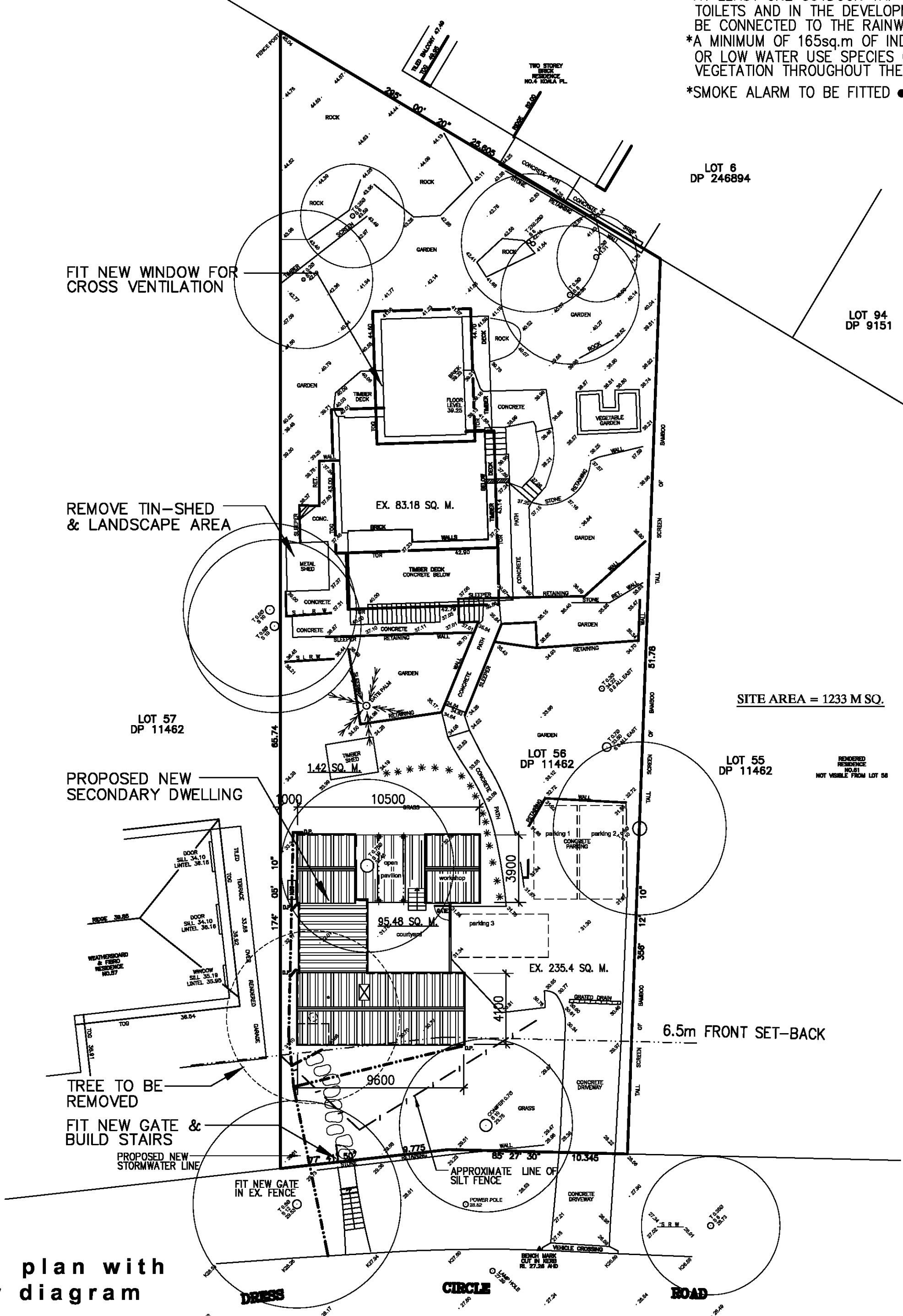
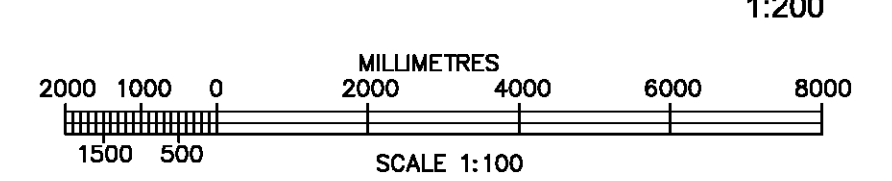
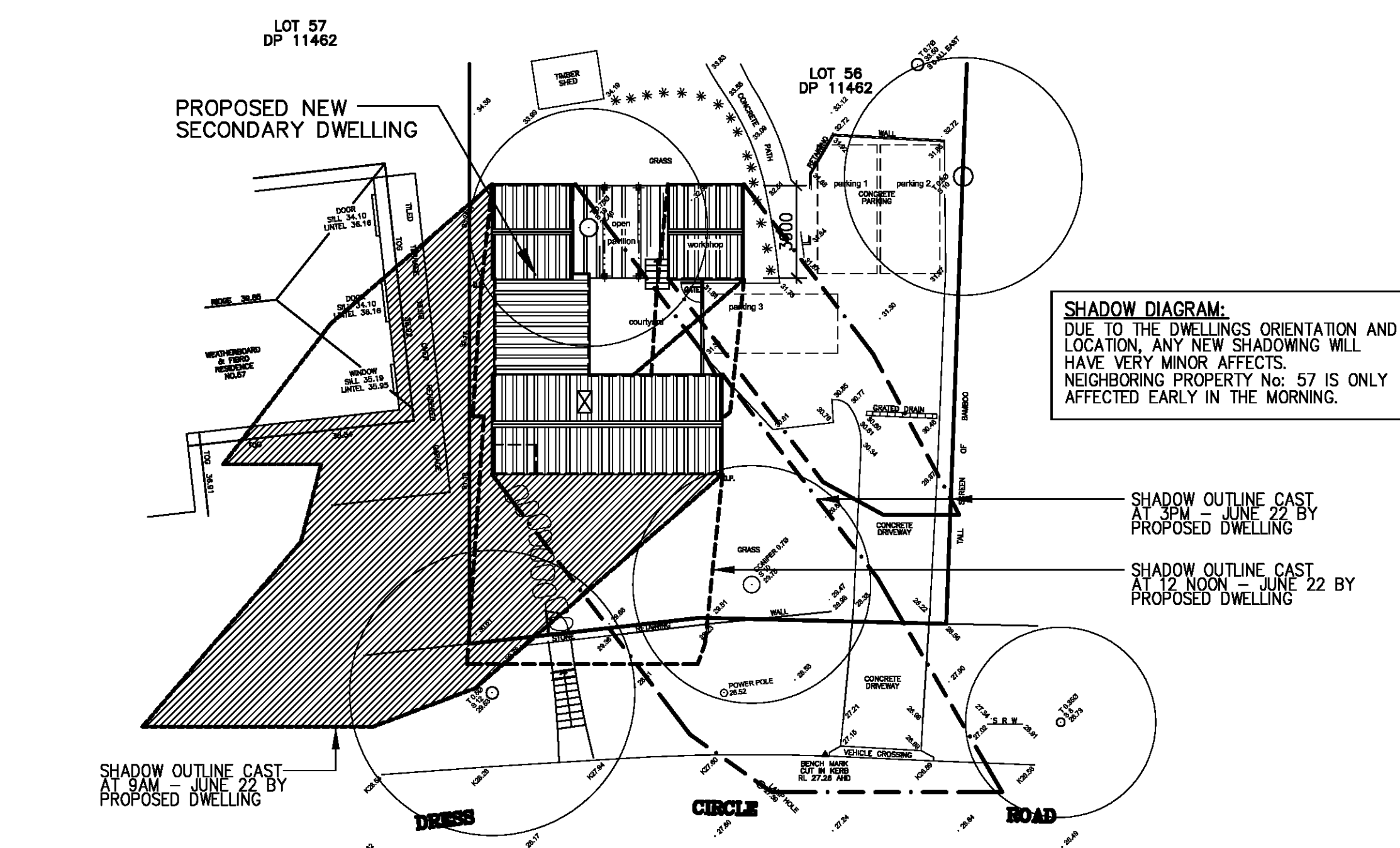
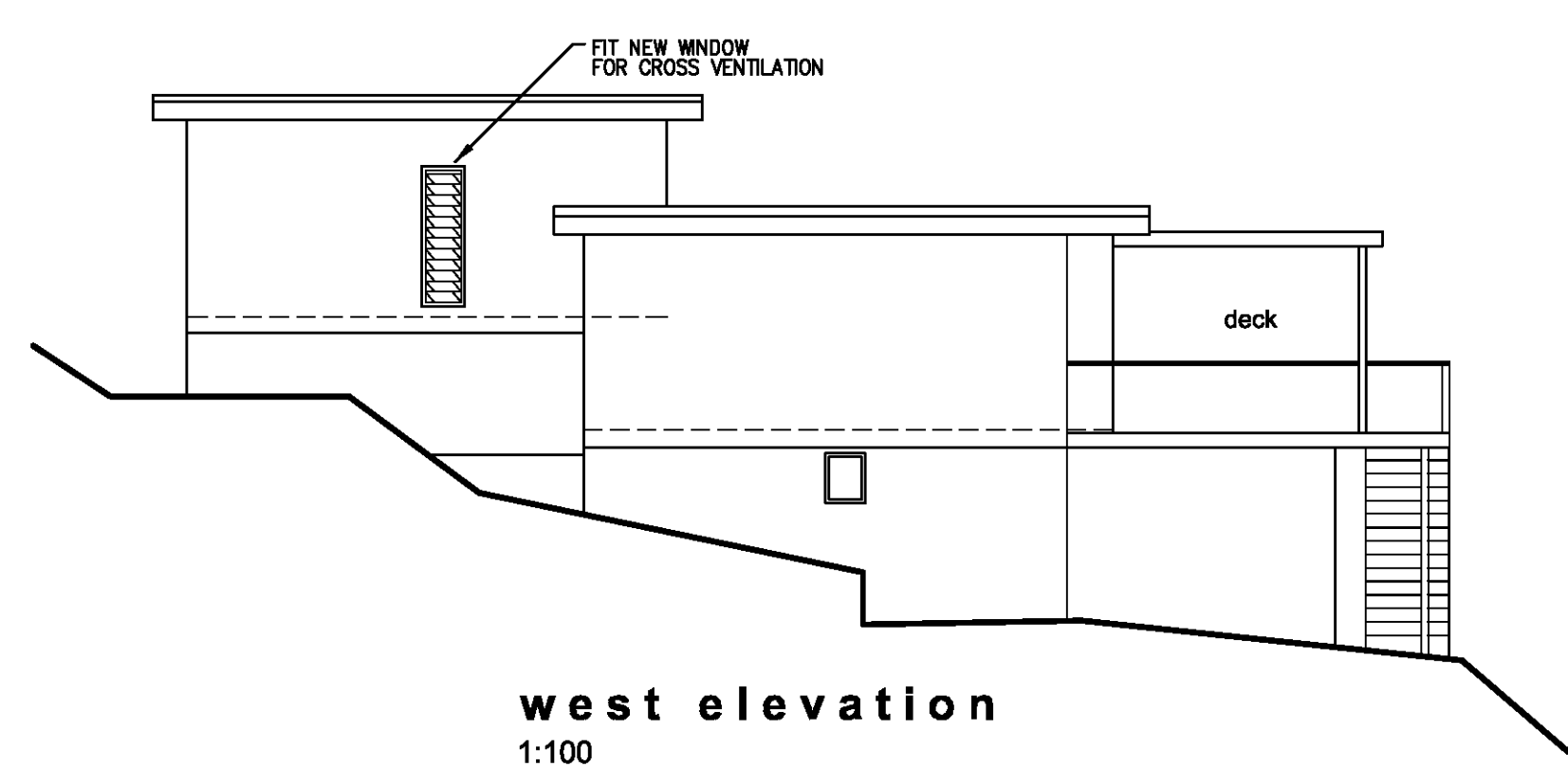
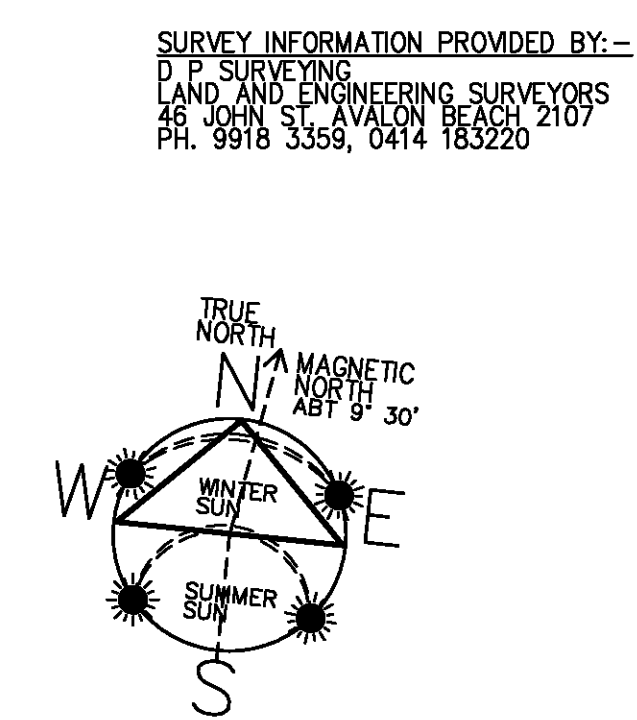


alterations to existing residence



THIS PLAN TO BE READ IN CONJUNCTION WITH
DA2018/0498
NORTHERN BEACHES COUNCIL

- NOTES:
- *LIGHTING: FIXTURE TO BE FITTED WITH FLUORESCENT, COMPACT OR LED LAMPS.
 - *ALL DOORS & WINDOWS TO BE INSTALLED AS SPECIFIED ON THE LIST IN BASIX - ALUMINUM B SG LOW Solar Gain Low-E U-VALUE: 5.60 SHGC=0.41 and ALUMINUM THERMALLY BROKEN B D G AirFill (U-VALUE: 3.60, SHGC: 0.30)
 - *ALL TAPS, FIXTURES FITTINGS & TOILETS (EXCEPT SHOWER, 4 STAR MIN) TO BE MINIMUM WATER RATING OF 6 STARS
 - *NEW HOTWATER SYSTEM TO BE GAS INSTANTANEOUS MIN. 5 STAR RATING.
 - *RAINWATER TANKS OF AT LEAST 2000L TO BE INSTALLED COLLECTING RAIN RUNOFF FROM MINIMUM 69sq.m. OF ROOF.
 - *AT LEAST ONE OUTDOOR TAP AND ALL TOILETS AND IN THE DEVELOPMENT TO BE CONNECTED TO THE RAINWATER TANK.
 - *A MINIMUM OF 165sq.m OF INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT THE SITE.
 - *SMOKE ALARM TO BE FITTED ●



BASIX:
THE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE CORRECT BASIX CERTIFICATE (A COPY IS ATTACHED). ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REPORT.

SITE CALCULATIONS	
SITE AREA	1233 SQ. M
EXISTING:	
FLOOR AREA	83.18 SQ. M
DECK & CONC. AREA	235.40 SQ. M
GARDEN SHED	1.42 SQ. M
PROPOSED:	
NEW SECONDARY DWELLING	68.69 SQ. M
NEW DECK & WORKSHOP	26.79 SQ. M
TOTAL BUILT UPON AREA	415.48 SQ. M
	33.7% < 40% + 6%
CARPARKING	3 CARS

- NOTES
1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB. ANY DISCREPANCIES MUST BE RESOLVED PRIOR TO COMMENCEMENT OF WORK.
 2. ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT SAA, BUILDING CODES AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
 3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
 4. IT IS THE OWNERS RESPONSIBILITY TO DETERMINE THE LOCATION OF ANY SEWER MAINS OR EASEMENTS OR ANY OTHER CONDITIONS WHICH WILL AFFECT THE BUILDING DESIGN.
 5. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
 6. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE A.S.1684.
 7. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
 8. FINAL POSITION OF ALL DOWNPIPES TO BE DECIDED BY ROOF PLUMBER.
 9. ANY STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A STRUCTURAL ENGINEER.
 10. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
 11. ALL ELECTRICAL, POWER & LIGHT OUTLETS AS DETERMINED BY OWNER.
 12. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
 13. ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

-	19/3/2018	issue to client for council approval
mark	date	amendments.

project.
New secondary dwelling
for:
Mr. & Mrs. Henry
59 Dress Circle Road
Avalon Beach NSW 2107

drawing title.
**Site- & storm water plan,
elevations with ex. residence
shadow diagram - June 22**

scale.
1:100 / 1:200

date.
March 2018

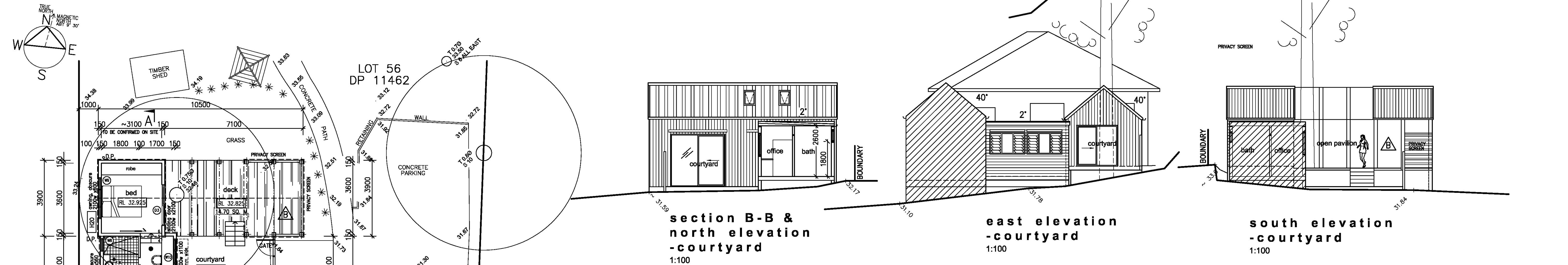
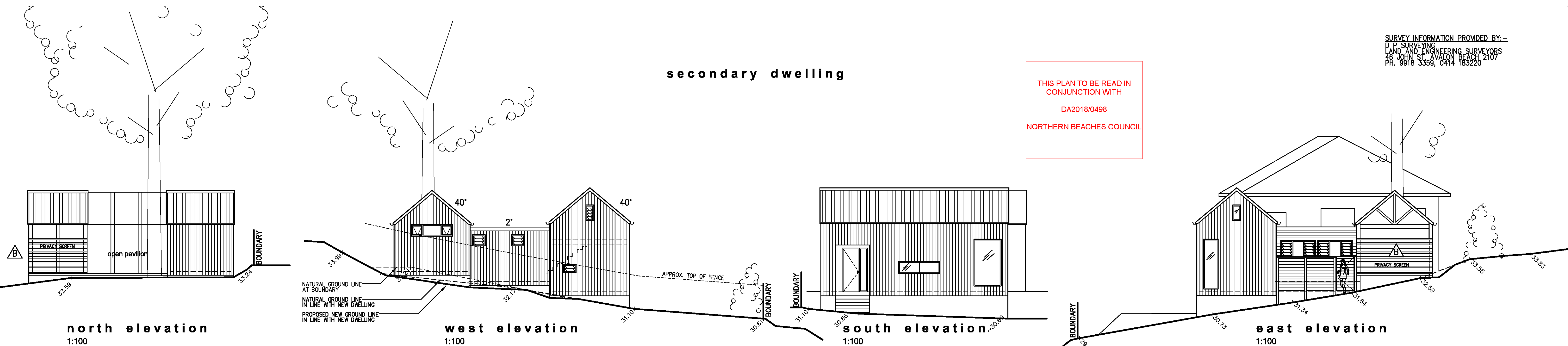
Draftperson.
ANNA HENRY
AH DESIGN
22 WANDEEN ROAD, CLAREVILLE NSW 2107
T. 0415 559 737
E. ahdesign@gmail.com

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project no.	sheet no.	of
A-112	1	2
	amendments.	-

secondary dwelling

THIS PLAN TO BE READ IN
CONJUNCTION WITH
DA2018/0498
NORTHERN BEACHES COUNCIL



B	12/7/2018	workshop removed
A	1/7/2018	amendments to internal floor layout
-	19/3/2018	issue to client for council approval
mark	date	amendments.

project.
New secondary dwelling
for:
Mr. & Mrs. Henry
59 Dress Circle Road
Avalon Beach NSW 2107

drawing title.
**Site- & floor plan, section
& elevations**

scale. 1:100 date. JULY 2018

Draftperson.
ANNA HENRY
AH DESIGN
22 WANDEEN ROAD, CLAREVILLE NSW 2107
T. 0415 559 737
E. ahdesign@gmail.com

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project no. A-112 sheet no. 2 of 2
amendments. B

