

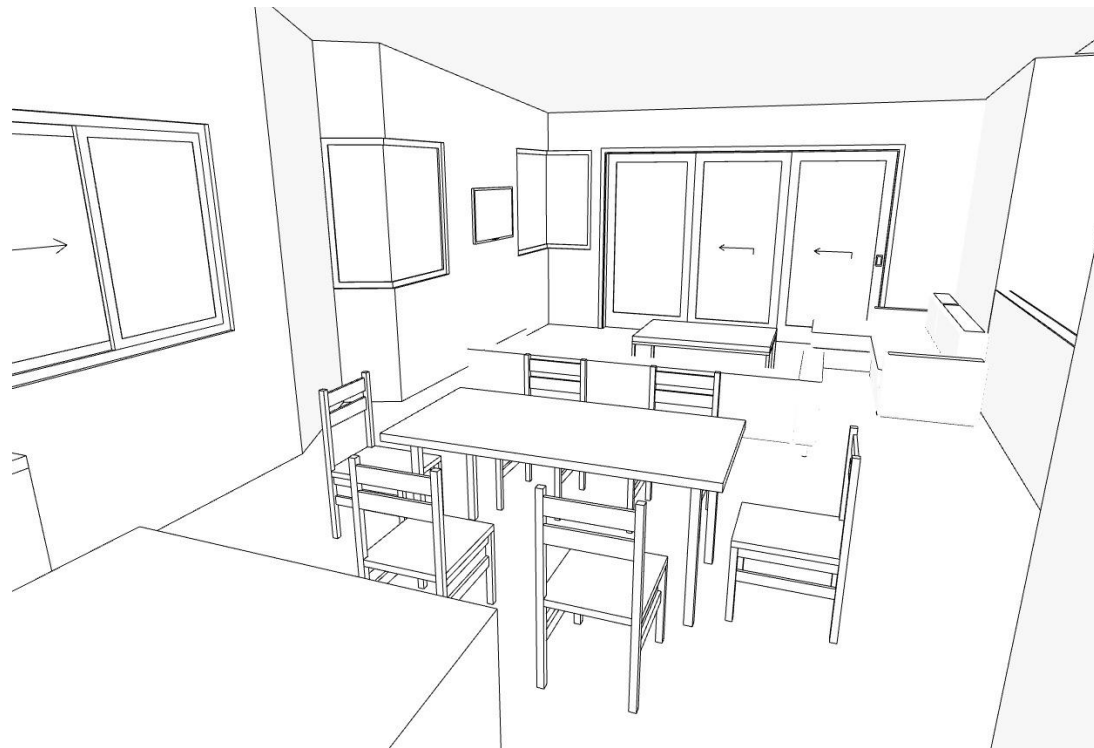
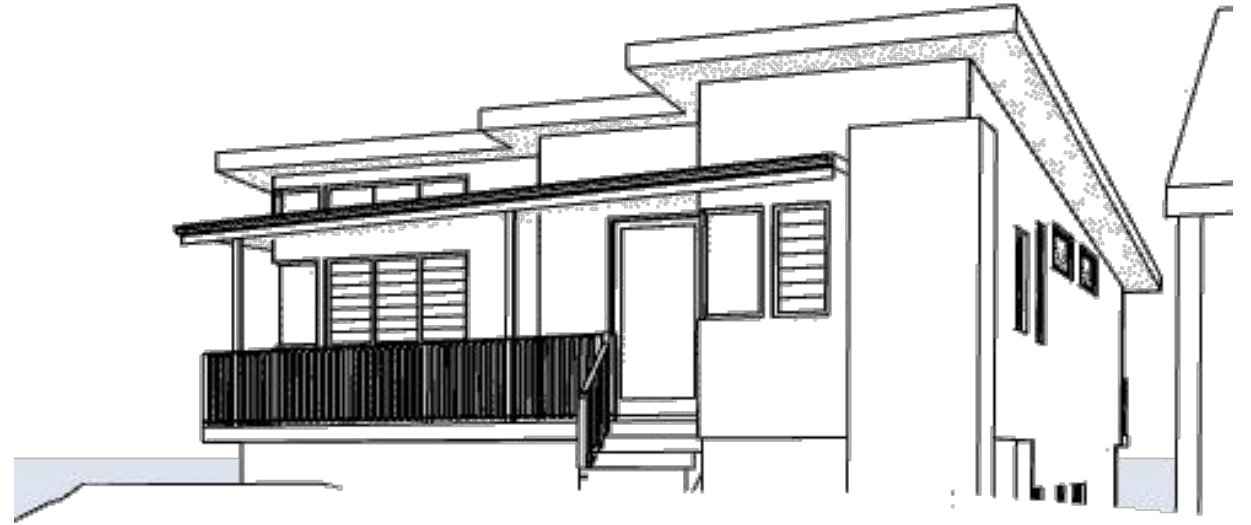
PROPOSED RESIDENCE

LOUISE STRUTHERS and MATT TRUMAN

67 QUIRK STREET DEE WHY 2099



DRAWING No.	DESCRIPTION
	COVER PAGE
	PERSPECTIVES
A1	ROOF PLAN
A2	FIRST FLOOR PLAN
A3	GROUND FLOOR PLAN
A4	LOWER GROUND PLAN
A5	ELEVATION SHEET 1
A6	ELEVATION SHEET 2
A7	ELEVATIONS SHEET 3
A8	ELEVATIONS SHEET 4
A9	SECTIONS SHEET 1
A10	SECTIONS SHEET 2
A11	DRIVEWAY PLAN and SECTIONS SHT 3
D1	DEMOLITION PLAN
N1	NOTES and SAFETY REQUIREMENTS
N2	WINDOW & DOOR SCHEDULES
N3	BASIX COMMITMENTS
S1	SITE ANALYSIS
S2	SITE PLAN & CALCULATIONS
S3	SEDIMENT CONTROL
S4	SHADOW DIAGRAM - 9AM JUNE 21 - WINTER SOLSTICE
S5	SHADOW DIAGRAM - 12 NOON JUNE 21 - WINTER SOLSTICE
S6	SHADOW DIAGRAM - 3PM JUNE 21 - WINTER SOLSTICE



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY

PENINSULA
HOMES

bdaa
ACCREDITED
BUILDING DESIGNER

ACCREDITATION No. 6255
 ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



NOTE
 This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
 Do not scale these drawings. Figured dimensions are to be used only.
 The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
 Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

Client **LOUISE STRUTHERS and MATT TRUMAN**

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099

Drawing Title

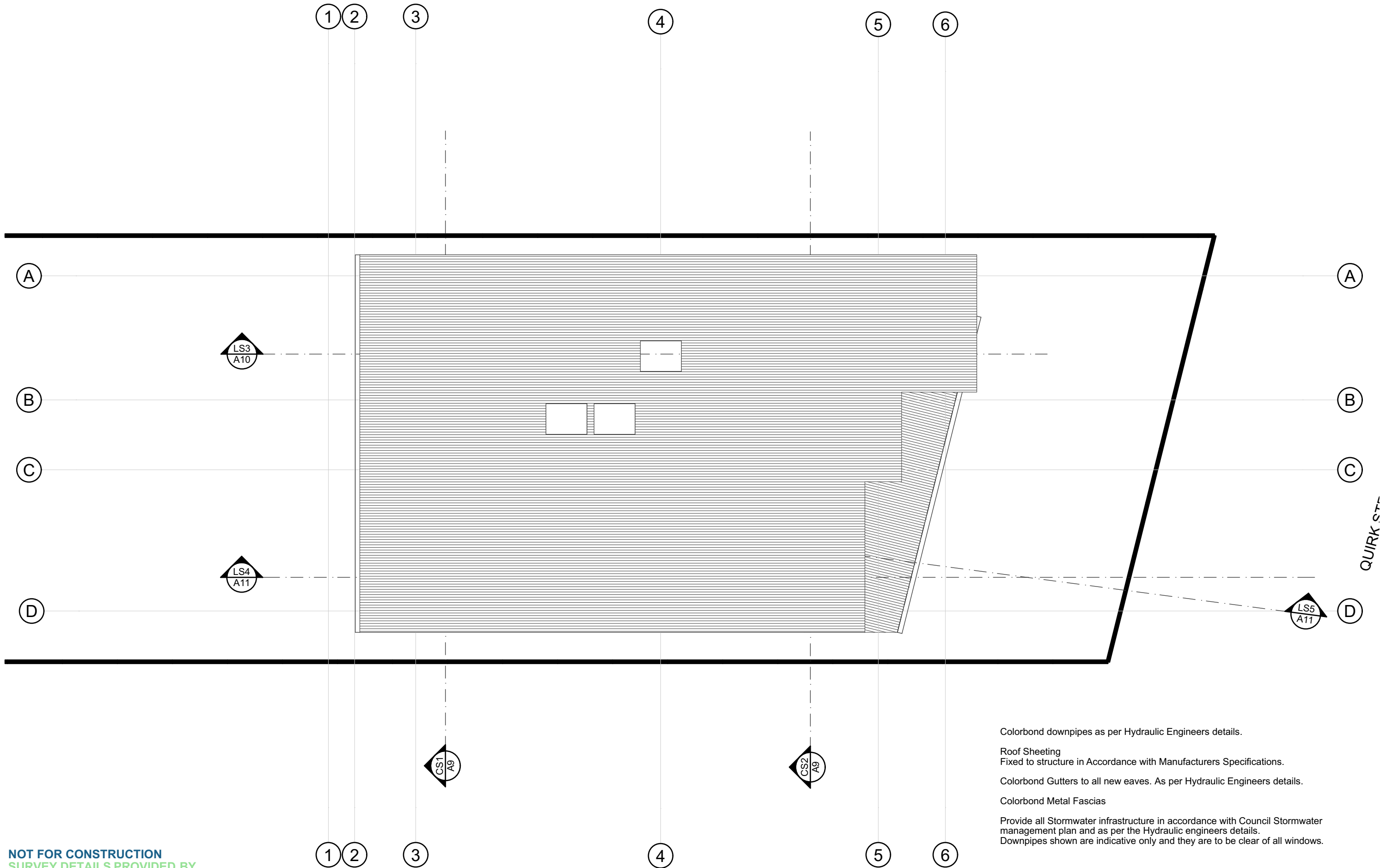
PERSPECTIVES

Scale **1:306.3**
0

Date **Friday, 1 April 2022**

Job Number **21-0713**

Drawn **S.G.**
 Drawing No.



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY



ACCREDITATION No. 6255
ABN 17 751 732 195

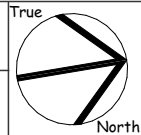
SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

Client LOUISE STRUTHERS and MATT TRUMAN

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099
Drawing Title
ROOF PLAN

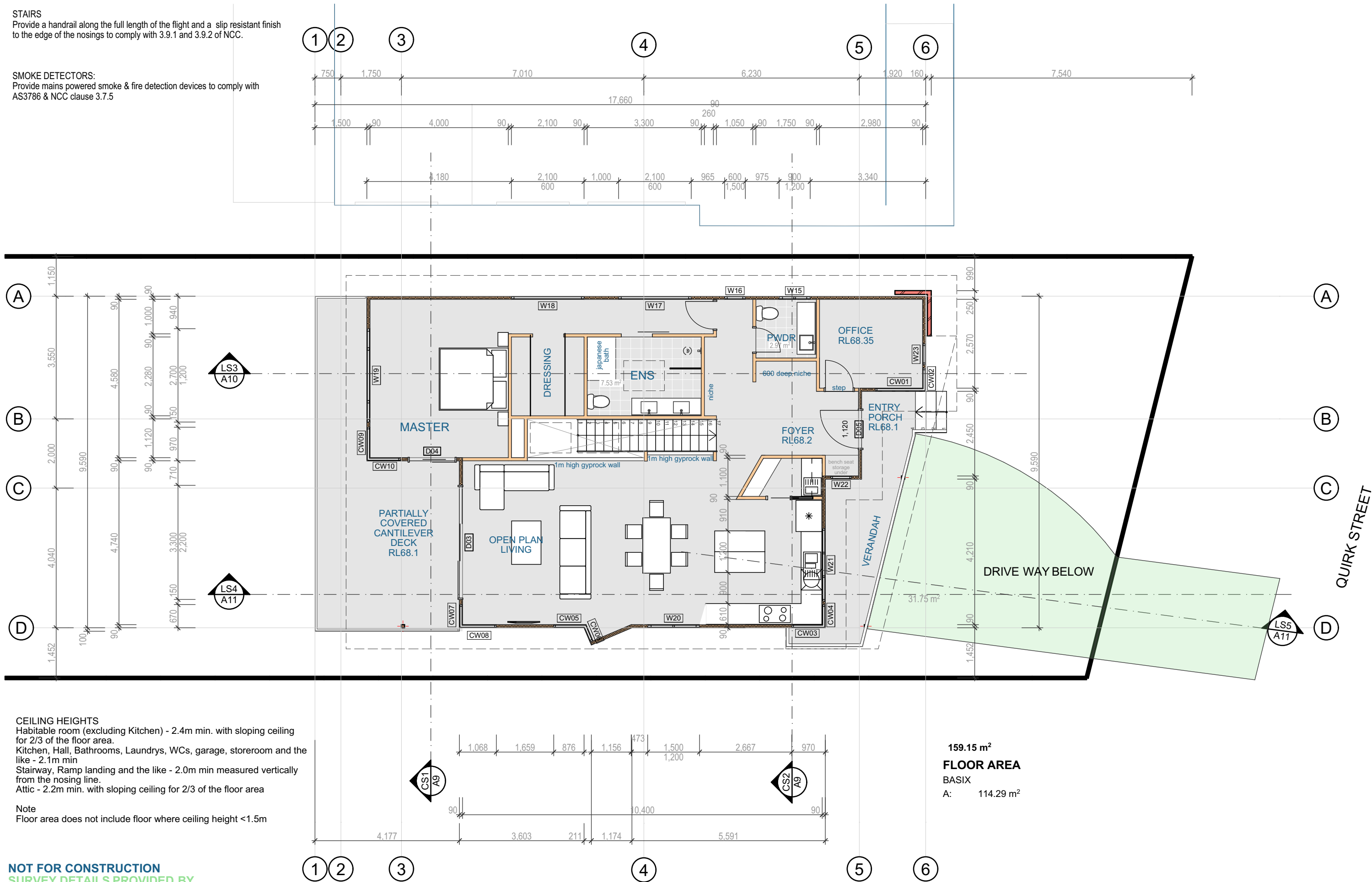


Scale 1:100
Date Friday, 1 April 2022

Job Number 21-0713
Drawn S.G.
Drawing No. A1

STAIRS
Provide a handrail along the full length of the flight and a slip resistant finish to the edge of the nosings to comply with 3.9.1 and 3.9.2 of NCC.

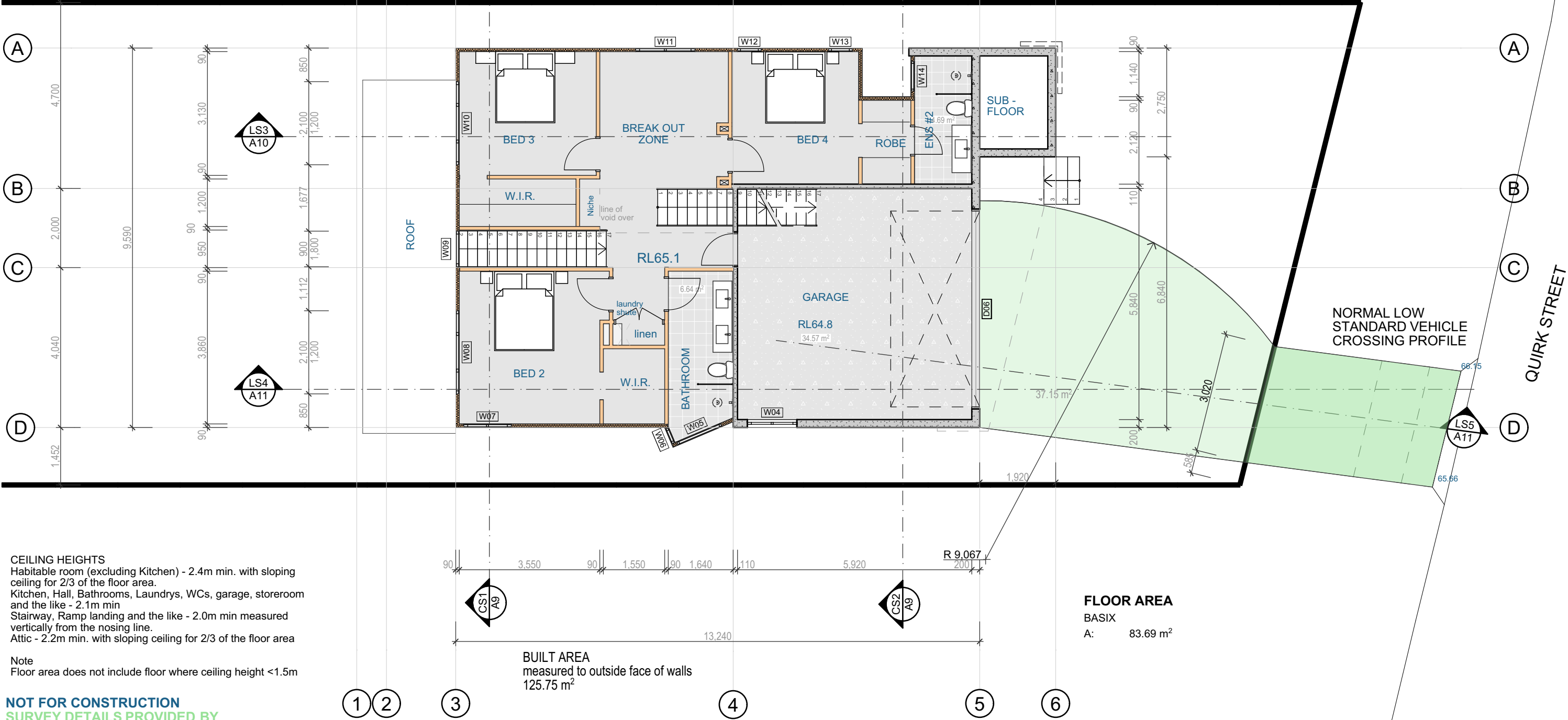
SMOKE DETECTORS:
Provide mains powered smoke & fire detection devices to comply with AS3786 & NCC clause 3.7.5



STAIRS
Provide a handrail along the full length of the flight and a slip resistant finish to the edge of the nosings to comply with 3.9.1 and 3.9.2 of NCC.

CHILD SAFETLY NOTE:
In accordance with NCC requirements for Child Safety.
All New Bedroom Windows 2m or more above finished Ground Level must be supplied with either Reinforced Mesh screens or child safe locks which prevent windows from opening more than 125mm and comply with BCA / NCC Part 3.9.2; IF sill height in less than 1.7m.

SMOKE DETECTORS:
Provide mains powered smoke & fire detection devices to comply with AS3786 & NCC clause 3.7.5



CEILING HEIGHTS
Habitable room (excluding Kitchen) - 2.4m min. with sloping ceiling for 2/3 of the floor area.
Kitchen, Hall, Bathrooms, Laundrys, WCs, garage, storeroom and the like - 2.1m min
Stairway, Ramp landing and the like - 2.0m min measured vertically from the nosing line.
Attic - 2.2m min. with sloping ceiling for 2/3 of the floor area

Note
Floor area does not include floor where ceiling height <1.5m

NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY



ACCREDITATION No. 6255
ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



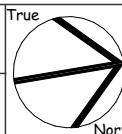
NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

Client LOUISE STRUTHERS and MATT TRUMAN

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099

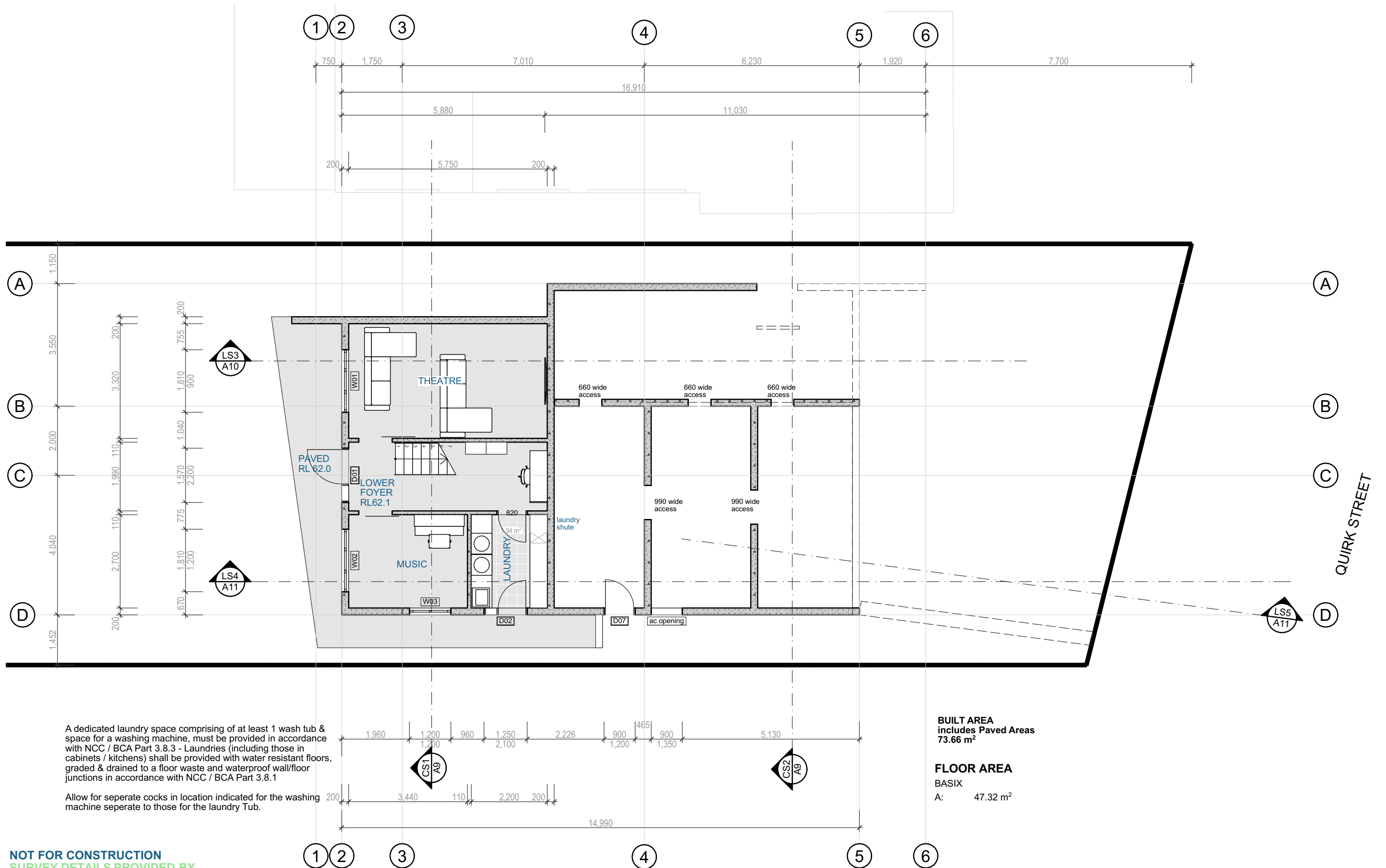
Drawing Title

GROUND FLOOR PLAN



Scale 1:100
Date Friday, 1 April 2022

Job Number 21-0713
Drawn S.G.
Drawing No. A3



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY

**PENINSULA
HOMES**

bdaa
ACCREDITED
BUILDING DESIGNER

ACCREDITATION No. 6255
ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



SDS
SustainAbility Design™ Specialist

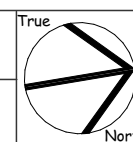
NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

Client **LOUISE
STRUTHERS
and MATT
TRUMAN**

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099

Drawing Title

LOWER GROUND PLAN



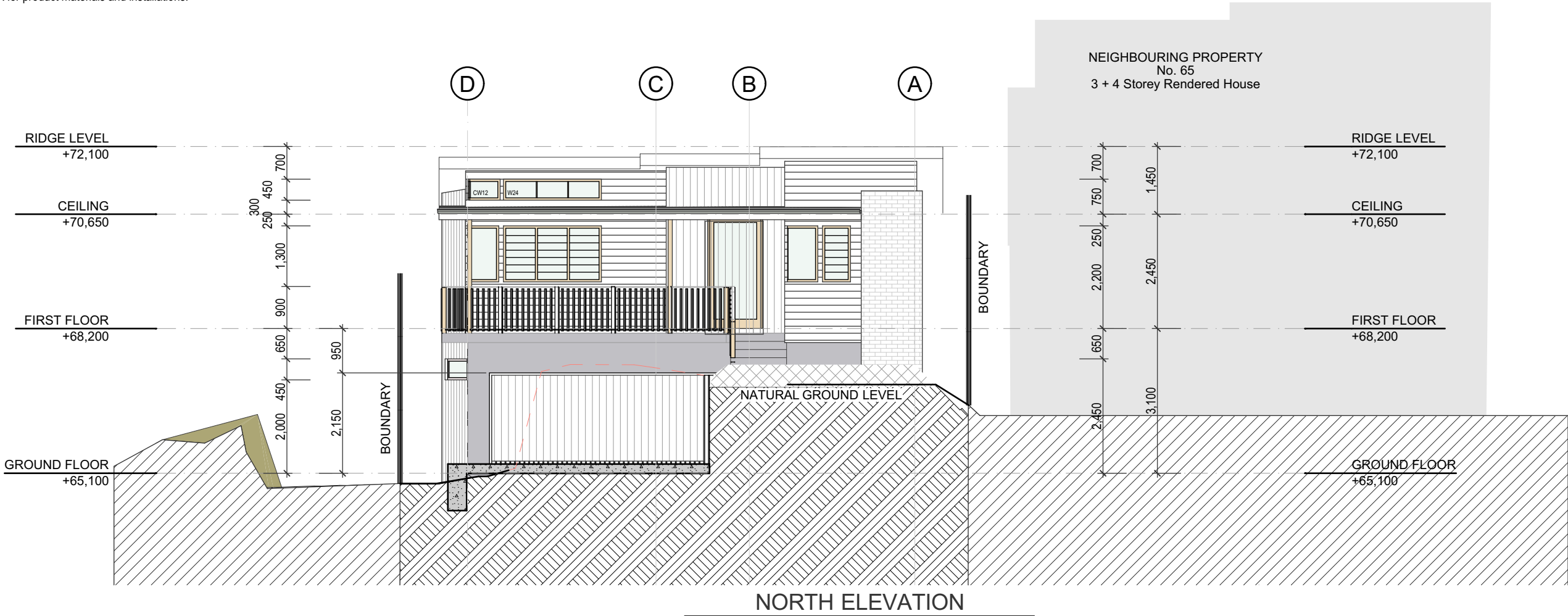
Scale **1:100**
Date **Friday, 1 April 2022**

Job Number **21-0713**
Drawn **S.G.**
Drawing No. **A4**

GENERAL WINDOW AND DOOR NOTE:
All windows to be Powder Coated Aluminium with fly screens.
Front door to be Solid Core Timber Feature door.
Garage Doors: Automatic Panel lift
All other external doors to be Powder Coated Aluminium.

EXTERNAL CLADDINGS:
All claddings to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the BCA particularly with respect to the referenced Acceptable Construction Practice as detailed in the BCA for product materials and installations.

ROOFING:
All roofing to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the BCA particularly with respect to the referenced Acceptable Construction Practice as detailed in the BCA for product materials and installations.



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY



ACCREDITATION No. 6255
ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

Client LOUISE STRUTHERS and MATT TRUMAN

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099

Drawing Title

ELEVATION SHEET 1

Scale 1:100

Date

Friday, 1 April 2022

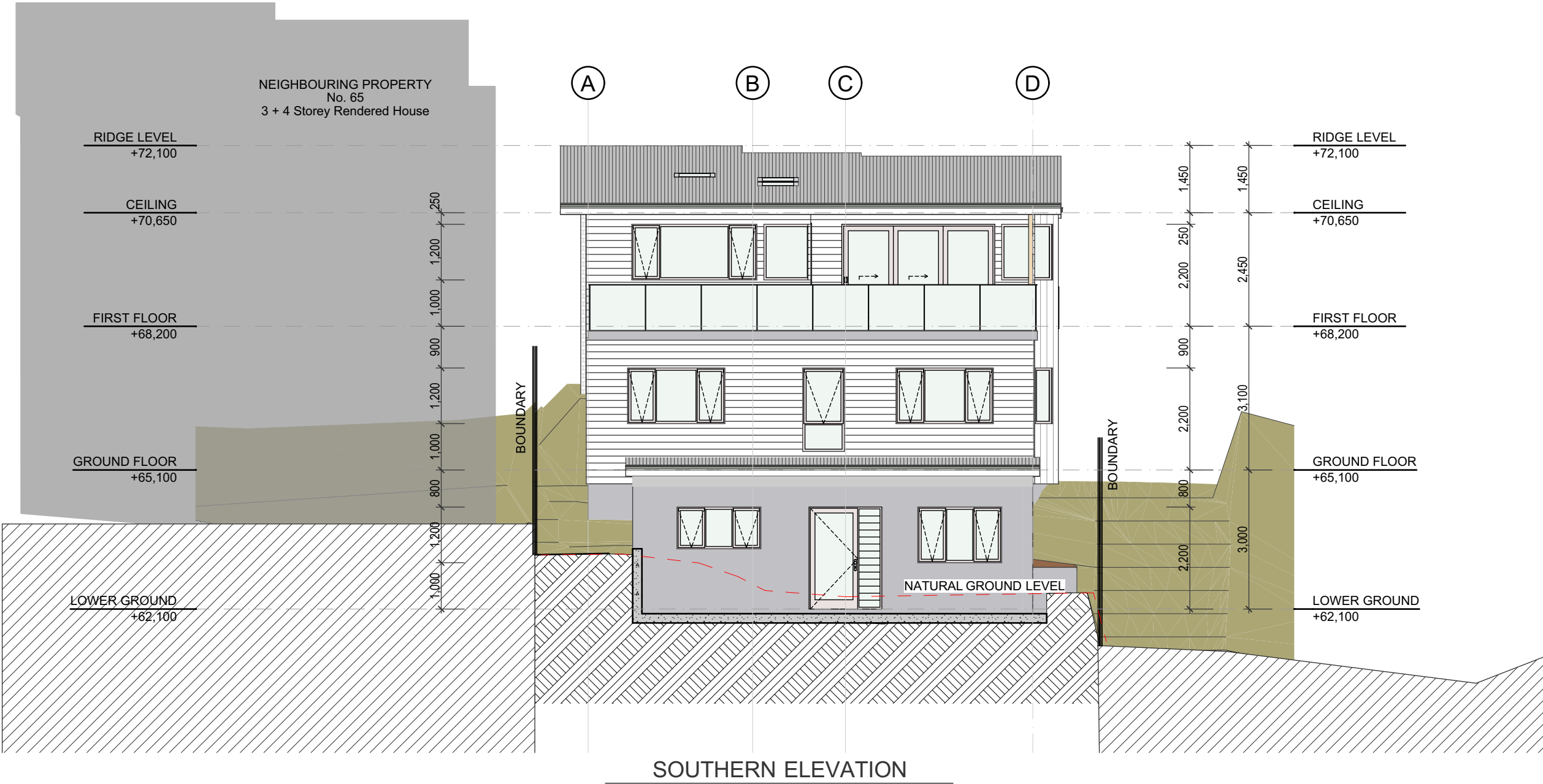
Job Number 21-0713

Drawn

S.G.

Drawing No.

A5



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY



ACCREDITATION No. 6255
ABN 17 751 732 195



NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

Client LOUISE
STRUTHERS
and MATT
TRUMAN

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099
ELEVATION SHEET 2

Scale 1:100	Job Number 21-0713
Date Friday, 1 April 2022	Drawn S.G. Drawing No. A6



NOT FOR CONSTRUCTION
 SURVEY DETAILS PROVIDED BY
 C.M.S. SURVEYORS DEE WHY

**PENINSULA
 HOMES**

bdaa
 ACCREDITED
 BUILDING DESIGNER

ACCREDITATION No. 6255
 ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
 PLANS DRAWN FOR APPROVAL



SustainAbility Design™ Specialist

NOTE
 This drawing is the copyright of Sally Gardner Design and Draft
 and may not be altered, reproduced or transmitted in any form or
 by any means in part or in whole without permission of Sally
 Gardner Design and Draft.
 Do not scale these drawings. Figured dimensions are to be used
 only.
 The builder/contractor shall check and verify all levels and
 dimensions on site prior to commencement of any work, creation
 of shop drawings, or fabrication of components.
 Any errors or omissions are to be verified by the builder/contractor
 and referred to the designer prior to the commencement of works.

Client **LOUISE
 STRUTHERS
 and MATT
 TRUMAN**

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099

Drawing Title

ELEVATIONS SHEET 3

Scale **1:100**

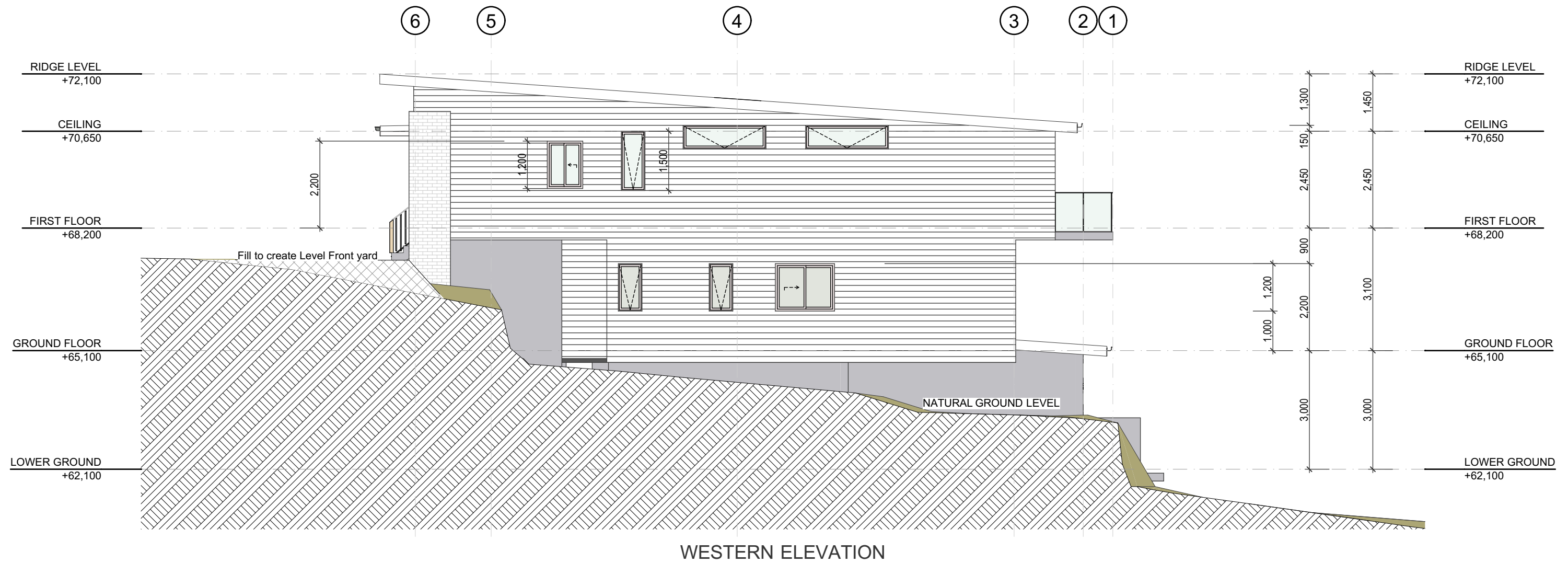
Date

Friday, 1 April
 2022

Job Number **21-0713**

Drawn Drawing No.

S.G. **A7**



NOT FOR CONSTRUCTION
 SURVEY DETAILS PROVIDED BY
 C.M.S. SURVEYORS DEE WHY

**PENINSULA
 HOMES**

bdca
 ACCREDITED
 BUILDING DESIGNER

ACCREDITATION No. 6255
 ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
 PLANS DRAWN FOR APPROVAL



SustainAbility Design™ Specialist

NOTE
 This drawing is the copyright of Sally Gardner Design and Draft
 and may not be altered, reproduced or transmitted in any form or
 by any means in part or in whole without permission of Sally
 Gardner Design and Draft.
 Do not scale these drawings. Figured dimensions are to be used
 only.
 The builder/contractor shall check and verify all levels and
 dimensions on site prior to commencement of any work, creation
 of shop drawings, or fabrication of components.
 Any errors or omissions are to be verified by the builder/contractor
 and referred to the designer prior to the commencement of works.

Client **LOUISE
 STRUTHERS
 and MATT
 TRUMAN**

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099

Drawing Title

ELEVATIONS SHEET 4

Scale **1:100**

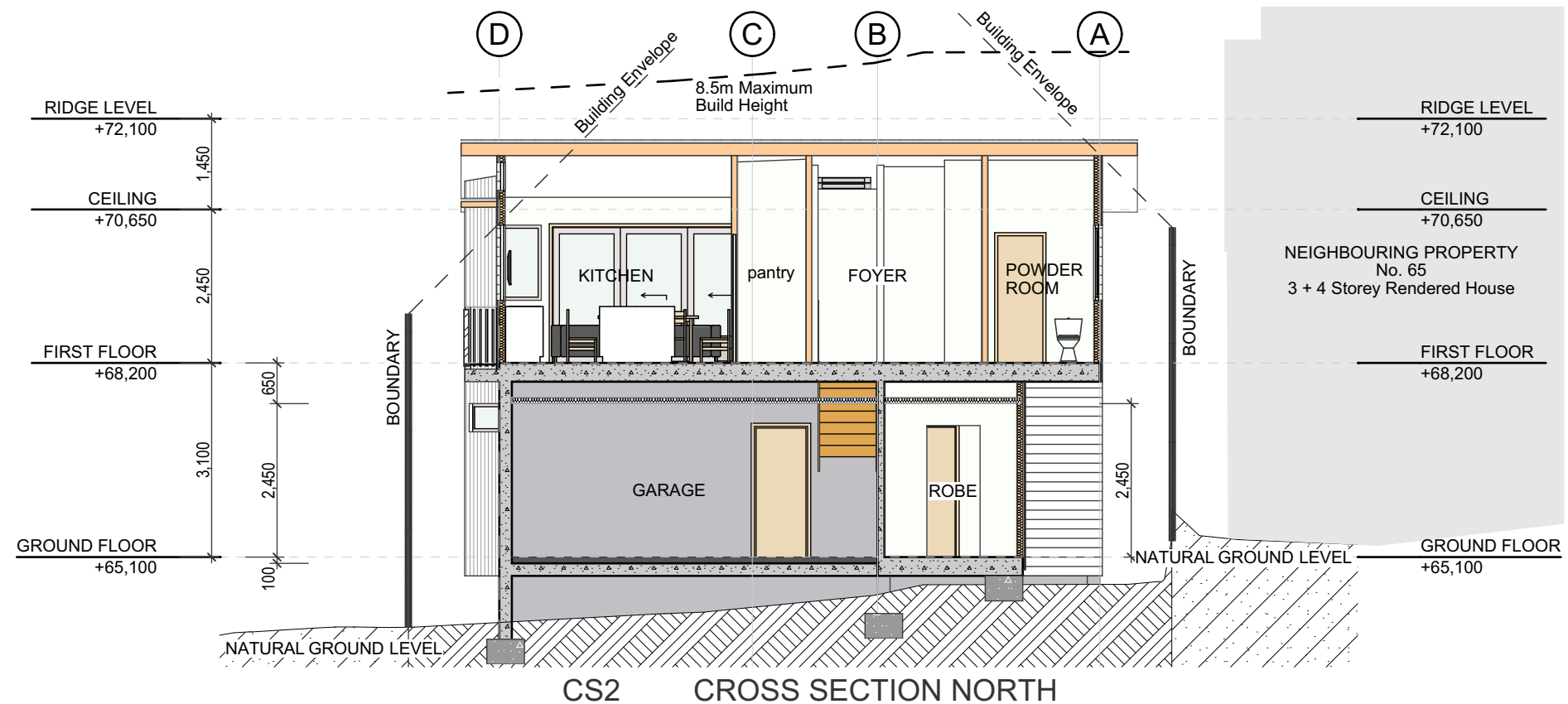
Date

Friday, 1 April
 2022

Job Number **21-0713**

Drawn Drawing No.

S.G. **A8**



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY

**PENINSULA
HOMES**

bdaa
ACCREDITED
BUILDING DESIGNER

ACCREDITATION No. 6255
ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

Client **LOUISE
STRUTHERS
and MATT
TRUMAN**

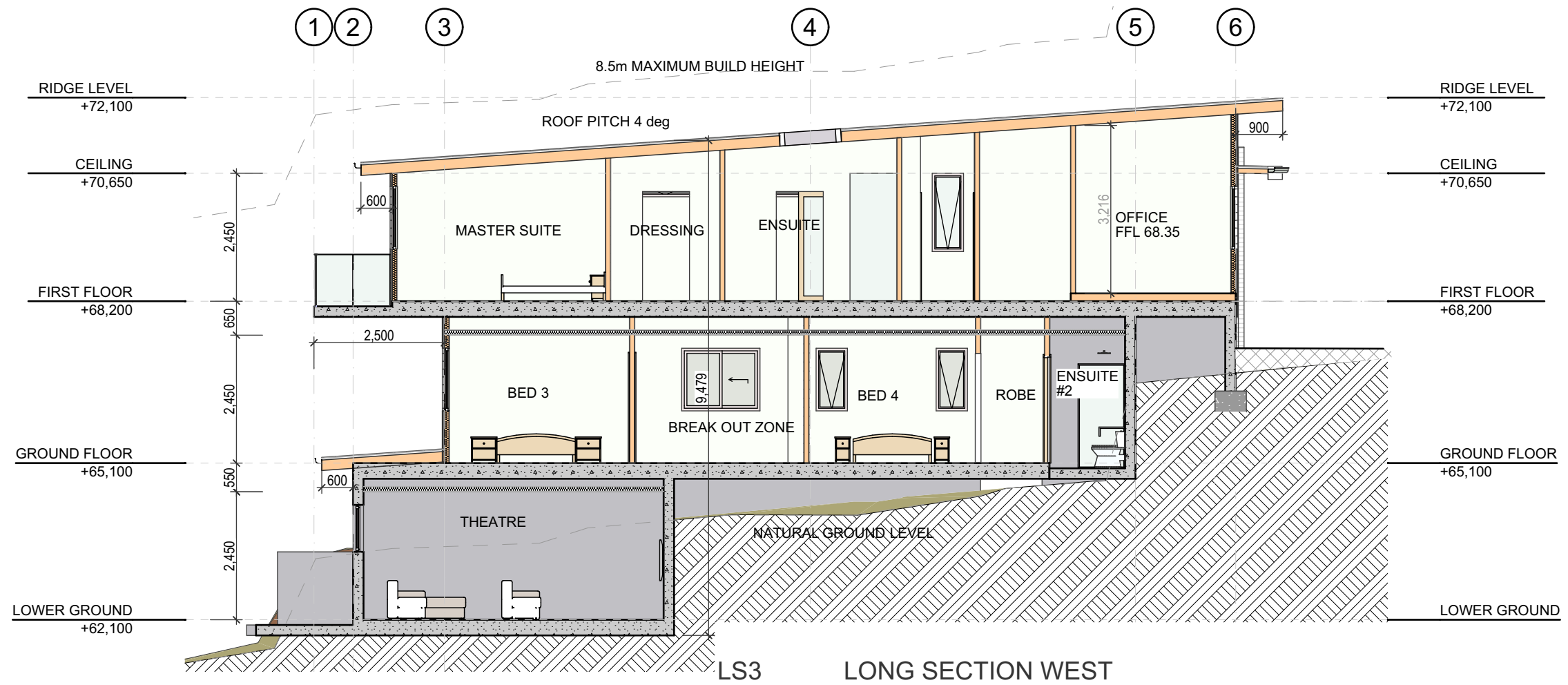
PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099

Drawing Title

SECTIONS SHEET 1

Scale **1:100**
Date **Friday, 1 April 2022**

Job Number **21-0713**
Drawn **S.G.**
Drawing No. **A9**



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY

**PENINSULA
HOMES**

bdca
ACCREDITED
BUILDING DESIGNER

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



SDS
SustainAbility Design™ Specialist

NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

Client **LOUISE
STRUTHERS
and MATT
TRUMAN**

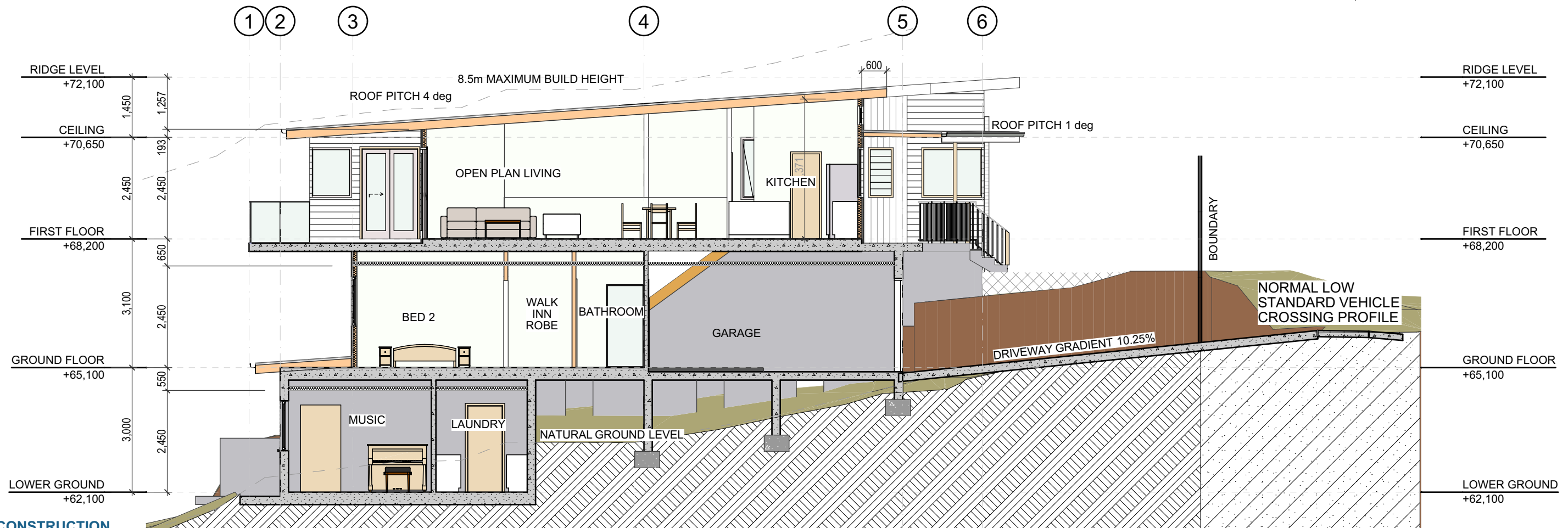
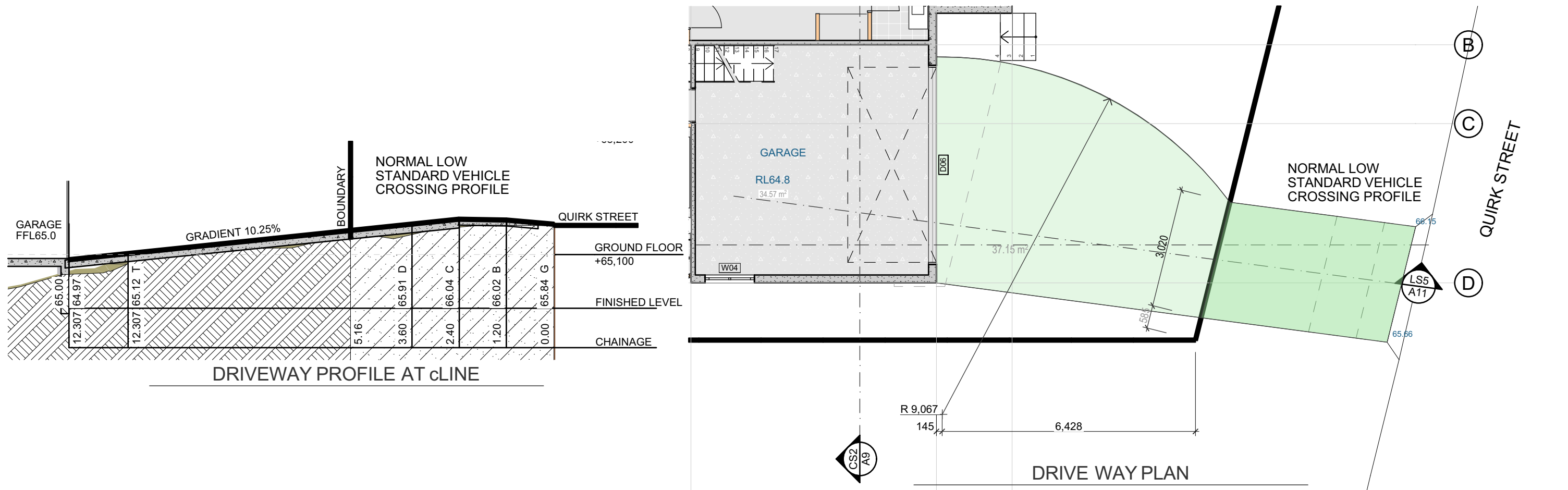
PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099

Drawing Title

SECTIONS SHEET 2

Scale **1:100**
Date **Friday, 1 April 2022**

Job Number **21-0713**
Drawn **S.G.**
Drawing No. **A10**



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY

PENINSULA HOMES

bdca
ACCREDITED
BUILDING DESIGNER

ACCREDITATION No. 6255
ABN 17 751 732 195

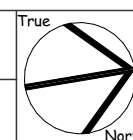
SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

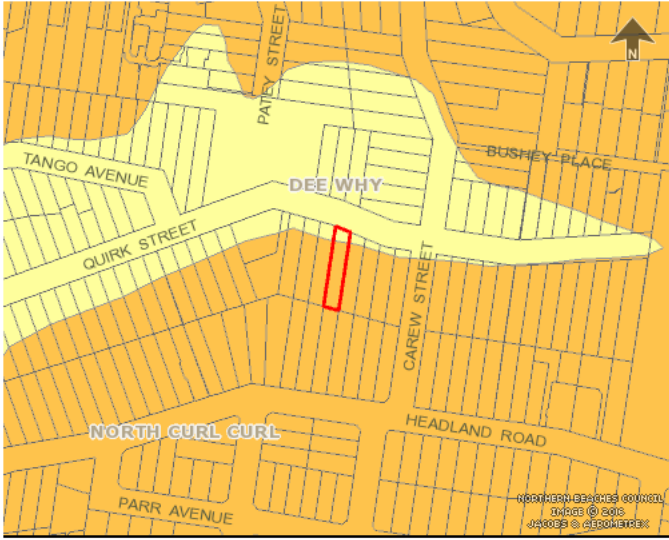
Client **LOUISE STRUTHERS and MATT TRUMAN**

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099
DRIVEWAY PLAN and SECTIONS SHT 3



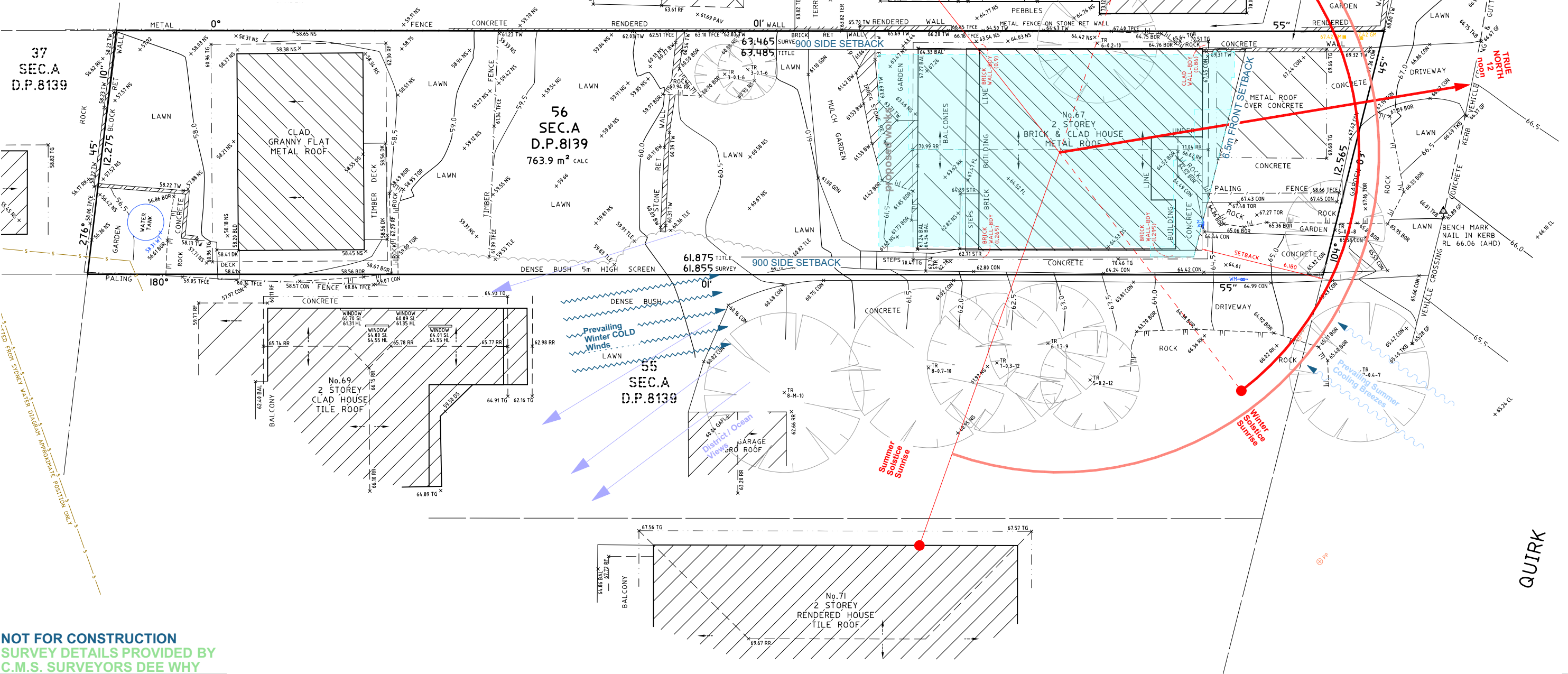
Scale **1:100**
Date **Friday, 1 April 2022**

Job Number **21-0713**
Drawn **S.G.**
Drawing No. **A11**



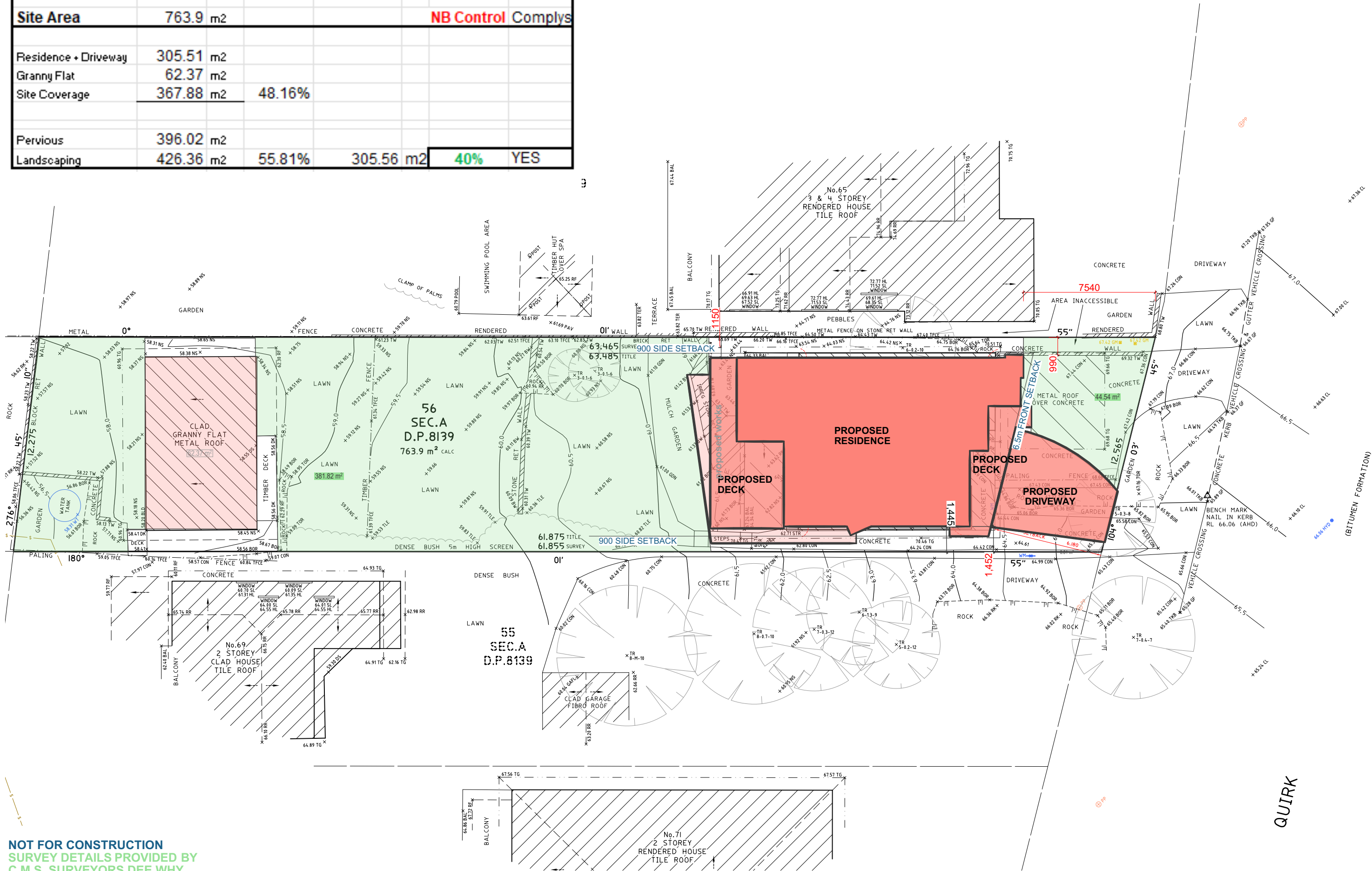
WARRINGAH LANDSLIP RISK MAP

- Area A - Slopes less than 5 degrees
- Area B - Flanking Slopes from 5 to 25 degrees
- Area C - Slopes more than 25 degrees
- Area D - Collaroy Plateau Area Flanking Slopes 5 to 15 degrees
- Area E - Collaroy Plateau Area Slopes more than 15 degrees



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY

SITE CALCULATIONS						
Site Area	763.9	m2			NB Control Complys	
Residence + Driveway	305.51	m2				
Granny Flat	62.37	m2				
Site Coverage	367.88	m2	48.16%			
Pervious	396.02	m2				
Landscaping	426.36	m2	55.81%	305.56	m2	40% YES



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY

PENINSULA HOMES

bdca
ACCREDITED
BUILDING DESIGNER

ACCREDITATION No. 6255
ABN 17 751 732 195

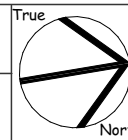
SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

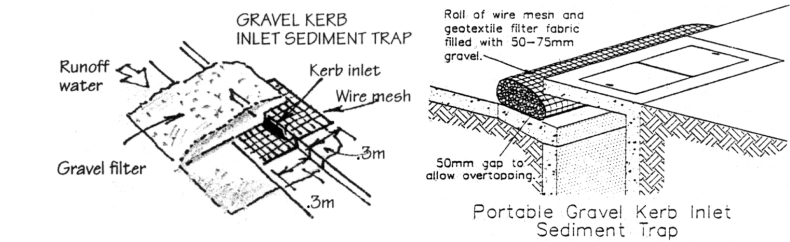
Client **LOUISE STRUTHERS and MATT TRUMAN**

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099
SITE PLAN & CALCULATIONS



Scale **1:200**
Date **Friday, 1 April 2022**

Job Number **21-0713**
Drawn **S.G.**
Drawing No. **S2**

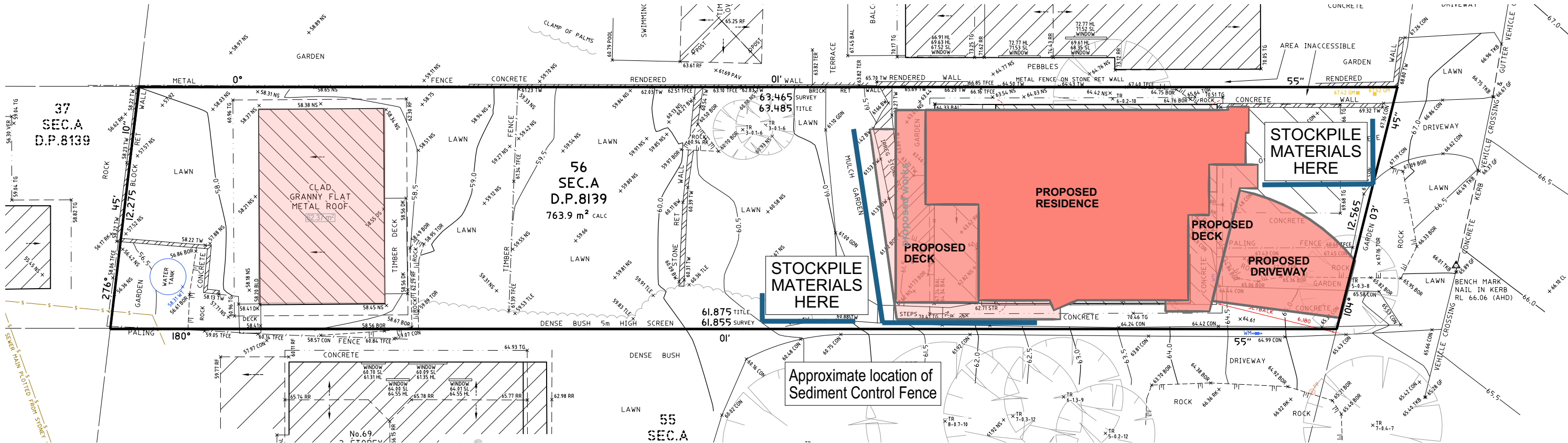


GUTTER PROTECTION

Provide protection to down hill Grate in Gutter by means of Sand bags or blue metal wrapped in geotextile fabric. When soil or sand builds up around this sediment barrier, the material should be relocated to the site for disposal.

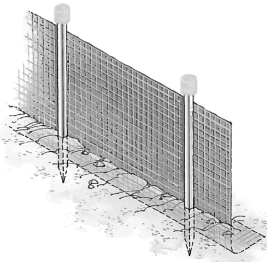
SITE ACCESS

Vehicular access to the site must be via a single entry point that is stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud, clay, concrete washing, paint or similar materials must be removed from the roadway, by means other than washing, on a daily basis.



DUST CONTROL

To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especially during the movement of machinery is required. Where excavating into rock, keep the surface moist to minimise dust. Construct a gravel entry/exit point using blue metal and restrict all vehicle movements within the site to a minimum. Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated. Prevent dust by covering stockpiles.



SEDIMENT CONTROL FENCE

- 1 Excavate a trench a minimum of 200mm wide and 200mm deep on the uphill side of the proposed line of silt fence.
- 2 Drive adequate length support posts to a depth (minimum 400mm) appropriate for the site conditions downhill of the trench.
 - A. Post spacing is typically at 2m centres with wire attached along the top between posts to assist with support of the silt fence.
 - B. Post spacing can be increased up to 4m centres if supported by 2.5mm diameter high tensile wire at mid height and along the top with hog rings, clips or pins every 150mm connecting the silt fence along the top wire.
- 3 Roll out silt fence and position up against the support posts and fold over top wire. Hog rings, clips or pins are used to attach the silt fence to the top wire (at the required spacing).
- 4 Bury bottom section along the base and up the side of the trench leaving a minimum exposed height of 600mm and backfill with soil. Compact to ensure good anchorage. Place safety caps on posts.

ON-GOING WASTE MANAGEMENT

Residents to manage waste on a daily basis - by separating materials into re-usables, recyclables, waste and garden organics for inclusion in appropriate disposal bins. Bins to be placed kerbside on specified days for collection by council.

ON-SITE PRACTICES

All trenches must be filled immediately after services are laid. Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry, must not be washed into stormwater system. It is against the law to pollute waters with any solid, liquid or gas. Where possible construct a depression or earth dam below brick, concrete or tile cutting. If this is not possible, pass water through a filter.

SEDIMENT NOTE:

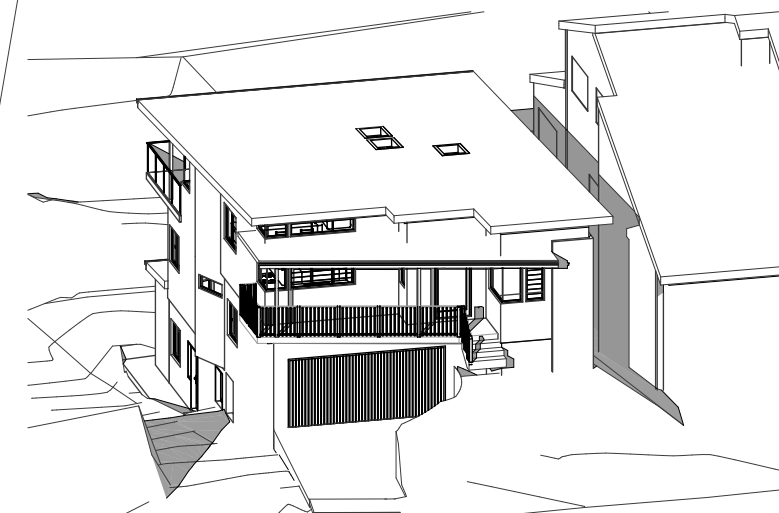
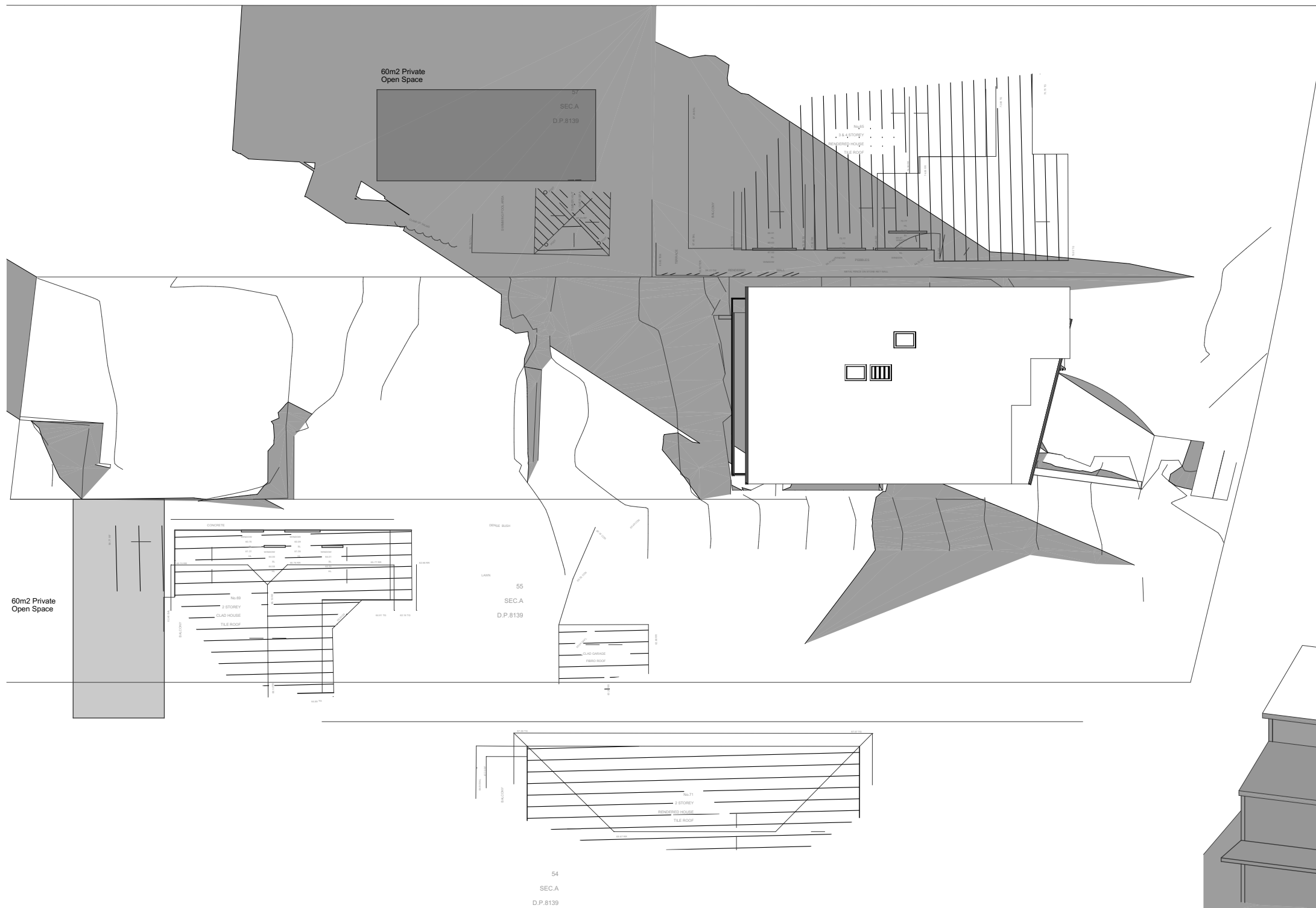
1. All Erosion and Sediment Control measures to be inspected and maintained daily, by the site manager.
2. Minimise disturbed areas, remove excess soil from excavation area as soon as possible.
3. All material stockpile to be clear from drains, gutters and footpaths, or within sediment fence.
4. Drainage to be connected to Stormwater as soon as possible. If stored on site, it must be filtered before releasing into the stormwater system or waterways.
5. Roads and footpaths to be swept daily.

BUILDING WASTE DISPOSAL

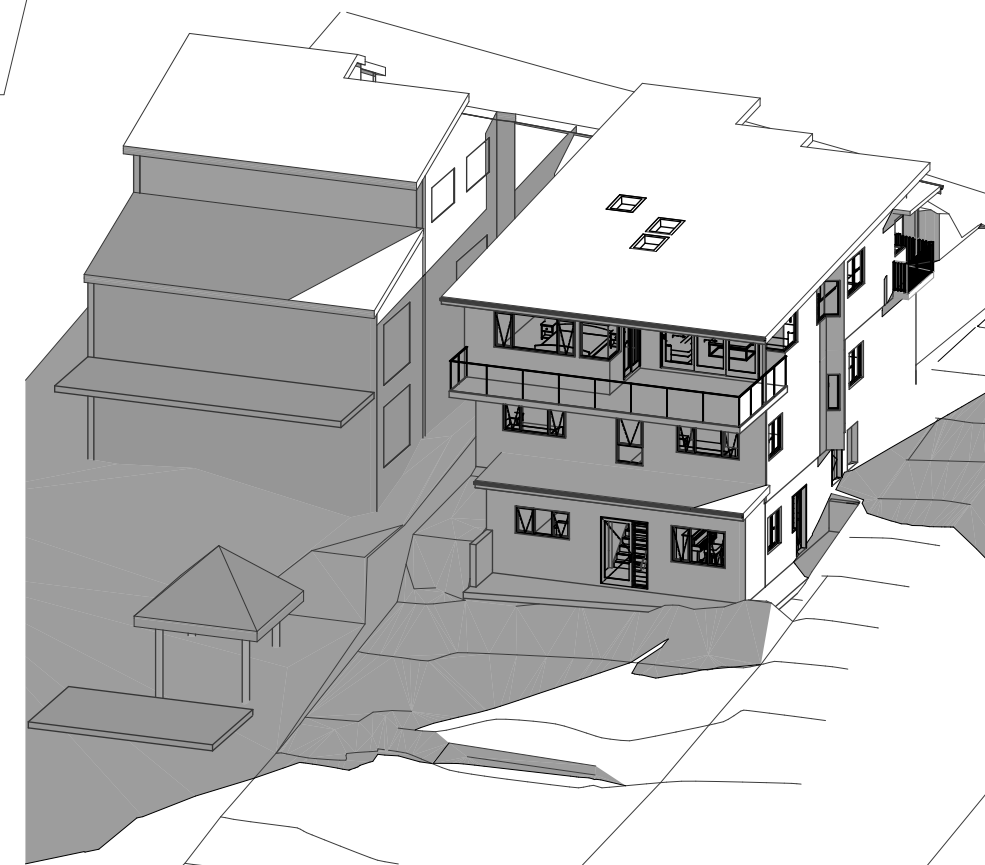
All waste materials are to be sorted and transported to the local authorized waste management centre for potential re-use or recycling. Garden waste to be delivered to an authorized Recycling centre for chipping for reuse as mulch. Any Asbestos materials located on the site during the demolition process is to be properly disposed of in accordance with the guidelines of the relevant regulatory authority. Every attempt will be made to keep waste to a minimum.

STOCK PILES

All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips require council's permission. All stockpiles are to be placed away from the drainage lines and street gutters. It is best to locate these on the highest part of the site if possible. Place waterproof covering over stockpiles. If required provide diversion drain & bank around stockpiles.



9am PERSPECTIVE FRONT



9am PERSPECTIVE REAR

NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY

**PENINSULA
HOMES**

bdac
ACCREDITED
BUILDING DESIGNER

ACCREDITATION No. 6255
ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



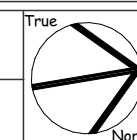
NOTE
This drawing is the copyright of Sally Gardner Design and Draft
and may not be altered, reproduced or transmitted in any form or
by any means in part or in whole without permission of Sally
Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used
only.
The builder/contractor shall check and verify all levels and
dimensions on site prior to commencement of any work, creation
of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor
and referred to the designer prior to the commencement of works.

Client **LOUISE
STRUTHERS
and MATT
TRUMAN**

**PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099**

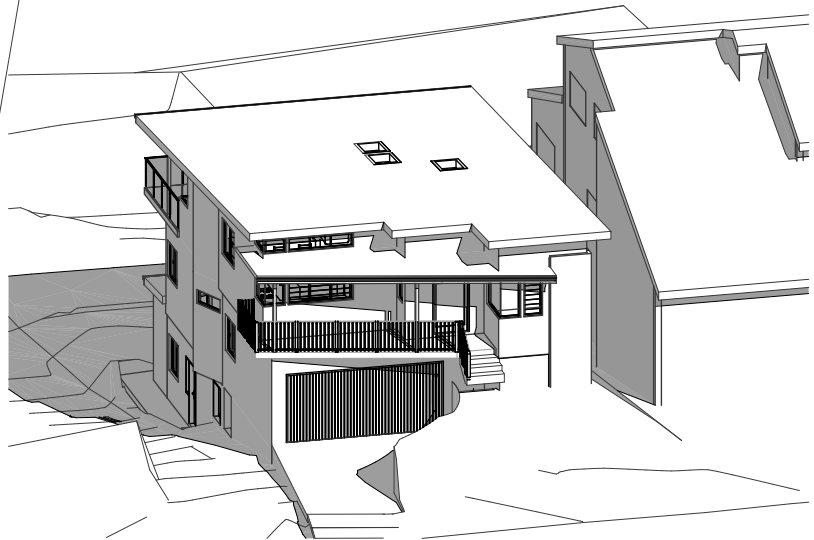
Drawing Title

SHADOW DIAGRAM - 9AM JUNE 21 - WINTER SOLSTICE

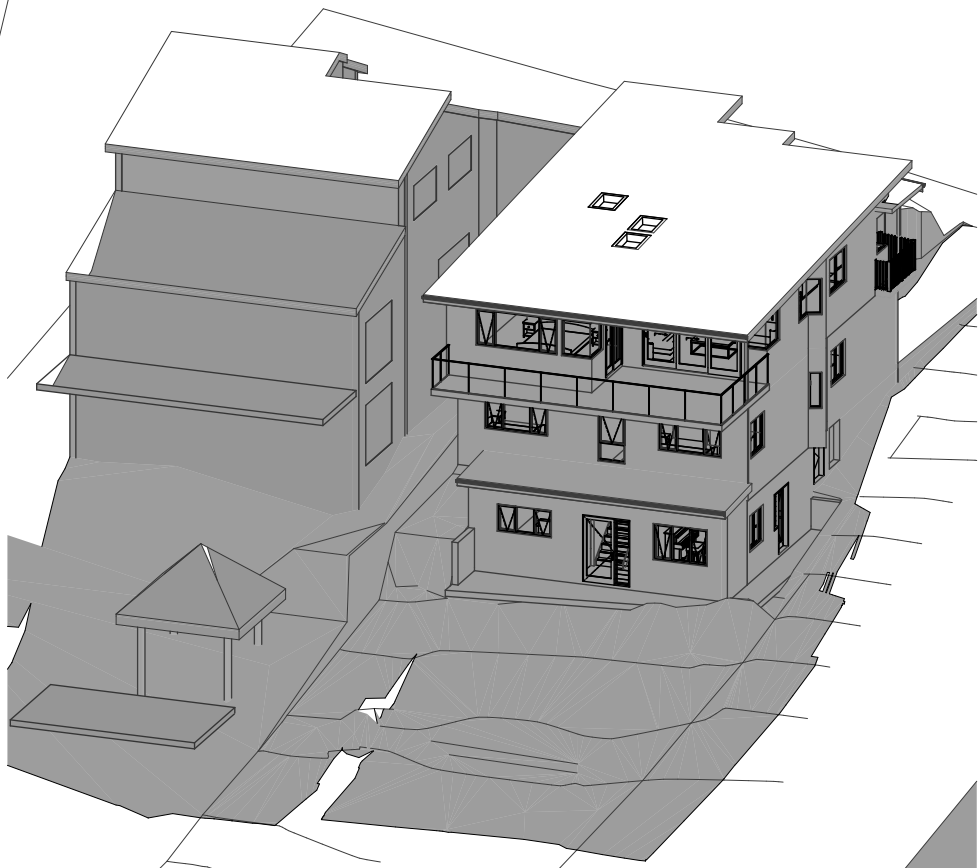


Scale **1:250**
Date **Friday, 1 April
2022**

Job Number **21-0713**
Drawn **S.G.**
Drawing No. **S4**



12 pm PERSPECTIVE FRONT



12pm PERSPECTIVE REAR

NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY



ACCREDITATION No. 6255
ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL

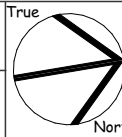


Sustainability Design™ Specialist

NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

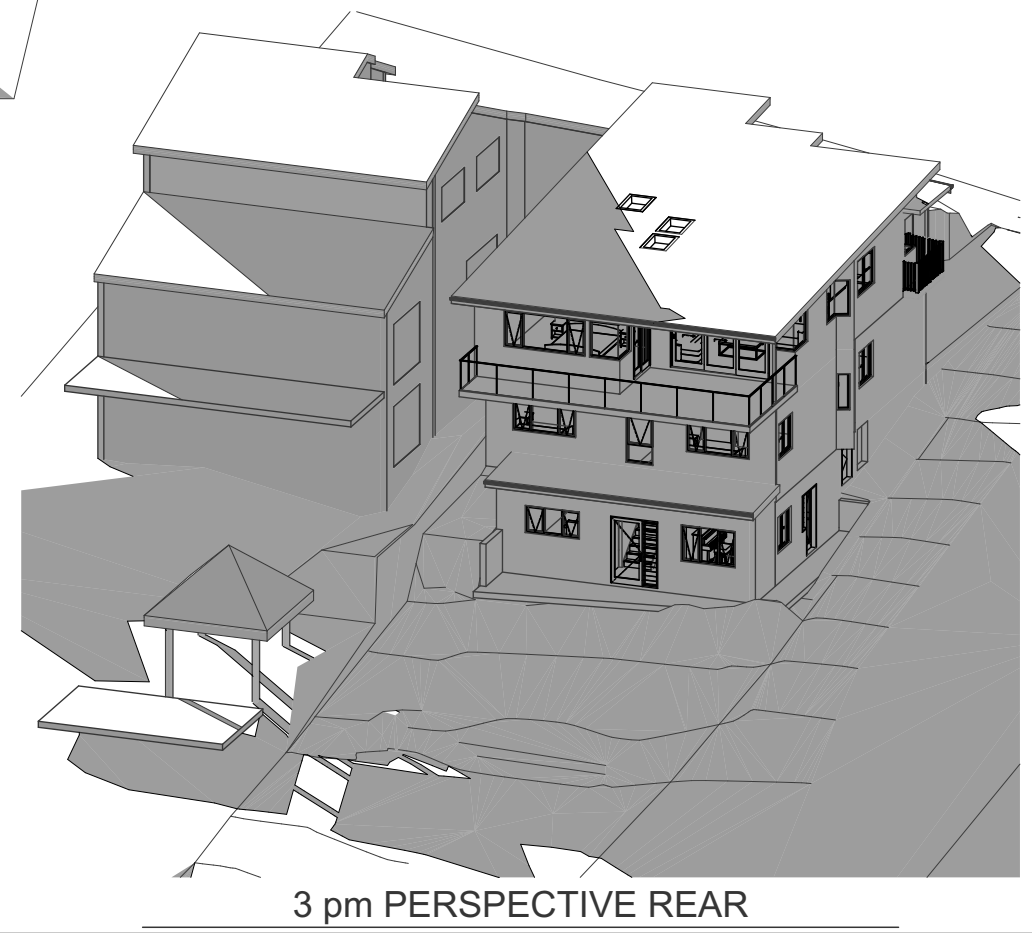
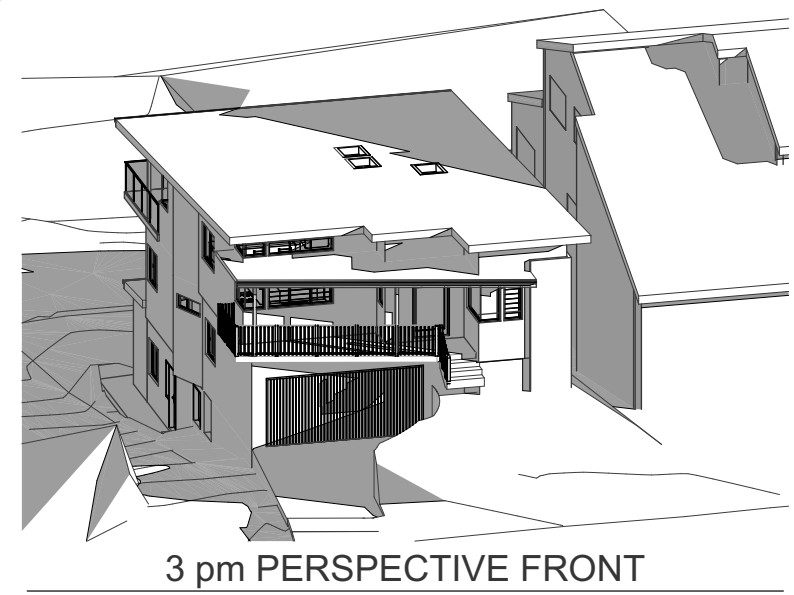
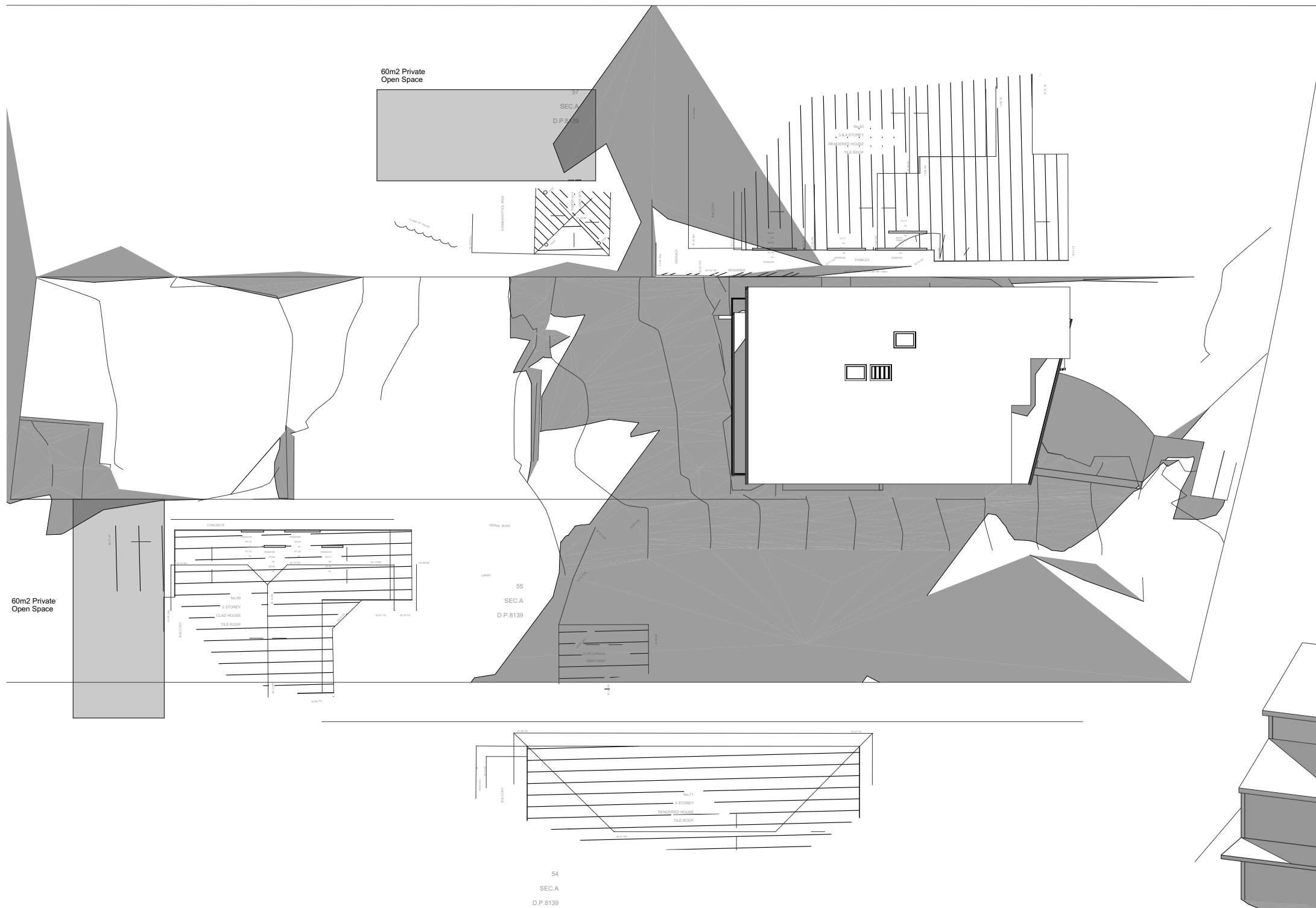
Client LOUISE STRUTHERS and MATT TRUMAN

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099
Drawing Title
SHADOW DIAGRAM - 12 NOON JUNE 21 - WINTER SOLSTICE



Scale 1:250
Date Friday, 1 April 2022

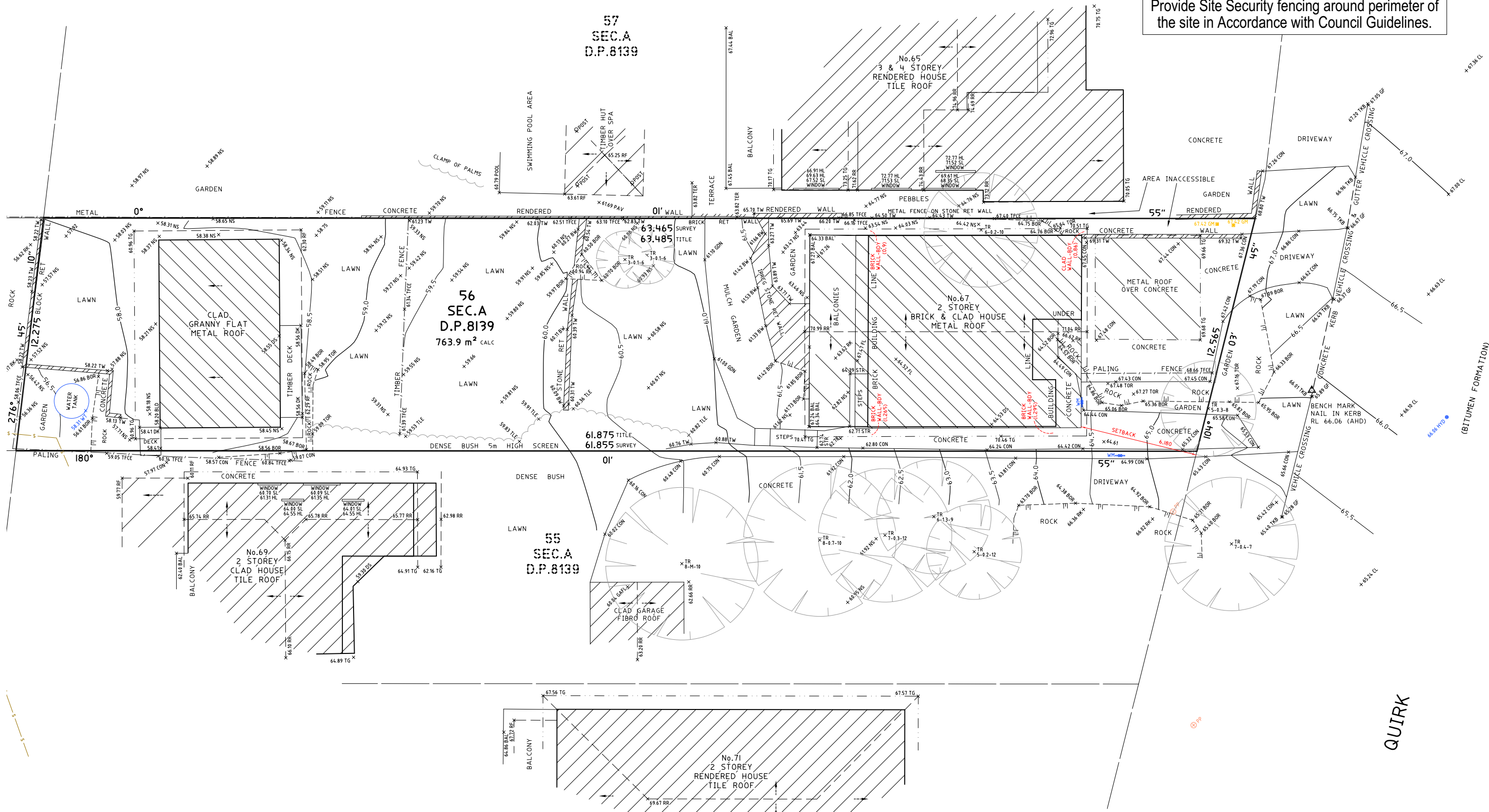
Job Number 21-0713
Drawn S.G.
Drawing No. S5



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY

EXISTING RESIDENCE AND CARPORT ONLY
TO BE DEMOLISHED.

Provide Site Security fencing around perimeter of
the site in Accordance with Council Guidelines.



NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY

WINDOW SCHEDULE												
ID	ac opening	CW01	CW02	CW03	CW04	CW05	CW06	CW07	CW08	CW09	CW10	CW11
W x H	900×1,350	1,389×1,200	600×1,200	900×1,200	600×1,200	889×1,200	465×1,200	600×1,200	1,000×1,200	900×1,200	900×1,200	900×450
SILL HEIGHT	1,350	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	2,750
HEAD HEIGHT	2,700	2,200	2,200	2,200	2,200	2,200	2,200	2,200	2,200	2,200	2,200	3,200
ELEVATION												
Surface Area	1.22	1.80	0.85	1.21	0.85	1.13	0.62	0.85	1.33	1.21	1.21	0.45
Home Story	LOWER GROUND	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	CEILING

WINDOW SCHEDULE												
ID	CW12	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11
W x H	600×450	1,810×900	1,810×1,200	1,200×1,200	1,250×1,200	1,200×450	400×1,200	1,200×1,200	2,100×1,200	900×1,800	2,100×1,200	1,500×1,200
SILL HEIGHT	2,750	1,300	1,000	900	1,000	2,000	1,000	1,000	1,000	400	1,000	1,000
HEAD HEIGHT	3,200	2,200	2,200	2,100	2,200	2,450	2,200	2,200	2,200	2,200	2,200	2,200
ELEVATION												
Surface Area	0.32	1.63	2.17	1.44	1.50	0.54	0.48	1.44	2.52	1.62	2.52	1.80
Home Story	CEILING	LOWER GROUND	LOWER GROUND	LOWER GROUND	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR

WINDOW SCHEDULE												
ID	W12	W13	W14	W15	W16	W17	W18	W19	W20	W21	W22	W23
W x H	600×1,200	600×1,200	750×1,200	900×1,200	600×1,500	2,100×600	2,100×600	2,700×1,200	1,500×1,200	2,100×1,200	600×1,200	600×1,200
SILL HEIGHT	1,000	1,000	1,000	1,000	950	2,000	2,000	1,000	1,000	1,000	1,000	1,000
HEAD HEIGHT	2,200	2,200	2,200	2,200	2,450	2,600	2,600	2,200	2,200	2,200	2,200	2,200
ELEVATION												
Surface Area	0.72	0.72	0.90	1.08	0.90	1.26	1.26	3.24	1.80	2.52	0.72	0.72
Home Story	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR

DOOR SCHEDULE							
ID	D01	D02	D03	D04	D05	D06	D07
W x H	1,570×2,200	1,250×2,100	3,300×2,200	1,400×2,200	1,120×2,372	5,050×2,250	900×1,200
Home Story	LOWER GROUND	LOWER GROUND	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	GROUND FLOOR	LOWER GROUND
Surface Area	3.45	2.63	7.26	3.08	2.82	11.36	1.08

OBJECT INVENTORY			
ID	a-SK1	a-SK2	a-SK3
NAME	Skylight Flat Panel 24	Skylight Flat Panel 24	Skylight Flat Panel 24
QUANTITY	1	1	1
LENGHT (A)	876	876	876
WIDTH (B)	1,181	1,181	1,181
HEIGHT	250	250	250
2D			
3D PREVIEW			

NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY



ACCREDITATION No. 6255
ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

Client LOUISE STRUTHERS and MATT TRUMAN

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099

WINDOW & DOOR SCHEDULES

Scale 1:1, 1:1.33
Date Friday, 1 April 2022

Job Number 21-0713
Drawn S.G.
Drawing No. N2

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 200 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 171 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> the cold water tap that supplies each clothes washer in the development 		✓	✓
<ul style="list-style-type: none"> at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		✓	✓

Thermal Comfort Commitments
Simulation Method
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

Floor and wall construction	Area
floor - concrete slab on ground	47.0 square metres
floor - suspended floor/enclosed subfloor	116.0 square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 star (average zone)
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 star (average zone)
The cooling system must provide for day/night zoning between living areas and bedrooms.
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 star (average zone)
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 star (average zone)
The heating system must provide for day/night zoning between living areas and bedrooms.
Ventilation
The applicant must install the following exhaust systems in the development: <p>At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off</p> <p>Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off</p> <p>Laundry: natural ventilation only, or no laundry; Operation control: n/a</p>
Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none"> at least 5 of the bedrooms / study; dedicated
<ul style="list-style-type: none"> at least 2 of the living / dining rooms; dedicated
<ul style="list-style-type: none"> the kitchen; dedicated
<ul style="list-style-type: none"> all bathrooms/toilets; dedicated
<ul style="list-style-type: none"> the laundry; dedicated
<ul style="list-style-type: none"> all hallways; dedicated
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Other
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.

NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. SURVEYORS DEE WHY



ACCREDITATION No. 6255
ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



NOTE
This drawing is the copyright of Sally Gardner Design and Draft and may not be altered, reproduced or transmitted in any form or by any means in part or in whole without permission of Sally Gardner Design and Draft.
Do not scale these drawings. Figured dimensions are to be used only.
The builder/contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
Any errors or omissions are to be verified by the builder/contractor and referred to the designer prior to the commencement of works.

Client LOUISE STRUTHERS and MATT TRUMAN

PROPOSED RESIDENCE
67 QUIRK STREET DEE WHY 2099

Drawing Title

BASIX COMMITMENTS

Scale

Date

Friday, 1 April 2022

Job Number

21-0713

Drawn

Drawing No.

S.G.

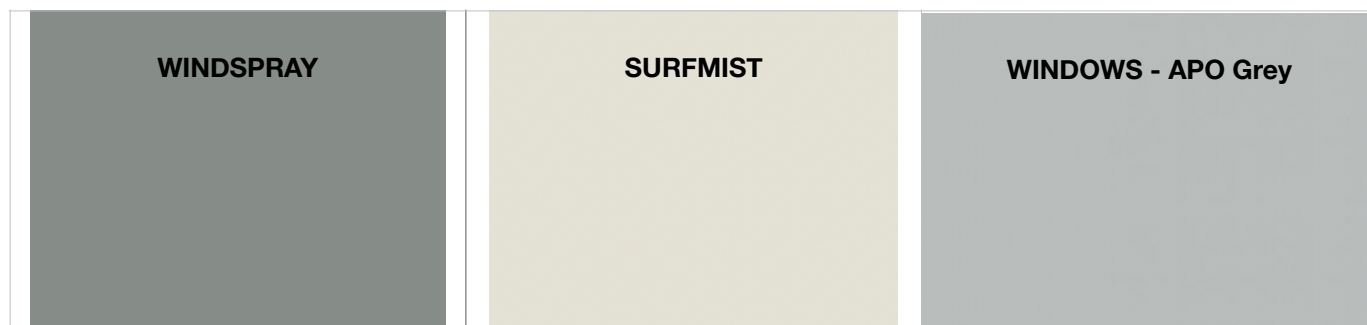
N3

External Finishes Schedule

67 Quirk St, Dee Why

Colorbond Roof Sheetting	Windspray <i>(or similar)</i>
Gutters	Surfmist <i>(or similar)</i>
Fibre Cement Cladding	Hardies Scyon Linea in Dulux White Verdict half <i>(or similar)</i>
Rendered Walls	Dulux White Exchange <i>(or similar)</i>
Windows	APO Grey <i>(or similar)</i>
Feature Timber Cladding	Hardies Axon 133 overlaid with vertical timber battens Dulux White Exchange <i>(or similar)</i>
Stone feature	Light coloured rock face sandstone <i>(or similar)</i>
Entry Deck	Blackbutt Timber <i>(or similar)</i>
Balustrade	Vertical timber in Dulux White Exchange <i>(or similar)</i>

Colorbond Roof/Gutter



Fibre Cement Cladding

Render

Rock Face Sandstone

Timber Decking

