

LOT 83 PARKES ROAD, COLLAROY PLATEAU

TORRENS TITLE SUBDIVISION OF 1 LOT INTO 2 AND BUILD DOUBLE STOREY DWELLING ON EACH LOT



design & construction

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BUILDING
DESIGNERS
AUSTRALIA



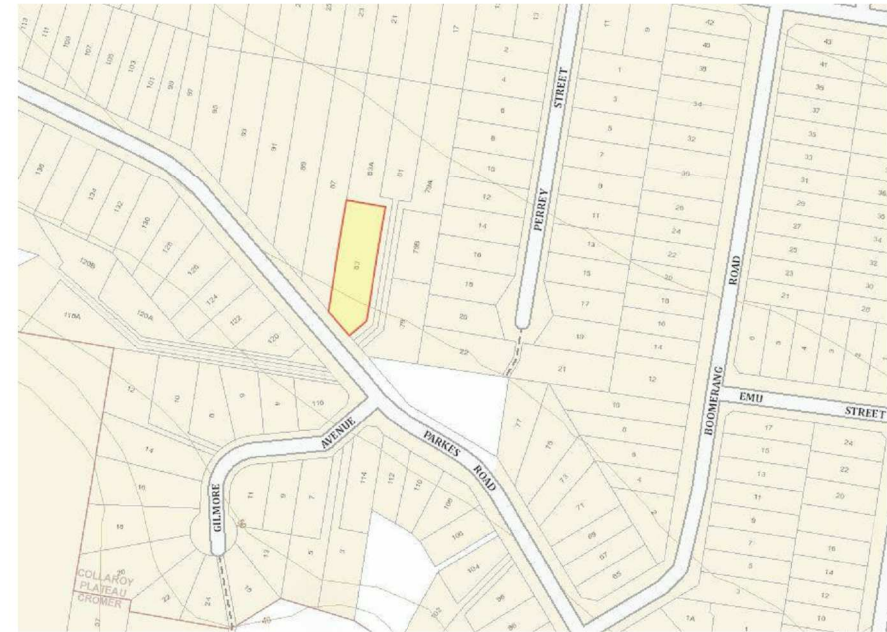
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SITE LOCATION



1. FALLS, SLIPS, TRIPS

C)a) WORKING AT HEIGHTS

DURING CONSTRUCTION
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE
For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice,regulations or legislation.

FLOOR FINISHES By Owner

b) SLIPPERY OR UNEVEN SURFACES

Designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

c) STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance,demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard.Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:

1.

Prevent or restrict access to areas below where the work is being carried out.
2.

Provide toeboards to scaffolding or work platforms.
3.

Provide protective structure below the work area.
4.

Ensure that all persons below the work area have Personal Protective Equipment (PPE).

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

BUILDING COMPONENTSMechanical lifting of materials and components during construction,maintenance or demolition presents a risk of falling objects.Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.
For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig),appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:
Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical,disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance withmanufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag.

All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

7. CONFINED SPACES

EXCAVATION
Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES
For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES
For buildings with small spaces where maintenance or other access may be required:Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

6. HAZARDOUS SUBSTANCES

ASBESTOS
For alterations to a building constructed prior to 1990:If this existing building was constructed prior to: 1990 - it therefore may contain asbestos1986 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS
Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER
The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding,drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required.The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE
Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS
This building may contain timber floors which have an applied finish.Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's 8. PUBLIC ACCESS` use must be carefully considered at all times.

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS
This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10.OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with code of Practice:Managing Noise and Preventing Hearing Loss at Work.Due to the history of serious incidents it isrecommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

NATIONAL CONSTRUCTION CODE (NCC)

Section A General Provisions

Vol. 2 Part 1.3, Clause 1.3.2 Classifications:
CLASS 1: One or more buildings which in association constitute -
(a) Class 1A - A single dwelling, being -
(i) a detached house, or
(ii) one or more attached dwellings, each being a building, separated by a fire-resisting wall, including a row house, terrace house, town house or villa unit;
CLASS 10: A non-habitable building being a private garage, carport, shed, or the like.

Section C Fire Separation

Part 3.7.1 Fire Separation
3.7.1.1 Application
Compliance with this Part satisfies Performance Requirement P2.3.1 for fire separation.
3.7.1.2 General Concession - Non-combustible materials
The following materials, though combustible or containing combustible fibres, may be used wherever a non-combustible is required in the Housing Provisions:
(a) plasterboard, and
(b) perforated gypsum lath with a normal paper finish, and
(c) fibrous-plaster sheet, and
(d) fibre-reinforced cement sheeting, and
(e) pre-finished metal sheeting having a combustible surface finish not exceeding 1mm thick and where the Spread-of-Flame Index of the product is not more than 0; and
(f) bonded laminated materials, where -
(i) each laminate is non-combustible; and
(ii) each adhesive layer is not more than 1mm thick; and
(iii) the total thickness of adhesive layers is not more than 2mm; and
(iv) the Spred-of-Flame Index and the Smoke-Development Index of the laminated material as a whole does not exceed 0 and 3 respectively.
3.7.1.3 External Walls of Class 1 buildings
An external wall of a Class 1 building and any openings in that wall must comply with 3.7.1.5, if the wall is less than-
(a) 900mm from the allotment boundary other than the boundary adjoining a road alignment or other public space; or
(b) 1.8m from another building on the same allotment other than appurtenant Class 10 building or a detached part of the same Class 1 building.

3.7.1.4 Measurement of distances
(a) The distance from any point on an external wall of a building to an allotment boundary or another building is the distance to that point measured along a line at right angles from the allotment boundary or external wall of the other building which intersects that point without obstruction by a wall complying with 3.7.1.5.
(b) Where a wall within a specified distance is required to be constructed in a certain manner, only that part of the wall, (including any openings) within the specified distance, must be constructed in that manner.
3.7.1.5 Construction of External Walls
(a) External walls (including gables) required to be fire-resisting [Referred to in 3.7.1.3 or 3.7.1.6] must extend to the underside of a non-combustible roof covering or non-combustible eaves lining, and must-
(i) have an FRL of not less than 60/60/60 when tested from the outside; or
(ii) be of masonry-veneer construction in which the external masonry veneer is not less than 90mm thick; or
(iii) be of masonry construction not less than 90mm thick.
(B) Openings in external walls required to be fire-resisting [referred to in 3.7.1.3 or

3.7.1.6] must be protected by-
(i) non-operable fire-windows or other construction with an FRL of not less than -/60/- ; or
(ii) self-closing solid-core doors not less than 35mm thick.
(c) Sub-floor vents, roof vents, weep holes and penetrations for pipes, conduits and the like need not comply with (b) above.
(d) Concessions for non-habitable room windows, conduits and the like- Despite the requirements in (b), in a non-habitable room a window that faces the boundary of an adjoining allotment may be not less than 600mm from that boundary, or, where the building faces another building on the same allotment, not less than 1.2m from that building; providing that-
(i) in a bathroom, laundry or toilet, the opening has an area of not more than 1.2sqm; or
(ii) in a room other than referred to in (i), opening has an area of not more than 0.54sqm; and-
(A) the window is steel-framed, there are no opening sashes and it is glazed in wire glass; or
(B) the opening is enclosed with hollow glass blocks.
3.7.1.8 Separating walls
(a) A wall that separates Class 1 dwellings, or separates a Class 1 building from a Class 10a building which is not apurtenant to that Class 1 building, must have an FRL of not less than 60/60/60, and-
(i) commence at the footings or ground slab; and
(ii) extend-
(A) if the building has a non-comustible roof covering, to the underside of the roof covering; or
(B) if the building has a combustible roof covering, to not less than 450mm above the roof covering.

SPECIFICATION C1.10 Fire Hazard Properties
Materials used in the building having flamability, smoke developed and spread-of-flame indices as set-out in Spec. C1.10.

SECTION F Health and Amenity

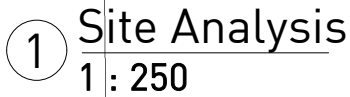
Part F1: Damp and Weatherproofing
-Stormwater drainage must comply with AS/NZS 3500.3.2
-Roof covering to comply with F1.5
-Sarking must comply with AS/NZS 4200, Parts 1 and 2
-Water proofing of wet areas in buildings to comply with F1.7
-Damp-proofing of floors on ground to comply with F1.11

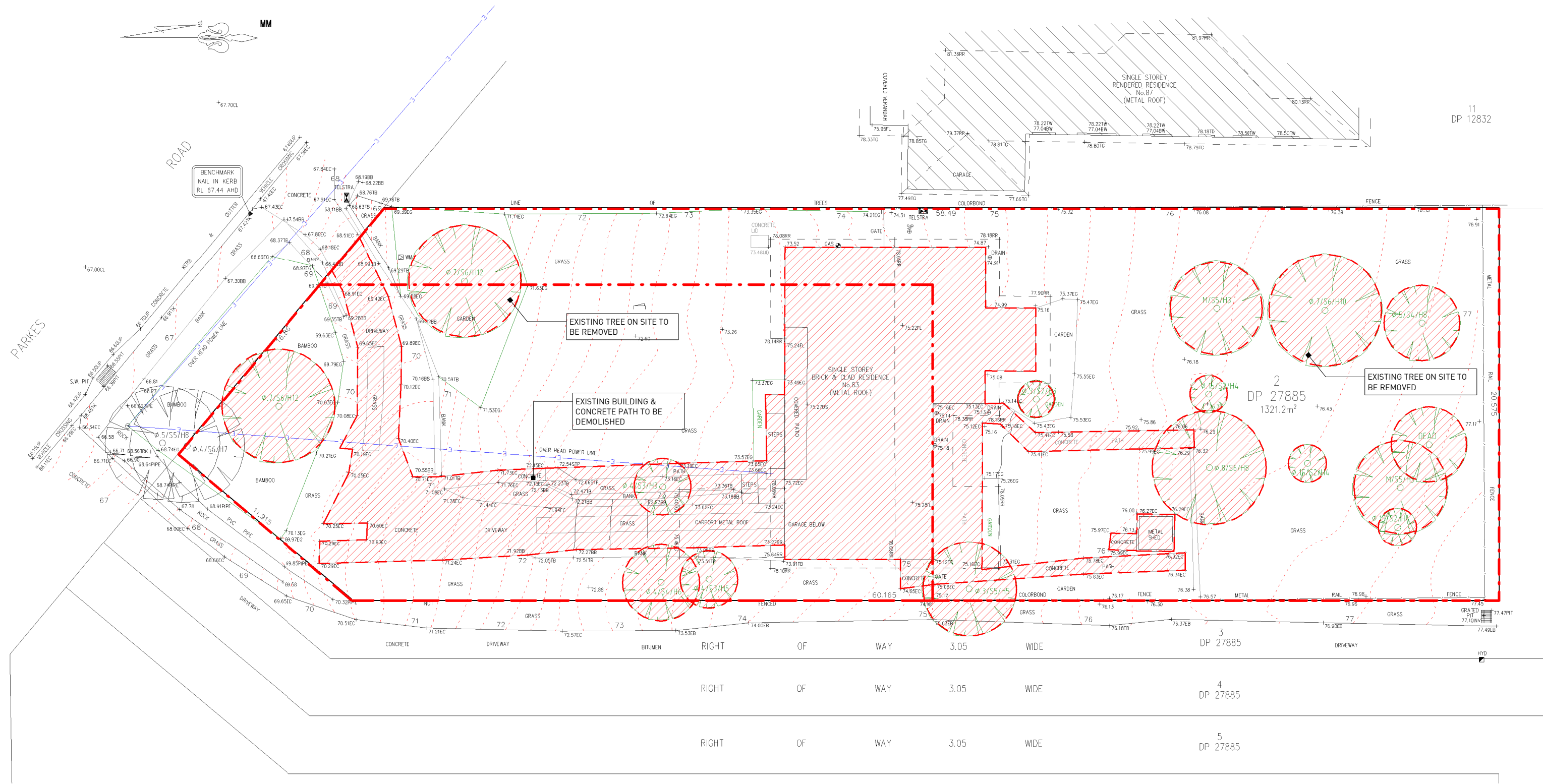
Part F3.7: Fire safety
-Automatic fire detection system to be provided in accordance with Part 3.7.2 General concession:
Part 3.7.2: Smoke alarms - requirements for smoke alarms:
(a) Smoke alarms must be installed in:
(i) any storey containing bedrooms.

Part 3.8: Health and amenity
-Wet areas within the building must comply with the requirements of Part 3.8.1 Wet areas.
Part 3.8.6: Sound insulation requirements
3.8.6.1 Application - Compliance with this Part satisfies performance requirement P2.4.6 for sound insulation.
3.8.6.2 Sound insulation requirements
(a) to provide insulation from air-born and impact sound, a separating wall between two or more Class 1 buildings, must-
(i) achieve the weighted sound reduction with spectrum adaption term [Rw+Ctr] and discontinuous construction requirements, as required by Table 3.8.6.1; and
(ii) be installed in accordance with the appropriate requirements of 3.8.6.3 and 3.8.6.4.
(b) For the purpose of this Part, the Rw+Ctr must be determined in accordance with As/NZS 1276.2 or ISO 717.1, using results from laboratory measurements.

Part 3.9: Safe movement and access
-The treads and risers of the proposed stairs are to comply with Part 3.9.1.2 General requirements.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (But is not excluded to): OWNER,BUILDER,SUB-CONTACTORS,CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINORS, DEMOLISHERS.





1 Demolition Plan
1 : 200



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GENERAL NOTES:

1. Figured Dimensions shall be taken in preference to scaling.
2. Check all Dimensions and Levels on site before commencing work or ordering materials.
3. All Existing Ground Lines and tree locations are approximate, therefore to be verified on-site by the builder.
4. Any discrepancies to be reported to arcINNOVATIONZ before proceeding.
5. All Workmanship and materials shall comply with all the relevant codes and Australian Standards.
6. All Plans are copyright work of arcINNOVATIONZ.

CLIENT:

PROJECT :

LOT 83 PARKES ROAD, COLLAROY PLATEAU

DEMOLITION PLAN

Project number
Date
Drawn by
Checked by

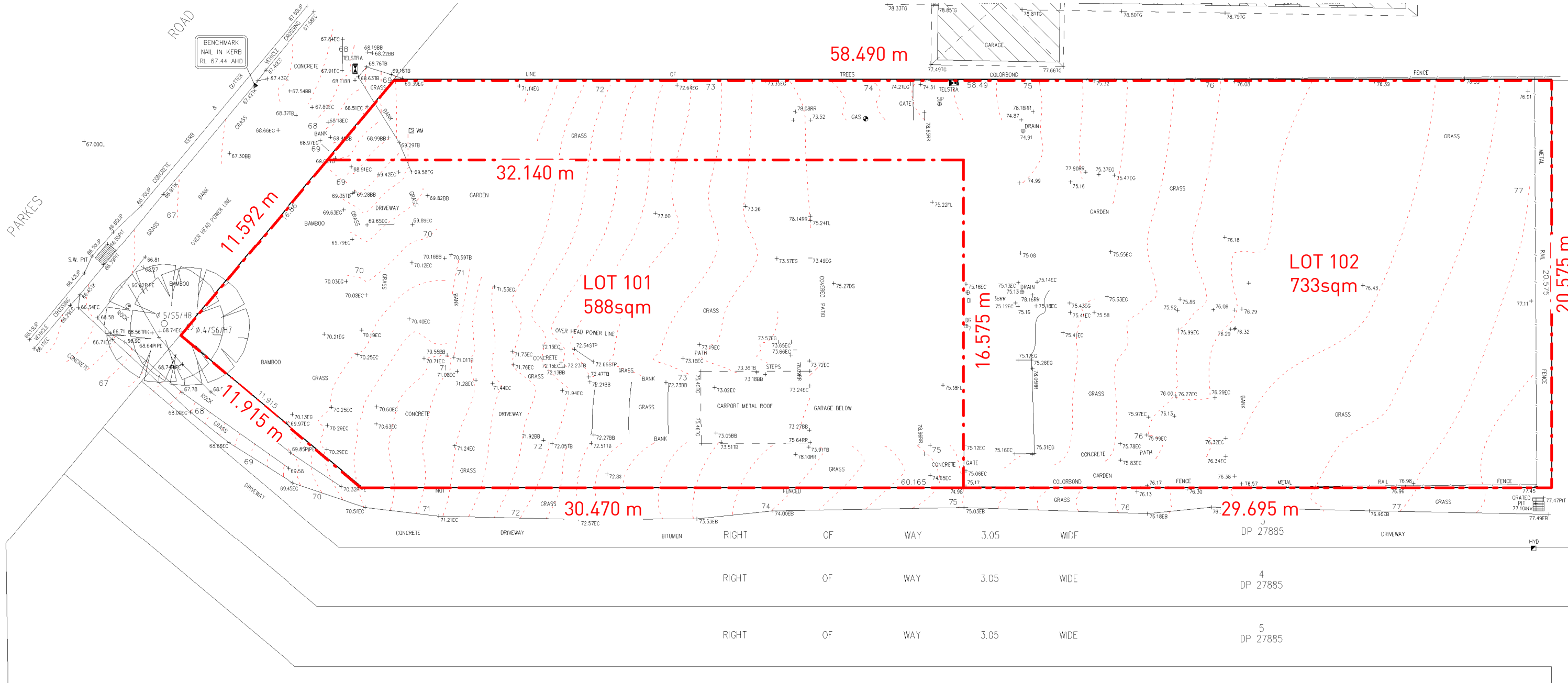
201900278
08.11.2019
Author
Checker

DESCRIPTION	DATE	ISSUE
Issue for DA Approval	02.12.19	A
Issue for Council Approval		

DW.04.1
Scale

ISSUE FOR COUNCIL APPROVAL,
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A
1 : 200



1 Subdivision Plan
1 : 200



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PROJECT :
LOT 83 PARKES ROAD, COLLAROY PLATEAU

SUBDIVISION PLAN

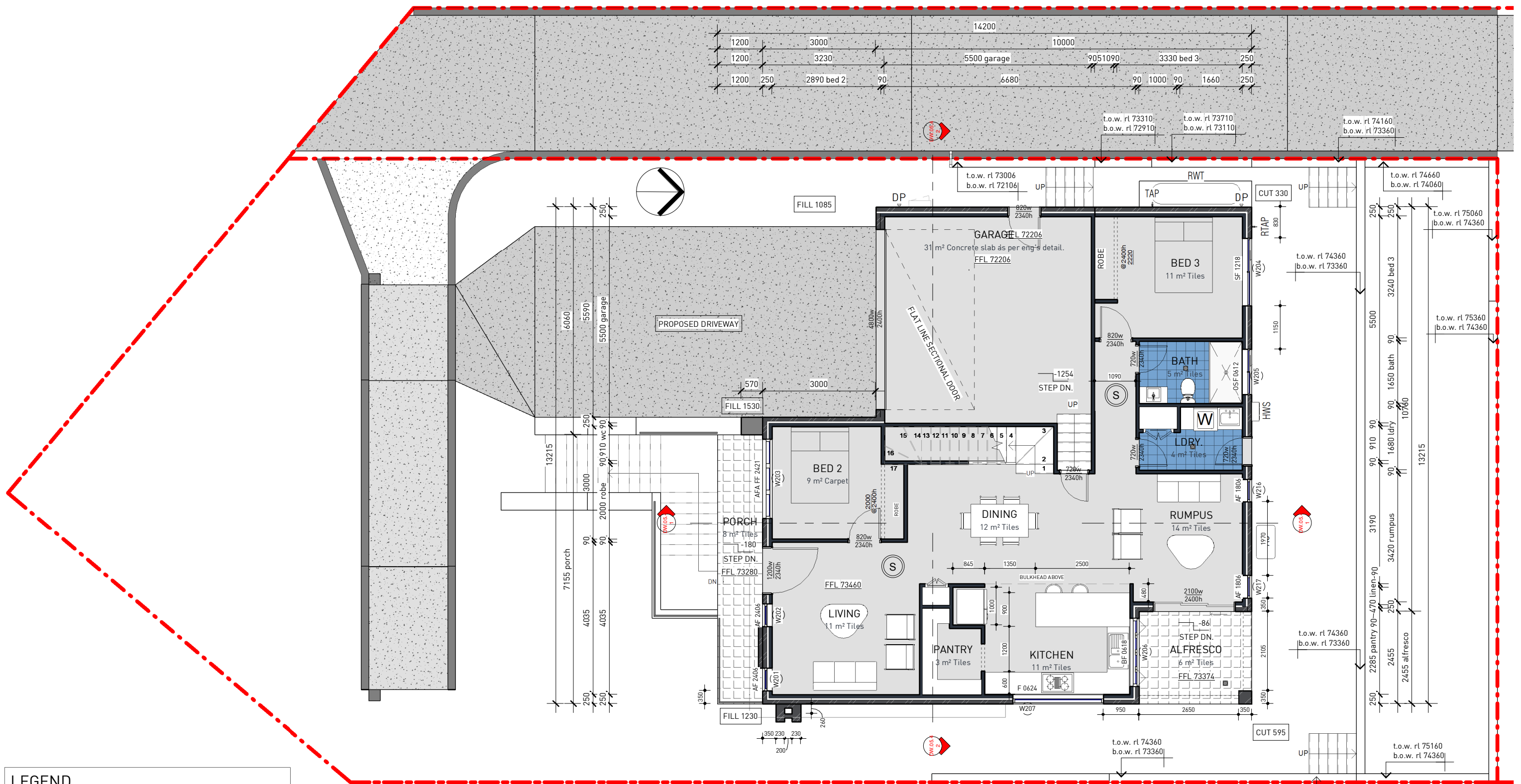
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Date: 08.11.2019
Drawn by: Author
Checked by: Checker

Issue for DA Approval	02.12.19	A
DESCRIPTION	DATE	ISSUE

DW.04.2
Scale

A
1 : 200

ISSUE FOR COUNCIL APPROVAL,
NOT FOR CONSTRUCTION



LEGEND			
	INTERCONNECTED SMOKE ALARM		STORAGE BIN
	RAIN WATER DOWN PIPE		ARTICULATION JOINT
	RAIN WATER TANK		EAVE LINE ABOVE
	AIR-CONDITIONING UNIT		DROP EDGE BEAM BELOW AS PER ENG'S DETAIL
	HOT WATER SYSTEM		FLOOR WASTE

NOTE: ALL WALL OPENING ARE SET AT 2400H UNLESS NOTED OTHERWISE

1 LOT 101 GF
1 : 100

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CLIENT:

PROJECT :

LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 101 GROUND FLOOR

Project number 201900278
Date 08.11.2019
Drawn by DM
Checked by JS

DESCRIPTION	DATE	ISSUE
Issue for DA Approval	02.12.19	A
Issue for Council Approval		

DW.05

Scale

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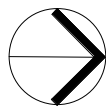
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1 LOT 101 FF
1 : 100

Window Schedule unit 2				
Mark	Type	Height	Width	Location
W201	AF 2406	2400	600	PORCH
W202	AF 2406	2400	600	PORCH
W203	AFA FF 2421	2400	2100	PORCH
W204	SF 1218	1200	1810	BED 3
W205	OSF 0612	600	1200	BATH
W206	BF 0618	600	1800	ALFRESCO
W207	F 0624	600	2400	KITCHEN
W208	AFA FF 2421	2400	2100	UPPER LIVING
W209	AFA 1824	1800	2400	M.BED
W210	AF 1806	1800	600	WIR
W211	OSF 0612	600	1200	ENS
W212	SF 0624	600	2400	BED 5
W213	SF 1224	1200	2400	BED 4
W214	OSF 1015	1000	1510	BATH
W216	AF 1806	1800	600	RUMPUS
W217	AF 1806	1800	600	RUMPUS
W218	SF 1224	1200	2400	BED 4

Door Schedule Copy 1				
Type	Height	Width	Location	Note
ED 2424	2400	2400	UPPER LIVING	External Glaze
ED 2424	2400	2400	UPPER LIVING	External Glaze
ED 2421	2400	2100	RUMPUS	External Glaze
Grand total: 3				

NOTE:

-TO BE CHEKED AND CONFIRMED BY BUILDER ON SITE BEFORE PLACING ORDER

-FALL PREVENTION FROM WINDOWS

-WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF BCA CLAUSE 3.9.2.5

1-If Opening within 1700 mm above the floor;and climbable elements between 150 and 750 mm above the floor,Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen.

2-If opening between 865 and 1700 mm above the floor;and no climbable elements between 150 and 760 mm above the floor,Opening must be restricted to 125 mm ;or fitted with a removable robust screen

3-If opening between 865 of the floor;and climbable elements between 150 and 760 mm above the floor,Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen

4-If no opening within 1700 mm of the floor.No restrictions apply

WINDOWS KEY LEGEND	
A	AWNING
AF	AWNING-FIXED
AFA	AWNING-FIXED-AWNING
F	FIXED
FC	FIXED CORNER
FF	FIXED-FIXED
SF	SLIDING-FIXED
SFF	SLIDING-FIXED-BOTTOM FIXED
SK	SKYLIGHT
L	LOURVE
NOTE:	
O : OBLIQUE GLAZING WINDOW	

LEGEND			
(S)	INTERCONNECTED SMOKE ALARM	BIN	STORAGE BIN
RWP	RAIN WATER DOWN PIPE	AJ	ARTICULATION JOINT
RWT	RAIN WATER TANK	---	EAVE LINE ABOVE
AC	AIR-CONDITIONING UNIT	---	DROP EDGE BEAM BELOW AS PER ENG'S DETAIL
HWS	HOT WATER SYSTEM	●	FLOOR WASTE

NOTE: ALL WALL OPENING ARE SET AT 2400H UNLESS NOTED OTHERWISE



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LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 101 FIRST FLOOR

Project number: 201900278
Date: 08.11.2019
Drawn by: DM
Checked by: JS

Issue for DA Approval	02.12.19	A
DESCRIPTION	DATE	ISSUE

DW.05.1

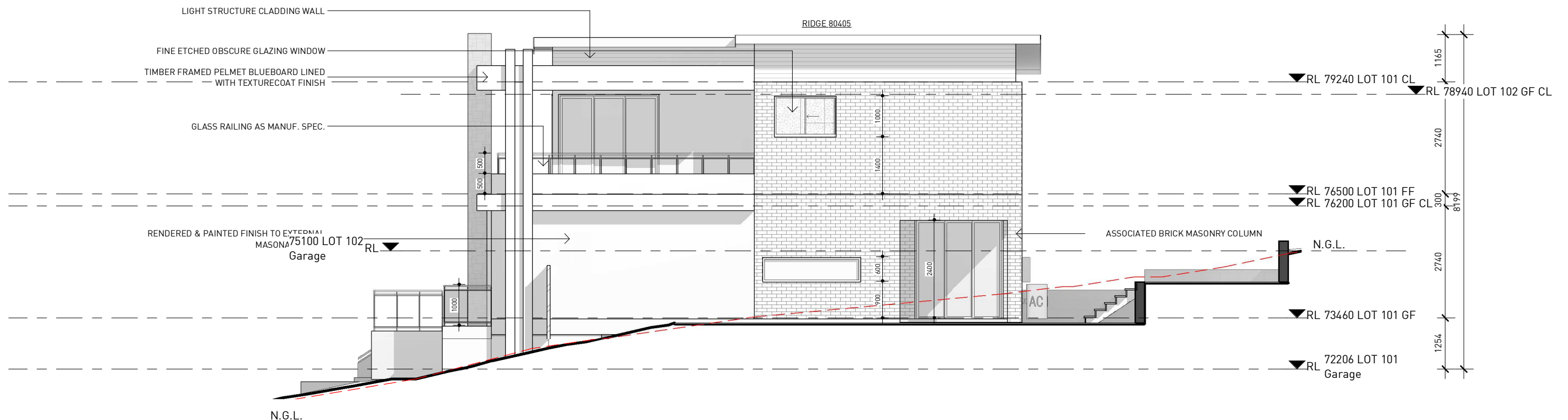
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As indicated

ISSUE FOR COUNCIL APPROVAL,
NOT FOR CONSTRUCTION



1 LOT 101 South
1 : 100



2 LOT 101 East
1 : 100

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PLATEAU

LOT 101 ELEVATIONS

Project number 201900278
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DESCRIPTION	DATE	ISSUE
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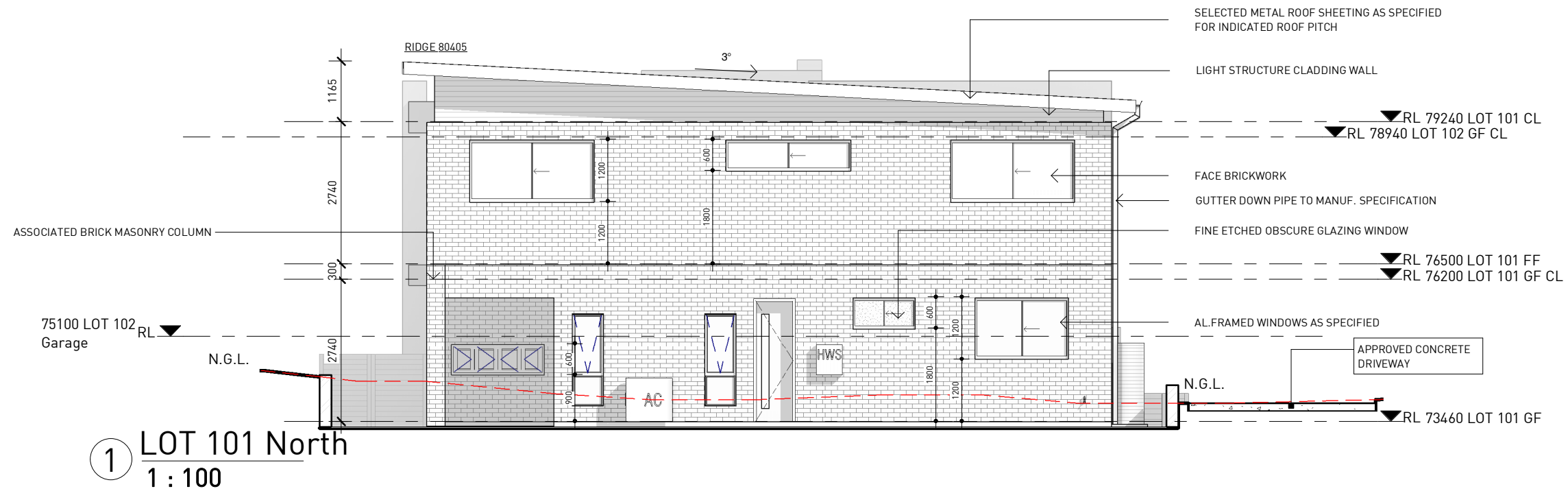
DW.05.2

Scale

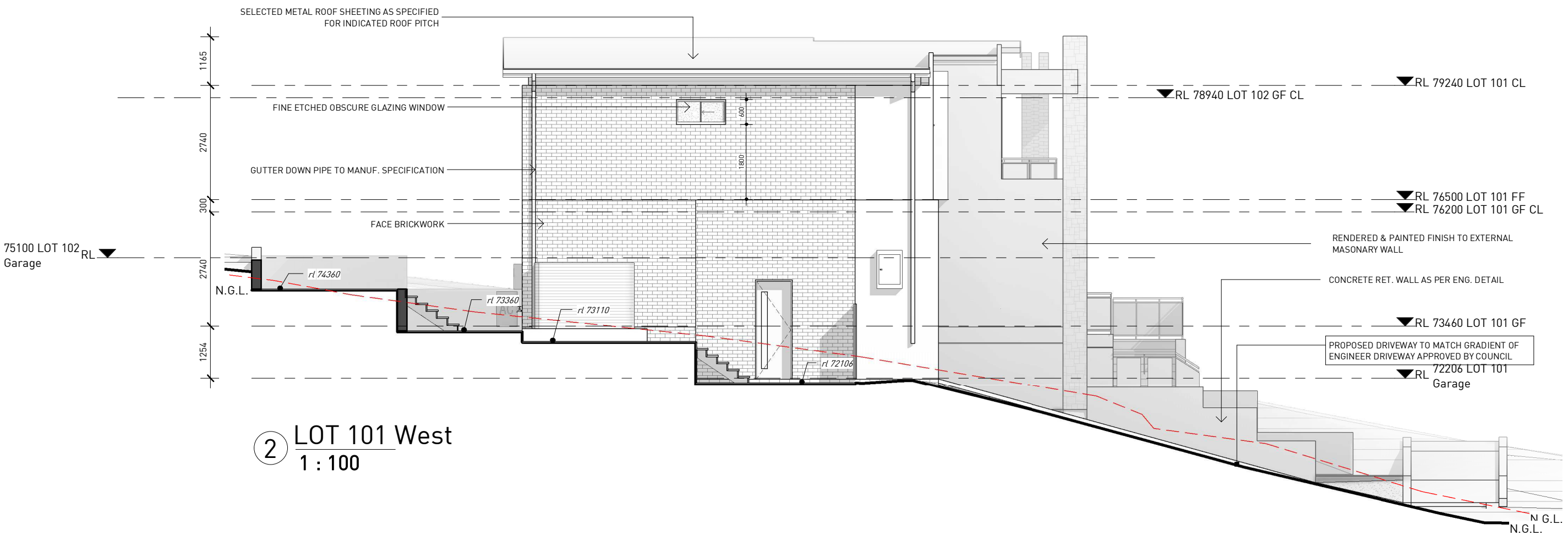
A

1 : 100

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1 LOT 101 North
1 : 100



2 LOT 101 West
1 : 100

GENERAL NOTES:

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CLIENT:

PROJECT :

LOT 83 PARKES ROAD, COLLAROY
PLATEAU

LOT 101 ELEVATIONS

Project number
Date
Drawn by
Checked by

201900278
08.11.2019
DM
JS

DESCRIPTION	DATE	ISSUE
Issue for DA Approval	02.12.19	A

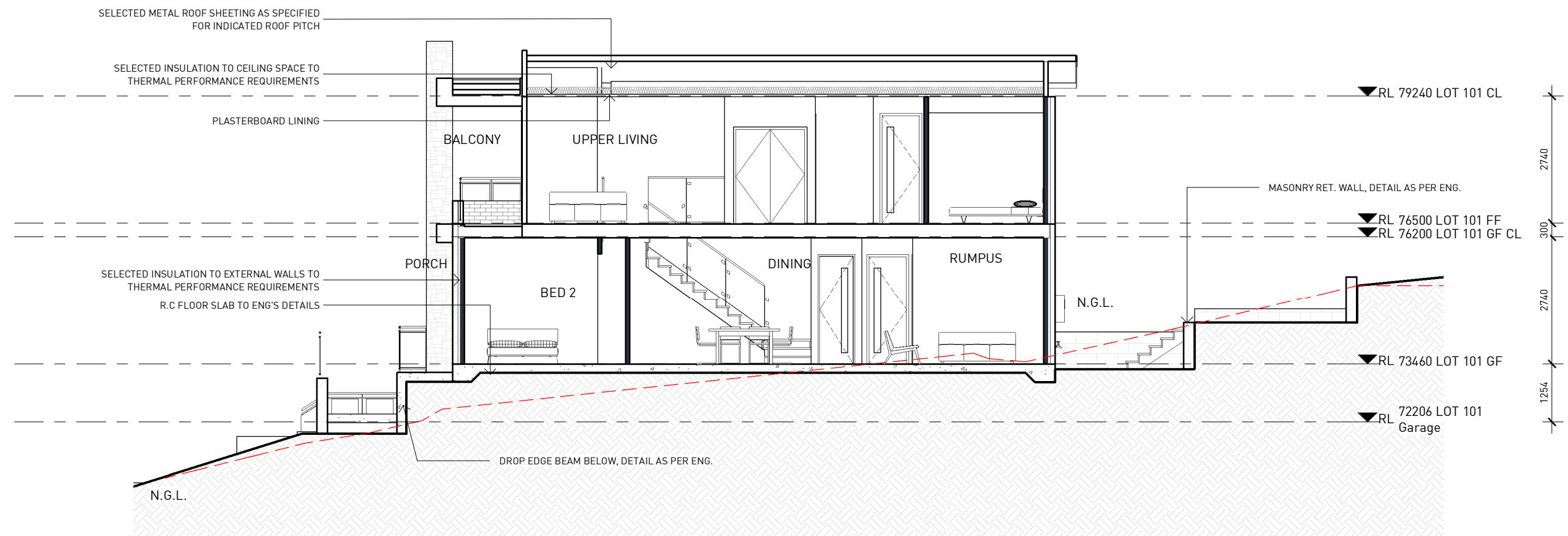
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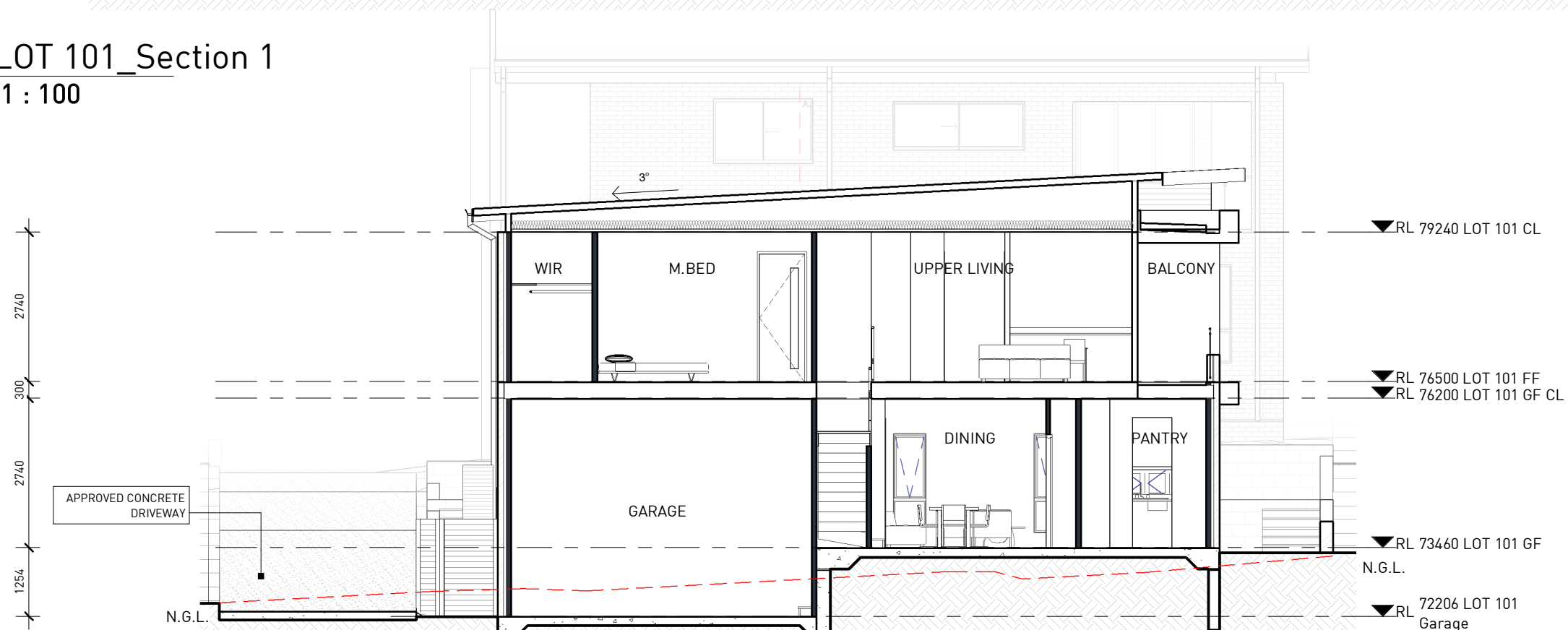
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1 LOT 101_Section 1
1 : 100



2 LOT 101_Section 2
1 : 100

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CLIENT:

PROJECT :

LOT 83 PARKES ROAD, COLLAROY
PLATEAU

LOT 101 SECTIONS

Project number
Date
Drawn by
Checked by

201900278
08.11.2019
DM
JS

DESCRIPTION	DATE	ISSUE
Issue for DA Approval	02.12.19	A
Issue for Council Approval		

DW.05.4

Scale

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A
1 : 100

Door Schedule				
Type	Height	Width	Location	Note
ED 2427	2400	2700	M.BED	External Glaze
ED 2424	2400	2400	UPPER LIVING	External Glaze
ED 2421	2400	2100	M.BED	External Glaze
Grand total: 3				

Window Schedule				
Mark	Type	Height	Width	Location
W101	AFA FF 2424	2400	2400	LIVING
W102	SF 1218	1200	1810	BED 2
W103	OSF 0612	600	1200	BATH
W104	F 1824	1800	2400	DINING
W105	SFS-FFF_1824	1800	2400	RUMPUS
W106	SF 0615	600	1500	KITCHEN
W107	AAF 1812	1800	1200	BED 4
W108	AAF 2412	2400	1200	UPPER LIVING
W109	OSF 1015	1000	1510	BATH
W110	SF 1218	1200	1810	BED 4
W111	OSF 0906	900	600	ENS
W112	SF 0924	900	2400	M.BED
W113	SF 1218	1200	1810	BED 3
W114	AAF 1812	1800	1200	BED 4
W115	SF FF 1812	1800	1200	RUMPUS
W116	SF FF 1812	1800	1200	RUMPUS

NOTE:

-TO BE CHEKED AND CONFIRMED BY BUILDER ON SITE BEFORE PLACING ORDER

-FALL PREVENTION FROM WINDOWS

-WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF BCA CLAUSE 3.9.2.5

1-If Opening within 1700 mm above the floor;and climbable elements between 150 and 750 mm above the floor;Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen.

2-If opening between 865 and 1700 mm above the floor;and no climbable elements between 150 and 760 mm above the floor;Opening must be restricted to 125 mm ;or fitted with a removable robust screen

3-If opening between 865 of the floor;and climbable elements between 150 and 760 mm above the floor;Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen

4-If no opening within 1700 mm of the floor.No restrictions apply

WINDOWS KEY LEGEND	
A	AWNING
AF	AWNING-FIXED
AFA	AWNING-FIXED-AWNING
F	FIXED
FC	FIXED CORNER
FF	FIXED-FIXED
SF	SLIDING-FIXED
SFF	SLIDING-FIXED-BOTTOM FIXED
SK	SKYLIGHT
L	LOURVE
NOTE: O : OBSECURE GLAZING WINDOW	

LEGEND			
	INTERCONNECTED SMOKE ALARM		STORAGE BIN
	RAIN WATER DOWN PIPE		ARTICULATION JOINT
	RAIN WATER TANK		EAVE LINE ABOVE
	AIR-CONDITIONING UNIT		DROP EDGE BEAM BELOW AS PER ENG'S DETAIL
	HOT WATER SYSTEM		FLOOR WASTE

NOTE: ALL WALL OPENING ARE SET AT 2400H UNLESS NOTED OTHERWISE

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PROJECT :

LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 102 GROUND FLOOR

Project number	201900278
Date	08.11.2019
Drawn by	DM
Checked by	JS

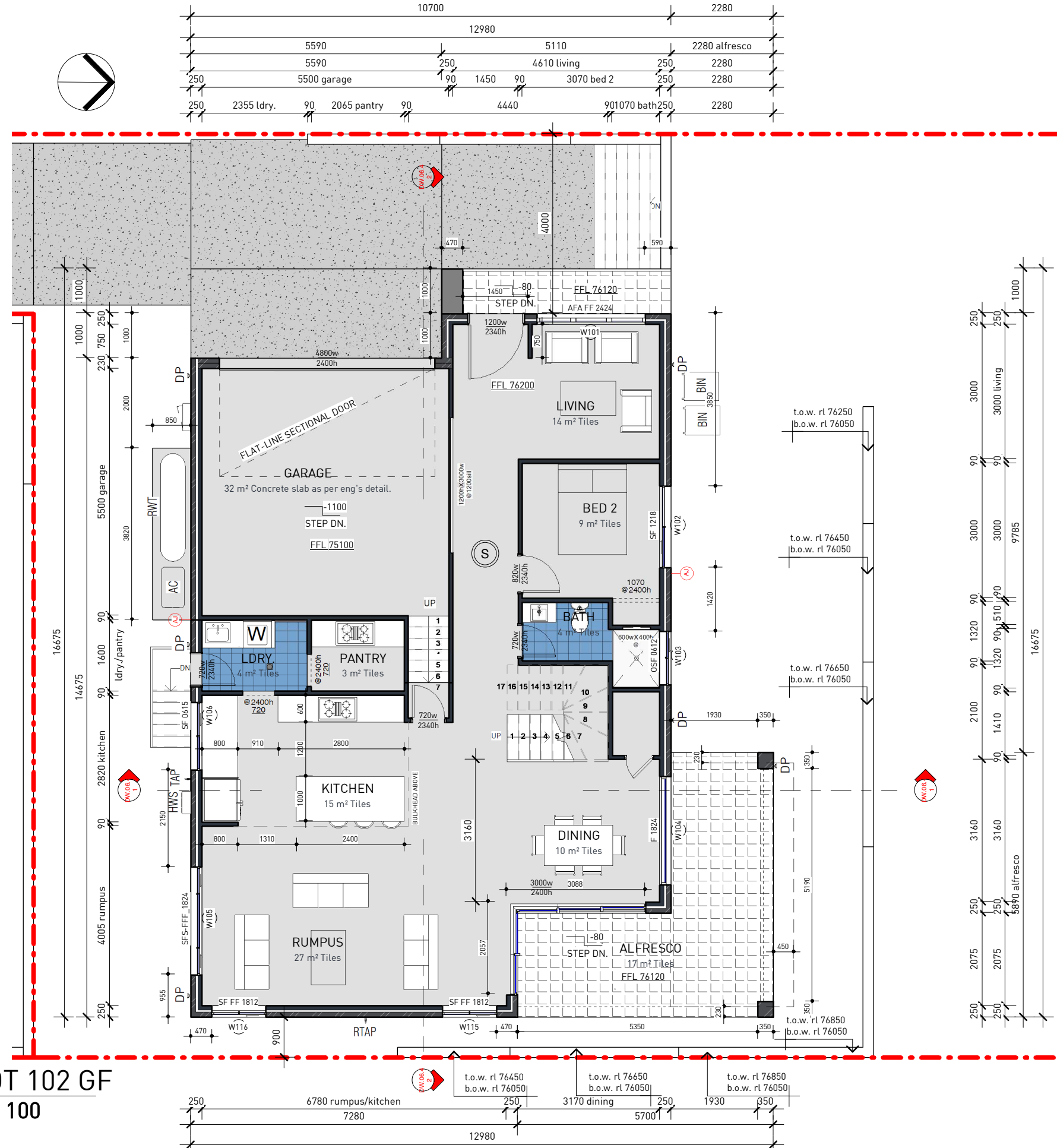
DESCRIPTION	DATE	ISSUE
Issue for DA Approval	02.12.19	A

DW.06

Scale

As indicated

ISSUE FOR COUNCIL APPROVAL, NOT FOR CONSTRUCTION



1 LOT 102 GF
1 : 100

Y:\Projects\2019\201900278_83 Parkes Rd\CAD\83 Parkes Rd_040320.rvt



1 LOT 102 FF
1 : 100

LEGEND			
(S)	INTERCONNECTED SMOKE ALARM	BIN	STORAGE BIN
RWP	RAIN WATER DOWN PIPE	AJ	ARTICULATION JOINT
RWT	RAIN WATER TANK	—	EAVE LINE ABOVE
AC	AIR-CONDITIONING UNIT	—	DROP EDGE BEAM BELOW AS PER ENG'S DETAIL
HWS	HOT WATER SYSTEM	●	FLOOR WASTE

NOTE: ALL WALL OPENING ARE SET AT 2400H UNLESS NOTED OTHERWISE



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PROJECT :
LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 102 FIRST FLOOR PLAN

Project number 201900278
Date 08.11.2019
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Checked by JS

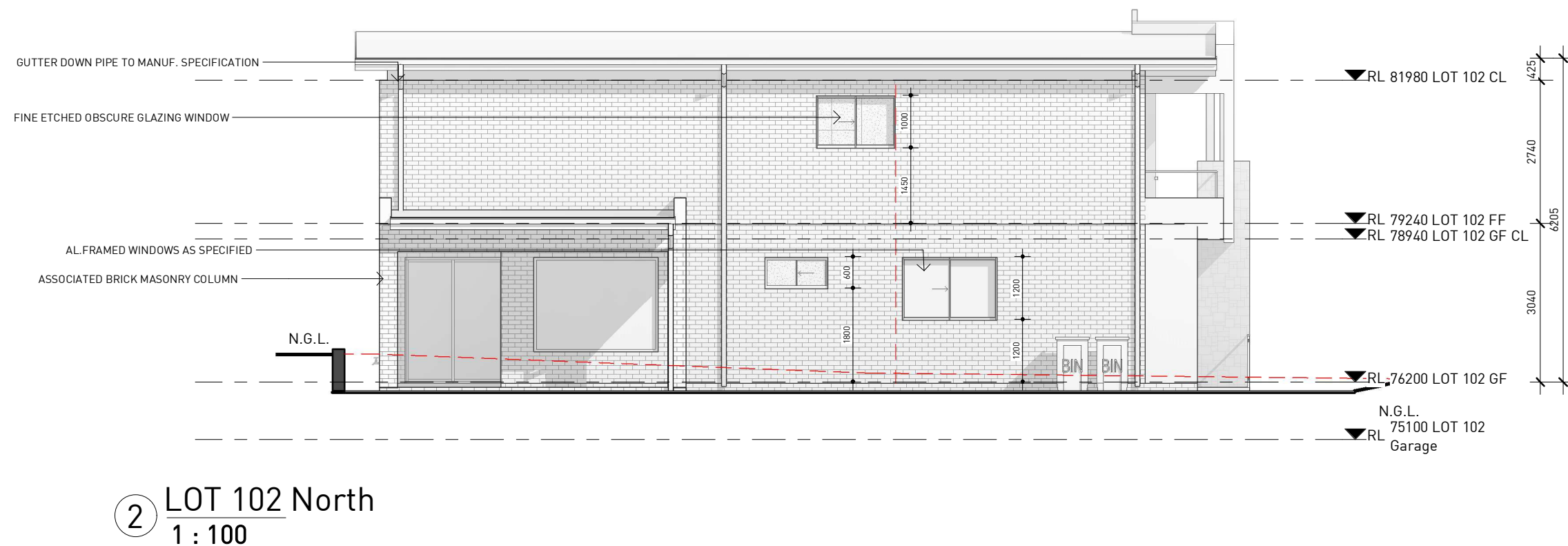
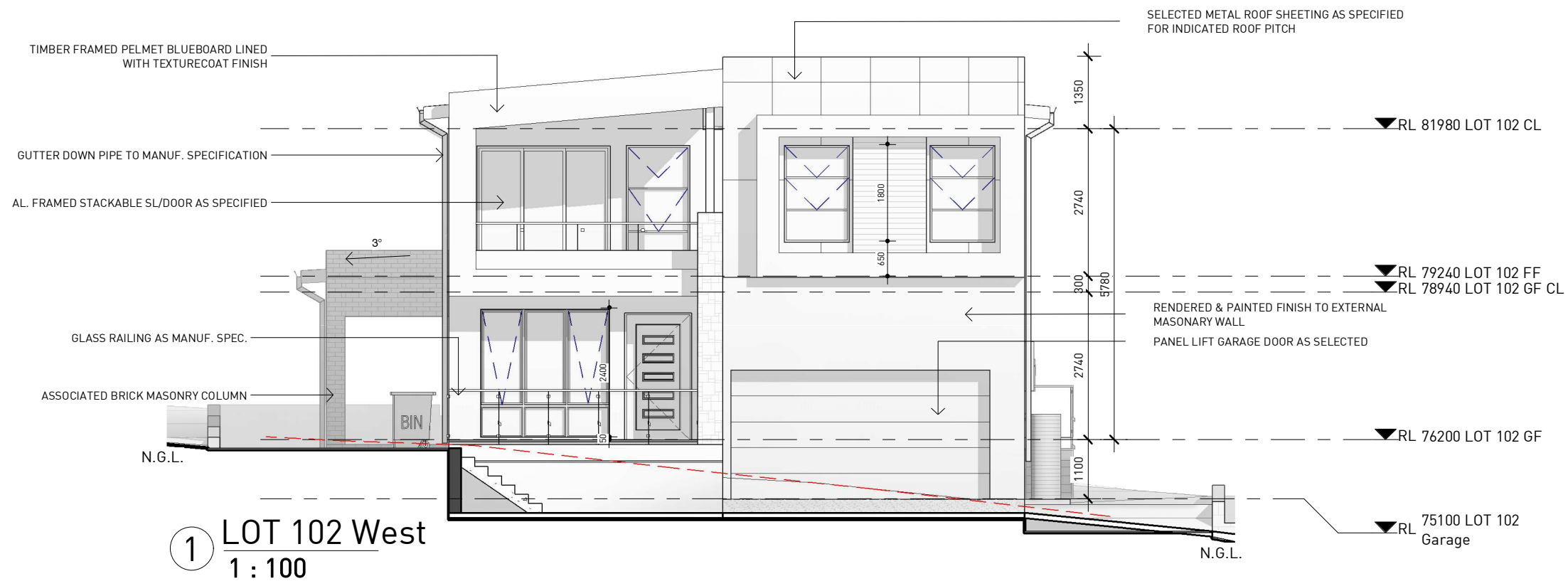
Issue for DA Approval	02.12.19	A
DESCRIPTION	DATE	ISSUE

DW.06.1
Scale

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1 : 100

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LOT 83 PARKES ROAD, COLLAROY
PLATEAU

LOT 102 ELEVATIONS

Project number
Date
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08.11.2019
DM
JS

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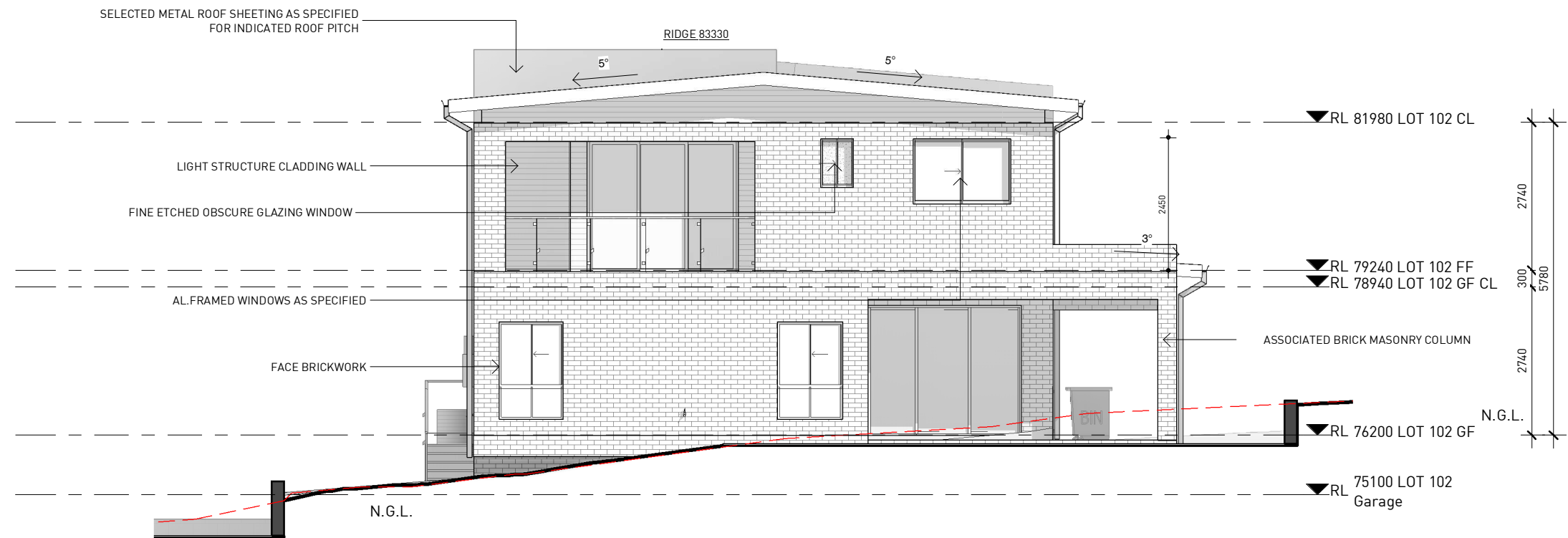
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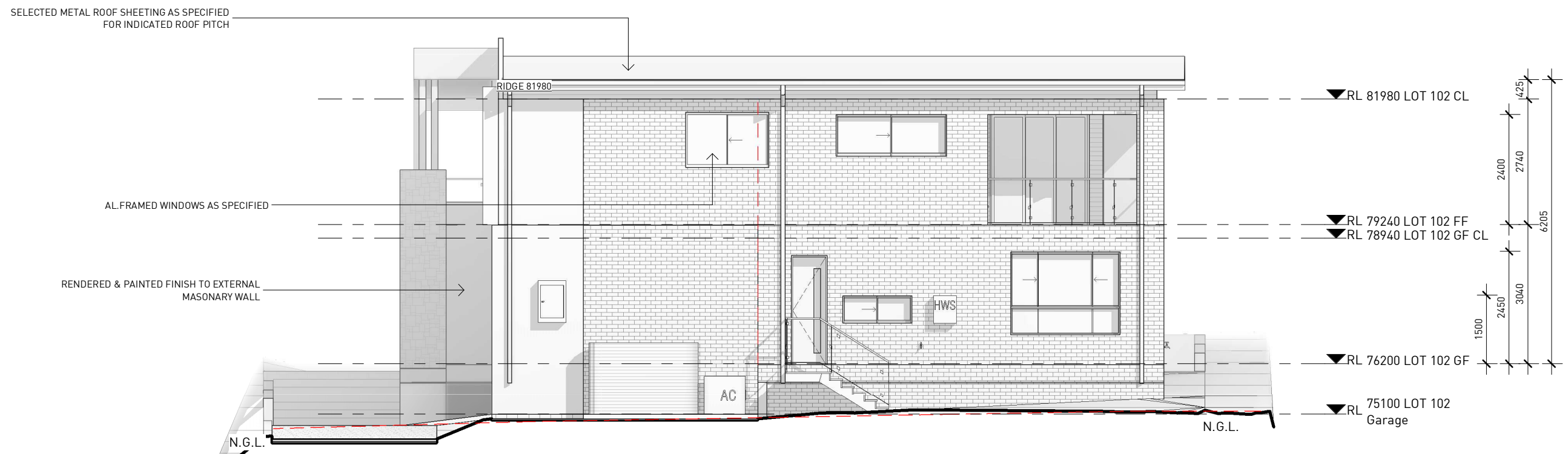
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1 : 100

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1 LOT 102 East
1 : 100



2 LOT 102 South
1 : 100

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PLATEAU

LOT 102 ELEVATIONS

Project number 201900278
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DESCRIPTION	DATE	ISSUE

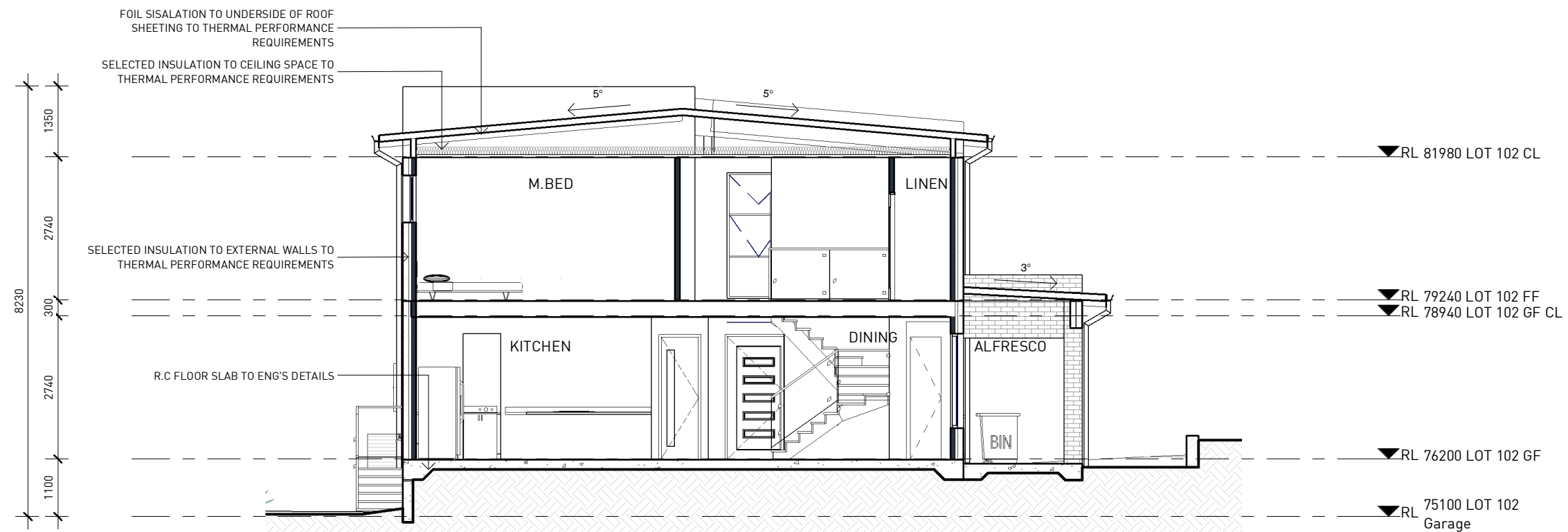
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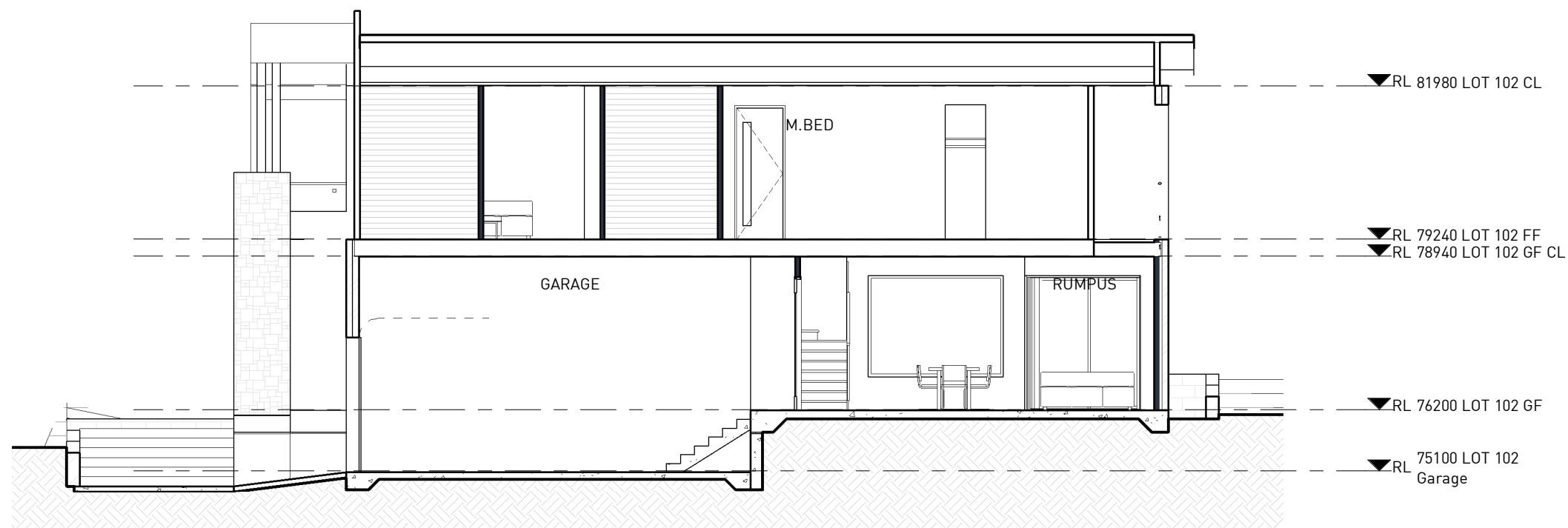
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1 : 100

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1 LOT 102_Section 1
1 : 100



2 LOT 102_Section 2
1 : 100

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LOT 83 PARKES ROAD, COLLAROY
PLATEAU

LOT 102 SECTIONS

Project number 201900278
Date 08.11.2019
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Checked by JS

DESCRIPTION	DATE	ISSUE
Issue for DA Approval	02.12.19	A

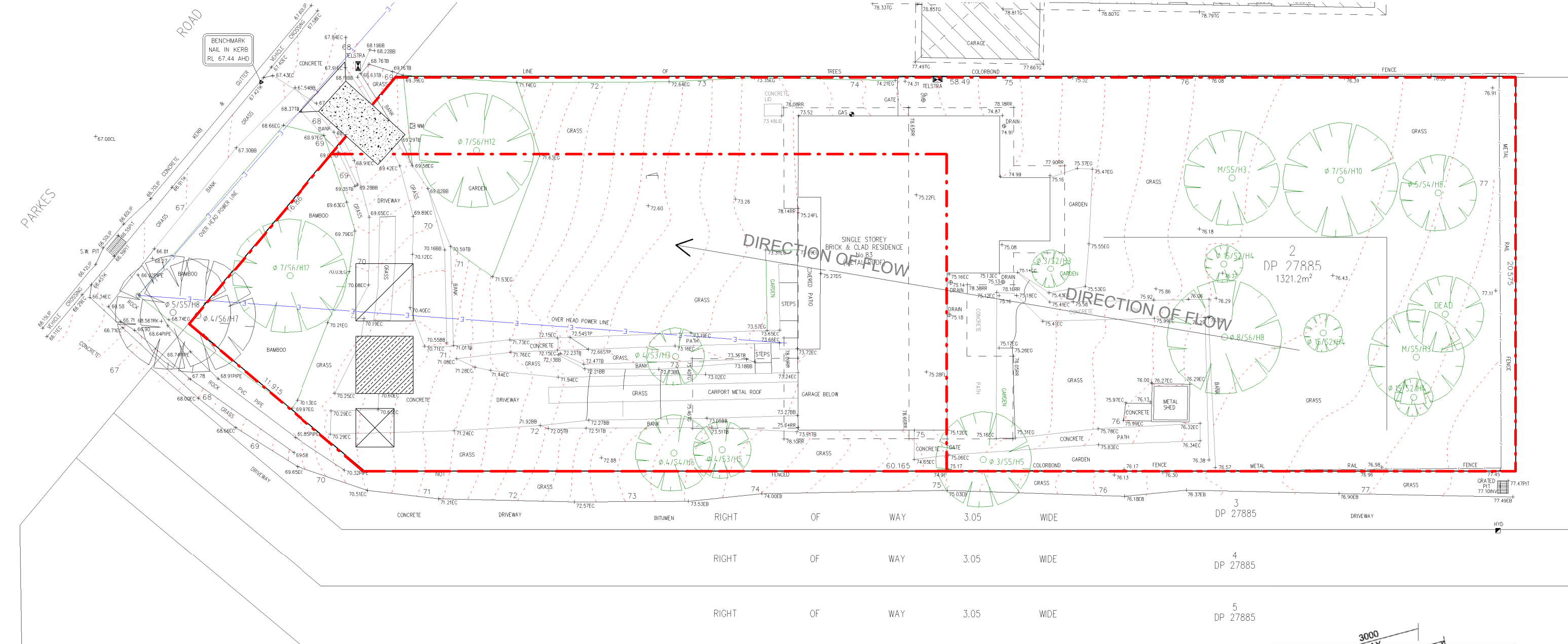
DW.06.4

Scale

A

1 : 100

**ISSUE FOR COUNCIL APPROVAL,
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1 Sediment Control

1 : 200

SOIL EROSION NOTES

TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RE-SPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (i.e ALL FOOT-PATHS, BATTERS, SITE, REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWN STREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED OUTSIDE THE LIMITS OF WORKS). THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.

NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY CONTRACTOR/SITE MANAGER.
2. MINIMISE DISTURBED AREAS.
3. ALL STOCKPILES TO BE CLEARED FROM DRAINS, GUTTERS AND FOOTPATHS.
4. DRAINAGE IS TO BE CONNECTED TO STORM WATER SYSTEM AS SOON AS POSSIBLE.
5. ROADS AND FOOTPATH TO BE SWEEP DAILY
6. UNDER SECTION 16 OF THE CLEAN WATERS ACT HEAVY FINES, INCLUDING A \$600 ON THE SPOT FINE, MAY BE IMPOSED IF A PERSON ALLOWS SOIL, CEMENT SLURRY OR OTHER BUILDING MATERIALS TO BE PUMPED, DRAINED OR ALLOWED TO ENTER THE STORM WATER SYSTEM.

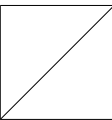
SEDIMENT NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 m LONG STAR PICKETS INTO GROUND Max 3 m Ctrs.
3. DIG A 150 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A Min LAP OF 150 mm.

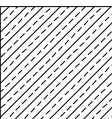
LEGEND:



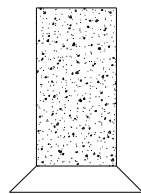
PORTABLE W.C



PROVISIONAL AREA FOR STOCKPIILING OF MATERIALS



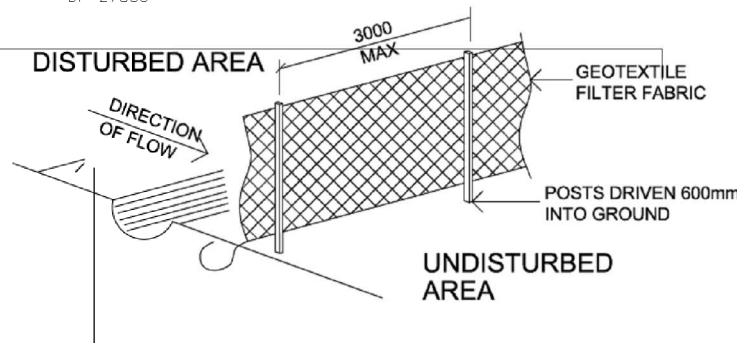
GEOTEXTILE TRADE WASTE RECEPTABLE



VC AND STABILISED ENTRY

SF SF SF SF SF

SEDIMENT CONTROL FENCE



SEDIMENT CONTROL FENCE

NOT TO SCALE

***THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING:**

- 1-ARCHITECTURAL PLANS
- 2-CONTOUR AND DETAIL SURVEY



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CLIENT:

PROJECT :

LOT 83 PARKES ROAD, COLLAROY PLATEAU

SEDIMENT CONTROL

Project number 201900278
Date 08.11.2019
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Checked by JS

Issue for DA Approval	02.12.19	A
DESCRIPTION	DATE	ISSUE

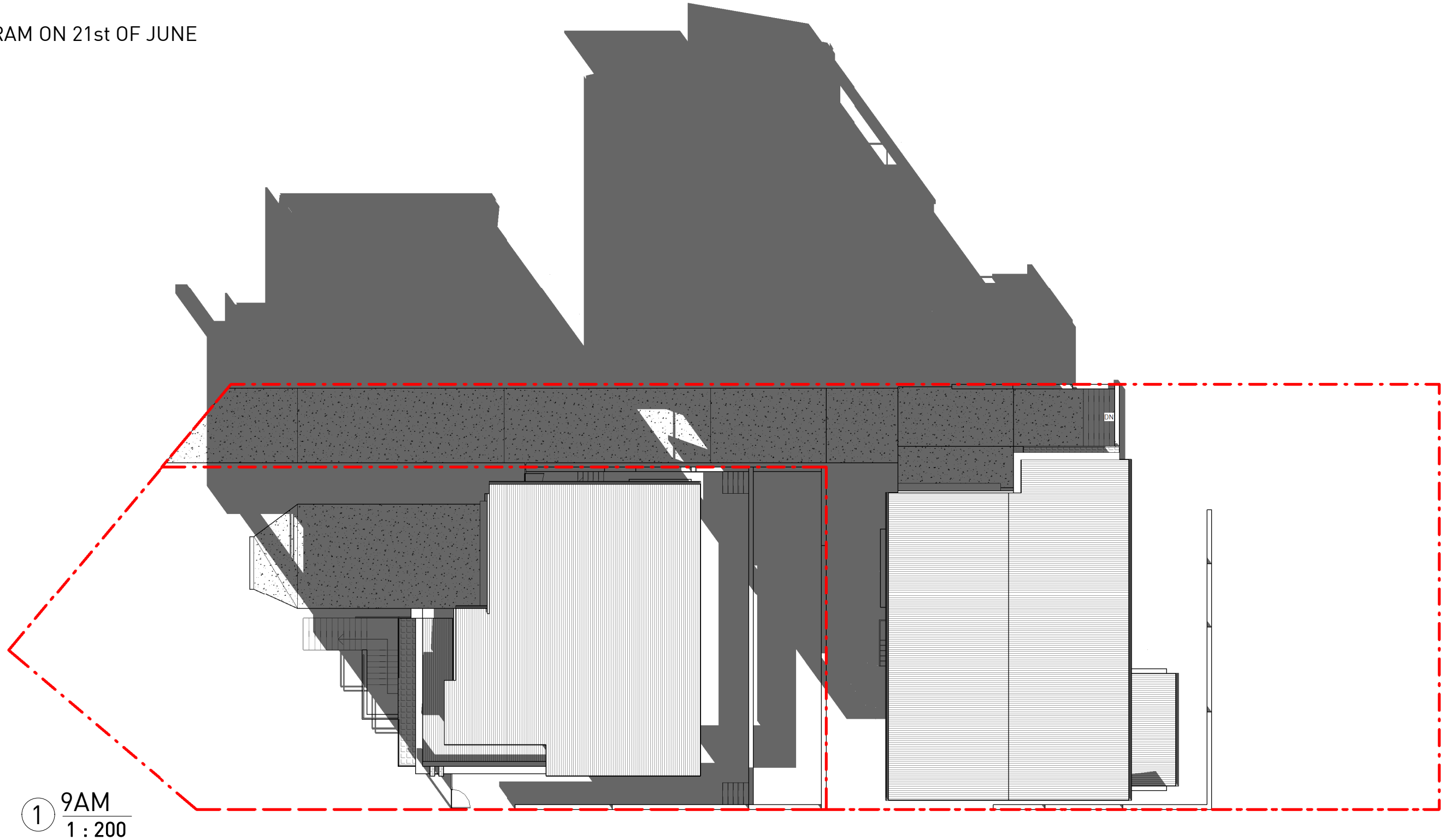
DW.07

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PLATEAU

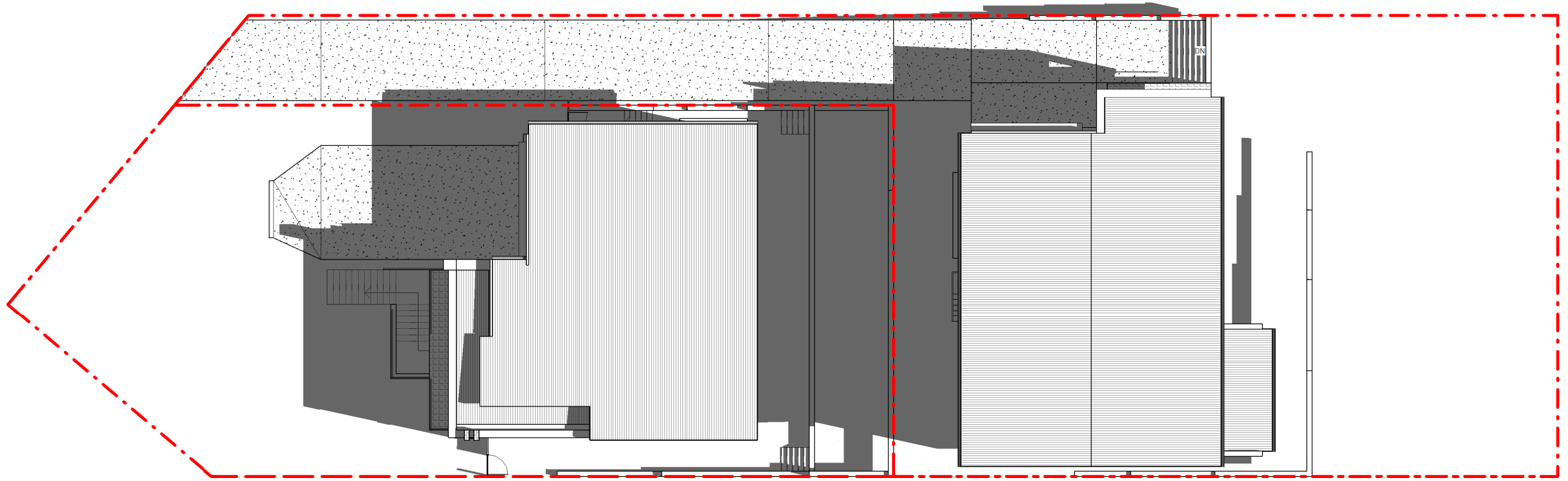
SHADOW DIAGRAM

Project number 201900278
Date 08.11.2019
Drawn by DM
Checked by JS

Issue for DA Approval	02.12.19	A
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DW.08
Scale 1 : 200
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1 : 200



1 12PM
1 : 200



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LOT 83 PARKES ROAD, COLLAROY
PLATEAU

SHADOW DIAGRAM

Project number
Date
Drawn by
Checked by

201900278
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Author
Checker

Issue for DA Approval	02.12.19	A
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DW.08.1
Scale

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A
1 : 200



1 3PM
1 : 200



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LOT 83 PARKES ROAD, COLLAROY
PLATEAU

SHADOW DIAGRAM

Project number 201900278
Date 08.11.2019
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Issue for DA Approval	02.12.19	A
DESCRIPTION	DATE	ISSUE

DW.08.2
Scale

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1 : 200





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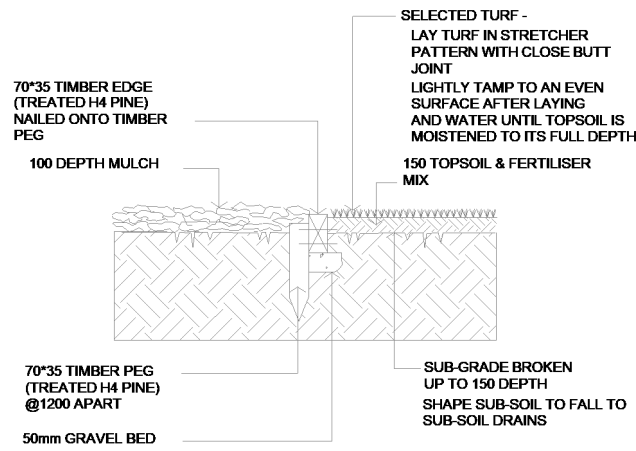


3 Landscape Plan 1 : 200

Planting Schedule

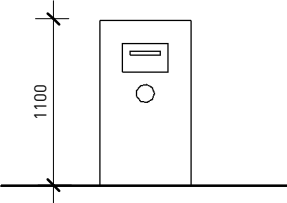
CODE	BOTANICAL NAME	M.Ht	POT SIZE	QTY	IMAGE
Bird of paradise - 1.2m	Strelitzia reginae	1.2m	200mm	19	
Buxus - 1m	Buxus micropylia japonica	1m	300mm	60	
Crepe Myrtle - 4m	Lagerstroemia indica x fauriei 'Natchez'	4m	300mm	3	
Lilly Pili- 1.4m	Syzygium australe 'Select Form'	1.4m	200mm	10	

Grand total: 92

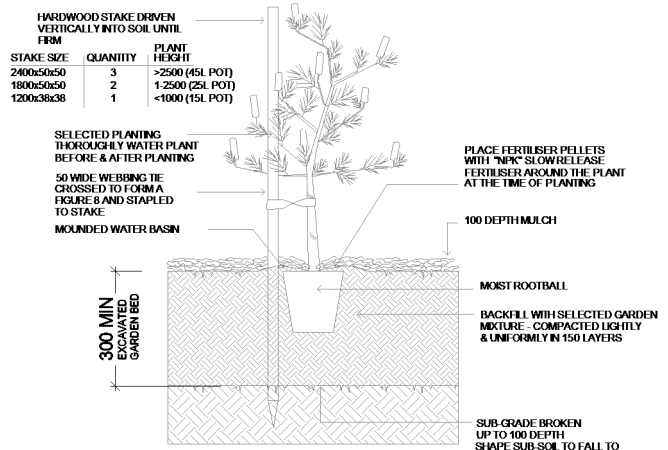


1. TURF & GARDEN EDGE DETAIL

NOTE :
ALIGNMENT OF BRICK EDGE SHALL BE EVEN & FREE FROM
DIPS AND HUMPS.



4 Letter Box Detail 1 : 50



2. TREE & SHRUB PLANTING IN GARDEN BED

NOTE :
DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS
SUCH AS EXTREME HEAT, COLD, WIND OR RAIN
CLAY SOIL IS TO BE TREATED WITH CLAY BREAKER
AND ORGANIC COMPOST

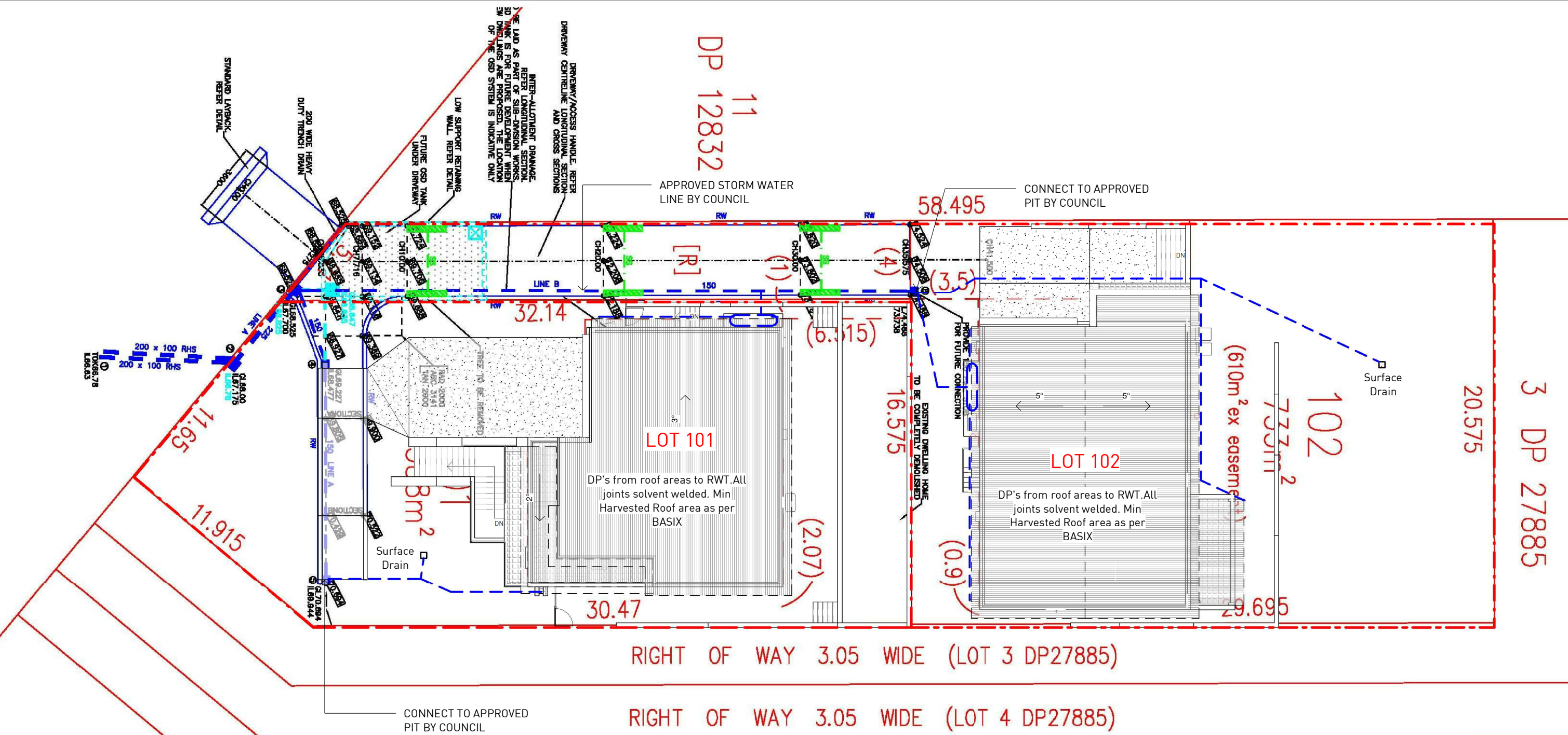
LAND SCAPE NOTES

TURF
EXCAVATE/ GRADE AREAS TO BE TURFED TO 120MM BELOW THE
REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITH 1500MM OF
ANY EXISTING TREE TO BE RETAINED. ENSURE THAT ALL OF THE
SURFACE WATER RUNOFF IS TO BE DIRECTED TOWARDS THE
INLET PITS, KERBS ETC. AD AWAY FROM BUILDINGS. ENSURE
THAT NO POOLING OR PONDING WILL OCCUR. RIP SUBGRADE TO
150MM DEEP. INSTALL 100MM DEPTH OF IMPORTED TOPSOIL.
JUST PRIOR TO SPREADING TURF, SPREAD 'SHIRLEYS NO. 17
LAWN FERTILISER' OVER THE TOPSOIL AT THE RECOMMENDED
RATE. LAY SIR WALTER BUFFALO TURF ROLLS CLOSELY BUTTED.
FILL ANY SMALL GAPS WITH TOPSOIL. WATER THOROUGHLY.

STABILISED CRUSHED SANDSTONE
PATH TO BE CRUSHED SANDSTONE OVER WEEDMAT TO
DEPTH OF 50MM. STABILISED WITH 5% CEMENT.

TIMBER EDGING
TREATED HARDWOOD EDGING. THE EDGES ARE TO BE LAID
IN EVEN CURVES AND STRAIGHT LINES AS INDICATED ON
THE PLAN. WHERE TIGHT CURVES ARE SHOWN SCORE
TIMBER TO ACHIEVE MORE EVEN CURVES. THE TOP OF THE
EDGE IS TO FINISH FLUSH WITH THE ADJACENT TURF AND
MULCH LEVELS.

PLANTING AREAS
ENSURE THAT THE MASS PLANTING AREAS HAVE BEEN
EXCAVATED TO 300MM BELOW FINISHED LEVELS. RIP TO A
FURTHER DEPTH OF 150MM. SUPPLY AND INSTALL 300MM SOIL
MIX IF REQUIRED OR IMPROVE EXISTING SOIL WITH COMPOST
BLEND. SOIL MIX TO COMPRISE OF ONE PART APPROVED
COMPOST TO THREE PARTS TOP SOIL. TOPSOIL SHALL BE EITHER
IMPORTED TOPSOIL OR STOCKPILED SITE TOPSOIL (IF SUITABLE
IE. NO CLAY). INSTALL 75MM OF SELECTED MULCH. MULCH TO BE
ANL 'FOREST BLEND'.



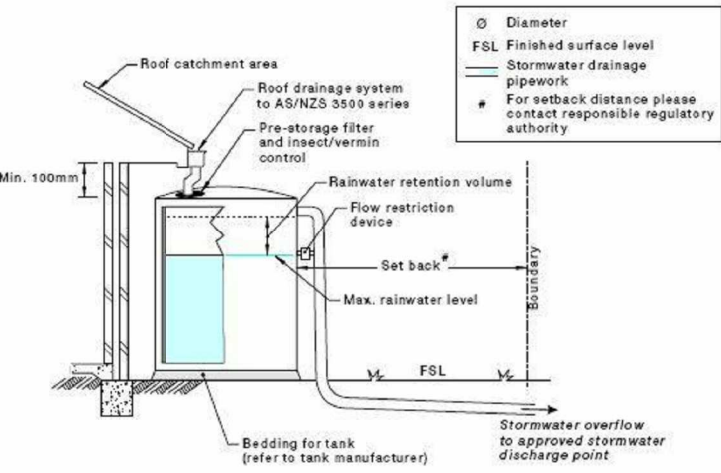
1 Roof Plan
1 : 200

LEGEND:

- SURFACE DRAIN 300MM
- FLOW WATER DIRECTION IN PIPES Ø100 PVC
- STORMWATER ACCESS
- GUTTER
- AREA DRAIN TO RAINWATER TANK
- RWP RAIN WATER PIPE
- RWT RAIN WATER TANK
- 22.5° ROOF PITCH TO DIRECTION

- NOTES:**
1. ALL WORK TO BE DONE TO SATISFACTION OF CITY COUNCIL.
 2. PROPOSED CONCRETE DRIVEWAY TO BE CONSTRUCTED IN ACCORDANCE WITH PLANS, SPECIFICATION, AND LEVELS ISSUED SEPARATELY BY COUNCIL.
 3. ALL PIPES TO BE MIN. 100MM DIA UNLESS NOTED OTHERWISE (UNO).
 4. ALL PIPES TO BE GRADE UPVC AT MIN 1% UNO.
 5. MINIMUM FALL OF 1:80 WITH 300mm COVER
 6. DOWNPIPES TO HAVE A MAXIMUM SPACING OF 12 METRES

- RAINWATER HARVESTING NOTES:**
1. RAINWATER FOR ON SITE STORMWATER HARVEST IS ONLY TO BE SOURCED FROM THE ROOF.
 2. AN APPROPRIATE BACK FLOW PREVENTION DEVICE IS TO BE INSTALLED IN ACCORDANCE WITH AS3500.
 3. FIRST FLUSH SYSTEM TO BE INCORPORATED.
 4. TANK TO BE CONNECTED FOR USE IN TOILET FLUSHING, IRRIGATION, LAUNDRY.
 5. THE REQUIRED PUMP IS NOT TO EXCEED 5dB[a] ABOVE AMBIENT BACKGROUND NOISE MEASURED AT THE NEAREST LOT BOUNDARY.
- ALL OTHER SURFACE WATERS TO BE STRICTLY CONNECTED TO A SEPARATE SYSTEM IN ACCORDANCE WITH AS 3500:3:2003 AND BCA PART 3.1.2.3.
- RAINWATER TANKS WITH PUMPS TO SUPPLY GARDEN TAPS AND INTERNAL RE-USE AS PER BASIX ASSESSMENT



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- GENERAL NOTES:**
1. Figured Dimensions shall be taken in preference to scaling.
 2. Check all Dimensions and Levels on site before commencing work or ordering materials.
 3. All Existing Ground Lines and tree locations are approximate, therefore to be verified on-site by the builder.
 4. Any discrepancies to be reported to arcINOVATIONZ before proceeding.
 5. All Workmanship and materials shall comply with all the relevant codes and Australian Standards.
 6. All Plans are copyright work of arcINOVATIONZ.

CLIENT:

PROJECT :

LOT 83 PARKES ROAD, COLLAROY PLATEAU

STORMWATER CONCEPT

Project number 201900278
Date 08.11.2019
Drawn by DM
Checked by JS

Issue for DA Approval	02.12.19	A
DESCRIPTION	DATE	ISSUE

DW.10
Scale 1 : 200

**ISSUE FOR COUNCIL APPROVAL,
NOT FOR CONSTRUCTION**

A
1 : 200



MATERAIL AND FINISHES SCHEDULE		
Material: Keynote	Material: Rendering Image	Material: Comments
FR01		COLORBOND ROOF CUSTOM ORB PROFILE
FR06		DOWNPIPE COLORBOND SURFMIST
FSD01		COLORTHROUGH CONCRETE DRIVEWAY
FWB01		AUSTRAL BRICK WILDERNESS DESIGN BLACKBUTT

MATERAIL AND FINISHES SCHEDULE		
Material: Keynote	Material: Rendering Image	Material: Comments
FWC01		CLADDING AS SELECTED BY CLIENT
FW01		WINDOW FRAME COLORBOND SURFMIST
FWP01		DULUX LEXICON
FWP02		DULUX WAYWARD GREY



1 F_Lot 101 East
1 : 200



2 F_Lot 101 North
1 : 200



3 F_Lot 101 West
1 : 200



4 F_Lot 101 South
1 : 200

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CLIENT:

PROJECT :

LOT 83 PARKES ROAD, COLLAROY
PLATEAU

LOT 101 FINISHES SCHEDULE

Project number
Date
Drawn by
Checked by

201900278
08.11.2019
Author
Checker

DESCRIPTION	DATE	ISSUE
Issue for DA Approval	02.12.19	A
Issue for Council Approval		

DW.11.1
Scale

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1 : 200



1 F_LOT 102 East
1 : 200



3 F_LOT 102 West
1 : 200

MATERAIL AND FINISHES SCHEDULE		
Material: Keynote	Material: Rendering Image	Material: Comments
FR01		COLORBOND ROOF CUSTOM ORB PROFILE
FR06		DOWNPIPE COLORBOND SURFMIST
FSD01		COLORTHROUGH CONCRETE DRIVEWAY
FWB01		AUSTRAL BRICK WILDERNESS DESIGN BLACKBUTT

MATERAIL AND FINISHES SCHEDULE		
Material: Keynote	Material: Rendering Image	Material: Comments
FWC01		CLADDING AS SELECTED BY CLIENT
FWI01		WINDOW FRAME COLORBOND SURFMIST
FWP01		DULUX LEXICON
FWP02		DULUX WAYWARD GREY



2 F_LOT 102 North
1 : 200



4 F_LOT 102 South
1 : 200

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CLIENT:

PROJECT :

LOT 83 PARKES ROAD, COLLAROY
PLATEAU

LOT 102 FINISHES SCHEDULE

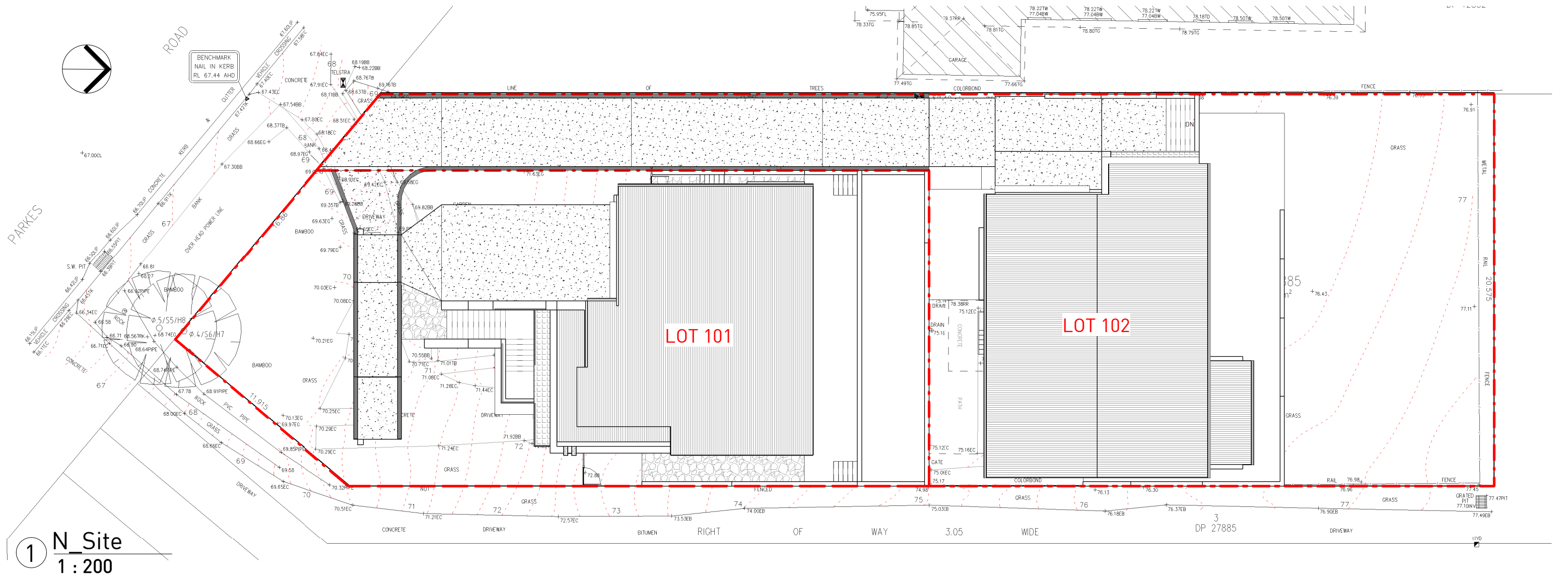
Project number	201900278
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CLIENT:

PROJECT :

LOT 83 PARKES ROAD, COLLAROY PLATEAU

NOTIFICATION SITE PLAN

Project number	201900278
Date	08.11.2019
Drawn by	DM
Checked by	JS

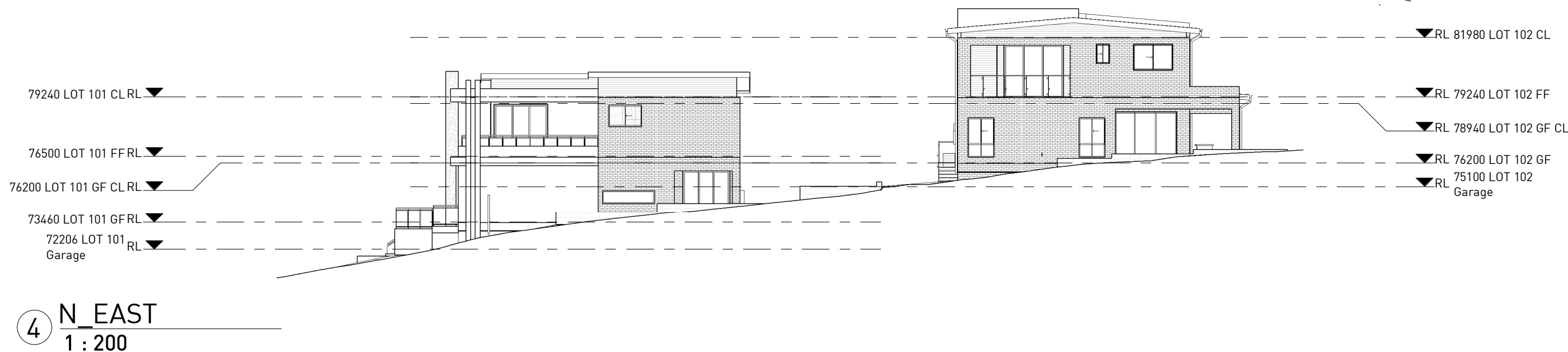
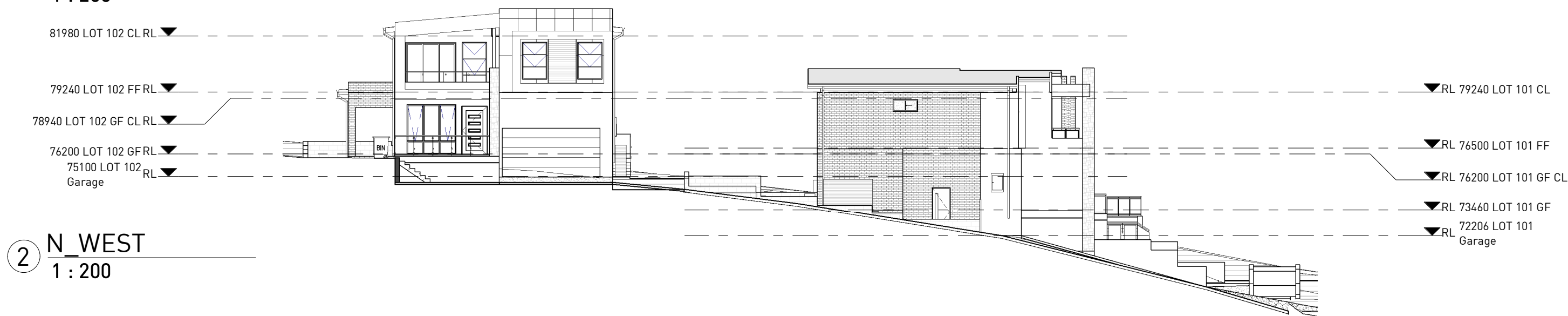
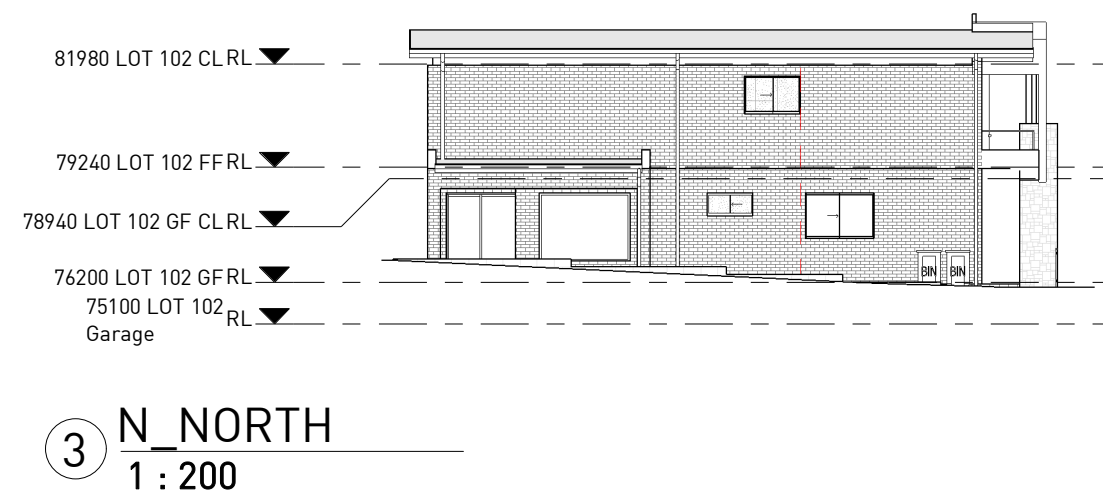
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DESCRIPTION	DATE	ISSUE

DW.12

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CLIENT:

PROJECT :

LOT 83 PARKES ROAD, COLLAROY
PLATEAU

NOTIFICATION ELEVATIONS

Project number	201900278
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