SMOO, BURRS, ETC. REMOVED AND ALL SEALING AND BUTT WELDS GROUND FLATS. ALL EXTERNAL FILLET WELDS TO BE CONTINUOUS.
 - HIGH STRENGTH BOLTS SHALL BE GRADE 8.8 CONFORMING AS 1552 AND INSTALLED IN ACCORDANCE WITH AS 1554. TIGHTENING APPROVED LOAD INDICATOR WASHERS FOR T8 AND T7.
 - DIAPHRAGM BRACING SHALL BE GRADE 4.8 OR 8.8 BOLTS.
 - DIAPHRAGM BRACING SURFACE MUST BE UNPAINTED, GRADE 8.8 BOLTS.
 - ALL CLAYS AND DRILL HOLE FOR FRAMING, TIMBER JOISTS ETC. TO BE PROVIDED BY THE CONTRACTOR. PROPRIETARY ITEMS (e.g. PULVER BOLTS) TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
 - CONCRETE ENCASED STRUCTURAL STEELWORK SHALL BE UNPAINTED AND ENCASED WITH F6M4 MESH. PROVIDE 20mm COVER TO MESH FOR ENCASED STRUCTURAL STEELWORK.
 - INTERNAL STEELWORK SHALL BE GIVEN TWO COATS OF ZINC PHOSPHATE TO A DRY FILM THICKNESS OF 50um UNO. BEFORE ENCASED OR PAINTING STEELWORK TO BE CLEAN OF ALL LOOSE RUST, MULL, SCALE, DIRT AND OIL TO CLASS 2 AS 1077.
 - EXTERNAL STEELWORK SHALL BE PAINTED IN ACCORDANCE WITH AS 2387 - 390A.
 - WHERE NOTED GALVANNEED STEELWORK SHALL BE CHEMICALLY DESEALED AND CLEANED BEFORE GALVANNEED BY IMMERSION IN A BATH OF HYPER ZINC TO PRODUCE A ZINC COATING OF 140um IN ACCORDANCE WITH AS 1067.
 - ALL TRANSPORT AND STORAGE ABRASIONS, SITE WELDS, ETC. SHALL BE REMOVED BY THOROUGHLY WIRE BRUSHING ALL AFFECTED AREAS TO A CLEAN SOUND SUBSTRATE AND PATCH COATED AS FOR PRIMING EXCEPT THAT THE MINIMUM FILM THICKNESS SHALL BE 50% GREATER THAN THE ORIGINAL PRIMER.
 - THE CONTRACTOR SHALL PROVIDE ADDITIONAL TEMPORARY BRACING TO ADEQUATELY AND SAFELY HOLD STEELWORK IN POSITION DURING CONSTRUCTION.
 - PROVIDE ROOF SHEET SUPPORT ANGLES AT ALL ROOF RIPS AND VALLEYS.
 - ALL PURLIN BRIDGING TO EXTEND TO FACIA MEMBER, TO AND BETWEEN ROOF PURLINS OTHER HOT-DIP GALVANIZED STEEL SECTION AS APPLICABLE.

- TIMBER NOTES**
- ALL TIMBER DESIGN, CONSTRUCTION AND MATERIAL TO BE TO AS1728.1, AS1728.2 AND NEW SOUTH WALES TIMBER FRAMING MANUAL.
 - ASNA SHALL BE APPLIED TO DOMESTIC CONSTRUCTION UNLESS OTHERWISE SPECIFIED.
 - SOFTWOOD TO BE MINIMUM GRADE F13.0. HARDWOOD TO BE MINIMUM GRADE F6.
 - EXTERNAL TIMBER TO BE EITHER HARDWOOD DURABILITY CLASS 3 OR CLASS 4 AS PER AS1728.2 OR IMPROVED TO PRE GRADE F7. PRESERVE TREATED TO A5.0A AND BE RE-COATED PRIOR TO USE. SUPPLEMENTARY TREATMENT SHALL BE APPLIED TO ALL CUT SURFACES. SUPPLY SUPPORTING DOCUMENTATION FOR PRESERVATIVE TREATMENT.
 - TRUSS TRUSSES TO BE PRE-CAMBERED AN AMOUNT EQUAL TO DEAD LOAD DEFLECTION. THREE (3) COPIES OF ROOF BEAMS ARE TO BE SUBMITTED TO THE ENGINEER FOR APPROVAL CLEARLY SHOWING THE DESIGN LOADS ON THE ROOF AND CEILING AND TRUSS NEED POINT LOADS AND PRECAMBER WAGERS UNDER HEADS AND NITS TO BE AT LEAST 1.5 TIMES BOLT DIAMETER.
 - TRUSS DIMENSIONS ON THE DRAWING TO BE DIMENSIONS AND THICKNESS TO BE:
 UNSEASONED SOFTWOOD: $F7-10$ mm
 SEASONED SOFTWOOD: $F7-2$ mm
 UNSEASONED HARDWOOD: $F7-10$ mm
 SEASONED HARDWOOD: $F7-2$ mm
 UNSEASONED HARDWOOD: $F7-10$ mm (SEE ALSO CLAUSE 18.2 IN AS1728)
 - ALL TIMBER JOINTS AND NOTICES ARE TO BE 10mm MINIMUM AWAY FROM JOINTS, SEVERE SLOPING GRAIN, SLAM VENTS OR OTHER MINOR DEFECTS.

ESSENTIAL CERTIFIERS LIVERPOOL
 Structural Details C.C. No: 11478
 WARNING: A comprehensive check of the Structural Design has not been carried out. The approval of the drawings by Essential Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

Rev	Date	Description	BZL	CF
1	18/10/2010	PRELIMINARY ISSUE	BZL	CF

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Drawn	Date	Client
BZL		ROYAL MOTOR YACHT CLUB NEWPORT
Checked	Date	
CF		BAR LOUNGE UPGRADE WORKS AT 46 PRINCE ALFRED PARADE NEWPORT BEACH
Designed	Date	
CF		EXISTING FLOOR STIFFENING BEAM PLAN AND DETAILS
Verified	Date	
Approved	Date	

ROYAL MOTOR YACHT CLUB NEWPORT

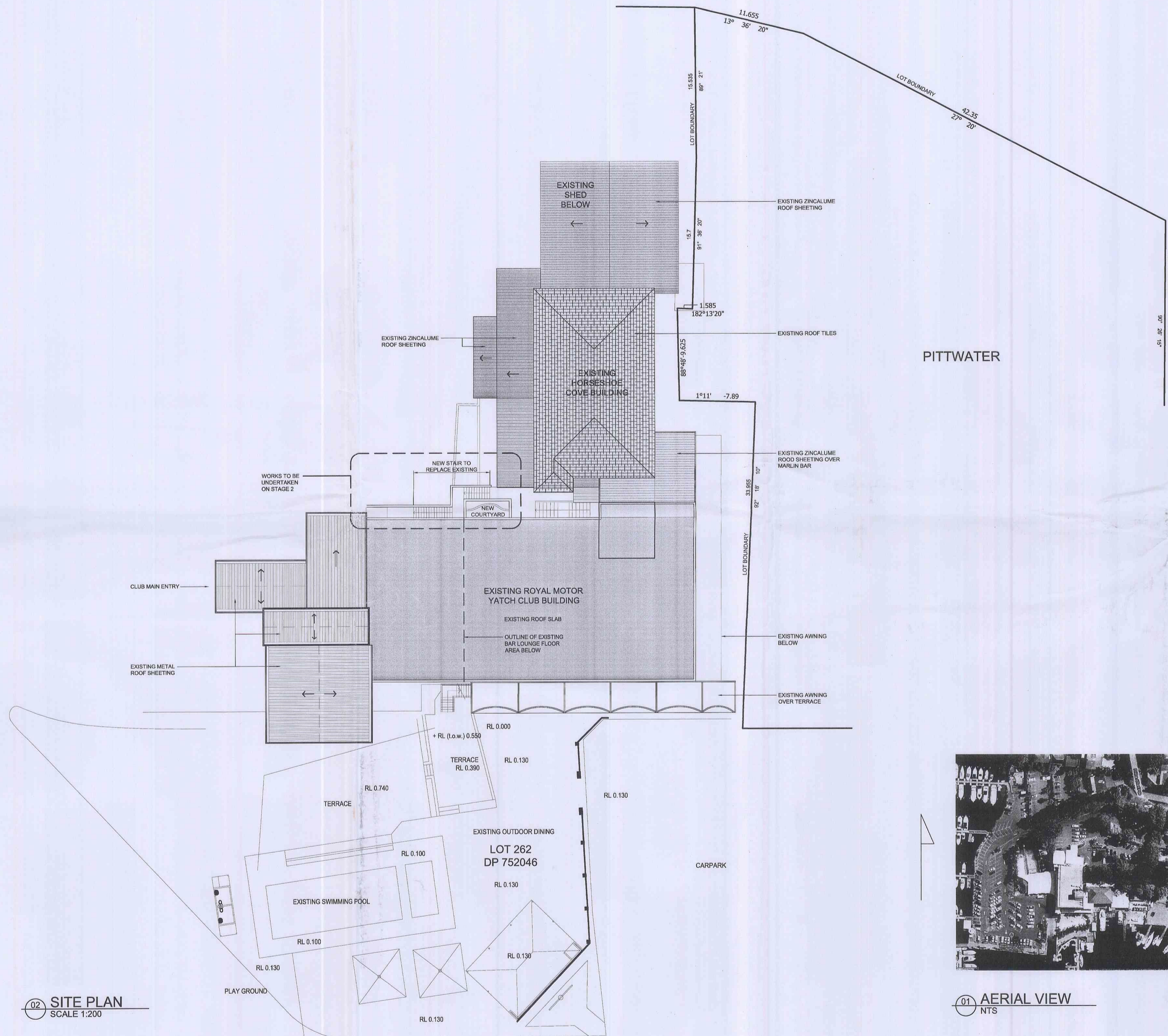
BAR LOUNGE UPGRADE WORKS AT 46 PRINCE ALFRED PARADE NEWPORT BEACH

NOT FOR CONSTRUCTION

Date: 14/10/2010 Datum: AHD Scale: 1:100, 1:20 Size: A1
 Drawing Number: 609273-S001 Revision: 1

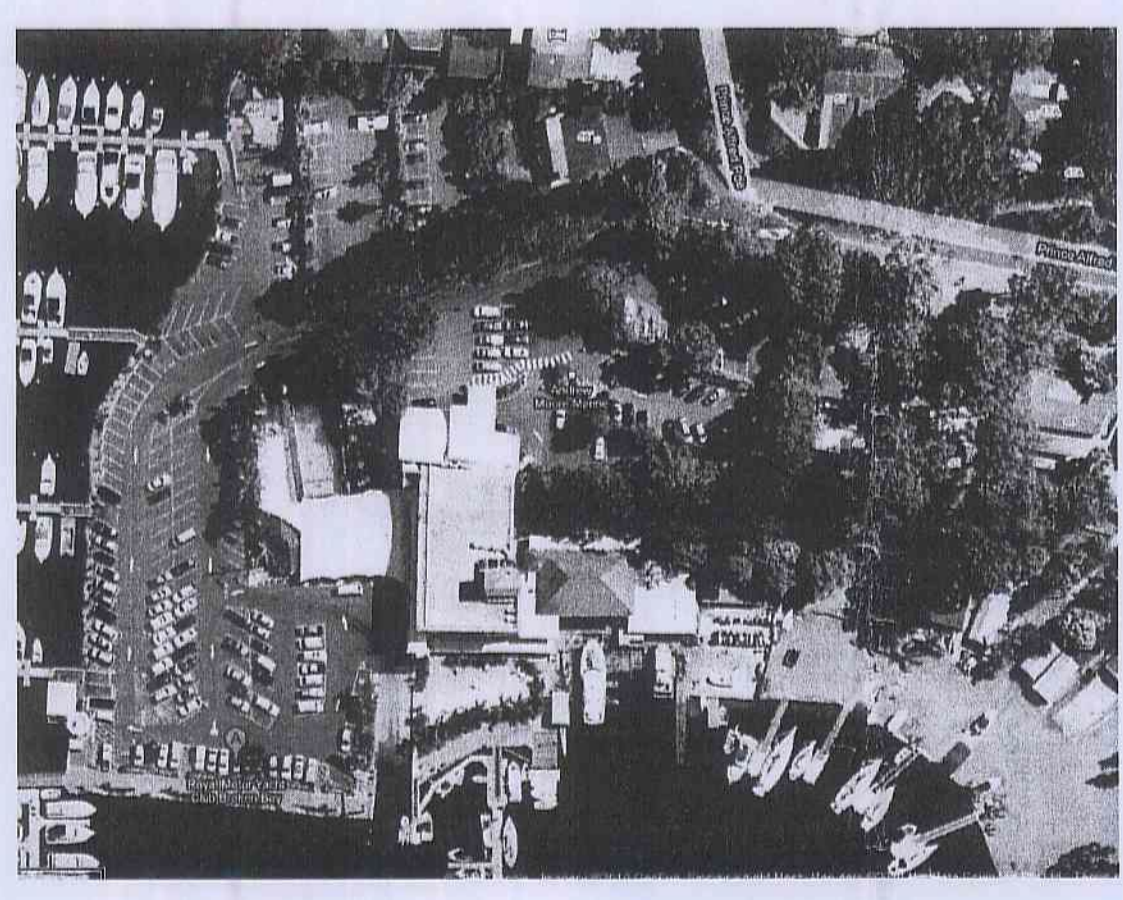
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ISSUE	DATE	DESCRIPTION
01	18.10.10	CONSTRUCTION CERTIFICATE ISSUE



PITTWATER

02 SITE PLAN
SCALE 1:200



01 AERIAL VIEW
NTS

LEGEND:
 EXISTING BUILDING TO REMAIN
 STAGE 1 WORKS AREA OUTLINE

This is the plan/spec referred to in
Essential Certifier's Certificate No.

11/00478

Officer: C. Manzi
Accreditation No.: BFB0248

CLIENT:
ROYAL MOTOR YACHT CLUB

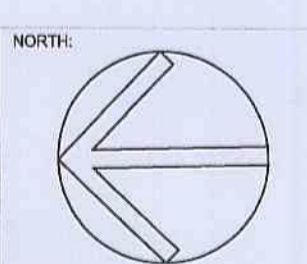
PROJECT:
BAR LOUNGE UPGRADE WORKS
46 Prince Alfred Parade,
Newport Beach NSW 2106

ARCHITECT:

 p 61 2 894 9000 f 61 2 9571 7530 lower deck jones bay wharf
 scale 1:20/25-30 persons road payment nov 2009 australia

DRAWING TITLE:
SITE & LOCATION PLAN

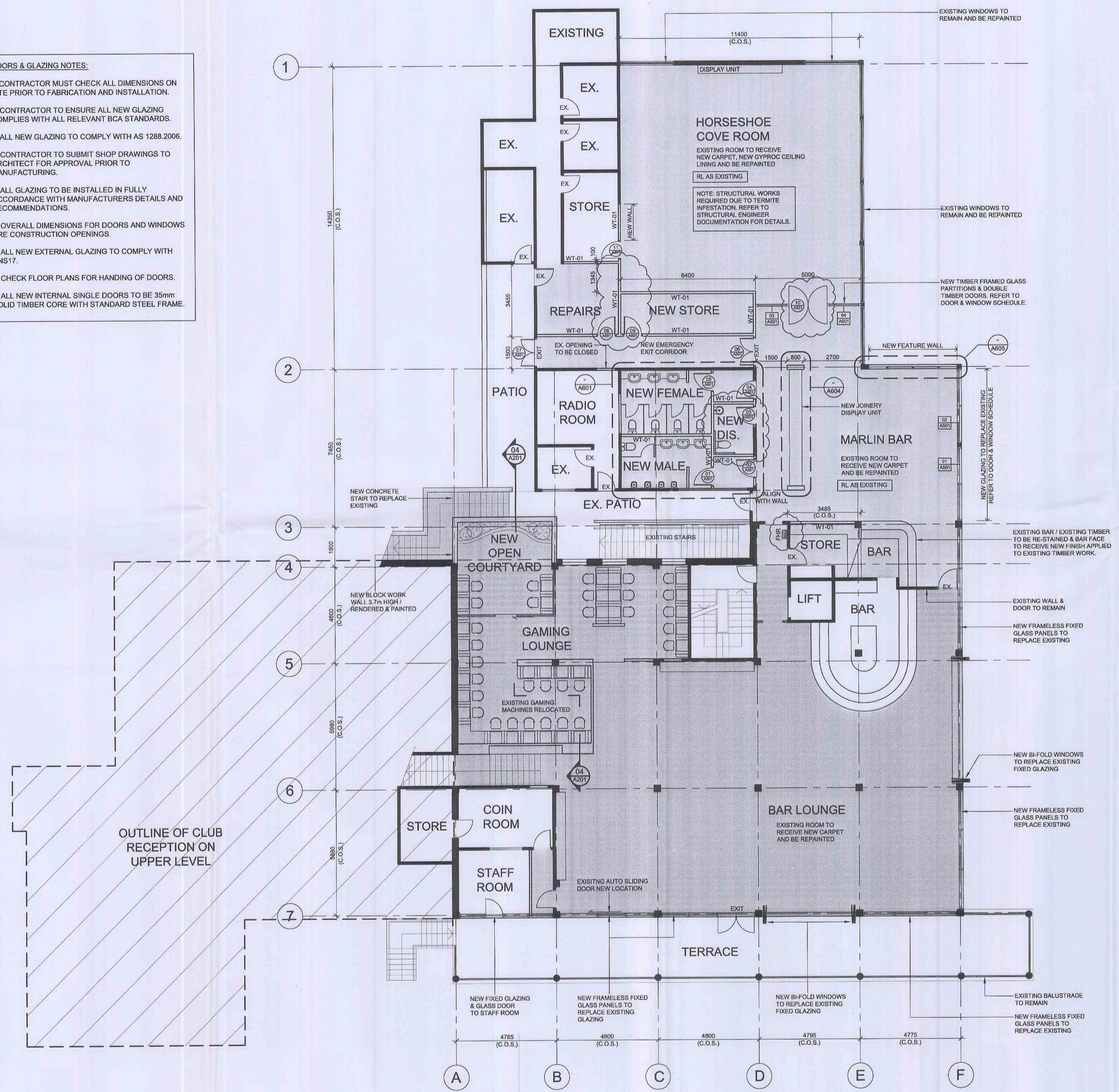
NOTES:
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 2. All measurements and dimensions to be referred to Altis Architecture prior to construction.
 3. Check all dimensions, Building Code of Australia, relevant codes and council approvals.
 4. This drawing has not been checked or approved unless signed.
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SCALE: 1:200 @ A1	DATE: OCTOBER 2010
DRAWN BY: ML	CHECKED BY: PROJECT NO: 822A.09
CAD FILE:	DRAWING NO: A101
	ISSUE: 01

COUNCIL COPY

- DOORS & GLAZING NOTES:**
1. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO FABRICATION AND INSTALLATION.
 2. CONTRACTOR TO ENSURE ALL NEW GLAZING COMPLIES WITH ALL RELEVANT BCA STANDARDS.
 3. ALL NEW GLAZING TO COMPLY WITH AS 1288.2006.
 4. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURING.
 5. ALL GLAZING TO BE INSTALLED IN FULLY ACCORDANCE WITH MANUFACTURERS DETAILS AND RECOMMENDATIONS.
 6. OVERALL DIMENSIONS FOR DOORS AND WINDOWS ARE CONSTRUCTION OPENINGS.
 7. ALL NEW EXTERNAL GLAZING TO COMPLY WITH ANS17.
 8. CHECK FLOOR PLANS FOR HANDING OF DOORS.
 9. ALL NEW INTERNAL SINGLE DOORS TO BE 35mm SOLID TIMBER CORE WITH STANDARD STEEL FRAME.



REV	DATE	DESCRIPTION
01	14.10.10	PRELIMINARY ISSUE FOR INFORMATION ONLY
02	18.10.10	CONSTRUCTION CERTIFICATE ISSUE
03	20.10.10	RE-ISSUE FOR CONSTRUCTION CERTIFICATE

- GENERAL NOTES:**
1. CONTRACTOR IS TO VERIFY ALL DIMENSIONS & NOMINATED RLs ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS, FABRICATION OR ANY OTHER WORK. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT FOR CLARIFICATION.
 2. CONTRACTOR TO ENSURE AND WARRANT ALL WORK IS PERFORMED WITHIN ALL RELEVANT BCA STANDARDS AND MINIMUM CODES OF PRACTICE.
 3. CONTRACTOR TO ENSURE ALL NEW MATERIALS AND FINISHES COMPLY WITH REQUIRED FIRE RATINGS AS PER NOTED ON FINISHES SCHEDULE.
 4. REFER TO FINISHES PLAN & SCHEDULE FOR ALL FINISHES SPECIFICATIONS.
 5. MAKE GOOD ALL EXISTING WALLS WHEN NECESSARY ALLOWING FOR NEW PAINT FINISH.
 6. ALLOW FOR NEW SKIRTING TO MATCH EXISTING WHERE REQUIRED.
 7. ALLOW FOR NATURAL ANODIZED ALUMINIUM ANGLE BETWEEN ALL NEW HARD SURFACE FLOOR JOINTS.
 8. REFER TO ELECTRICAL CONTRACTOR DOCUMENTATION FOR EMERGENCY LIGHTING AND FIRE SAFETY SERVICES.
 9. REFER TO ELECTRICAL CONTRACTOR DOCUMENTATION FOR POWER SUPPLY AND LIGHTING SPECIFICATIONS.
 10. ELECTRICAL CONTRACTOR TO ENSURE TOTAL POWER DENSITIES OF THE PROPOSED LIGHTING SCHEME TO COMPLY WITH CURRENT SECTION J OF THE BCA.
 11. REFER TO HYDRAULIC CONTRACTOR DOCUMENTATION FOR FIRE SAFETY SERVICES DETAILS.
 12. PROPOSED STAGE 1 WORKS ARE WITHIN EXISTING BUILDING ENVELOP AND DO NOT REQUIRED AN EROSION AND SEDIMENT PLAN.

- LEGEND:**
- EXISTING TO BE RETAINED
 - EXISTING WALLS TO REMAIN
 - STAGE 1 WORKS
 - STAGE 2 WORKS
 - WT-01 90mm STEEL STUD WALL WITH 13mm PLASTERBOARD LINING TO BOTH SIDES / PAINT OR TILE FINISH.

CLIENT:
ROYAL MOTOR YACHT CLUB

PROJECT:
BAR LOUNGE UPGRADE WORKS
46 Prince Alfred Parade,
Newport Beach NSW 2106

ARCHITECT:
ALTIS
architecture
p 61 2 6264 9000 f 61 2 9571 7930 lower deck jones bay wharf
scale 1:20 / 26-32 planes road pylmont new 2009 australia

DRAWING TITLE:
PROPOSED FLOOR PLAN & WALLS SET OUT

This is the plan/spec referred to in
Essential Certifier's Certificate No.
11/00478
Officer: C. Manzi
Accreditation No.: BP50248

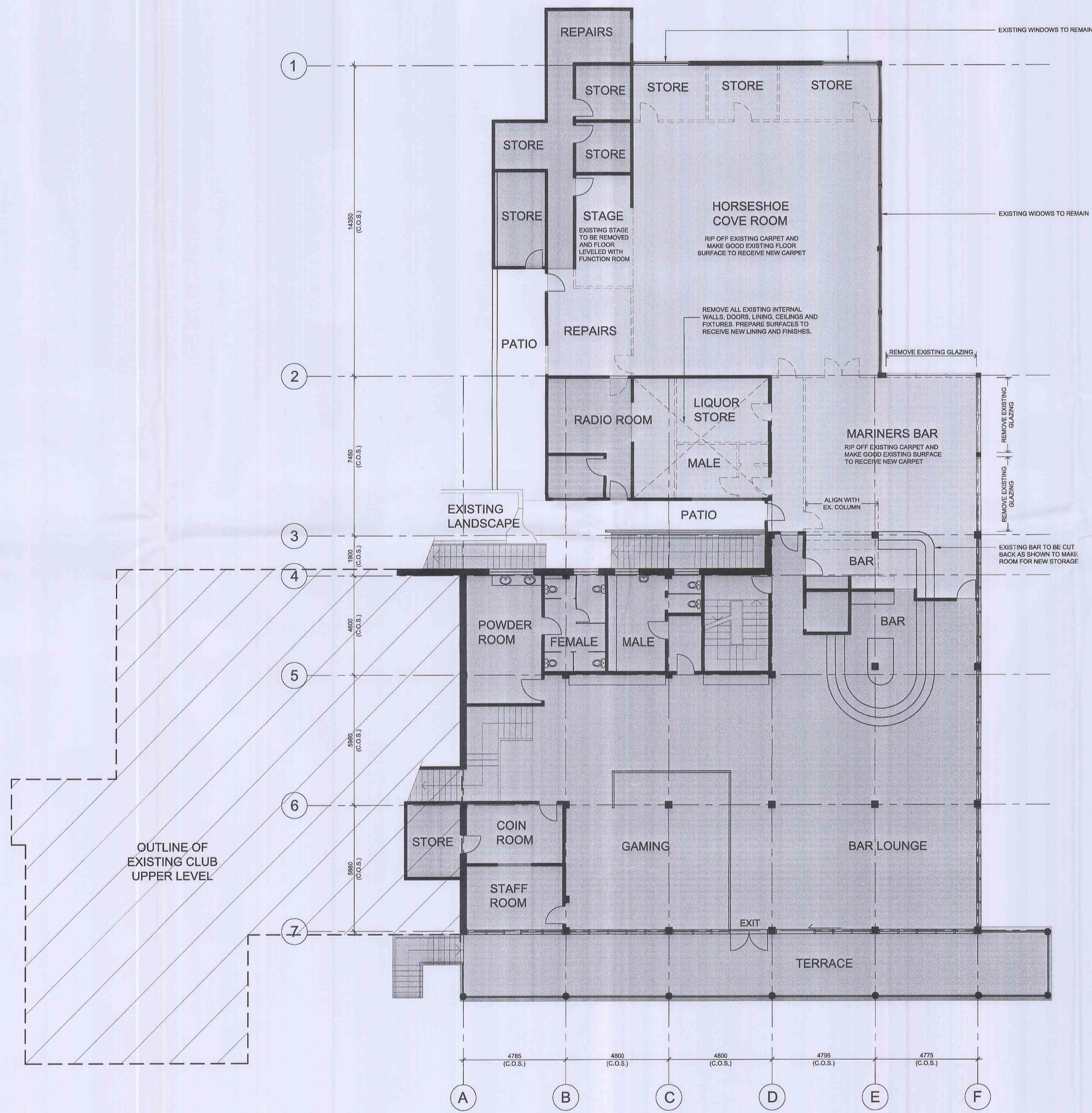
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SCALE:	DATE:
1:100 @ A1	OCTOBER 2010
DRAWN BY: ML	CHECKED BY: PROJECT NO: 822A.09
DRAWING NO: A103	ISSUE: 03

ISSUE	DATE	DESCRIPTION
01	14.10.10	PRELIMINARY ISSUE FOR INFORMATION ONLY
02	18.10.10	CONSTRUCTION CERTIFICATE ISSUE



- GENERAL NOTES:**
- CONTRACTOR IS TO VERIFY ALL DIMENSIONS & NOMINATED RLs ON SITE PRIOR TO COMMENCEMENT OF SHOP DRAWINGS. FABRICATION OR ANY OTHER WORK. ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECT FOR CLARIFICATION.
 - CONTRACTOR TO ENSURE AND WARRANT ALL WORK IS PERFORMED WITHIN ALL RELEVANT BCA STANDARDS AND MINIMUM CODES OF PRACTICE.
 - CONTRACTOR TO ENSURE ALL NEW MATERIALS AND FINISHES COMPLY WITH REQUIRED FIRE RATINGS AS PER NOTED ON FINISHES SCHEDULE.
 - REFER TO FINISHES PLAN & SCHEDULE FOR ALL FINISHES SPECIFICATIONS.
 - MAKE GOOD ALL EXISTING WALLS WHEN NECESSARY ALLOWING FOR NEW PAINT FINISH.
 - ALLOW FOR NEW SKIRTING TO MATCH EXISTING WHERE REQUIRED.
 - ALLOW FOR NATURAL ANODIZED ALUMINIUM ANGLE BETWEEN ALL NEW HARD SURFACE FLOOR JOINTS.
 - REFER TO ELECTRICAL CONTRACTOR DOCUMENTATION FOR EMERGENCY LIGHTING AND FIRE SAFETY SERVICES.
 - REFER TO ELECTRICAL CONTRACTOR DOCUMENTATION FOR POWER SUPPLY AND LIGHTING SPECIFICATIONS.
 - ELECTRICAL CONTRACTOR TO ENSURE TOTAL POWER DENSITIES OF THE PROPOSED LIGHTING SCHEME TO COMPLY WITH CURRENT SECTION J OF THE BCA.
 - REFER TO HYDRAULIC CONTRACTOR DOCUMENTATION FOR FIRE SAFETY SERVICES DETAILS.
 - PROPOSED STAGE 1 WORKS ARE WITHIN EXISTING BUILDING ENVELOPE AND DO NOT REQUIRE AN EROSION AND SEDIMENT PLAN.

- LEGEND:**
- EXISTING WALLS TO BE DEMOLISHED
 - EXISTING WALLS TO REMAIN
 - STAGE 1 WORKS
 - EXISTING / RETAINED

CLIENT:
ROYAL MOTOR YACHT CLUB

PROJECT:
BAR LOUNGE UPGRADE WORKS
46 Prince Alfred Parade,
Newport Beach NSW 2106

ARCHITECT:

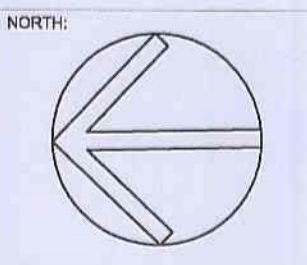
ALTIS
architecture

p 61 2 9364 9000 f 61 2 9571 7800 lower deck jones bay wharf
suite 123/25-32 pirrama road pyrmont nsw 2009 australia

This is the plan/pace referred to in
Essential Certificate's Certificate No.
11/00478
Officer : C. Manzi
Accreditation No. : BPP0248

EXISTING & DEMOLITION PLAN

- NOTES:**
- Use only figured dimensions, do not scale drawings.
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SCALE:
1:100 @ A1

DATE:
OCTOBER 2010

DRAWN BY:
ML

CHECKED BY:
PROJECT NO. 822A.09

DRAWING NO.:
A102

ISSUE:
02

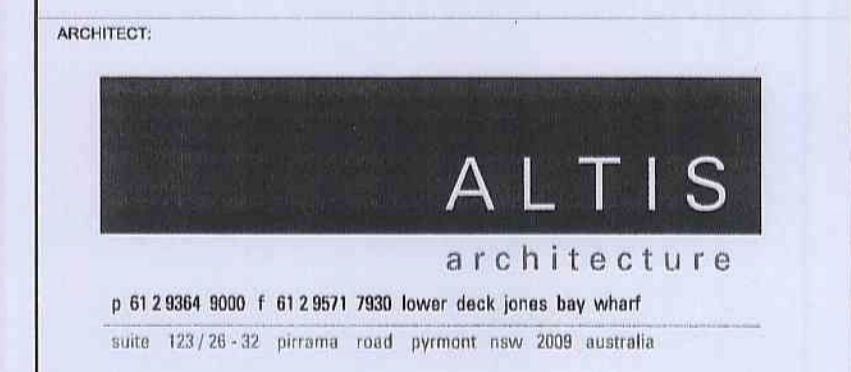
ISSUE	DATE	DESCRIPTION
01	14.10.10	PRELIMINARY ISSUE FOR INFORMATION ONLY
02	18.10.10	CONSTRUCTION CERTIFICATE ISSUE

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 - REFER TO HYDRAULIC CONTRACTOR DOCUMENTATION FOR FIRE SAFETY SERVICES DETAILS.
 - PROPOSED STAGE 1 WORKS ARE WITHIN EXISTING BUILDING ENVELOP AND DO NOT REQUIRE AN EROSION AND SEDIMENT PLAN.

- LEGEND:**
- EXISTING TO BE RETAINED
 - EXISTING WALLS TO REMAIN
 - STAGE 1 WORKS
 - STAGE 2 WORKS

CLIENT:
ROYAL MOTOR YACHT CLUB

PROJECT:
BAR LOUNGE UPGRADE WORKS
46 Prince Alfred Parade,
Newport Beach NSW 2106

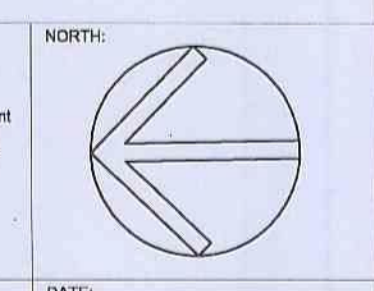


DRAWING TITLE:
PROPOSED ELEVATIONS

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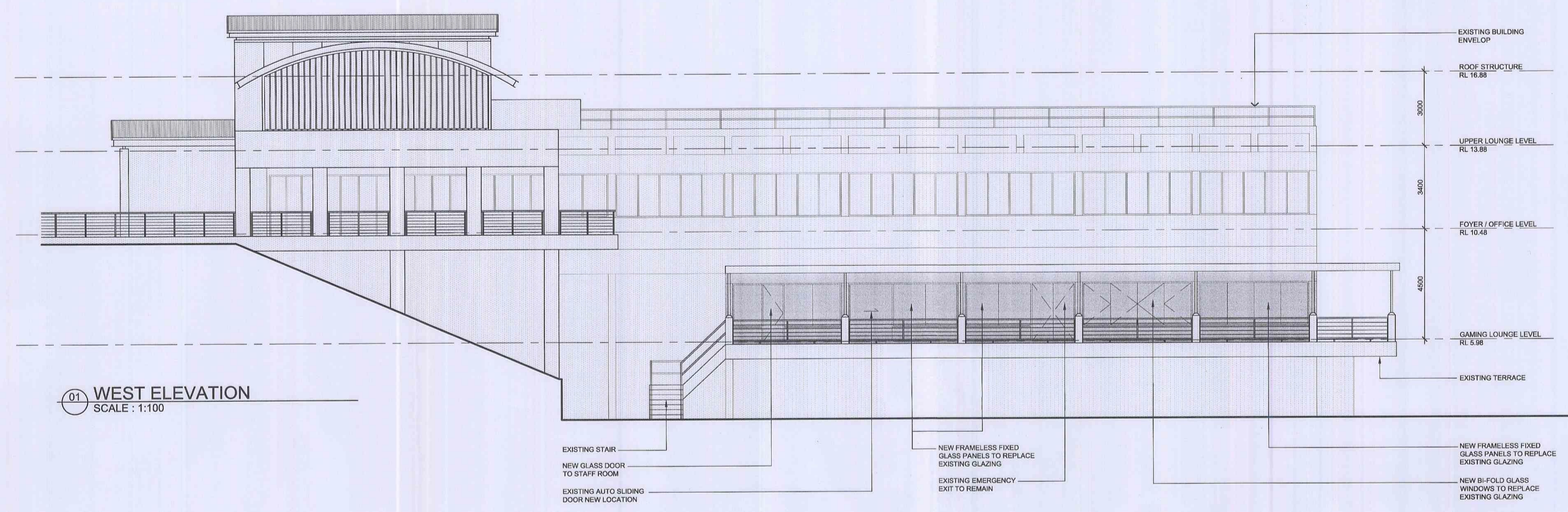
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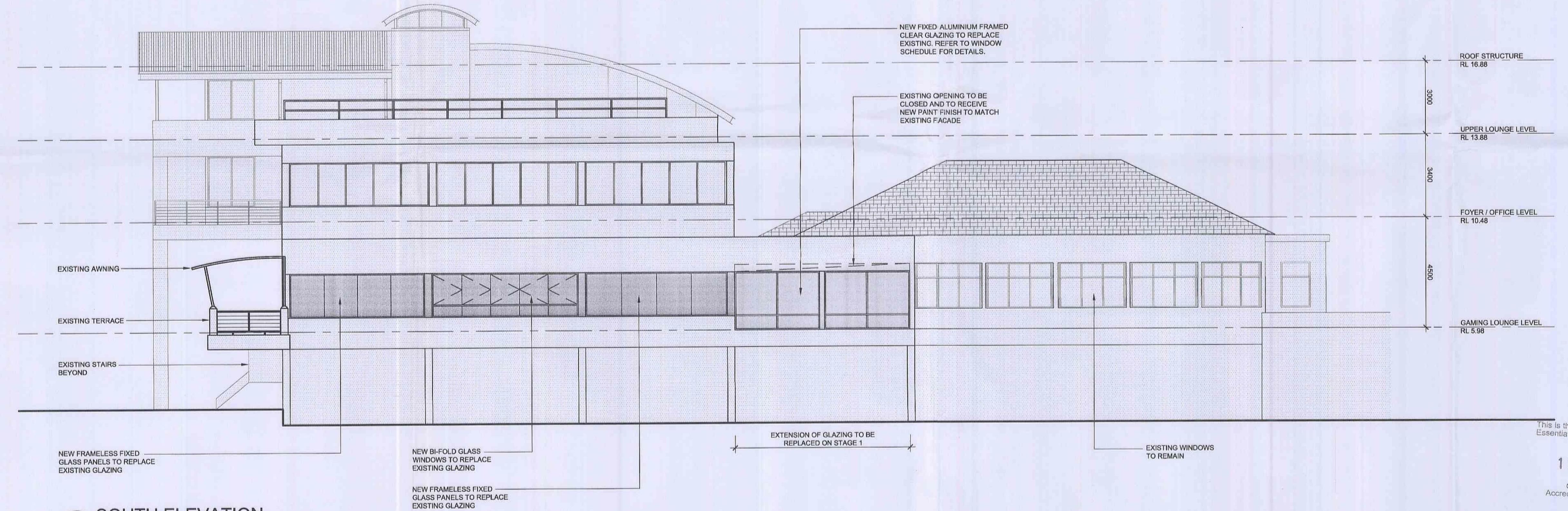
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DATE:
OCTOBER 2010

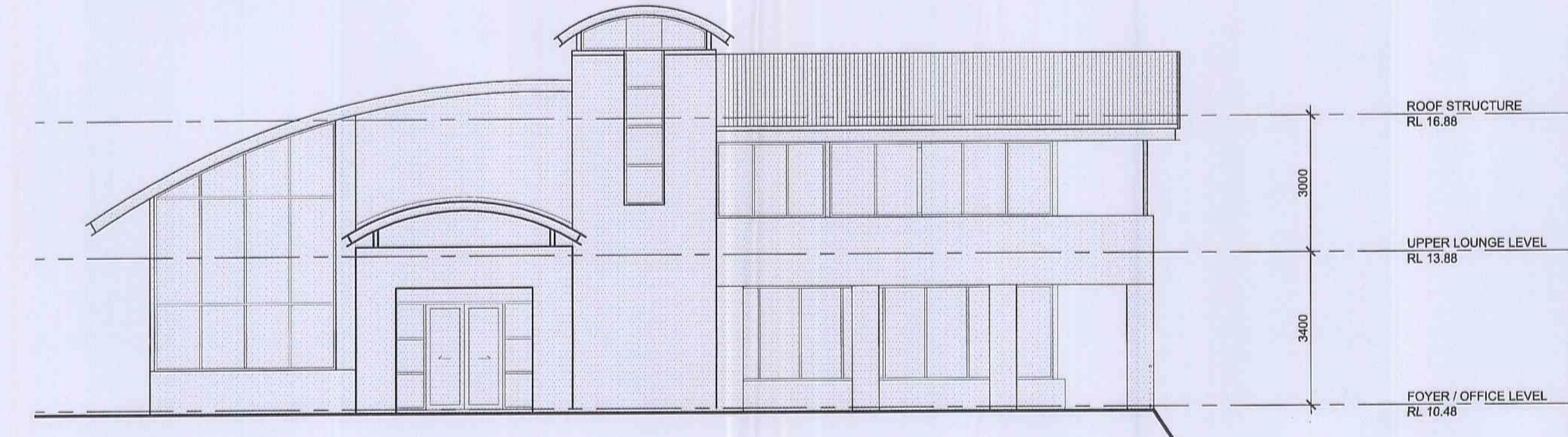
DRAWN BY: ML
CHECKED BY: ML
PROJECT NO: 822A.09
DRAWING NO: A201
ISSUE: 02



01 WEST ELEVATION
SCALE : 1:100



02 SOUTH ELEVATION
SCALE : 1:100



03 NORTH ELEVATION
SCALE : 1:100

- DOORS & GLAZING NOTES:**
- CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO FABRICATION AND INSTALLATION.
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