

D.P.863011

EXISTING 15,000L TANK COLLECTS
STORMWATER FROM DRIVEWAY AND GARAGES
FOR REUSE TO WATER GARDEN

102
Site Area 1659m²
(Vide D.P.803977)
D.P.803977

No.167
2 STOREY BRICK &
TIMBER RESIDENCE
METAL ROOF

No.165
3 STOREY METAL
RESIDENCE
METAL ROOF



REVISION NOTES
rev 1 - 12.10.2021 - inclinator rail added
rev 2 - 19.11.2021 - new scheme on south
boundary
rev 3 - 28.11.2021 - inclinator path ammended
rev 4 - 29.11.2021 - top inclinator ammended
rev 5 - 08.12.2021 - sewer and stormwater added
rev 6 - 14.01.2022 - lift added
rev 7 - 31.03.2022 - bedroom plans ammended to
allow for trees to be retained
rev 8 - 12.04.2022 - driveway turning platform
omitted

Yoram Shabat Architect
SACAP registration no. 5960
4 Paterson street, Newlands, Cape Town 7700
m. 0927853 310 3017 e. yoram.shabat@gmail.com
project details:
ALTERATIONS & ADDITIONS
167 RIVERVIEW RD,
CLAREVILLE, NSW - LOT 102, DP 803977
client:
MR. SIMON EHRlich
drawing information:
SITE/ROOF PLAN
drawing no: **EHRL_100** rev 8
scale 1:100 @A1
date: 12 April 2022

N



1



10



0

scale: NTS



drawing no: EHRL_101 rev 3
scale: AS INDICATED@A1
date: 12 April 2022

PITTWATER

102
Site Area 1659m²
(vide D.P.803977)
D.P.803977

D.P.1147783

D.P.863011

GARDEN REFUSE
STORAGE

site boundary line

foreshore building line

FBL

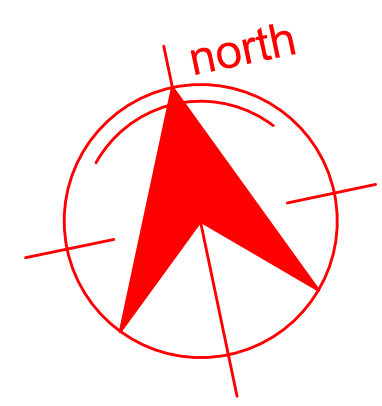
SKIP FOR BUILDING WASTE

EXISTING GARAGE TO BE USED FOR
CONSTRUCTION MATERIALS AND
CONSTRUCTION WASTE STORAGE
DURING THE CONSTRUCTION PHASE

ADDITIONAL
MATERIALS STORAGE
AREA DURING
CONSTRUCTION

EXISTING STORAGE
POINT FOR ONGOING
DOMESTIC REFUSE
POST CONSTRUCTION

EXISTING STREET
COLLECTION POINT
FOR ONGOING
DOMESTIC REFUSE
POST CONSTRUCTION



WASTE MANAGEMENT PLAN

scale 1:200

REVISION NOTES
rev 1 - 14 jan 2022 - Lift added
rev 2 - 31 march 2022 - new build footprint amended to
retain trees
rev 3 - 12 april 2022 - driveway turning platform removed

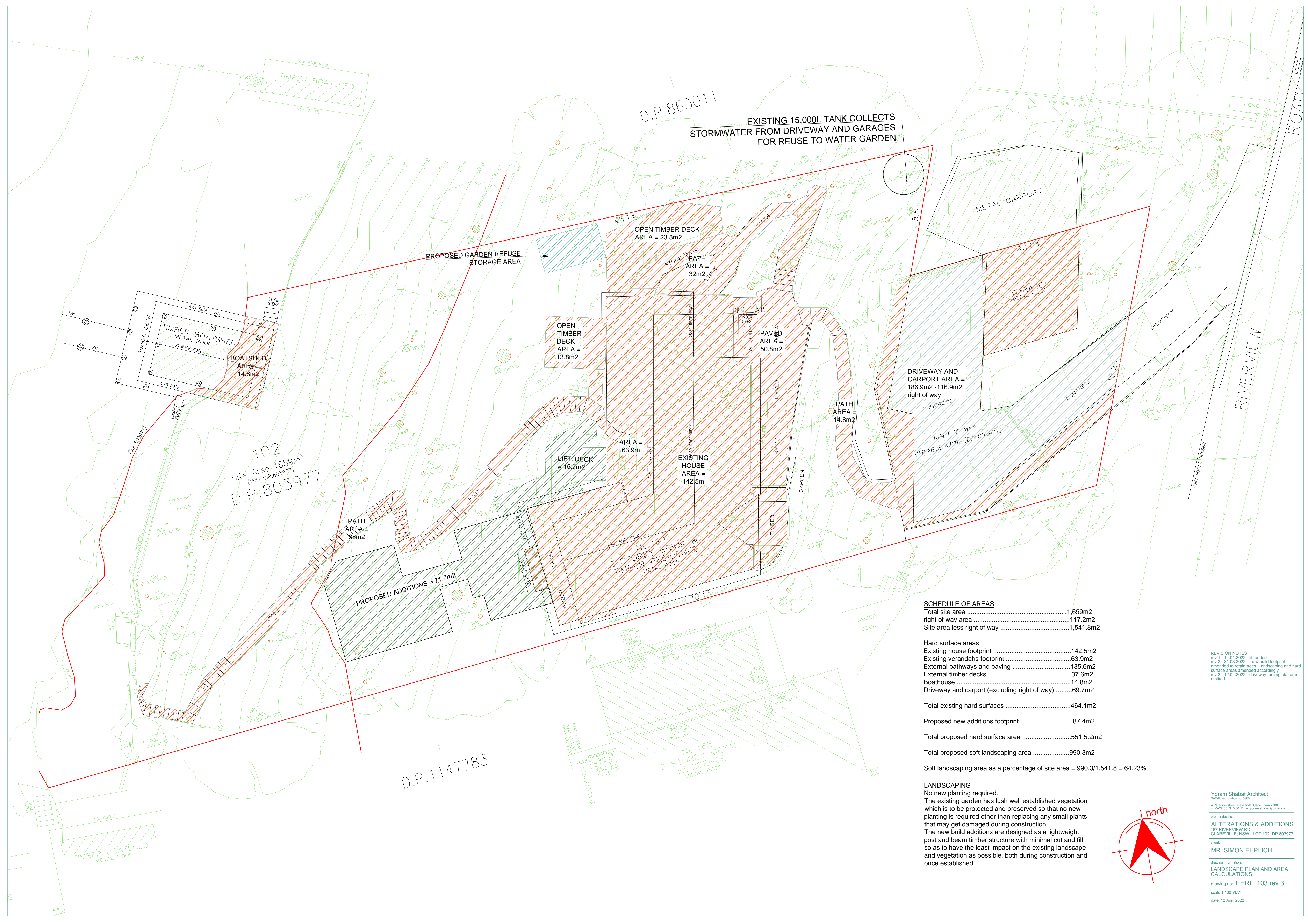
Yoram Shabat Architect
SACAP registration no. 5960
4 Proteus street, Newlands, Cape Town 7700
m. 0847(03) 310 0017 e. yoram.shabat@gmail.com

project details:
ALTERATIONS & ADDITIONS
167 RIVERVIEW RD.
CLAREVILLE, NSW - LOT 102, DP 803977

client:
MR. SIMON EHRlich

drawing information:
WASTE MANAGEMENT PLAN

drawing no: **EHRL_102 rev 3**
scale 1:100 @A1
date: 12 April 2022



EXISTING 15,000L TANK COLLECTS
STORMWATER FROM DRIVEWAY AND GARAGES
FOR REUSE TO WATER GARDEN

PROPOSED GARDEN REFUSE
STORAGE AREA

102
Site Area 1659m²
(Vide D.P.803977)
D.P.803977

PROPOSED ADDITIONS = 71.7m²

EXISTING
HOUSE
AREA =
142.5m

SCHEDULE OF AREAS

Total site area	1,659m ²
right of way area	117.2m ²
Site area less right of way	1,541.8m ²

Hard surface areas

Existing house footprint	142.5m ²
Existing verandahs footprint	63.9m ²
External pathways and paving	135.6m ²
External timber decks	37.6m ²
Boathouse	14.8m ²
Driveway and carport (excluding right of way)	69.7m ²

Total existing hard surfaces

464.1m²

Proposed new additions footprint

87.4m²

Total proposed hard surface area

551.52m²

Total proposed soft landscaping area

990.3m²

Soft landscaping area as a percentage of site area = $990.3 / 1,541.8 = 64.23\%$

LANDSCAPING
No new planting required.
The existing garden has lush well established vegetation
which is to be protected and preserved so that no new
planting is required other than replacing any small plants
that may get damaged during construction.
The new build additions are designed as a lightweight
post and beam timber structure with minimal cut and fill
so as to have the least impact on the existing landscape
and vegetation as possible, both during construction and
once established.

REVISION NOTES
rev 1 - 14.01.2022 - lift added
rev 2 - 31.03.2022 - new build footprint
amended to retain trees. Landscaping and hard
surface areas amended accordingly
rev 3 - 12.04.2022 - driveway turning platform
omitted

Yoram Shabat Architect
SACAP registration no. 5960
4 Peterson street, Newlands, Cape Town 7700
m. +27(0)31 310 0017 e. yoram.shabat@gmail.com
project details:
ALTERATIONS & ADDITIONS
167 RIVERVIEW RD.
CLAREVILLE, NSW - LOT 102, DP 803977
client:
MR. SIMON EHRLICH
drawing information:
**LANDSCAPE PLAN AND AREA
CALCULATIONS**
drawing no: **EHRL_103 rev 3**
scale 1:100 @A1
date: 12 April 2022



[illegible]

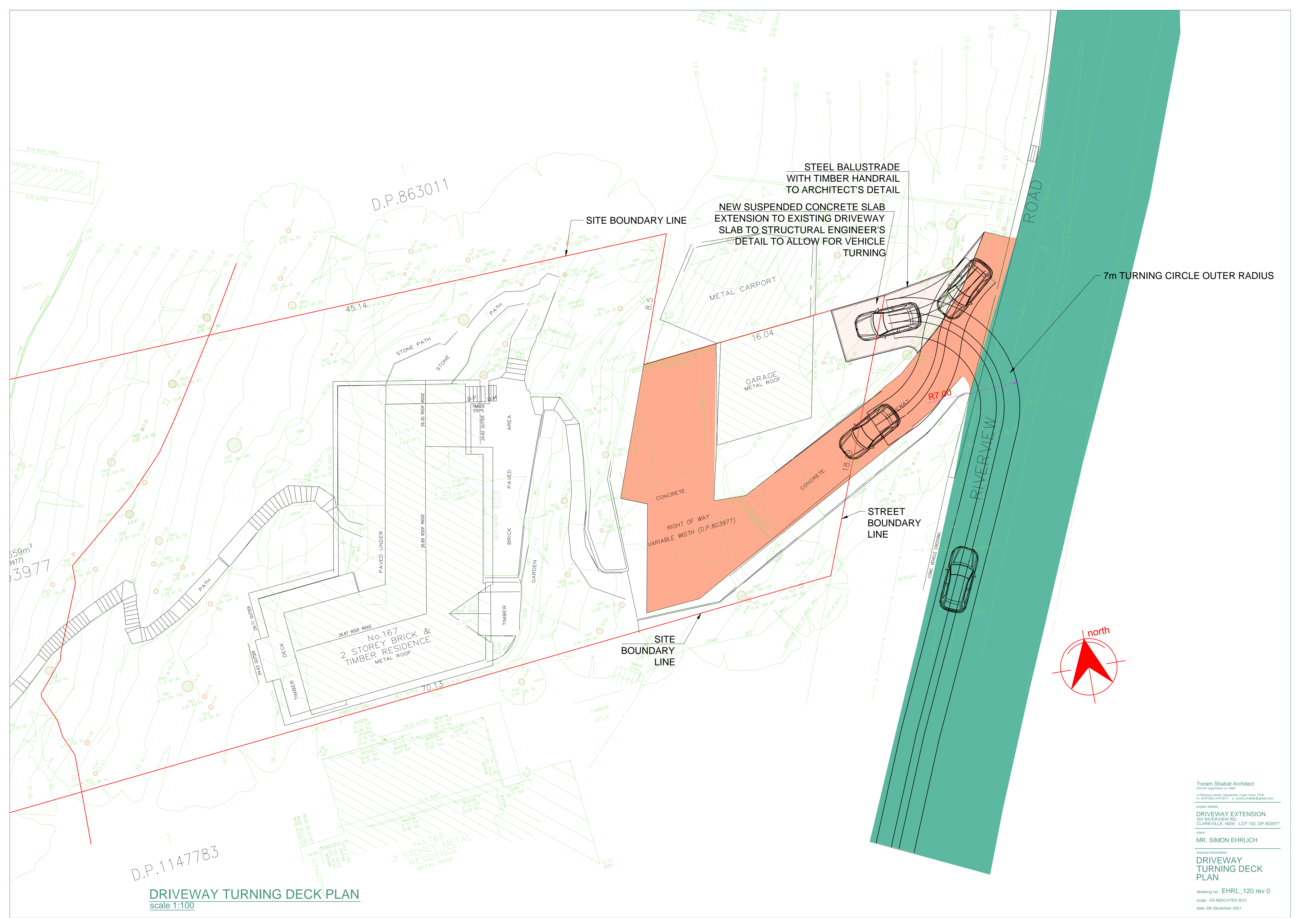
BEDROOM 5 PLAN
scale 1:50

The plan shows Bedroom 5 with a timber deck, wardrobe, and fixed glass window. It includes dimensions, level markers, and notes on existing structures and trees. A section line A-A is indicated. The plan also shows a stone path, a timber deck over, and an existing house above. A site boundary line and a proposed inclinometer rail path are also shown.

project details:

ALTERATIONS & ADDITIONS
167 RIVERVIEW RD.
CLAREVILLE, NSW - LOT 102, DP 803977

client:



SITE BOUNDARY LINE

32.00
31.00
30.00
29.00
28.00
27.00
26.00
25.00
24.00
23.00
22.00
21.00
20.00
19.00
18.00
17.00
16.00
15.00
14.00
13.00
12.00
11.00
10.00
9.00
8.00
7.00
6.00
5.00
4.00
3.00
2.00
1.00
0.00

SECTION AA
scale 1:100

building envelope 8.5m building height plane on section line
foreshore building line
colorbond roof at 10 deg slope
timber balustrade to match existing house with glass infill panels
timber deck over waterproofed flat roof
450mm overhang
200mm x 50mm timber joists
floor to ceiling glass wall
1.2m cantilevered overhang
200x50 timber joists with 140mm thk insulation bats and 22mm thk shutterply infill panels below to arch detail
3.61
600mm overhang
2.50
SITTING ROOM
2.75
BEDROOM 4
2.75
timber deck over bedroom 4 to connect to existing house verandah
existing house timber verandah
bedroom 4 bathroom to occupy space below existing timber deck of existing house
concrete footing to structural engineer's detail
200x50 timber joists with 140mm thk insulation bats and 22mm thk shutterply infill panels below to arch detail
stone retaining wall
overall slope of natural ground line across the proposed building footprint = 27 degrees
concrete footing to structural engineer's detail
built in cupboard
existing ground slope on section line
150mm x 150mm treated timber post to structural engier's specification
position of sewer pump and tank
concrete footings to structural engineer's detail

36.00
35.00
34.00
33.00
32.00
31.00
30.00
29.00
28.00
27.00
26.00
25.00
24.00
23.00
22.00
21.00
20.00
19.00
18.00
17.00
16.00
15.00
14.00
13.00
12.00
11.00
10.00
9.00
8.00
7.00
6.00
5.00
4.00
3.00
2.00
1.00
0.00

SITE STREET BOUNDARY LINE

STREET KERB

REVISION NOTES:
rev 1 - 29.11.2021 - building envelope control line added
rev 2 - 29.11.2021 - bed 4 deck roof cut back
rev 3 - 06.12.2021 - sewer line and notes added

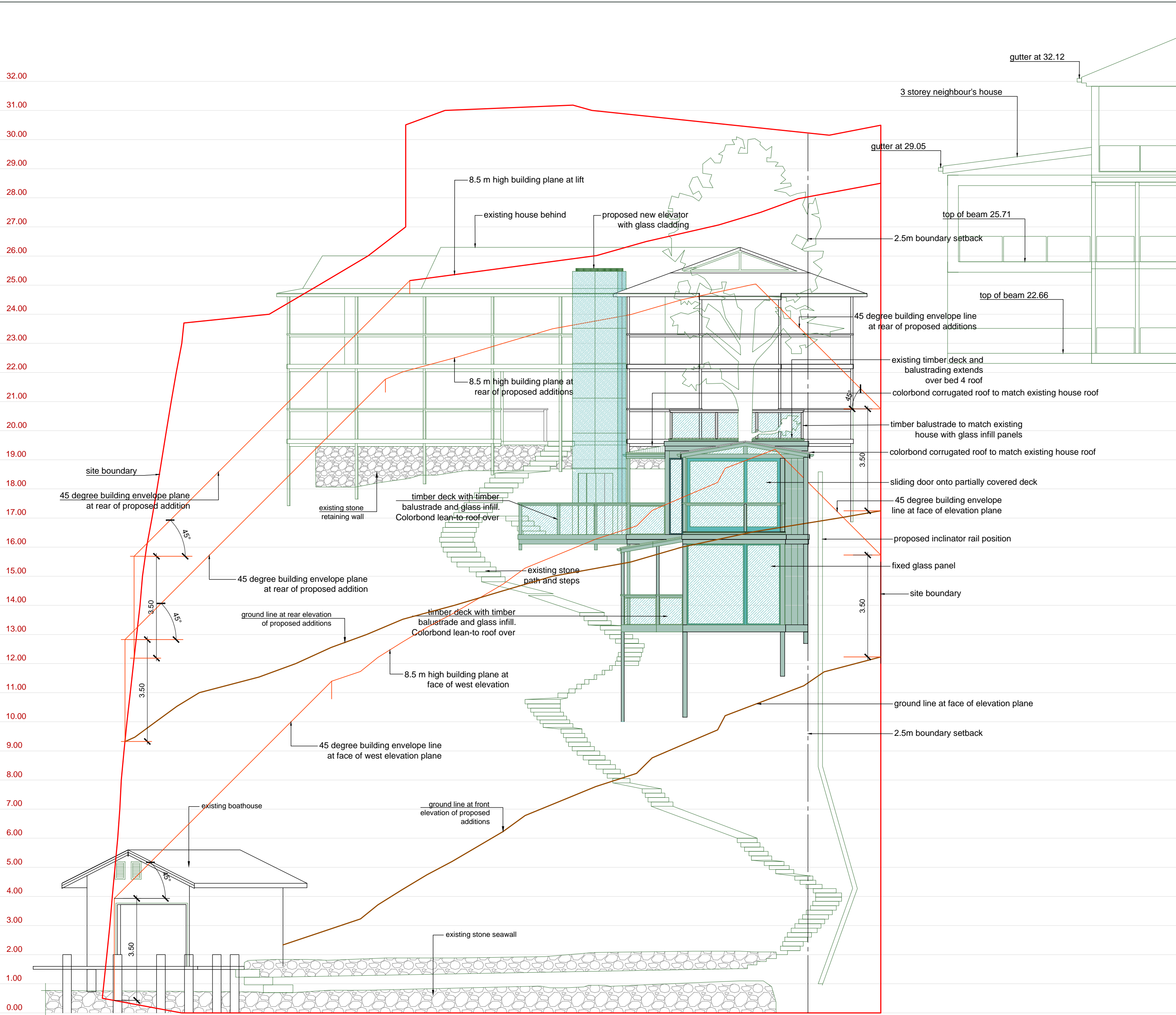
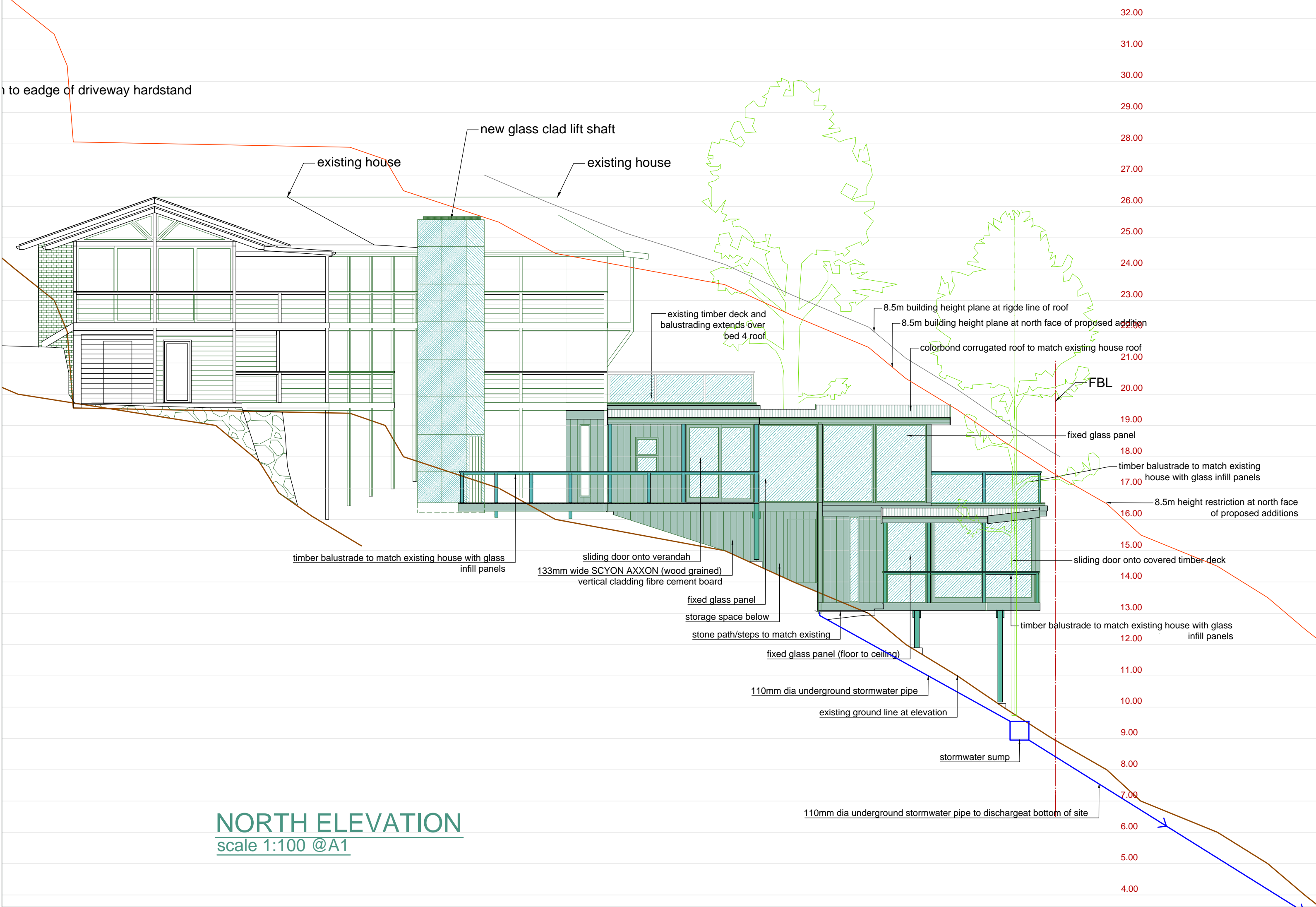
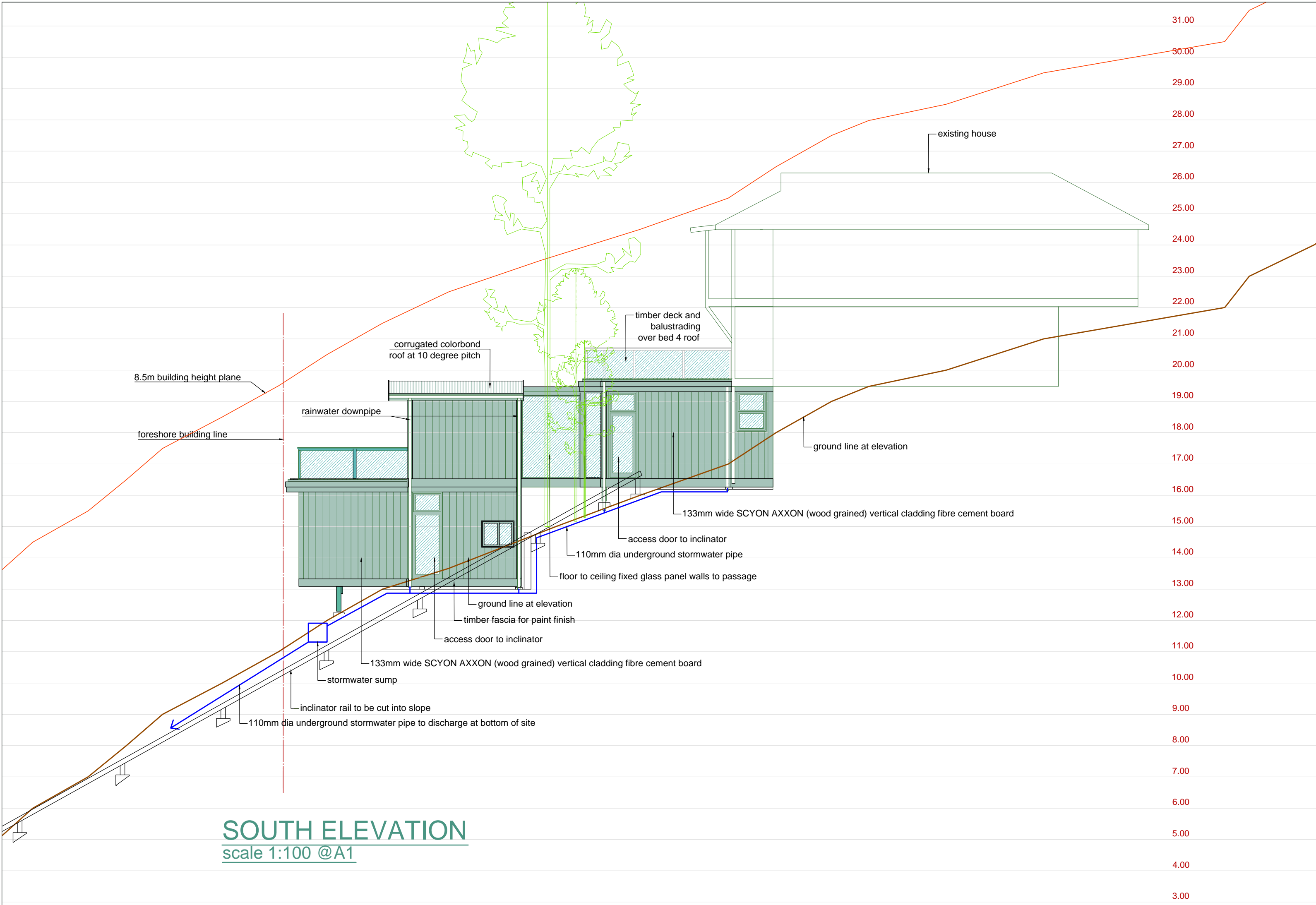
Yoram Shabat Architect
SACAP registration no. 5960
4 Paterson street, Newlands, Cape Town 7700
m. 0+27(83) 310 0017 e. yoram.shabat@gmail.com

project details:
ALTERATIONS & ADDITIONS
167 RIVERVIEW RD.
CLAREVILLE, NSW - LOT 102, DP 803977
client:

MR. SIMON EHRLICH

drawing information:
SECTIONS

drawing no: EHRL_200 rev 3
scale: AS INDICATED @ A1
date: 6th December 2021



WEST ELEVATION
scale 1:100 @A1

NOTES:

STRUCTURAL
New build - lightweight timber frame construction with exposed 150 x 150 treated timber posts.
External walls to be timber frame construction with 80mm insulation bats - overall thickness to be 150mm overall to match exposed posts.
All structural elements to be constructed in accordance with the Structural Engineer's detail and specification.

EXTERNAL FINISHES
walls - external cladding to be vertical 133mm grained "SCYON AXON" fibre cement board cladding for paint finish.

External timber and scyon axon wall cladding to be painted DULUX "ENDLESS DUSK" SN4G3 or similar mid grey to match existing house colour.

Roof - main roof to be finished with timber decking to match existing house verandah.
Roof - balcony roof to be corrugated "victorian" profile colorbond roof, colour: COLORBOND MONUMENT or similar dark grey to match existing house roof.

Floors - External floors to be timber decking to match existing house verandah. Internal floors to be 140mm wide x 21mm thk Blackbutt natural timber floor boards.

Windows and doors - purpose made blackbutt timber glazed doors and windows to match existing house windows.



REV NOTES:
rev 1 - 29.11.2021 - window layout amended
rev 2 - 29.11.2021 - bed 4 deck roof cut back
rev 3 - 06.12.2021 - stormwater added, external finishes notes added
rev 4 - 10.12.2021 - building envelope lines and notes added
rev 5 - 10.12.2021 - fill added to north and west elev. inclinator rail added to south elev. Neighbour's house added to west elevation
rev 6 - 30.10.2022 - fill below and ground line amended to reflect existing conditions below existing house
rev 7 - 31.03.2022 - west and south elevations amended where new build footprint changed to retain small trees

Yoram Shabat Architect
SACAP registration no. 1560

4 Paterson Street, Newlands, Cape Town 7700
m. 0627853 310 0017 e. yoram.shabat@gmail.com

project details:
ALTERATIONS & ADDITIONS
167 RIVERVIEW RD.
CLAREVILLE, NSW - LOT 102, DP 803977

client:
MR. SIMON EHRlich

drawing information:
ELEVATIONS

drawing no: **EHLR_300 rev 7**
scale 1:100 @A1
date: 31 march 2022