

ADDITIONS AND ALTERATIONS

10 ROWAN STREET, MONA VALE, 2103 NSW



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REV.	AMENDMENTS	DATE

CLIENT'S NAME:

Mr. JOE VESCIO

10 ROWAN STREET,
MONA VALE, 2103, NSW

STANDARDS NOTES:

All Architectural Drawings to be in Accordance with AS1100.301

Swimming Pools / Spas to be in Accordance with AS1926

Fire Protection Systems and Equipment to be in Accordance with AS1851

Termite Management to be in Accordance with AS 3660

Buildings in Bushfire-Prone Areas to be in Accordance with AS3959

Parking Facilities to be in Accordance with AS/NZS2890

Access and Mobility to be in Accordance with AS1428

Timber Framed Construction to be in Accordance with AS1684

Demolition of Structures to be in Accordance with AS2601

Aluminium Structures to be in Accordance with AS/NZS1664

Protection of Openings in Fire Resistant Walls to be in Accordance with AS/NZS1905

Windows and External Glazed Doors to be in Accordance with AS2047

Piled Footings to be in Accordance with AS2159

Emergency Lighting and Exit Signs for Buildings to be in Accordance with AS2293

Composite Structures to be in Accordance with AS2327

Masonry Structures to be in Accordance with AS3700

Electrical Installations to be in Accordance with AS3013

Mechanical Ventilation & Air Conditioning to be in Accordance with AS1668

Installation of Fire Hose Reels to be in Accordance with AS2441

Smoke Alarms to be in Accordance with AS3786

Glass in Buildings to be in Accordance with AS1288

Automatic Fire Sprinkler systems to be in Accordance with AS2118

Fire Detection, Warning, Control and Intercom Systems to be in Accordance with AS1670

Fire Hydrant Installations to be in Accordance with AS2419

Prefinished/prepainted Sheet Metal products to be in Accordance with AS/NZS2728

Sheet Roof and wall cladding metal design and installation to be in Accordance with AS1562.1

BCA NOTES:

Footings and Slabs to Structural Engineer's details

All first floor windows with restricted opening to comply with clause 3.9.2.5 of the BCA

All masonry walls to have expansion joints to comply with BCA requirements

A high impact vapour barrier to comply as per the requirements of clause 3.2.2.6 of the BCA

Gutters and Downpipes to comply with Australian Standard 3500.3 or 3500.5

Wet area Construction to comply with Australian Standard 3740

Stairs will be constructed in accordance with the requirements of clause 3.9.1.2 of Volume 2 of the NCCS - BCA

The finish of all of the stairs will meet the requirements of clause 3.9.1.4 of Volume 2 of the NCCS - BCA

The landing provided will meet the requirements of clause 3.9.1.5 of Volume 2 of the NCCS - BCA

Non-slip nosing's or treads to stairs to comply with clause 3.9.1.4 of the BCA

The balustrades servicing the stairs will meet the requirements of clause 3.9.2.3 of Volume 2 of the NCCS - BCA

A handrail will be provided to service the internal stairs of the dwelling (where bounded by walls) which will meet the requirements of clause 3.9.2.4 of Volume 2 of the NCCS - BCA

New Handrails and Balustrades must comply with Part 3.9.2.4 of the BCA

SEDIMENT NOTES:

ALL EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDING VEGETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.00M CENTRES

FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

GENERAL NOTES:

ALL DIMENSIONS AND FLOOR AREAS ARE TO BE VERIFIED BY BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.

LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.

ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.

STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3-1990.

ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

ALL DEMOLITION AND REMOVAL WORK TO BE CARRIED OUT WITH APPROVED WASTE MANAGEMENT PLAN AND IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS & D.A. CONDITIONS

SETBACKS ARE TO BE TAKEN FROM EXTERNAL WALL FINISH

GENERAL NOTES:

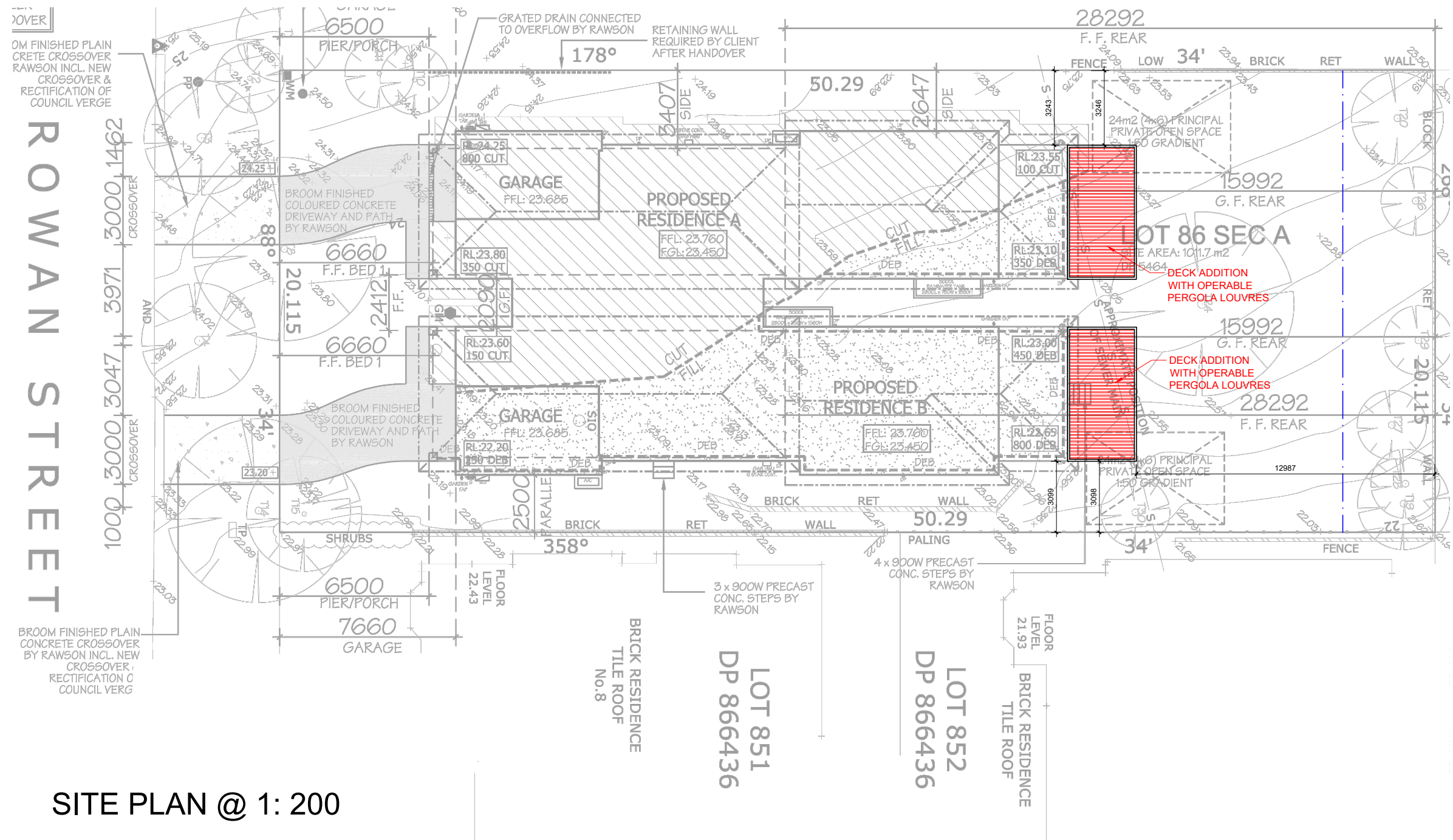
- 1) Provide handrails to internal stairs.
- 2) Internal stairs will require a slip resistance of P3 classification.
- 3) Glass balustrade protecting falls of more than 1m require interlinking rail.
- 4) Provide first floor bedroom windows with lockable devices preventing windows opening more than 125mm (as per BCA Section 3.9.2.6 Protection of openable windows).
- 5) Mechanical ventilation as per Part 3.8.7.4 of the BCA.
- 6) External wall membrane must comply with AS4200.1 and installed to AS4200.2
- 7) Minimum extraction rate of 25l/s bathroom 40l/s kitchen or laundry
- Ducted to roof space or external
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of—
 - i. 25 L/s for a bathroom or sanitary compartment; and
 - ii. 40 L/s for a kitchen or laundry.
- Exhaust from a bathroom, sanitary compartment, or laundry must be discharged—
 - i. directly or via a shaft or duct to outdoor air; or
 - ii. to a roof space that is ventilated in accordance with 3.8.7.4.
- 8) Stairs Shall be constructed in accordance with BCA part 3.9.1.2
- 9) Building elements in wet areas within a building must—
 - (a) be waterproof or water resistant in accordance with Table 3.8.1.1; and
 - (b) comply with AS 3740.
- Waterproofing membranes for external above
- 10) External walls within 900mm of the boundary must extend to the underside of a non-combustible roof covering or noncombustible eaves lining and must:
 - a) have an FRL of not less than 60/60/60 when tested from the outside; or
 - b) be of masonry-veneer construction in which the external masonry veneer is not less than 90 mm thick; or
 - c) be of masonry construction not less than 90 mm thick.
- 11) The fire hazard properties of materials used in a Class 1 building, including floor or ceiling spaces common with a Class 10 building, must comply with the following:
 - (a) Sarking-type materials used in the roof must have a flammability index not greater than 5.
 - (b) Flexible ductwork used for the transfer of products initiating from a heat source that contains a flame must comply with the fire hazard properties set out in AS 4254.1.
- 12) All glazing in bathrooms, ensuites, spa rooms or the like, including shower doors, shower screens, bath enclosures, and associated windows, where the lowest sight line is less than 2.0 m above the highest abutting finished level of the floor, bottom of the bath, or shower base, must be in accordance with the provisions of this Clause.
- 13) Termite management to comply with AS 3660.1
- 14) Sheet Roofing to be designed and constructed with either AS1562.1 (Metal roofing) and/or AS/NZS1562.3 (Plastic sheet roofing) and the relevant provisions of this Part.
- Gutters and downpipes to be designed and constructed with either AS/NZS 3500.3 and the relevant provisions of this Part.
- 15) Wall cladding is to be designed and constructed in accordance with one of the following, as appropriate: metal wall cladding to AS 1562.1 and autoclaved aerated concrete to AS 5146.1.
- 16) All framed glass (except leadlight panels) in side panels, doors etc with their nearest vertical sight line less than 300mm from the nearest edge of the doorway opening must be Grade A safety glazing material in accordance with Table 3.6.5 and Figure 3.6.1 except as permitted by the provisions of this Clause.
- 17) Smoke alarm must comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying AS 3786 are installed elsewhere in the Class 1 building; and
- 18) Where an exhaust system covered by 3.8.7.3 discharges into a roof space, the roof space must be ventilated to outdoor air through evenly distributed openings.
- Openings must have a total unobstructed area of 1/300 of the respective ceiling area if the roof pitch is more than 22°, or 1/150 of the respective ceiling area if the roof pitch is not more than 22°.
- 30% of the total unobstructed area required by (b) must be located not more than 900 mm below the ridge or highest point of the roof space, measured vertically, with the remaining required area provided by eave vents.
- 19) New Handrails must comply with Part 3.9.2.4 of the BCA.
- 20) All new glazing and windows must comply with part 3.6 of the BCA 2019

Scale	Date
AS SHOWN	14.03.2023

Job no.:	Dwg No.:
10-RST-MV	A.00

Drawing Title:

COVER SHEET

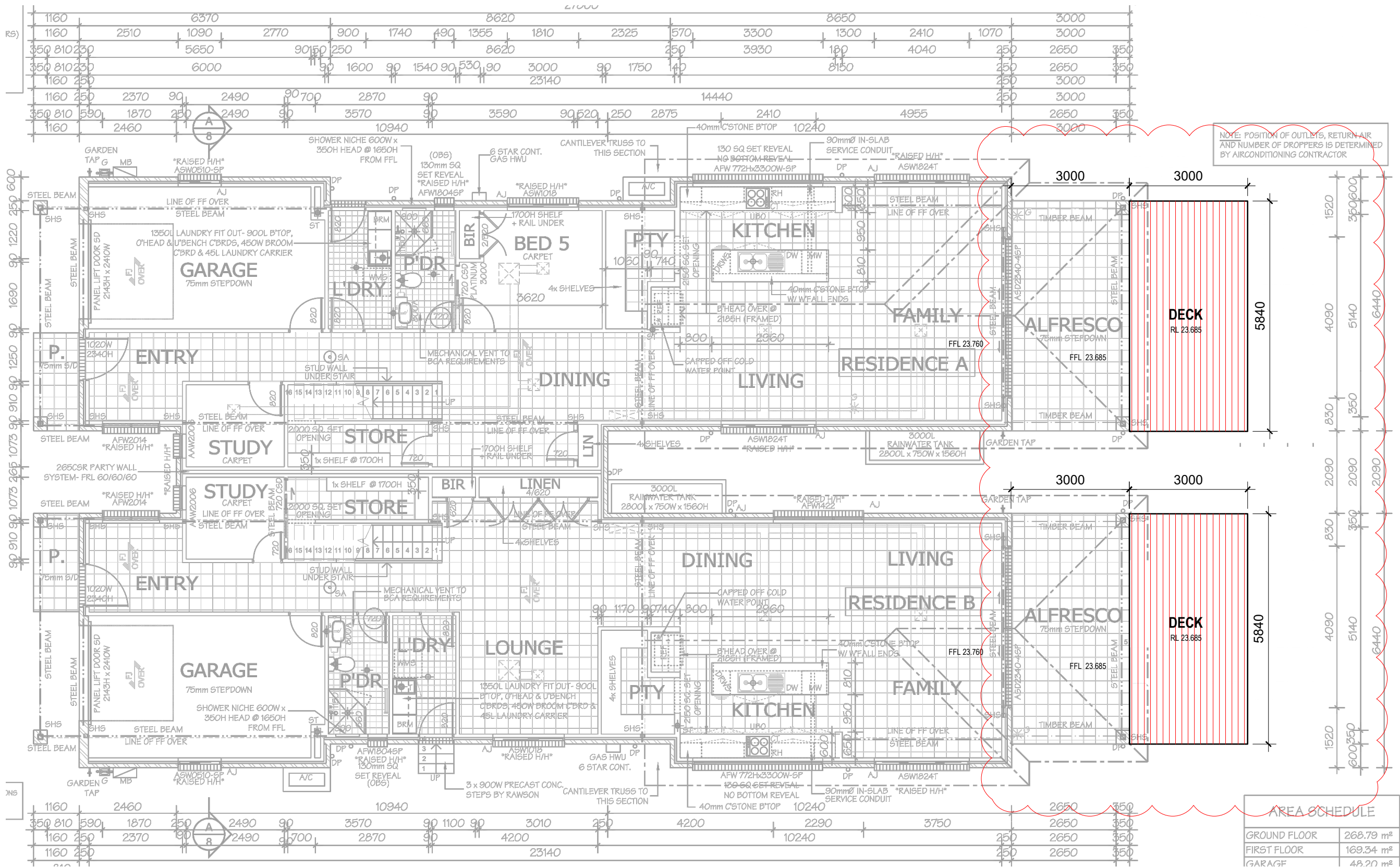


SITE PLAN @ 1: 200

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10 ROWAN STREET,
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SITE PLAN



FLOOR PLAN @ 1: 100

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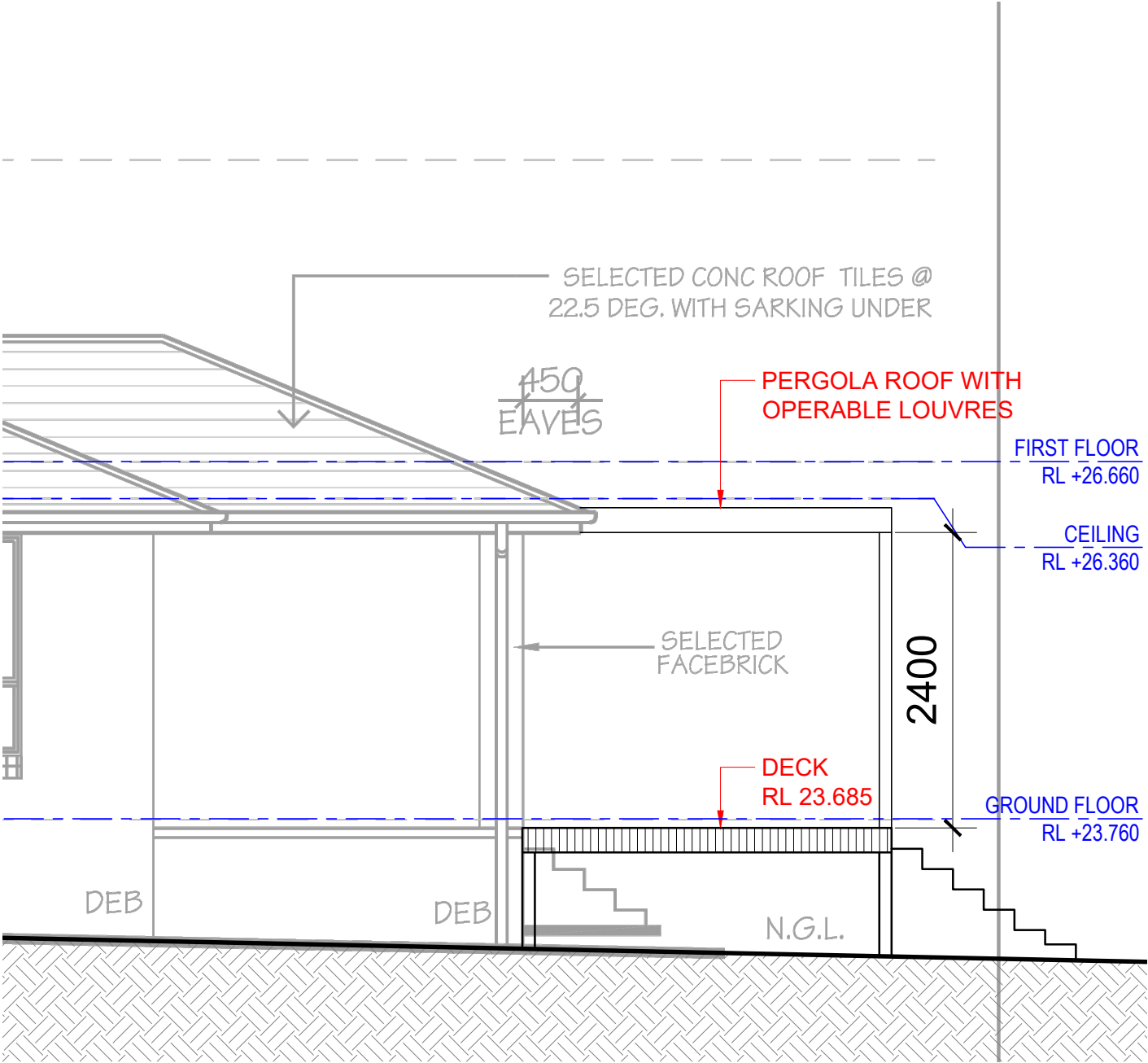
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Job no.: 10-RST-MV Dwg No.: A.02

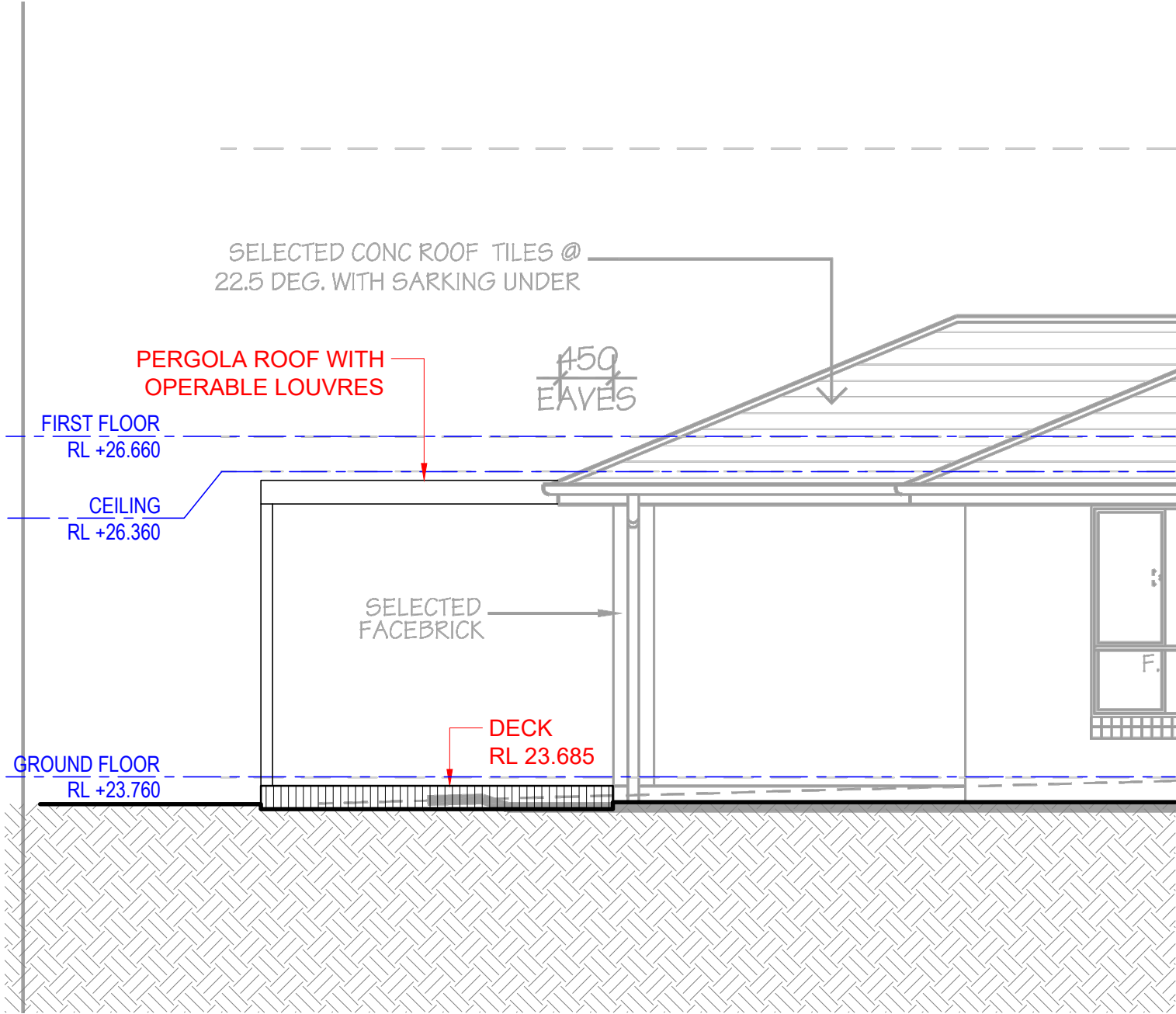
Drawing Title:

FLOOR PLAN

AREA SCHEDULE	
GROUND FLOOR	268.79 m ²
FIRST FLOOR	169.34 m ²
GARAGE	48.20 m ²



SIDE ELEVATION 2 @ 1: 50



SIDE ELEVATION 1 @ 1: 50

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Drawing Title:
ELEVATIONS



REAR ELEVATION @ 1 : 50

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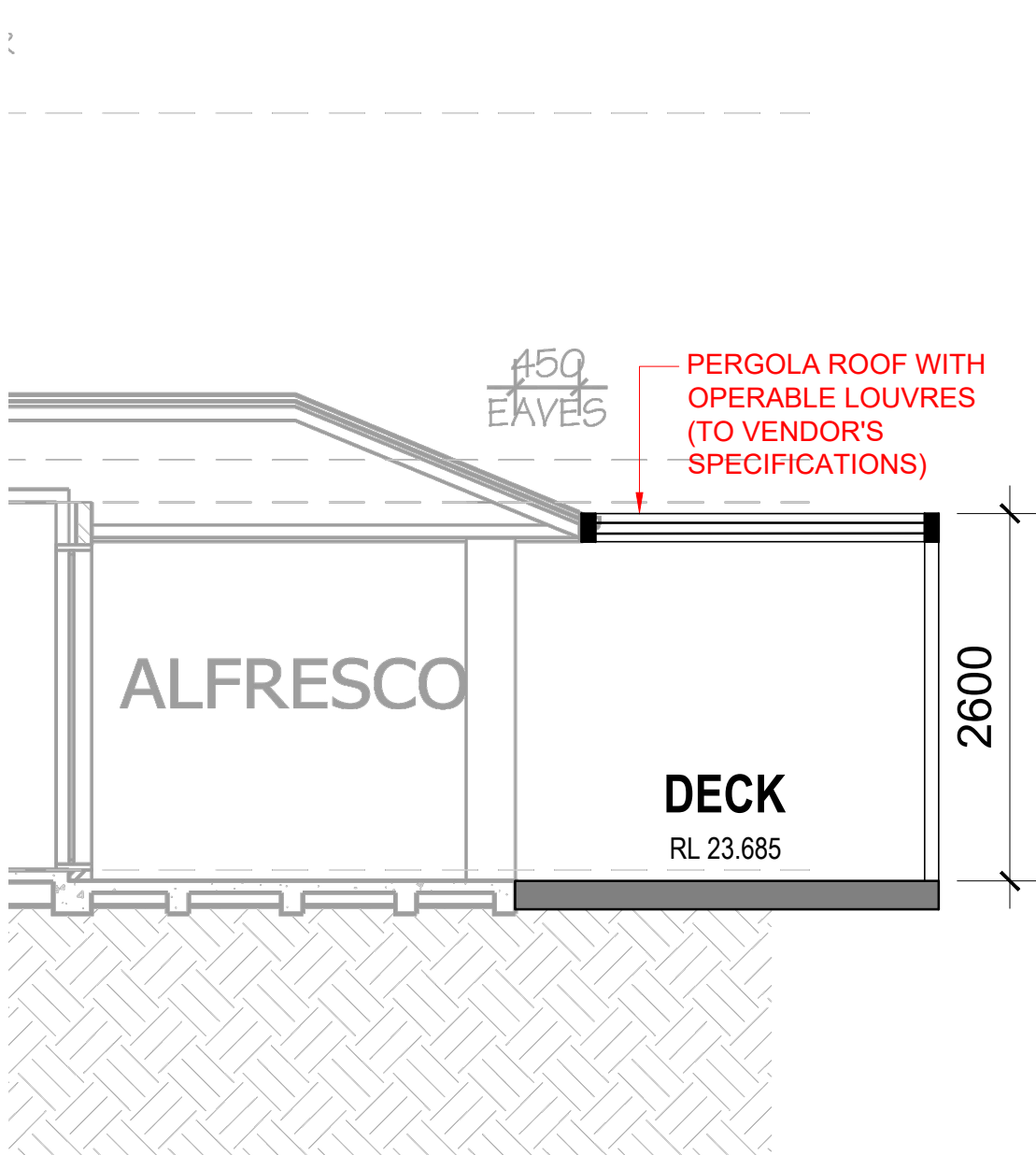
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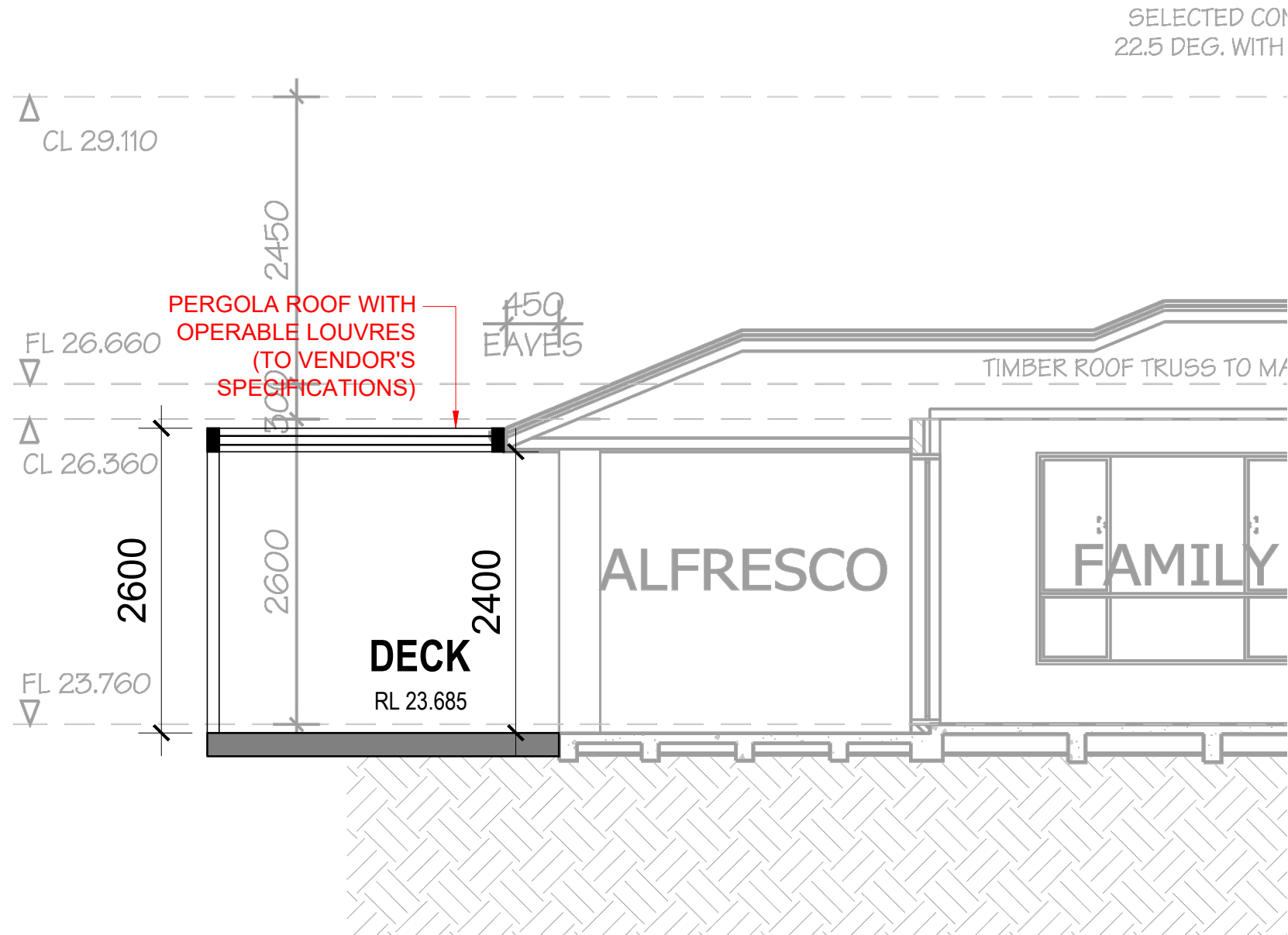
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ELEVATIONS	



SECTION B (RESIDENCE A) @ 1 : 50



SECTION C (RESIDENCE B) @ 1 : 50

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Dwg No.:

A.05

Drawing Title:

SECTIONS