



# LOT 9 - 18 ALEXANDER STREET COLLAROY

ALTERATIONS AND ADDITIONS WITH NEW 10 ROOM BOARDING HOUSE PLUS MANAGER

SITE INFORMATION				
ADDRESS	LOT 9, 18 Alexander Street Collaroy			
SITE AREA	574.8m²			
LOT	Lot 9, DP 6984			
ZONING	R2 - Low Density Residential			
YEILD	10 x Boarding Rooms (Plus 1 Managers Residence)			
If the development complies with the below standards, they cannot be used as a means to refuse consent				
Control	Location of Control	Control	Proposed	Complies or Not
HEIGHT	Warringah LEP	8.5m	6.5 - 8.5m	Complies
PARKING	SEPP ARH	0.5 cars Per room 1 per Employee 0.2 motorbikes per room 0.2 bicycles per room	0.5*10 = 5 Cars 1 Car for Manager 0.2*10 = 3 Motorbikes 0.2*10 = 3 Bicycle	Complies
SOLAR ACCESS	SEPP ARH	3 hours 9-3 to communal area	6 Hours	Complies
PRIVATE OPEN SPACE	SEPP ARH	20m² communal	>20m²	Complies
ACCOMODATION SIZE	SEPP ARH	12m² single lodger 16m² in all other cases	Typical 19m²	Complies
The below controls are not required as SEPP AHR overrides the DCP; however, we are included the below to show we have also made every effort to meet local guidelines				
FRONT SETBACK	Warringah DCP	6.5m	6.8m	Complies
SIDE SETBACK 1 (East)	Warringah DCP	0.9m	1.2m	Complies
SIDE SETBACK 2 (West)	Warringah DCP	0.9m	0.9m	Complies
REAR SETBACK	Warringah DCP	6m	6m	Complies
SIDE ENVELOPE	Warringah DCP	4m		Non-Compliance. See SOEE
LANDSCAPED OPEN SPACE	Warringah DCP	40% of Site	23.5% of Site	Non-Compliance. See SOEE

Project: LOT 9 - 18 ALEXANDER ST - ALTS & ADDS  
COLLARROY NSW  
Client: BRENDAN & SIMONE WAGHTS

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Scale  
@ A1

Sheet Name  
COVER PAGE & COMPLIANCE  
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DA000

No. A  
Description  
ISSUE FOR DEVELOPMENT APPLICATION  
Date  
10.02.20

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SITE PLAN

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DA101

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ISSUE FOR DEVELOPMENT APPLICATION

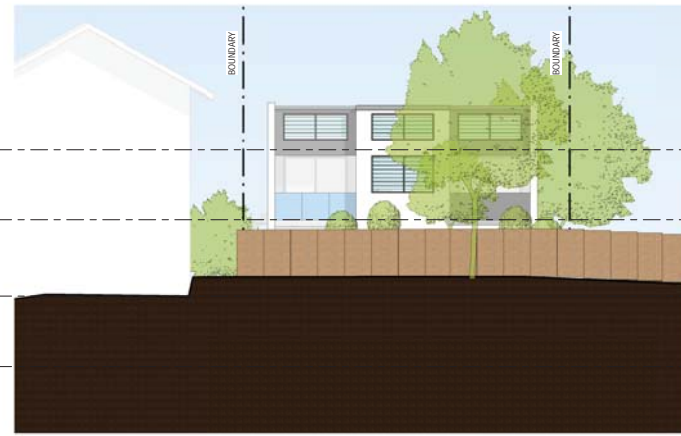
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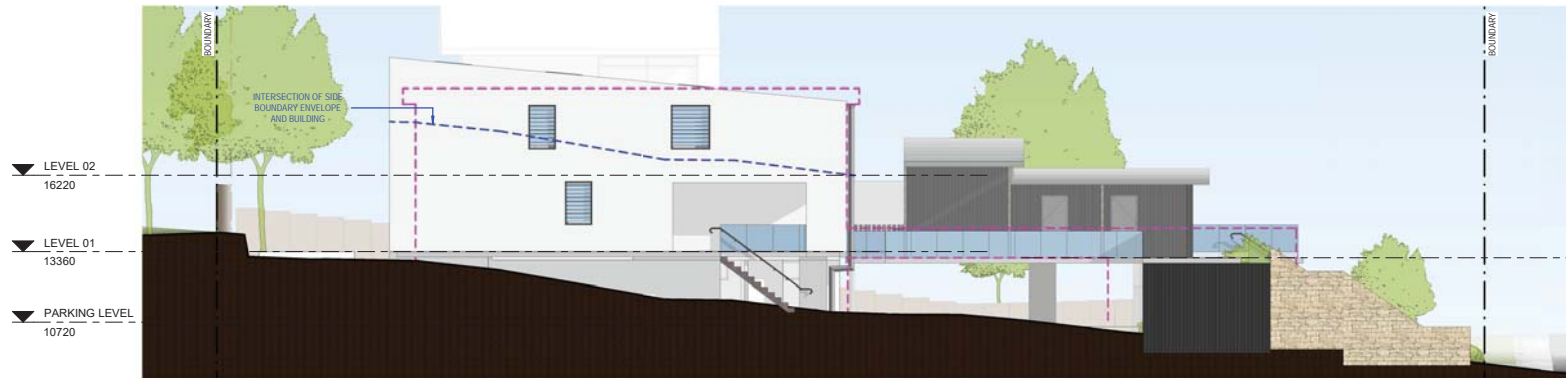


1 PROPOSED NORTH ELEVATION  
DA300 1:100 @ A1



2 PROPOSED SOUTH ELEVATION  
DA300 1:100 @ A1

EAVE LEVEL ▼  
18840  
LEVEL 02 ▼  
16220  
LEVEL 01 ▼  
13360  
PARKING LEVEL ▼  
10720



3 PROPOSED EAST ELEVATION  
DA300 1:100 @ A1

LEVEL 02 ▼  
16220  
LEVEL 01 ▼  
13360  
PARKING LEVEL ▼  
10720

LOWER L1 ▼  
13130



4 PROPOSED WEST ELEVATION  
DA300 1:100 @ A1

LOWER L1 ▼  
13130

LEVEL 02 ▼  
16220  
LEVEL 01 ▼  
13360  
PARKING LEVEL ▼  
10720

LEGEND  
- - - = NATURAL GROUND LEVEL  
- - - = 8.5M HEIGHT PLANE  
- - - = SIDE BOUNDARY ENVELOPE INTERSECTION  
- - - = DA2019/0306 ENVELOPE

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ELEVATIONS

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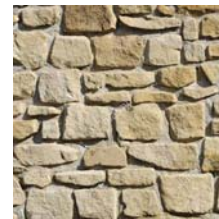
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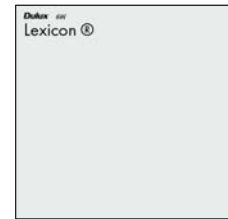
2. METALWORK -  
PERFORATED METAL  
SCREENS - POWDERCOATED  
MONUMENT



3. JAMES HARDIE AXON 133  
PROFILE LAID VERTICALLY WITH  
PAINTED MONUMENT FINISH.



4. SANDSTONE - ENTRY STAIRS  
AND RETAINING WALLS



5. WHITE - PAINTED EASYLAP FC