

ISSUED FOR DEVELOPMENT APPLICATION  
AMENDMENT

LEVEL 2 / 271 ALFRED STREET NORTH  
NORTH SYDNEY NSW 2060  
EMAIL [architects@mhdp.com.au](mailto:architects@mhdp.com.au)  
TELEPHONE (02) 9955 5608  
NSW NOMINATED ARCHITECT  
MARK HURCUM – Reg. No. 5605  
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## GROUND FLOOR PLAN

2416      **A101**      **A**  
1:100 @ A3      JANUARY 2025

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NEW ATTACHED DWELLING  
22 KARINGAL CRESCENT FRENCHS FOREST

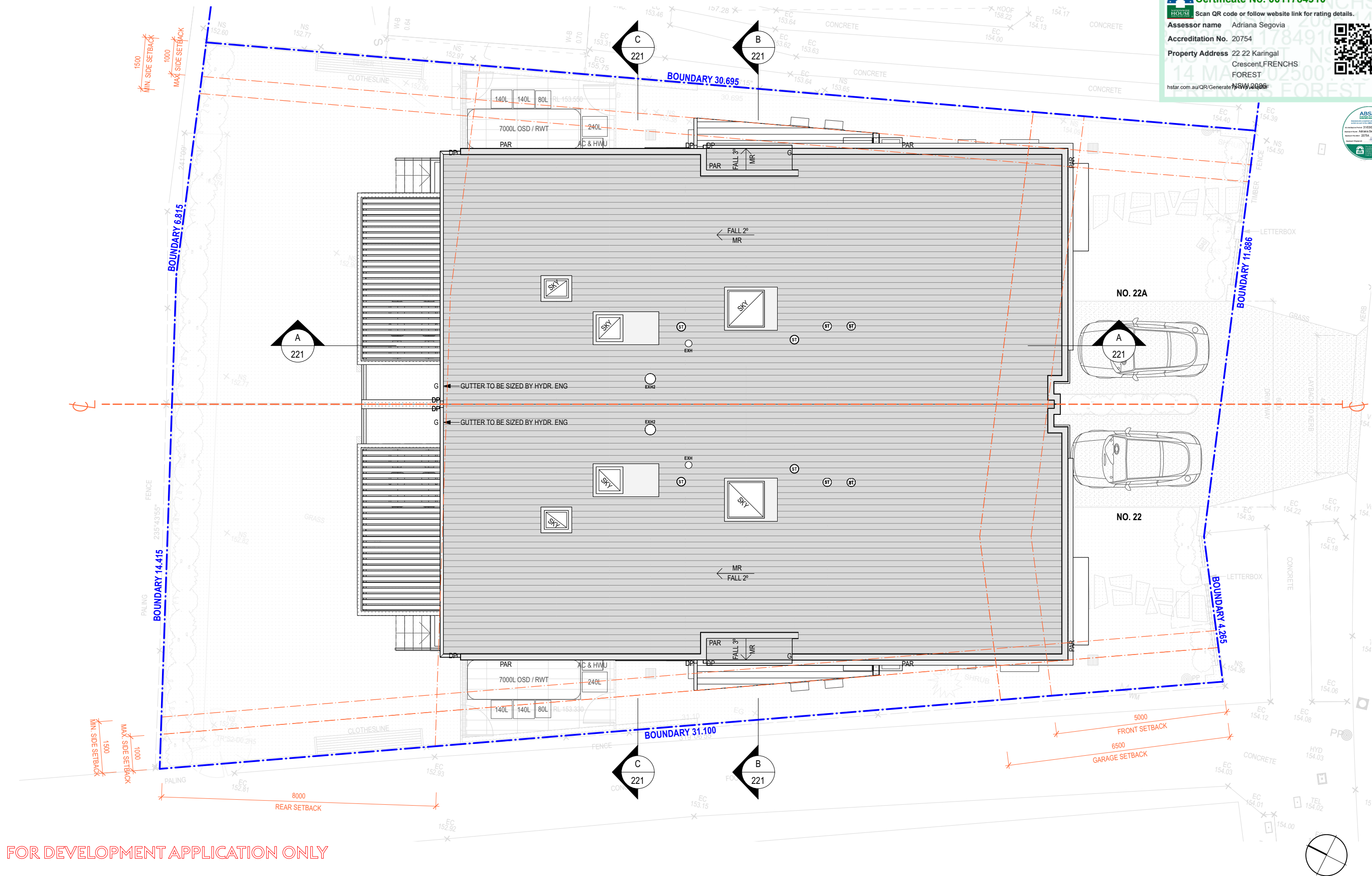
FIRST FLOOR PLAN

2416 A102 A  
1:100 @ A3 JANUARY 2025

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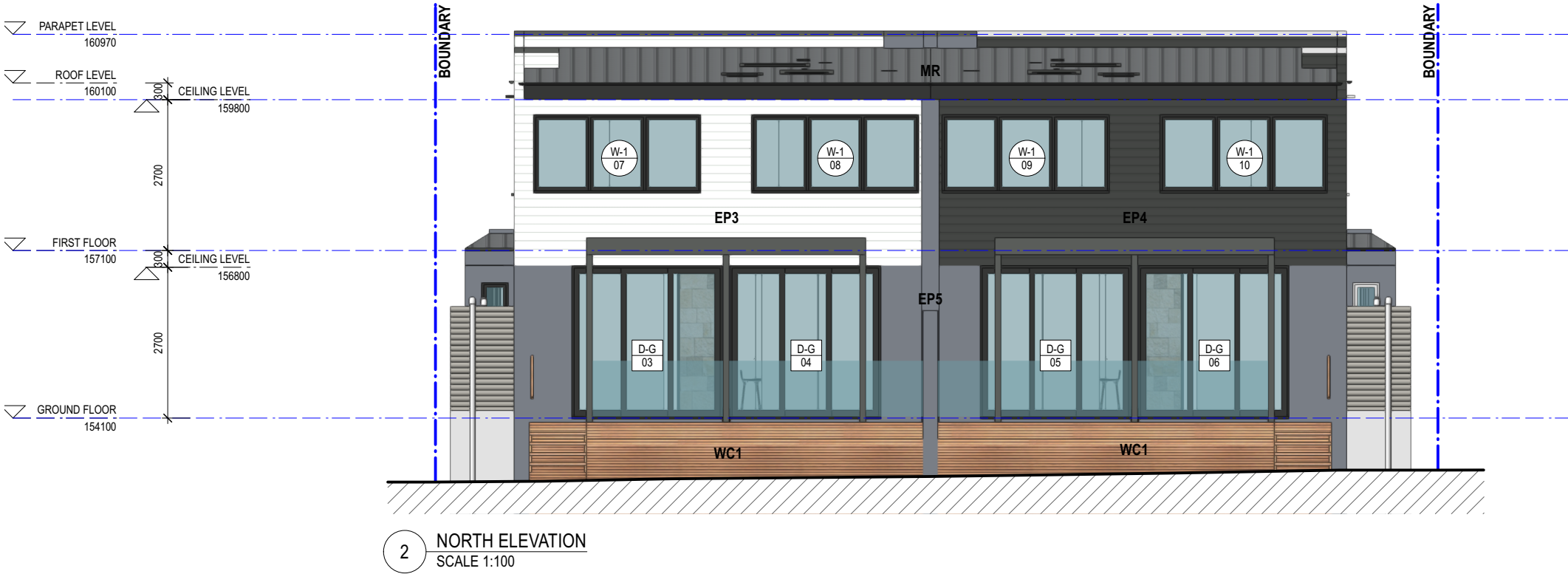
NEW ATTACHED DWELLING  
22 KARINGAL CRESCENT FRENCHS FOREST

ROOF PLAN

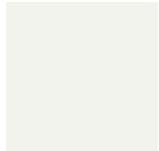





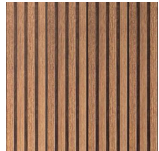
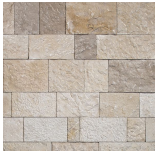
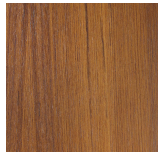


2416 A103 A  
1:100 @ A3 JANUARY 2025

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EXTERNAL FINISHES

	<b>EP1</b> RENDERED INSULCLAD LIGHT GREY		<b>EP2</b> RENDERED INSULCLAD DARK GREY
	<b>EP3</b> LINEA WEATHERBOARD PAINTED LIGHT GREY		<b>EP4</b> LINEA WEATHERBOARD PAINTED DARK GREY
	<b>EP5</b> WALL PAINTED MID GREY		<b>MR</b> METAL ROOF COLORBOND MID GREY SA: 0.57 MEDIUM
	<b>WC1</b> FEATURE WALL CLADDING TIMBER BATTENS		<b>WC2</b> FEATURE WALL CLADDING SANDSTONE
	<b>TC</b> FRONT DOOR SOLID TIMBER		<b>GL1</b> ALUMINIUM FRAMED WINDOWS AND DOORS POWDERCOAT MONUMENT/WHITE (UNO)
	<b>AWN</b> METAL AWNING		

**Certificate No. 0011784910**


Scan QR code or follow website link for rating details.

Assessor name Adriana Segovia

Accreditation No. 20754

Property Address 22 22 Karingal Crescent, FRENCHS FOREST NSW 2086

hstar.com.au/QR/Generate/NSW/2086



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NEW ATTACHED DWELLING  
22 KARINGAL CRESCENT FRENCHS FOREST

NORTH AND SOUTH ELEVATIONS

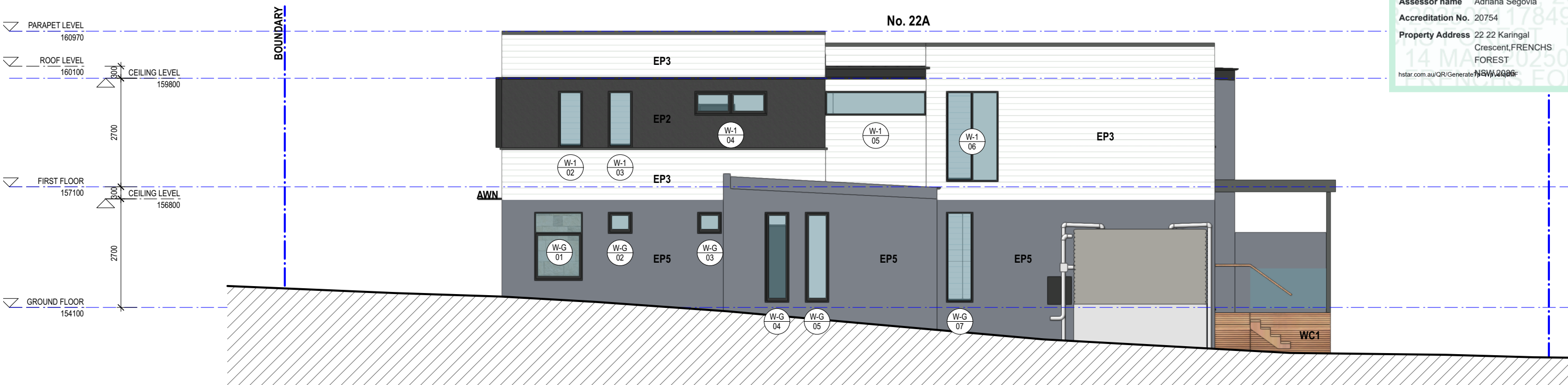
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JANUARY 2025

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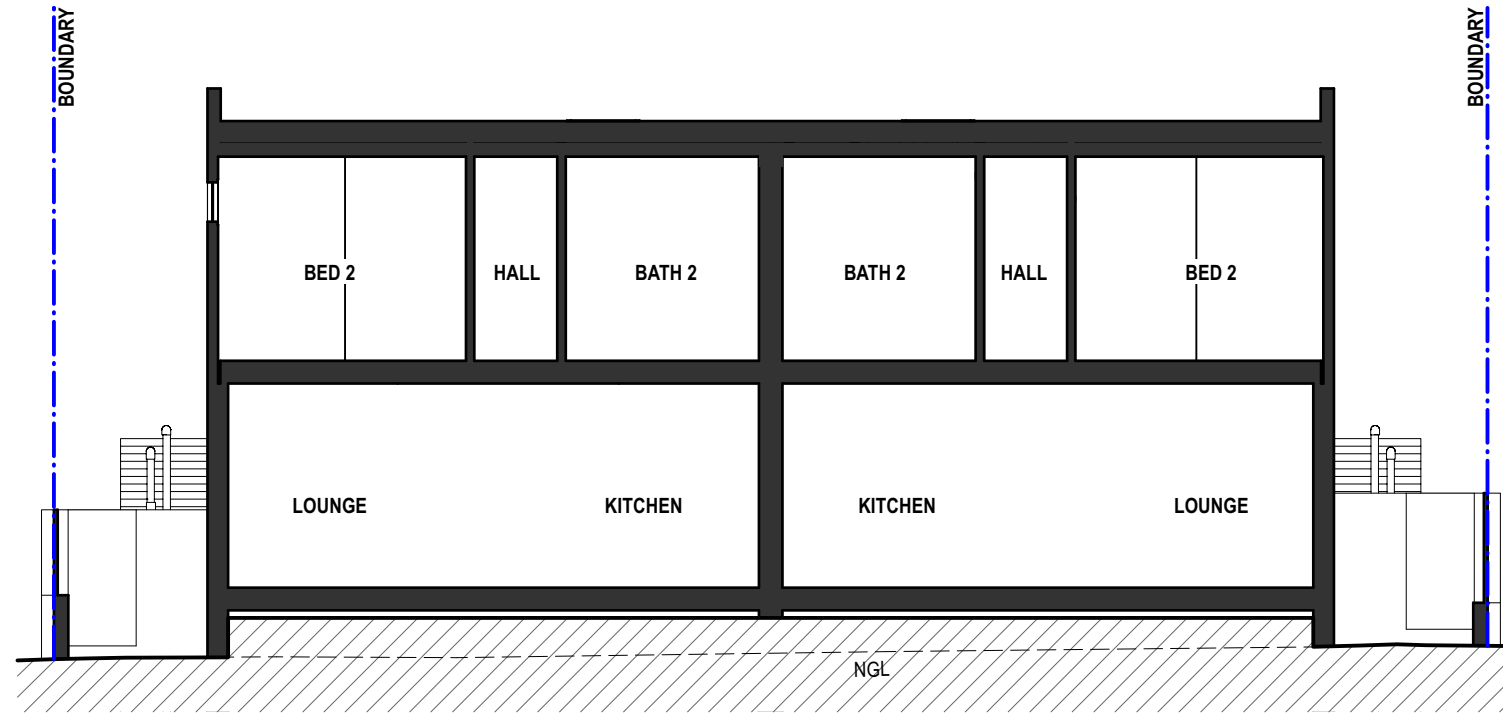
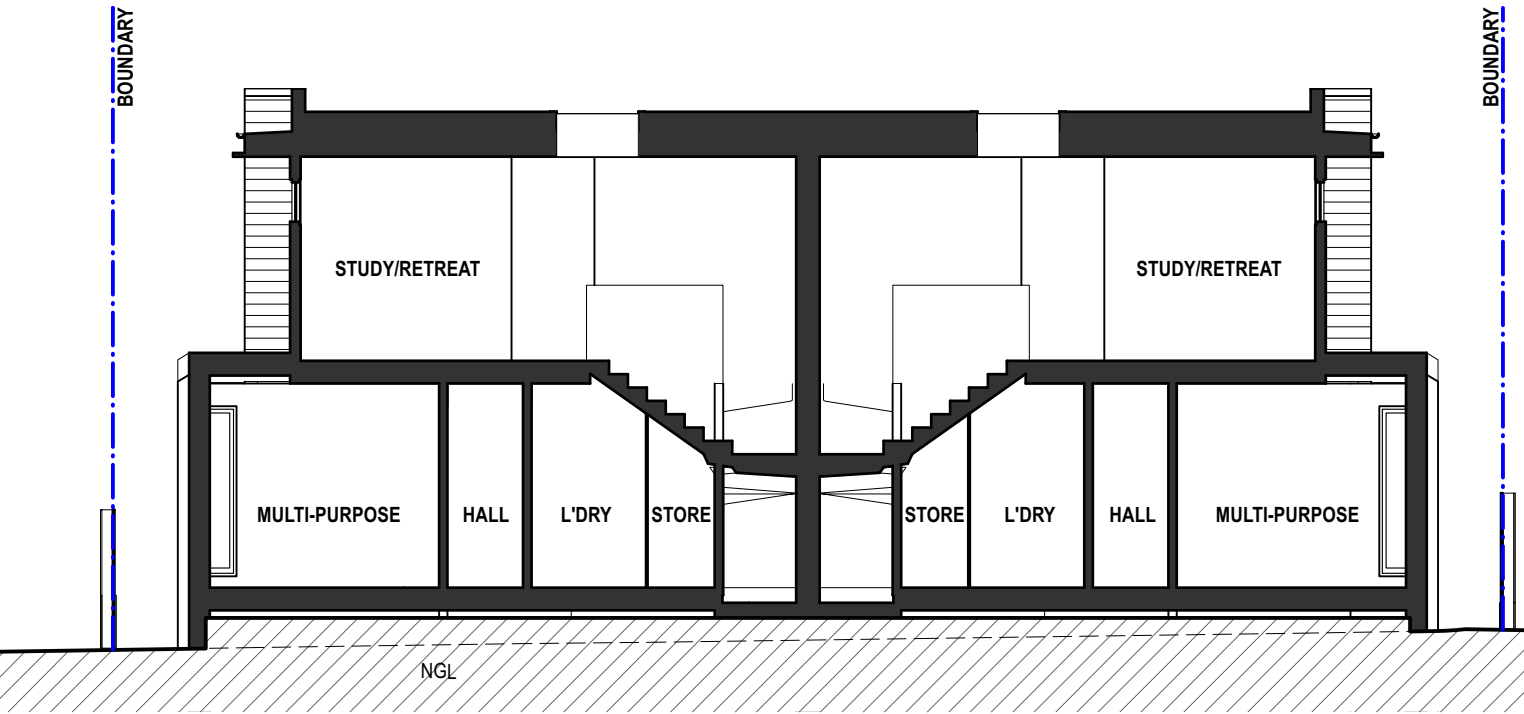
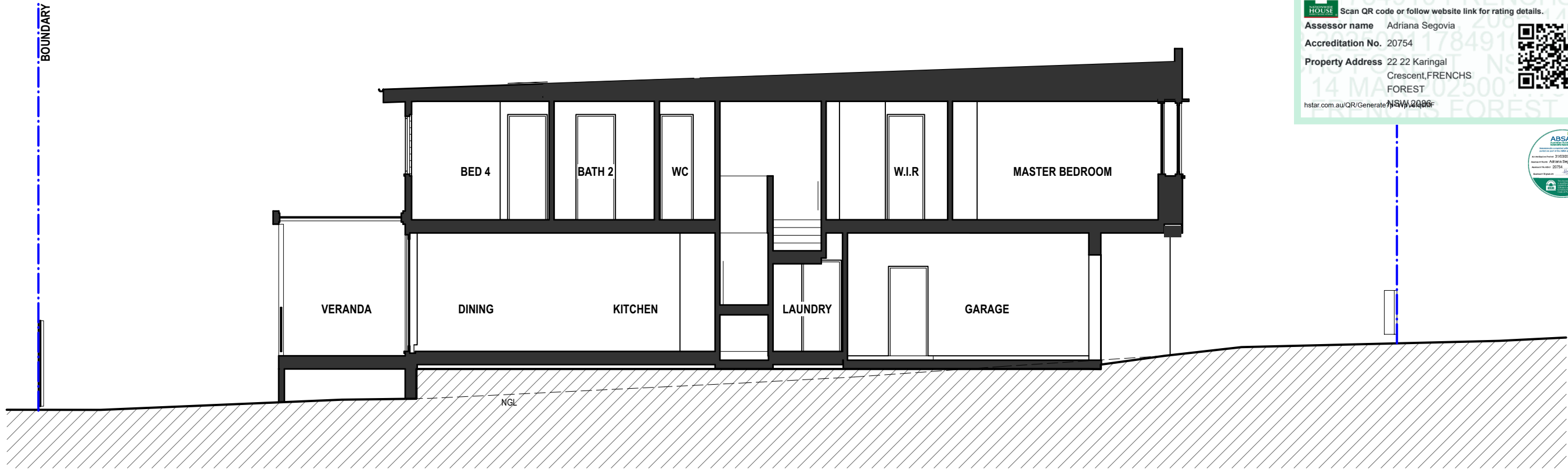






Architectural elevation drawing of a building facade, labeled "No. 22". The drawing shows a two-story structure with a dark grey upper floor and a lighter grey lower floor. The upper floor features large windows and doors, while the lower floor includes a staircase area labeled "WC1" and a large window. The building is situated on a sloping ground. Key levels are marked on the left: Parapet Level (160970), Roof Level (160100), First Floor (157100), and Ground Floor (154100). Vertical dimensions of 2700 and 3000 are indicated. The drawing is bounded by a "BOUNDARY" line on the right.

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# BASIX THERMAL PERFORMANCE COMMITMENTS

**Note: Table 1 must be read in conjunction with Table 2. Table 2 outlines additional thermal enhancements / treatments to meet the mandatory thermal load targets to achieve compliance.**

Table 1: Base Case Assumptions on Construction and Fabric

Element	Material	Detail
External walls	Brick Veneer	<b>Insulation: See Table 3</b> Medium colour: 0.475<Absorptance< 0.70
	Weatherboard cladding	<b>Insulation: See Table 3</b> Dark colour: Absorptance> 0.70 Light colour: Absorptance< 0.475
Internal walls	Plasterboard	
Party walls	Stud with Shaft Liner	<b>Insulation: None</b> Neighbours
Windows	<b>Type 1</b>	Total Window System Properties <b>U-value 4.29 &amp; SHGC 0.47 for louvres only</b>
	<b>Type 2</b>	Total Window System Properties <b>U-value 3.1 &amp; SHGC 0.27 for sliding doors, sliding &amp; fixed windows</b> <b>And</b> Total Window System Properties <b>U-value 3.1 &amp; SHGC 0.27 for bifold doors, awning &amp; casement windows</b>
	<b>Note: Only a ±5% SHGC tolerance to the value stated above &amp; U-value can be NO greater than or equal to the value stated above<sup>1</sup></b>	
	Window Operability	Balcony windows: <b>As per plans &amp; elevations</b> Bedroom windows: <b>10% (BCA H5P2) as per plans &amp; elevations</b> All other non-balcony windows: <b>As per plans &amp; elevations</b>
	Vertical shading device	<b>As per plans &amp; elevations</b>
	Horizontal shading device	Awning: <b>As per plans &amp; elevations</b> Eaves: <b>As per plans &amp; elevations</b>
Skylight	<b>Type 1</b>	<b>U-value 2.6 &amp; SHGC 0.24</b>
Roof	Metal cladding	<b>Insulation: See Table 3</b> Medium colour: 0.475<Absorptance< 0.70
Ceilings	Plasterboard	<b>Insulation: See Table 3</b> Cavity: Unventilated Cavity
Floors	Ground: Concrete slab on ground	<b>Insulation: See Table 3</b> Carpet: Bedrooms Tiles: Wet areas only
	Level 1: Timber	Timber: Elsewhere
Recessed downlights assessed		No lighting plan provided. Project will be updated once lighting plan is available.
Exhaust fans (kitchens, bathrooms, laundry)		<b>All assumed to be sealed</b>


Table 2: BERS Pro Thermal Loads

Unit No.	Additional Treatments Required	Heating Load (MJ/m².yr)	Cooling Load (MJ/m².yr)	Stars	Pass/Fail
22	- R2.3 Floorboard Insulation to all concrete slab on ground (total floor system R-value Rt2.4) - R1.5 Floor Insulation to exposed floors on level 1 (total floor system R-value Rt1.89) - R2.3 Insulation board with double-sided foil (e.g. 50mm Kingspan Kooltherm K12) to brick veneer walls (total external wall system R-value of Rt3.73) - R2.3 Insulation board with double-sided foil (e.g. 50mm Kingspan Kooltherm K12) to cladded walls (total external wall system R-value of Rt3.14) - R2.5 Internal Walls Insulation to walls adjacent to the garage & Bath 1 only (total wall system R-value of Rt2.62) - R2.5 Inter-floor insulation to ceiling/floors adjacent to the garage only (total ceiling/roof system R-value of Rt2.68 downwards) - R2.5 Ceiling Insulation to exposed ceilings on the ground floor only (total ceiling/roof system R-value of Rt2.56) - R5.0 Ceiling Insulation to top floor only (total ceiling/roof system R-value of Rt5.06) - R2.3 Anticon Roof Insulation	15.1	13.9	7.1	PASS

Unit No.	Additional Treatments Required	Heating Load (MJ/m².yr)	Cooling Load (MJ/m².yr)	Stars	Pass/Fail
	- Type 1 windows to louvres only - Type 2 windows elsewhere - Type 1 skylight				
22A	- R2.3 Floorboard Insulation to all concrete slab on ground (total floor system R-value Rt2.4) - R1.5 Floor Insulation to exposed floors on level 1 (total floor system R-value Rt1.89) - R2.3 Insulation board with double-sided foil (e.g. 50mm Kingspan Kooltherm K12) to brick veneer walls (total external wall system R-value of Rt3.73) - R2.3 Insulation board with double-sided foil (e.g. 50mm Kingspan Kooltherm K12) to cladded walls (total external wall system R-value of Rt3.14) - R2.5 Internal Walls Insulation to walls adjacent to the garage & Bath 1 only (total wall system R-value of Rt2.62) - R2.5 Inter-floor insulation to ceiling/floors adjacent to the garage only (total ceiling/roof system R-value of Rt2.68 downwards) - R2.5 Ceiling Insulation to exposed ceilings on the ground floor only (total ceiling/roof system R-value of Rt2.56) - R5.0 Ceiling Insulation to top floor only (total ceiling/roof system R-value of Rt5.06) - R2.3 Anticon Roof Insulation - Type 1 windows to louvres only - Type 2 windows elsewhere - Type 1 skylight	16.3	11.0	7.3	PASS



<sup>1</sup> As per BASIX Thermal Comfort Protocol Part 6, Table 2, Windows part (g)

**Certificate No. 0011784910**  
Scan QR code or follow website link for rating details.

**Assessor name** Adriana Segovia  
**Accreditation No.** 20754  
**Property Address** 22 22 Karingal Crescent, FRENCHS FOREST  
NSW 2086





ABSA  
Australian Building Sustainability Association  
Accreditation No. 20754  
Adriana Segovia  
21/03/2023 to 21/03/2025

## BASIX WATER & ENERGY COMMITMENTS

*Note: **Table 1** & **Table 2** outlines recommendations to meet the mandatory BASIX Water & Energy targets to achieve compliance.*

Table 3: BASIX Water Commitments

Private Dwellings	
Area of Indigenous or low water species	<ul style="list-style-type: none"><li>100%</li><li>For further details, please see Appendix D</li></ul>
Fixtures	<ul style="list-style-type: none"><li>4-star (Water Rating) showerheads with a flow rate &gt; 6.0L/min &amp; ≤ 7.5L/min</li><li>4-star (Water Rating) toilets</li><li>5-star (Water Rating) kitchen taps</li><li>5-star (Water Rating) bathroom taps</li></ul>
Rainwater collection	<ul style="list-style-type: none"><li>2,500L rainwater tank</li><li>Roof collection area – 100m<sup>2</sup></li><li>Rainwater to be used for private garden &amp; lawn irrigation</li></ul>

Table 4: BASIX Energy Commitments

Component		Commitment
Private Dwellings	Hot Water System	<ul style="list-style-type: none"><li>Individual Instantaneous Gas Hot Water System with 6 Stars Rating</li></ul>
	Ventilation	<ul style="list-style-type: none"><li>Kitchen, Bathroom &amp; Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch</li></ul>
	Heating & Cooling	<ul style="list-style-type: none"><li>Heating: Living &amp; Beds to have individual 1-phase air-conditioning – non ducted with 2 Stars Rating (Average Zone)</li><li>Cooling: Living &amp; Beds to have individual 1 phase air-conditioning – non ducted with 2 Stars Rating (Average Zone)</li></ul>
	Lighting	<ul style="list-style-type: none"><li>At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings<sup>2</sup></li></ul>
	Other	<ul style="list-style-type: none"><li>Gas cooktop and electric oven</li><li>Private outdoor or unsheltered clothes drying line</li></ul>

<sup>2</sup> Definition of dedicated fittings is a light fitting that is only capable of accepting fluorescent or LED (Light Emitting Diode) lamps. It will not accept incandescent, halogen or any other non-fluorescent or non-LED lamps.