SCHEDULE OF EXTERNAL FINISHES





STEEL ROOFING (SR)



HARDWOOD (HW)

PAINTED BRICKWORK (BW)

PAGE DRAWING

- DA 1 1:200 SITE PLAN / SITE ANALYSIS
- DA 2 1:100 GROUND FLOOR PLAN
- DA 3 1:100 FIRST FLOOR PLAN
- DA 4 1:100 NORTH AND WEST ELEVATIONS
- DA 5 1:100 SOUTH AND EAST ELEVATIONS
- DA 6 1:100 SECTION AA
- DA 7 1:200 EROSION AND SEDIMENT CONTROL PLAN AND SITE WASTE MANAGEMENT PLAN
- DA 8 1:200 CONCEPT STORMWATER MANAGEMENT PLAN
- DA 9 1:200 LANDSCAPE/PRIVATE OPEN SPACE/ FSR CALCULATIONS
- DA 10 NTS SHADOW DIAGRAMS

BASIX SPECIFICATIONS

WATER : - MIN 700L Rainwater Tank.

- Roof Collection area : Minimum 70m2 - Rainwater re-used in Pool Tap (x1)

- Showers : 3*, Taps : 3*, Toilets 3*

ENERGY : - Heat Pump HW Heater - LED or Fluorescent lighting to 40% of lighting

THERMAL PERFORMANCE SPECIFICATIONS External Walls

Medium Colour Cavity Brick - nil Timber Framed (enclosed subfloor) - R1.30

Timber Framed - Foil backed blanket 55mm Ceiling - R2.08

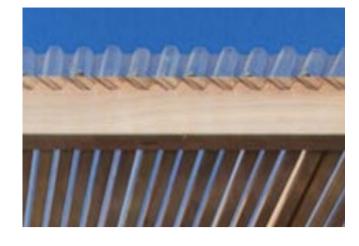
Roof

External Floor Concrete slab on ground – R 1.0 edge insulation (in slab heating system)

Framed timber – R 1.3 Insulation R0.60 (down) (or R1.30 including construction)

REVISION DATE DESCRIPTION

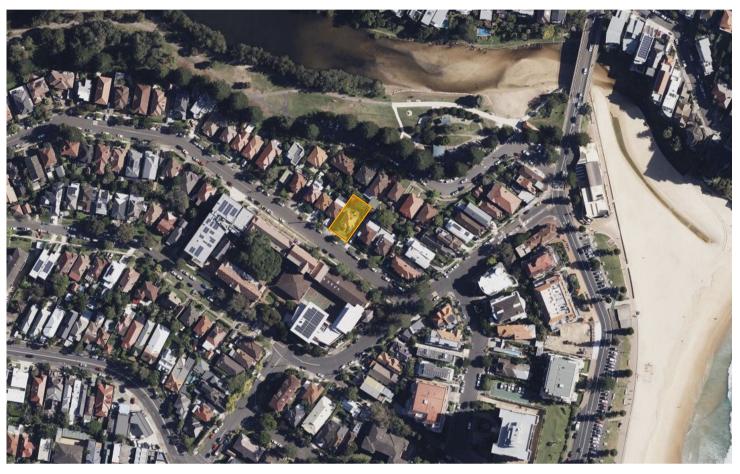




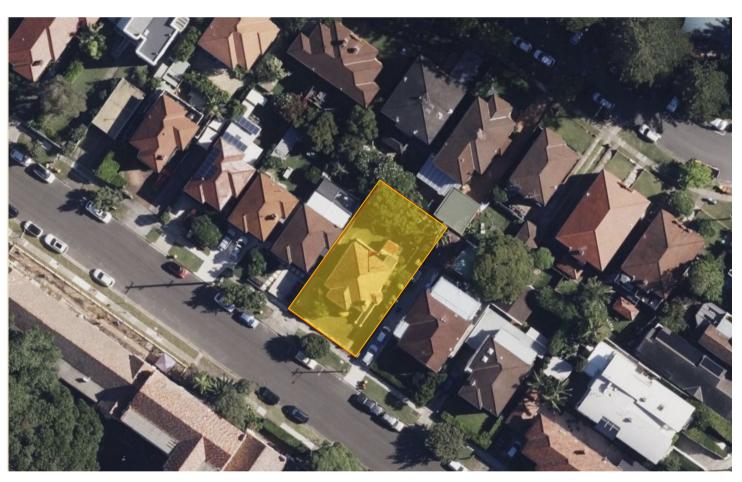
HARDWOOD DECKING (TD)

POLYCARBONATE ROOFING (PCR)

DAT	E	REVISION	
MAY	2025	ISSUE DA	
MAY	2025	ISSUE DA	
MAY	2025	ISSUE DA	
MAY	2025	ISSUE DA	
MAY	2025	ISSUE DA	
MAY	2025	ISSUE DA	
MAY	2025	ISSUE DA	
MAY	2025	ISSUE DA	
MAY	2025	ISSUE DA	
MAY	2025	ISSUE DA	



CONTEXT



SITE

NOTES

FINISHES LEGEND

EXISTING WALL RETAINED

<u></u>		
BW SR HW TD B-X	BRICKWORK STEEL ROOFING HARDWOOD HARDWOOD DECKING EXISTING BRICKWORK	
CODE	8	
NEW	WALL	
EXIST	ING WALL DEMOLISHED	[]



BY INCIDENTAL Suite 1/6 Waratah St, Mona Vale NS p: 8916 7357 e: info@incidentalarchitecture. ARCHITECTURE Nominated Architect: Matthew Elkan NSW Reg THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT



- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN

- ALL LEVELS IN ACCORDANCE WITH AHD - ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO : - AS 1684 - LIGHT TIMBER FRAMING CODE - AS 2047 - 2014 - SELECTION AND INSTALLATION OF - AS 2870 -2011 - RESIDENTIAL SLABS AND FOOTINGS - AS/NZS 3000 - 2018 - WIRING RULES - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE

- AS 3660.1 - 2014 - TERMITE MANAGEMENT - AS 3700-2018 - MASONRY STRUCTURES - AS 3740-2021 - WATERPROOFING OF WET AREAS - AS 4100 - 2020 - STEEL STRUCTURES

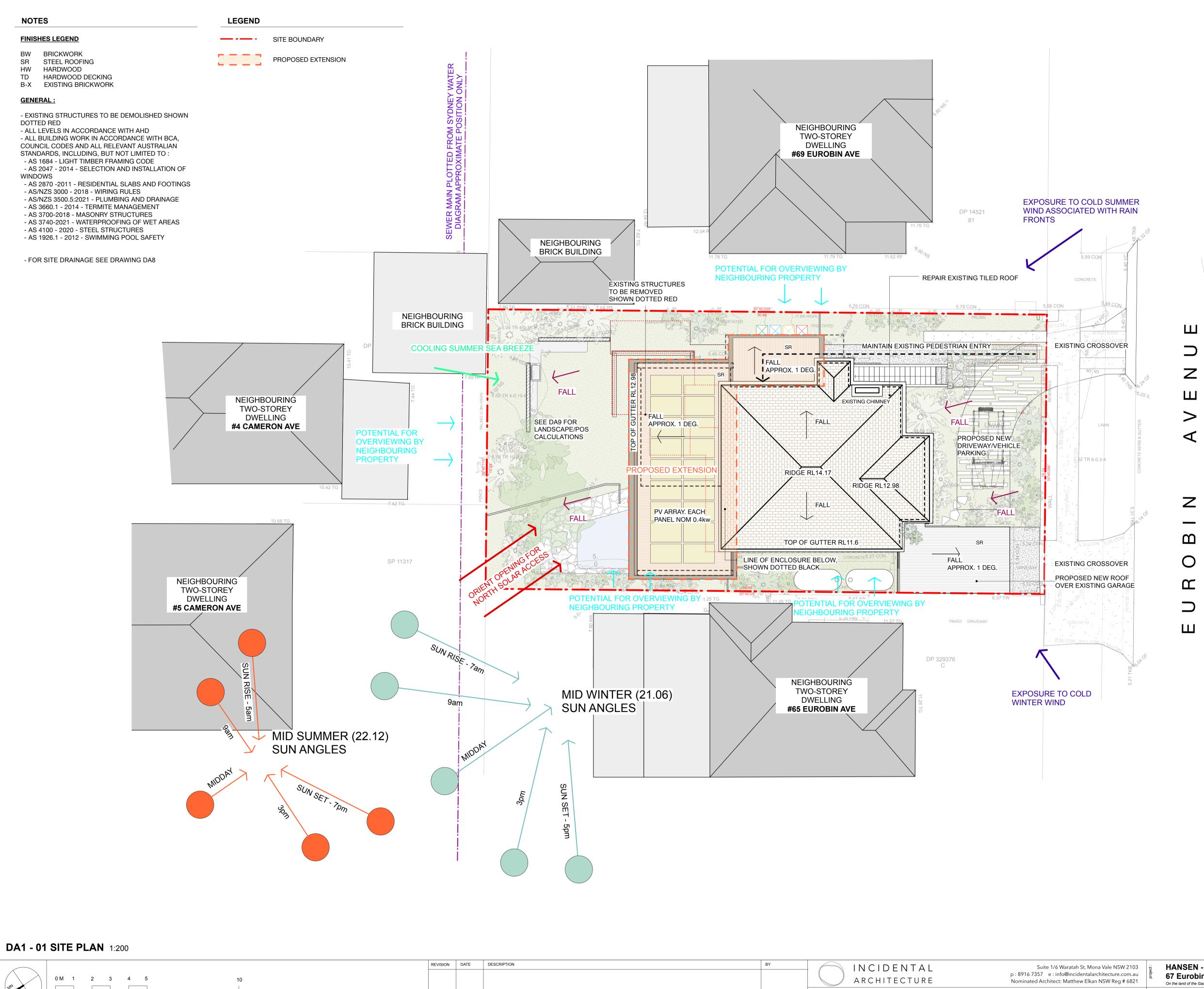
- AS 1926.1 - 2012 - SWIMMING POOL SAFETY

SITE INFORMATION ;

- LOT 80 in DP14521 - SITE AREA : 465m2

- LOCAL GOVERNMENT : Manly Council - ZONING R1 - GENERAL RESIDENTIAL

NSW 2103 re.com.au eg # 6821	project :	HANSEN - MANLY 67 Eurobin Ave, Manly On the land of the Gadigal people	date :	MAY 2025	- C
N	drawing :	COVER SHEET & GENERAL NOTES	scale :	NTS	affed



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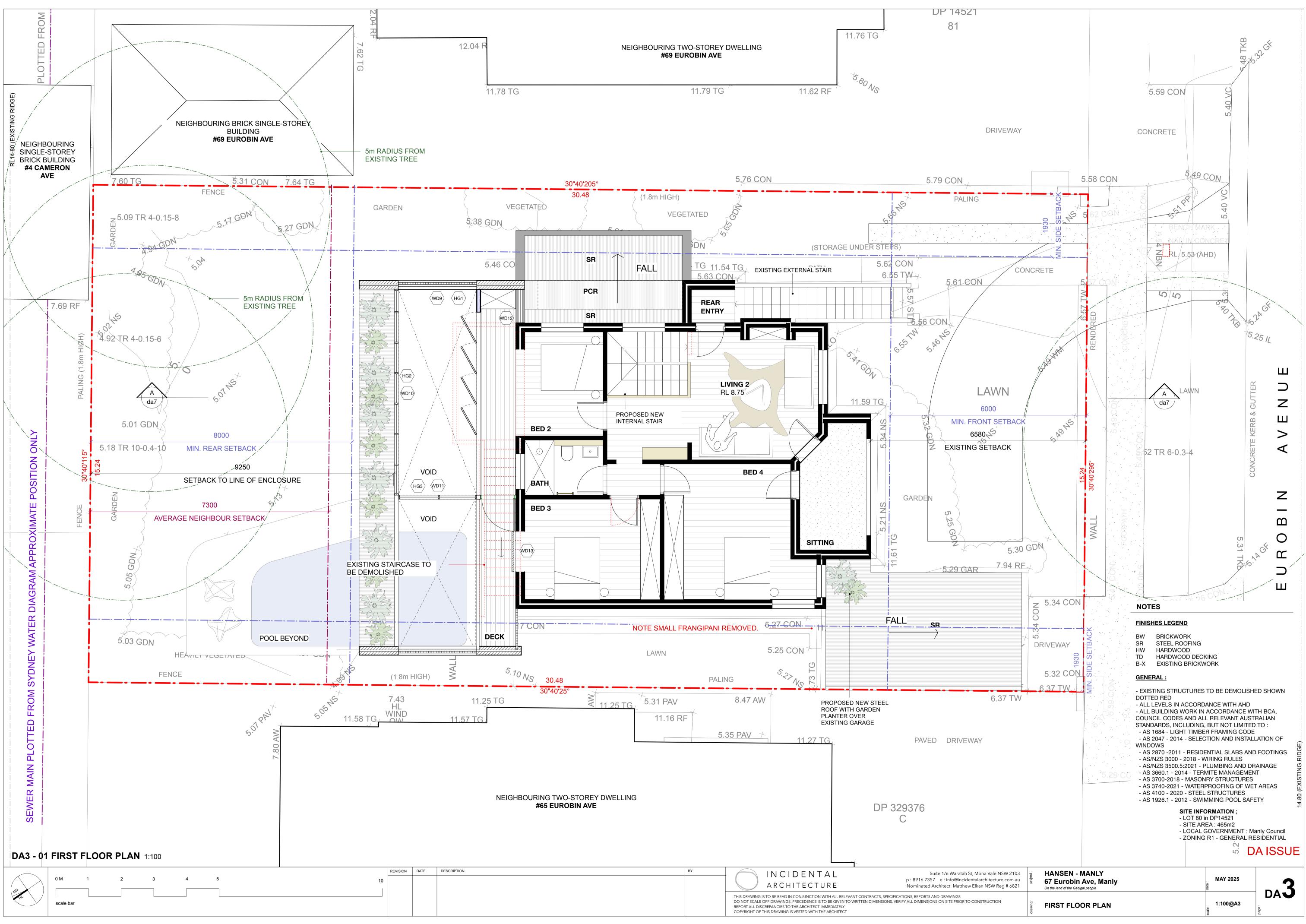
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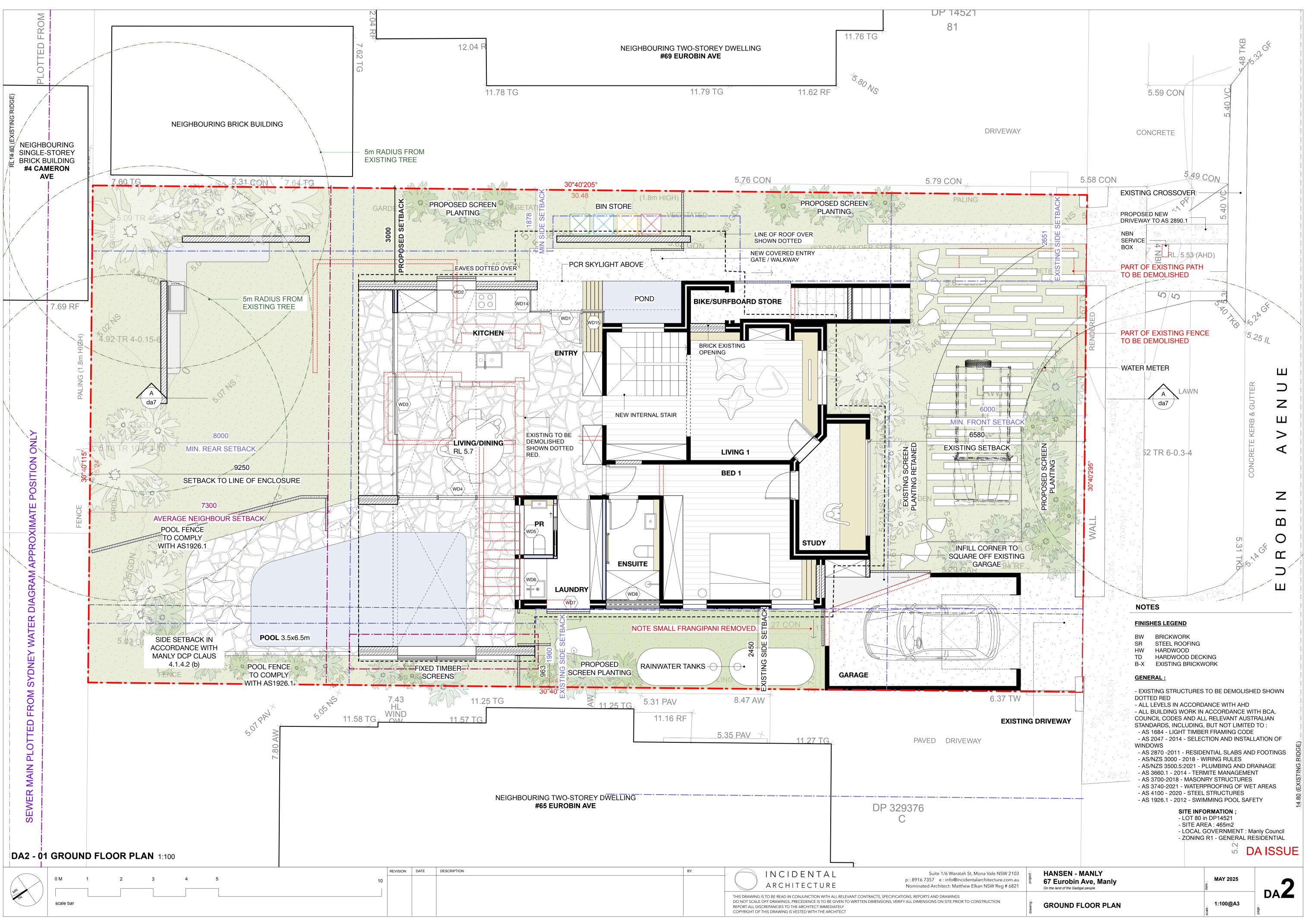
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- SITE AREA : 465m2 - LOCAL GOVERNMENT : Manly Council - ZONING R1 - GENERAL RESIDENTIAL

DA ISSUE

SW 2103 e.com.au eg # 6821	project :	HANSEN - MANLY 67 Eurobin Ave, Manly On the land of the Gadigal people	MAY 2025	_ 1
	drawing :	SITE PLAN / SITE ANALYSIS	1:100@A3	



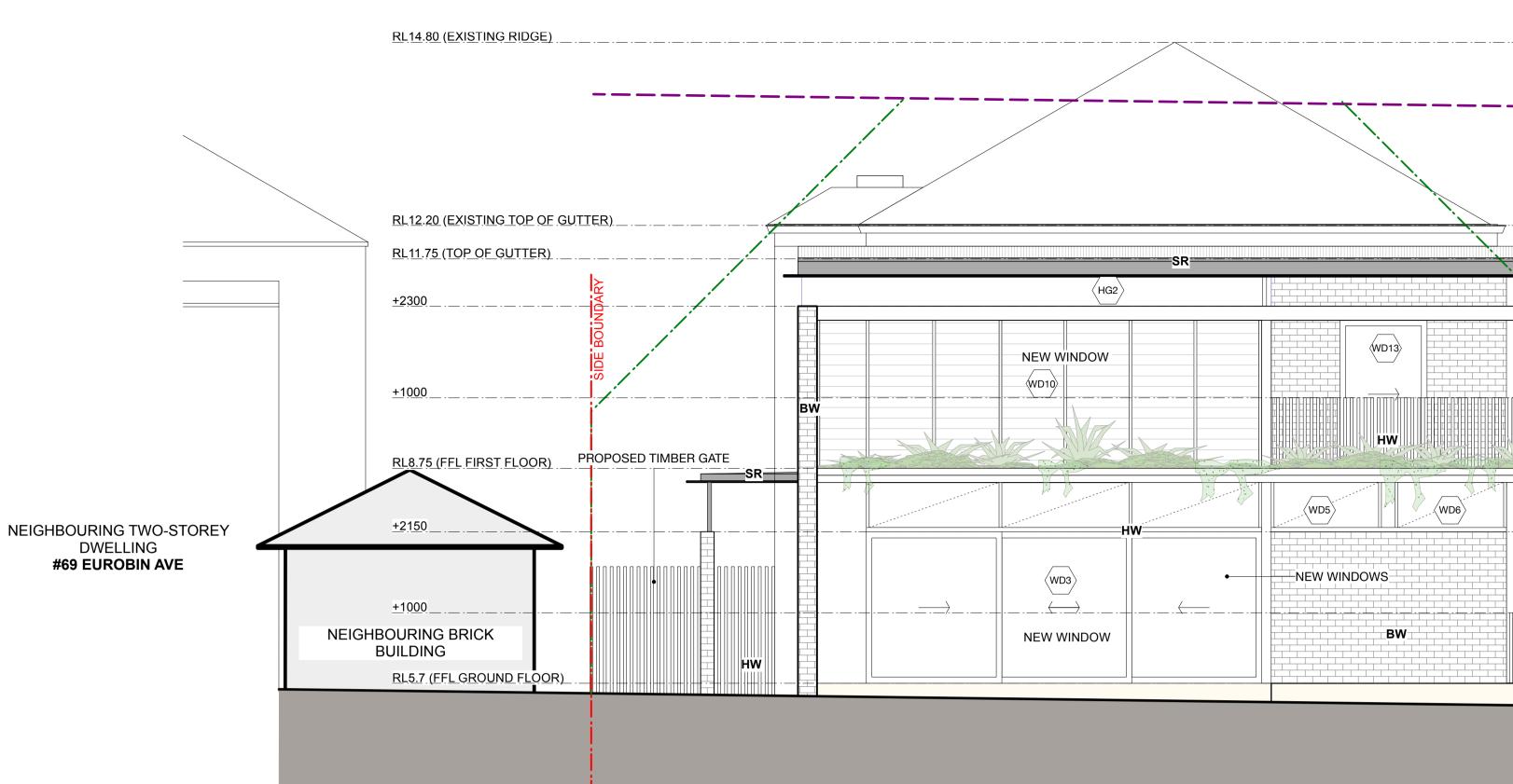


FINISHES LEGEND

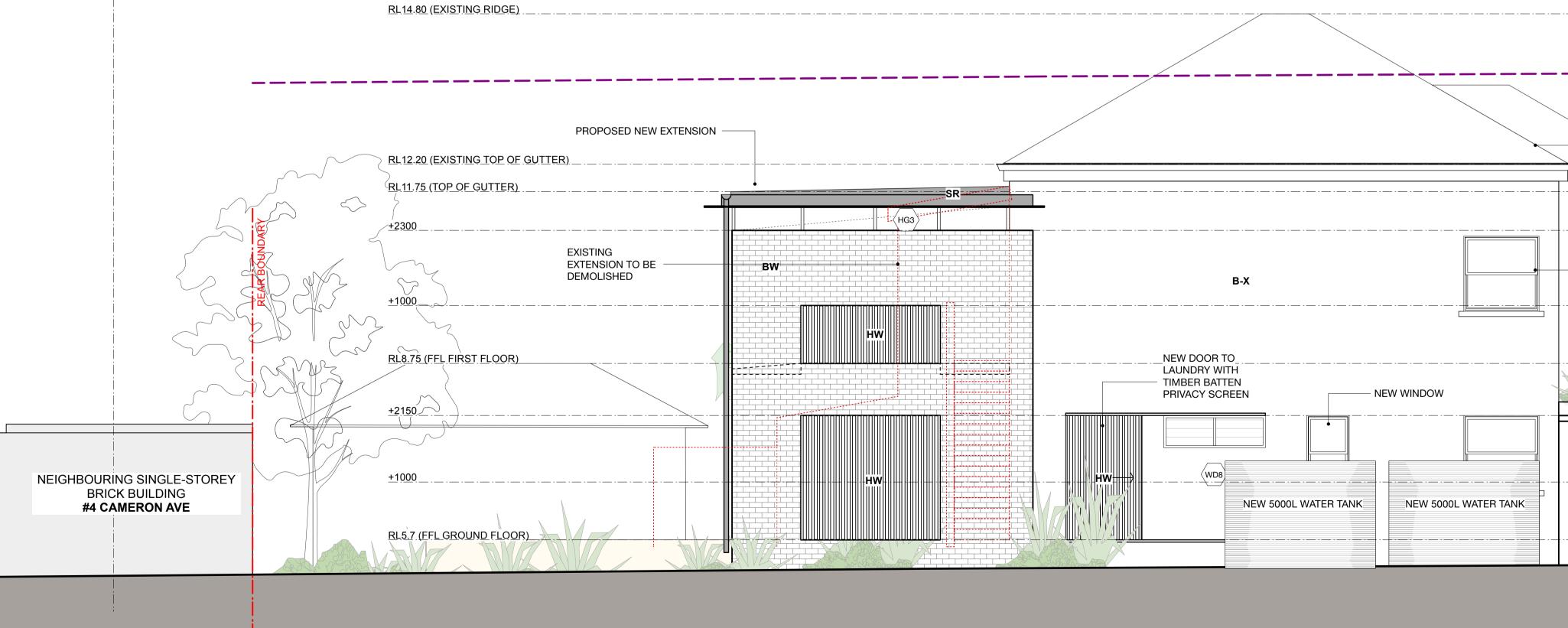
BW	BRICKWORK
SR	STEEL ROOFING
HW	HARDWOOD
TD	HARDWOOD DECKING
B-X	EXISTING BRICKWORK

<u>GENERAL :</u>

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- AS 1926.1 2012 SWIMMING POOL SAFETY



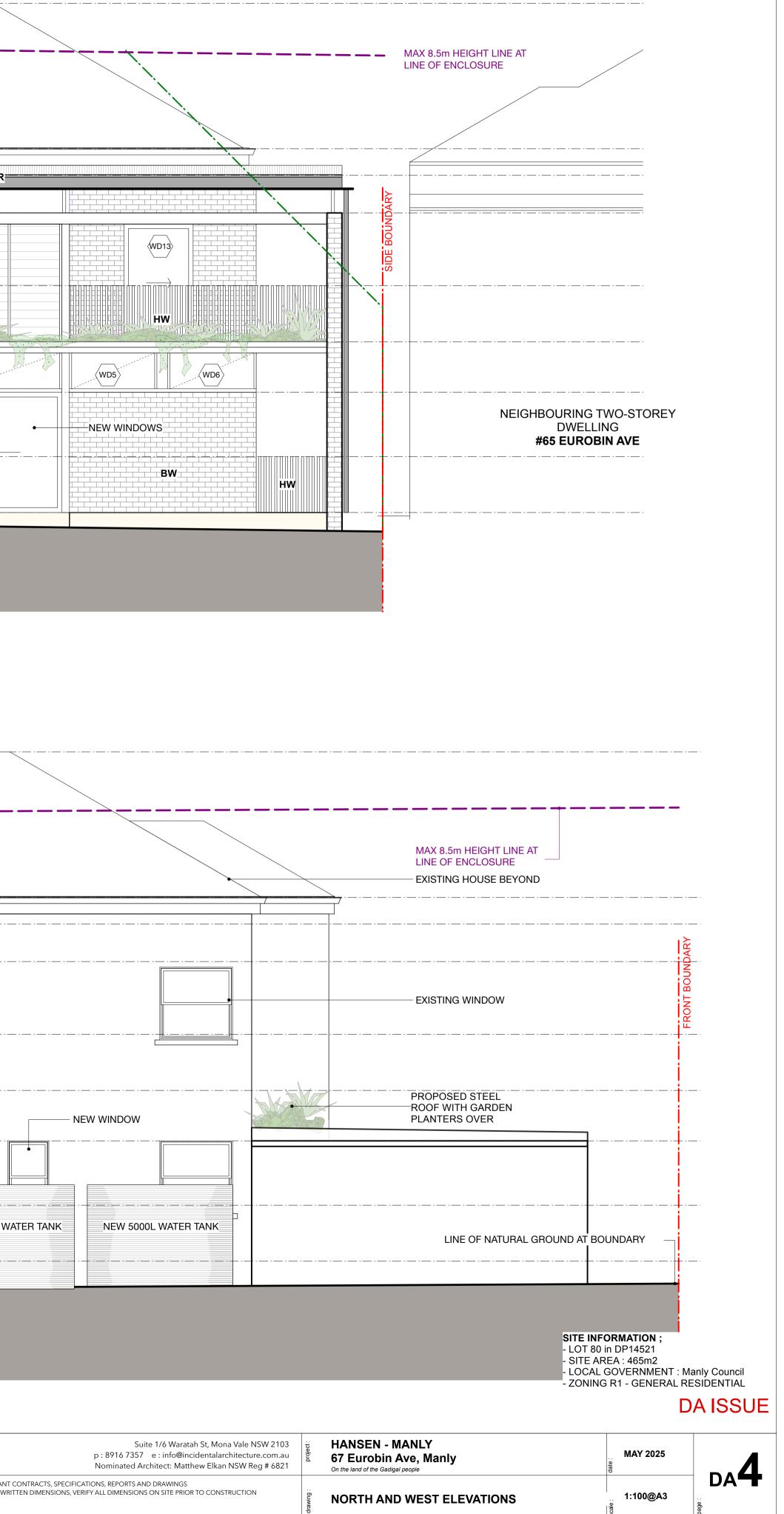
DA4 - 01 NORTH ELEVATION 1:100



DA4 - 02 WEST ELEVATION 1:100

		REVISION	DATE	DESCRIPTION
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ВҮ	INCIDENTAL	Suite 1/6 Waratah St, Mona Vale NSV p : 8916 7357 e : info@incidentalarchitecture،
	ARCHITECTURE	Nominated Architect: Matthew Elkan NSW Reg
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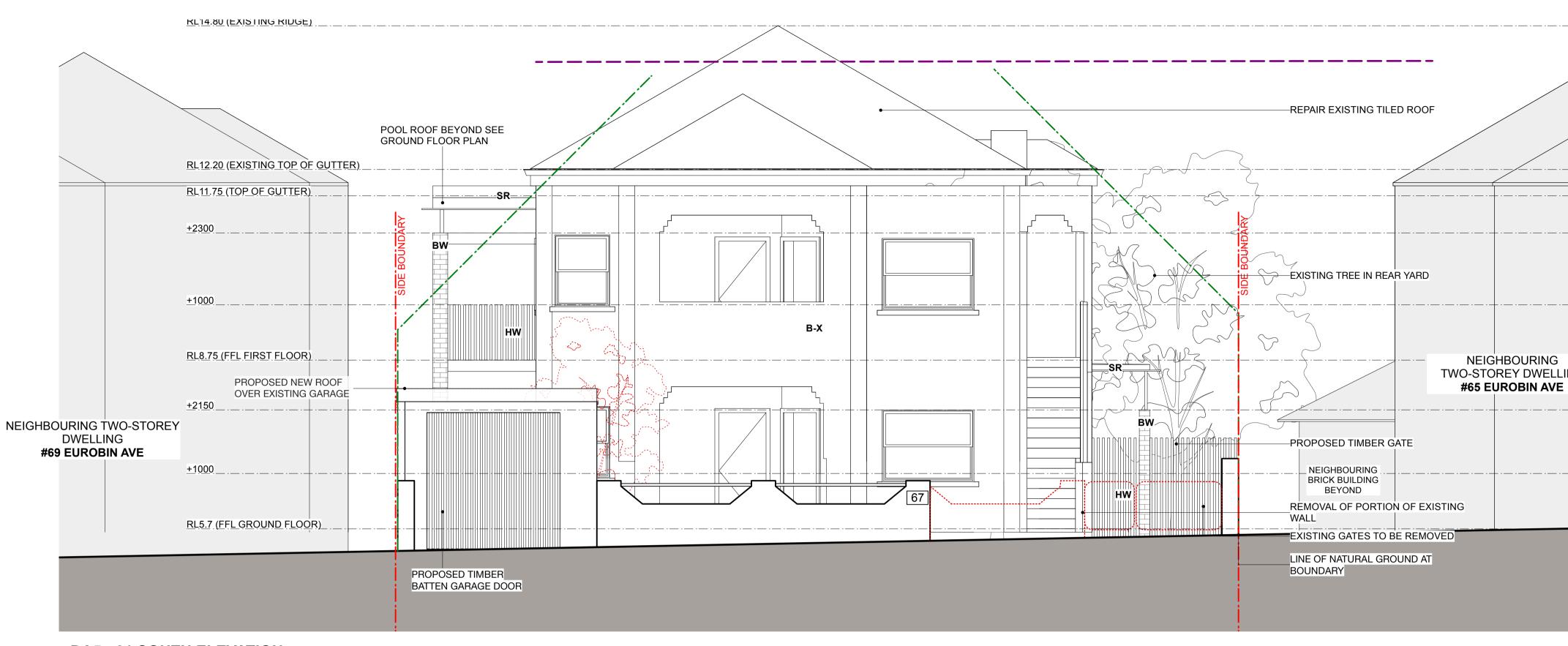


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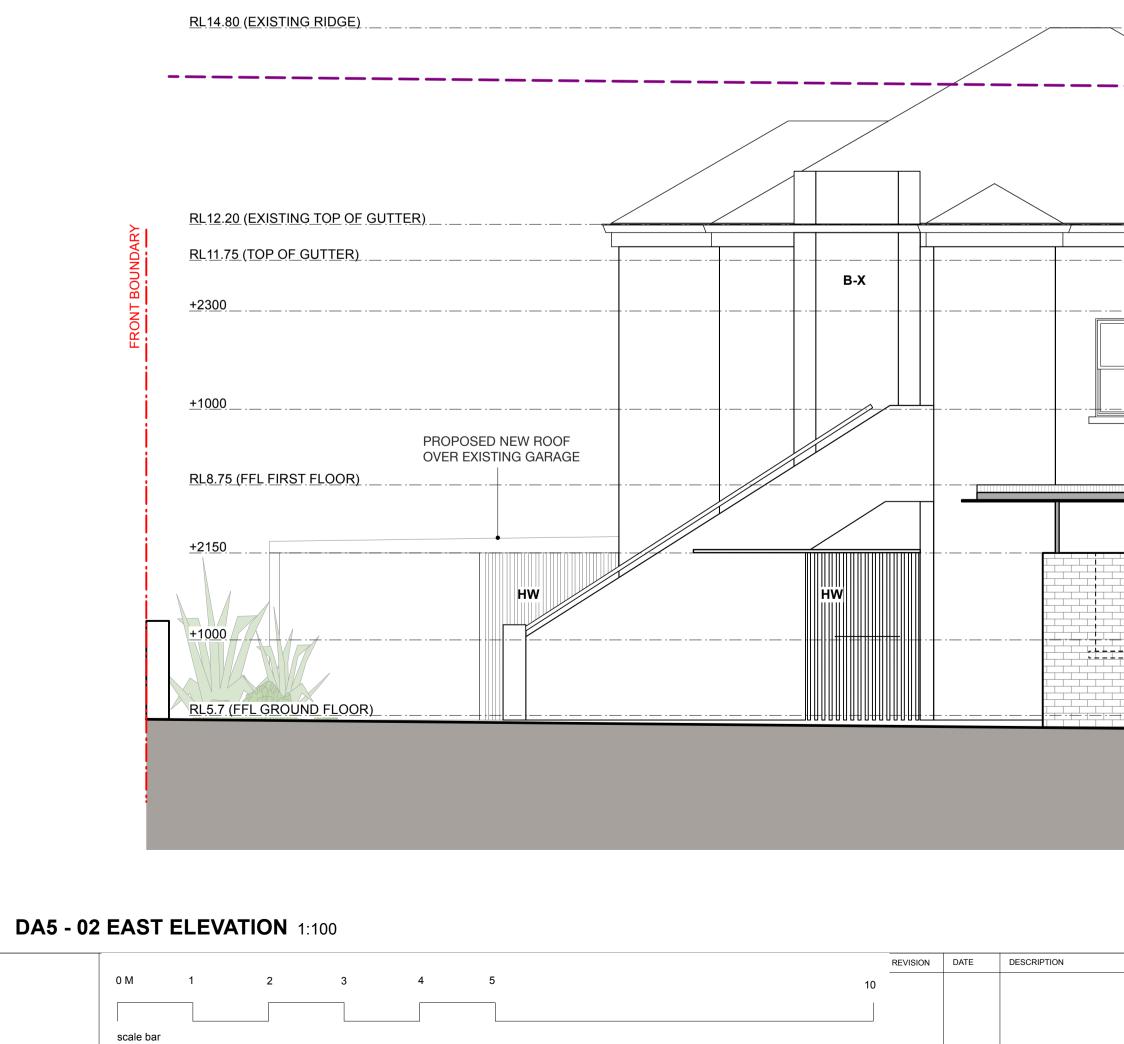
SRSTEEL ROOFINGHWHARDWOODTDHARDWOOD DECKINGB-XEXISTING BRICKWORK
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DA5 - 01 SOUTH ELEVATION 1:100



ROUND FLOOR PLAN					
BW BW BW BW BW BW BW BW BW BW BW BW BW B				STING TREE IN REAR YARD STING TREE IN REAR YARD NEIGHBOURING WO-STOREY DWELLING #65 EUROBIN AVE DPOSED TIMBER GATE NEIGHBOURING BRICK BUILDING BEYOND MOVAL OF PORTION OF EXISTING LL STING GATES TO BE REMOVED E OF NATURAL GROUND AT UNDARY	
B-X	SR	REPAIR EXISTING TILED ROOF			
Б-Х 		NEW WINDOW WITH		READING COUNTY OF COUNTY O	
		NEW WINDOW WITH TIMBER PRIVACY SCREEN		NEIGHBOURING SINGLE-STOREY BRICK BUILDING #4 CAMERON AVE	
				- LO - SIT - LO	E INFORMATION ; T 80 in DP14521 TE AREA : 465m2 CAL GOVERNMENT : Manly Council NING R1 - GENERAL RESIDENTIAL DA ISSU
	ARCH	DENTAL ITECTURE	Suite 1/6 Waratah St, Mona Vale NSW 2103 p : 8916 7357 e : info@incidentalarchitecture.com.au Nominated Architect: Matthew Elkan NSW Reg # 6821	HANSEN - MANLY 67 Eurobin Ave, Manly On the land of the Gadigal people	та мау 2025 В развитите на конструкции на констру на констру на конс На конструкции на конс
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ROUND FLOOR PLAN					
SR BW HW				EXISTING TREE IN REAR YARD NEIGHBOU PROPOSED TIMBER GATE NEIGHBOURING BRICK BUILDING BRICK BUILDING BEYOND REMOVAL OF PORTION OF EXISTING WALL EXISTING GATES TO BE REMOVED	WELLING
PROPOSED TIMBER BATTEN GARAGE DOOR				LINE OF NATURAL GROUND AT BOUNDARY	
B-X		-REPAIR EXISTING TILED ROOF REPLACE GUTTERS TO MATCH_ EXISTING -PROPOSED NEW EXTENSION -EXISTING LEAN-TO EXTENSION TO BE DEMOLISHED		EARBOUNDARY	
		NEW WINDOW WITH -TIMBER PRIVACY SCREEN			
		NEW WINDOW WITH TIMBER PRIVACY SCREEN		NEIGHBOURING SINGLE BRICK BUILDING #4 CAMERON AV	-STOREY
					SITE INFORMATION ; - LOT 80 in DP14521 - SITE AREA : 465m2 - LOCAL GOVERNMENT : Manly Council - ZONING R1 - GENERAL RESIDENTIAL DAISSUE
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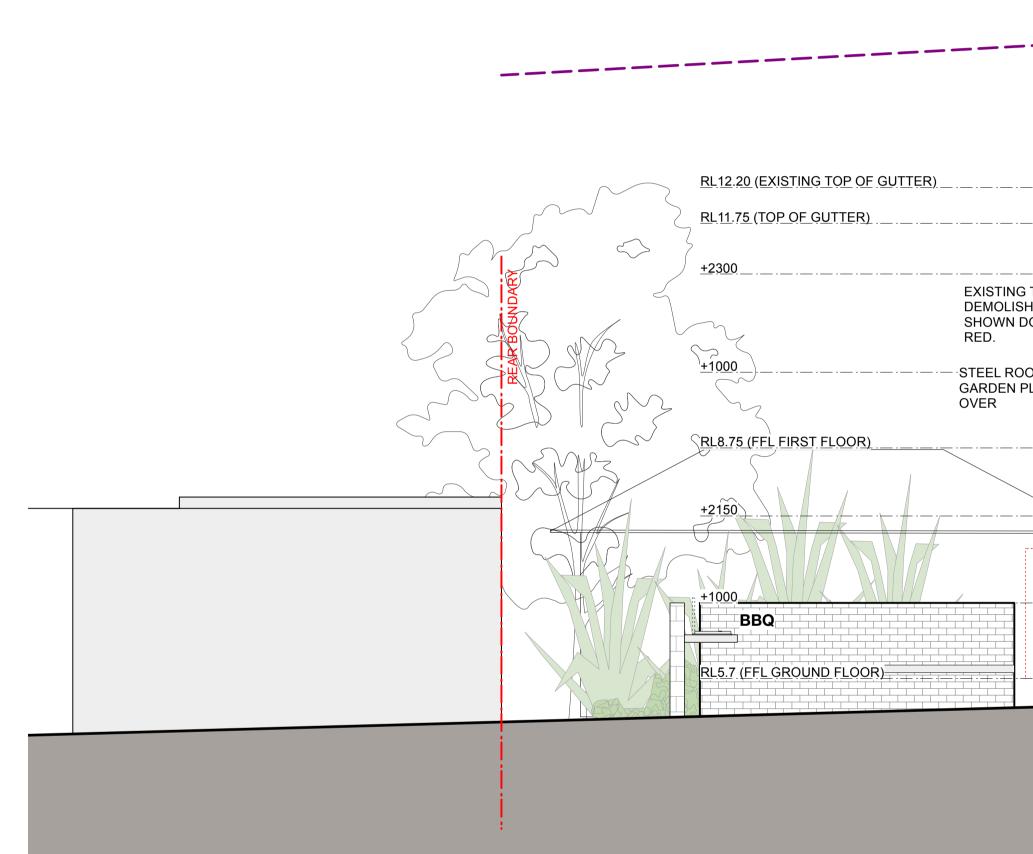
-REPAIR EXISTING TILED ROOF

FINISHES LEGEND

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HW	HARDWOOD
TD	HARDWOOD DECKING
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- AS 4100 2020 STEEL STRUCTURES
- AS 1926.1 2012 SWIMMING POOL SAFETY





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RL14.80 (EXISTING RIDGE)				
RL12.20 (EXISTING TOP OF GUTTER)	SR 		J.2000/2000/2000/2000/2000/2000/2000/200	
RL11.75 (TOP OF GUTTER)		20000000000000000000000000000000000000		
+2300 EXISTING TO BE DEMOLISHED SHOWN DOTTED RED. +1000 STEEL ROOF WITH GARDEN PLANTERS OVER RL8.75 (FFL FIRST FLOOR)			BED 2	LIVING 2
+2150 +1000 BBQ RL5.7 (FFL GROUND FLOOR)			ENTRY	LIVING 1

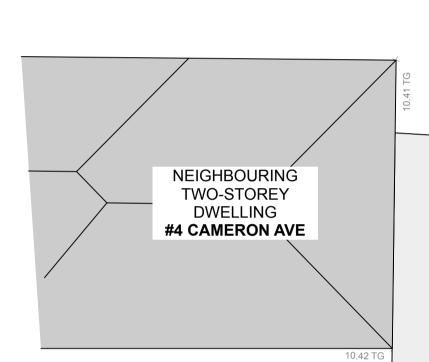
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	WD3	KITCHEN		ENTRY				LI	VING 1		•		G EXTERNAL ST	TAIRCASE		
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FINISHES LEGEND

BW	BRICKWORK
SR	STEEL ROOFING
HW	HARDWOOD
TD	HARDWOOD DECKING
B-X	EXISTING BRICKWORK

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- AS 1926.1 2012 SWIMMING POOL SAFETY



NEIGHBOURING

BRICK BUILDING

- 7.42 TG

WORKS

POSITION OF TEMPORARY

DURING CONSTRUCTION.

SEDIMENT CONTROL BARRIER

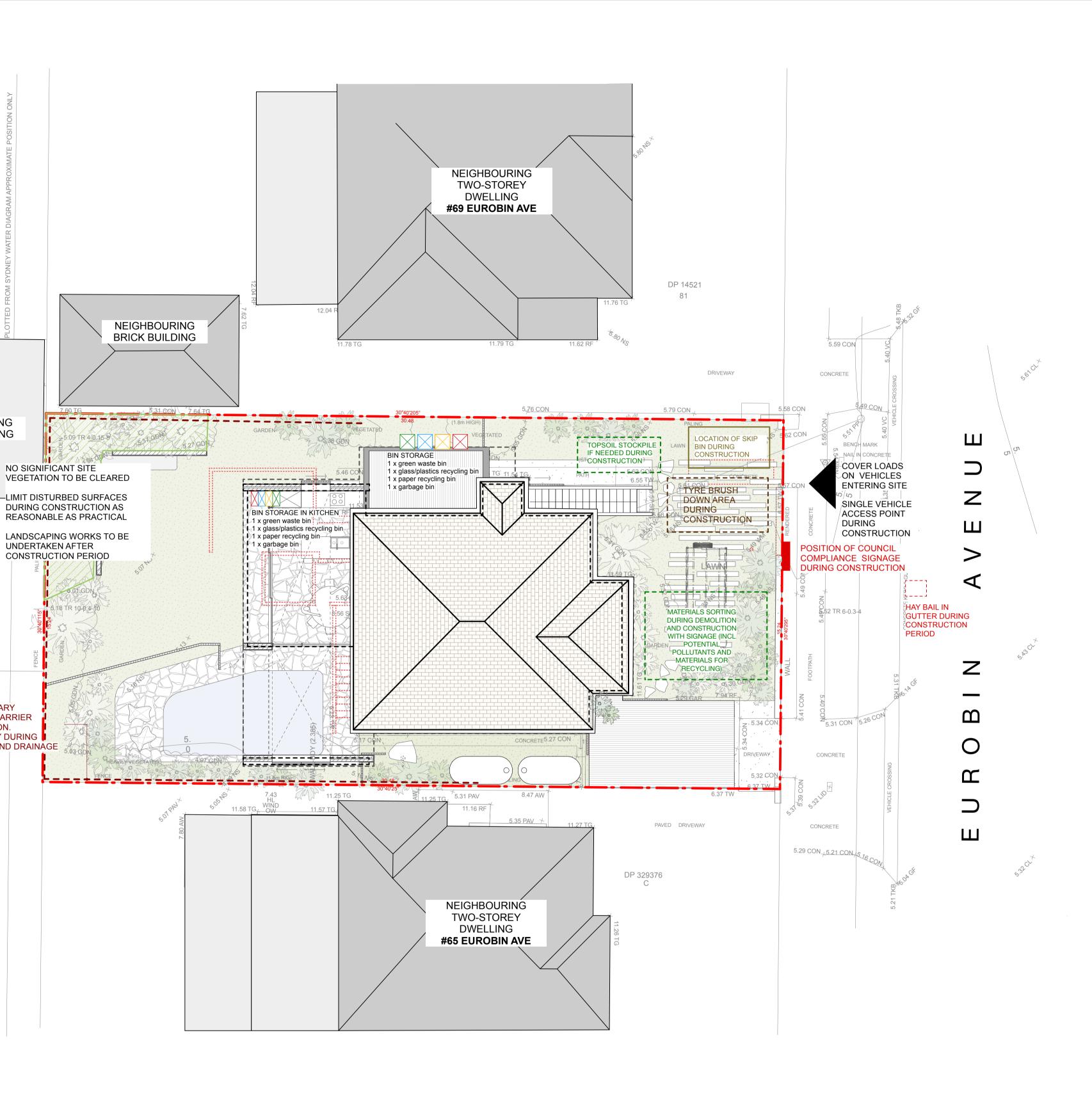
ADJUST TO BOUNDARY DURING 📗

FINAL LANDSCAPING AND DRAINAGE



DA7 - 01 EROSION AND SEDIMENT CONTROL + SITE WASTE MANAGEMENT PLAN 1:200





SITE INFORMATION ; - LOT 80 in DP14521

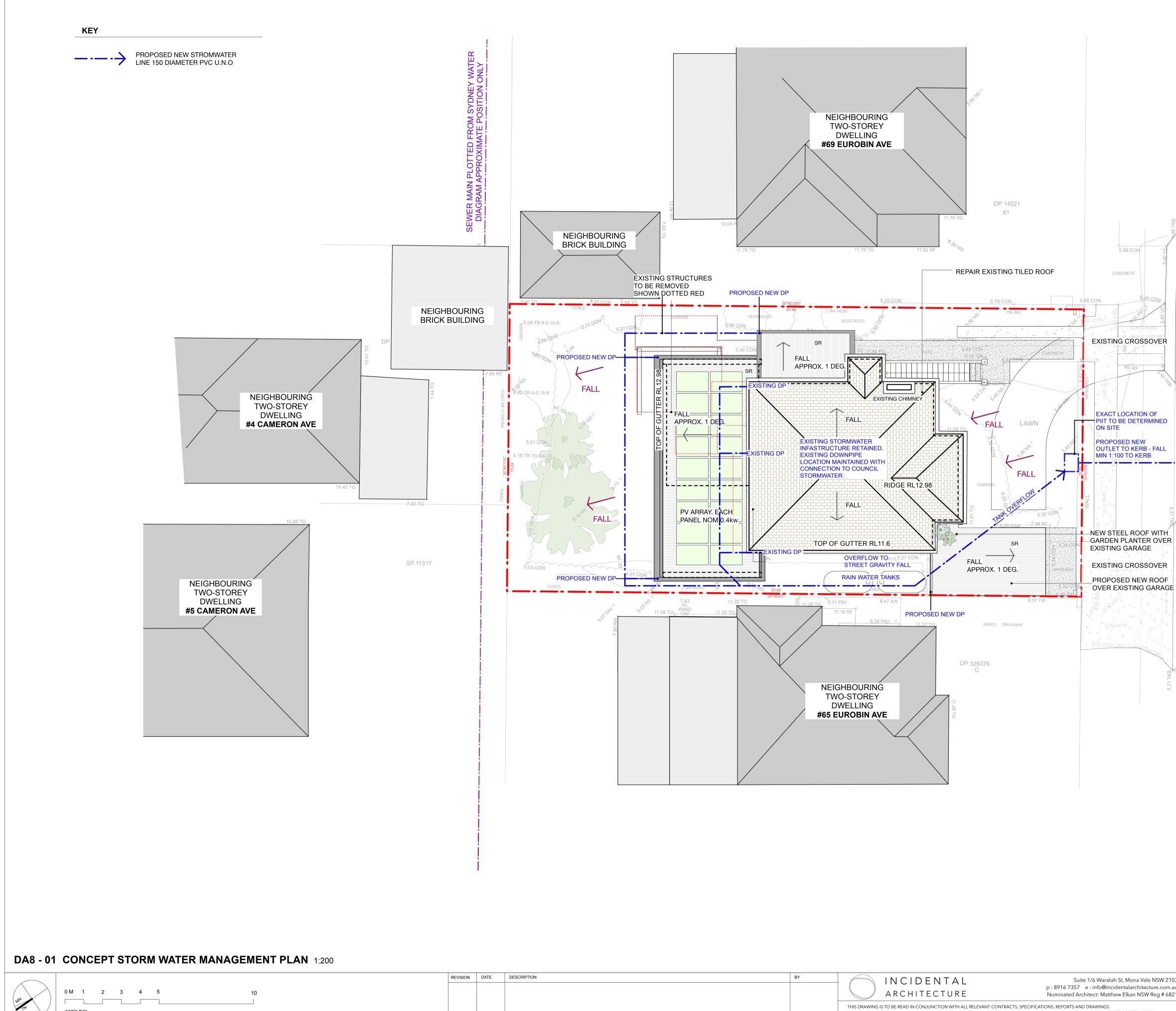
- LOT 80 in DP14521 - SITE AREA : 465m2

- LOCAL GOVERNMENT : Manly Council

- ZONING R1 - GENERAL RESIDENTIAL

DA ISSUE

SW 2103 e.com.au g # 6821	project :	HANSEN - MANLY 67 Eurobin Ave, Manly On the land of the Gadigal people	date :	MAY 2025	7
	drawing :	ESCP + SWMP	scale :	1:200@A3	



scale bar

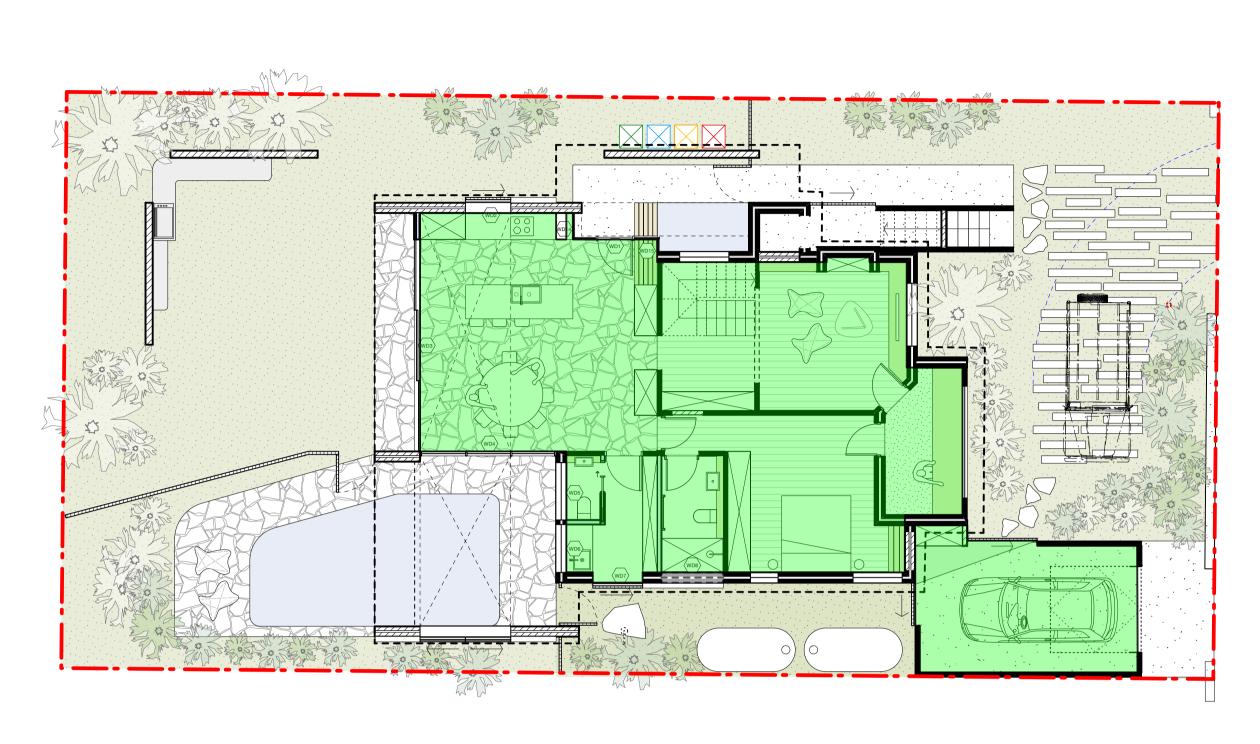


	- LOT 80 - SITE AI - LOCAL	GRMATION ; in DP14521 REA : 465m2 GOVERNMENT : M G R1 - GENERAL F	
ISW 2103 re.com.au eg # 6821	HANSEN - MANLY 67 Eurobin Ave, Manly On the land of the Gadigal people	MAY 2025	DA 8
N	CONCEPT STORMWATER MANAGEMENT PLAN	1:200@A3	 Be

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FLOOR SPACE RATIO

Allowable FSR = 0.6 Site area = 465m2 Existing GFA = 175 = 0.372:1 Proposed GFA = 214 = 0.4602:1



GROUND FLOOR PLAN | FSR DIAGRAM 1:200

LANDSCAPED OPEN SPACE CALCULATIONS

TOTAL	<u>. O</u> l

SITE LOCATED IN AREA OS3	
SITE AREA:	465m2
MINIMUM LANDSCAPED AREA: (35% AS PER MANLY DCP 2013)	89.6m2
PROPOSED LANDSCAPED AREA:	187m2
COMPLIANT:	YES

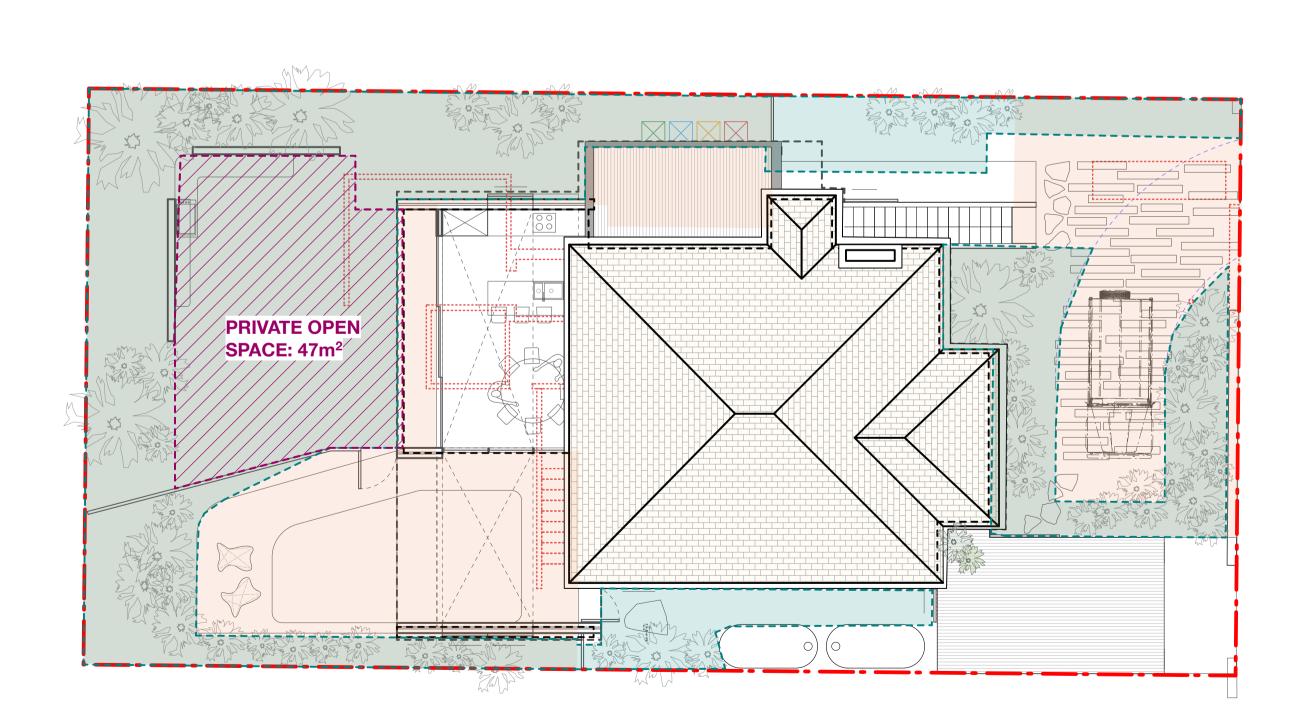
PRIVATE OPEN SPACE CALCULATIONS

	SITE LOCATED IN AREA OS3	
465m2	SITE AREA:	465m2
18m2	MINIMUM TOTAL OPEN AREA: (AS PER MANLY DCP 2013) 55%	256m2
47m2	PROPOSED PRIVATE OPEN SPACE:	268m2
YES	COMPLIANT:	YES
	18m2 47m2	 465m2 SITE AREA: 18m2 MINIMUM TOTAL OPEN AREA: (AS PER MANLY DCP 2013) 55% 47m2 PROPOSED PRIVATE OPEN SPACE:

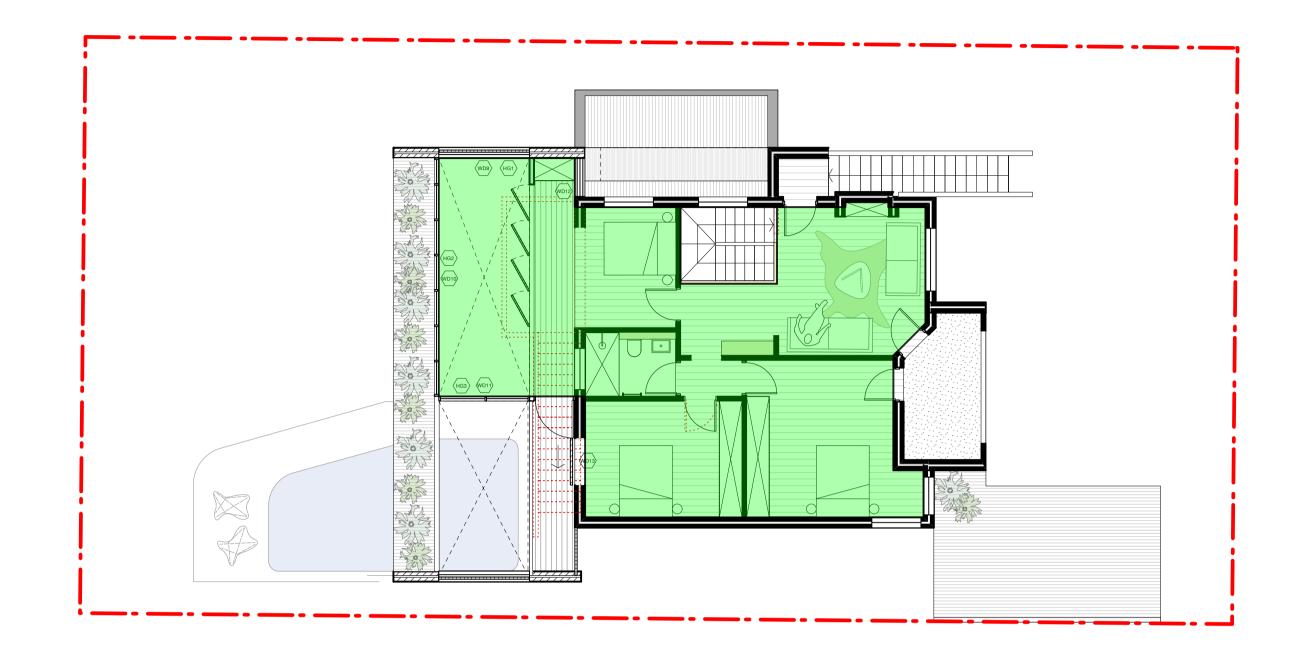
DAMA MALLANDSCADE AND DDIVATE ODEN SDACE CALCUL ATIONS

	REVISION DATE DESCRIPTION	BY		Suite 1/6 Waratah St, Mona Vale NSW 2103	HANSEN - MANLY	
0 M 1 2 3 4 5 10			ARCHITECTURE	p : 8916 7357 e : info@incidentalarchitecture.com.au Nominated Architect: Matthew Elkan NSW Reg # 6821	67 Eurobin Ave, Manly On the land of the Gadigal people	MAY 2025
N scale bar			THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CON DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT	TRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS I DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION	LANDSCAPE FSR AND POS CALCULATIONS	਼ 1:200@A3 ਭੁ

OPEN AREA CALCULATIONS



FIRST FLOOR PLAN | FSR DIAGRAM 1:200



SITE INFORMATION ; - LOT 80 in DP14521 - SITE AREA : 465m2 - LOCAL GOVERNMENT : Manly Council - ZONING R1 - GENERAL RESIDENTIAL

DA ISSUE

LEGEND

SITE BOUNDARY

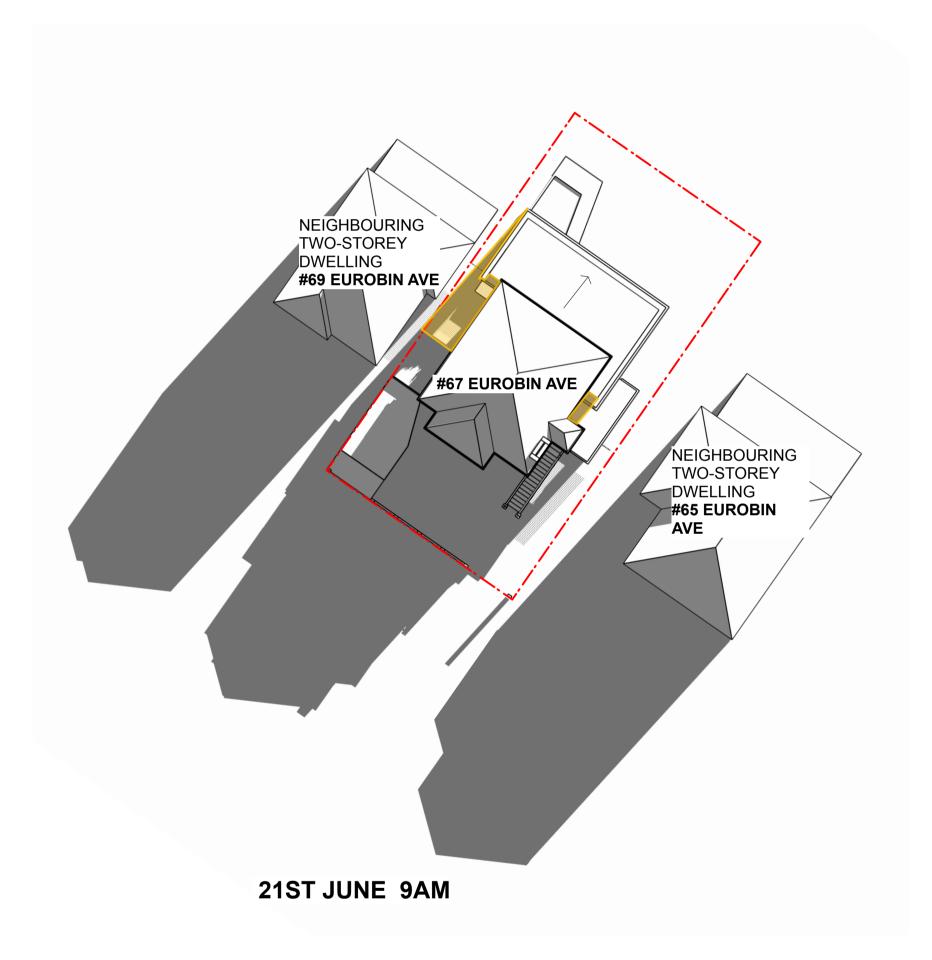
NEW SHADOW GENERATED BY

PROPOSED BUILDING

NOTES :

- THIS DRAWING IS SCHEMATIC ONLY. - HEIGHT AND POSITION OF EXISTING STRUCTURES FROM SURVEY PLAN

 RIDGE HEIGHTS, GUTTER HEIGHTS AND SILL HEIGHTS AND NATURAL GROUND LEVELS FROM SURVEY PLAN
 3 HRS OF SUNLIGHT IS MAINTAINED TO NEIGHBOURING PROPERTIES



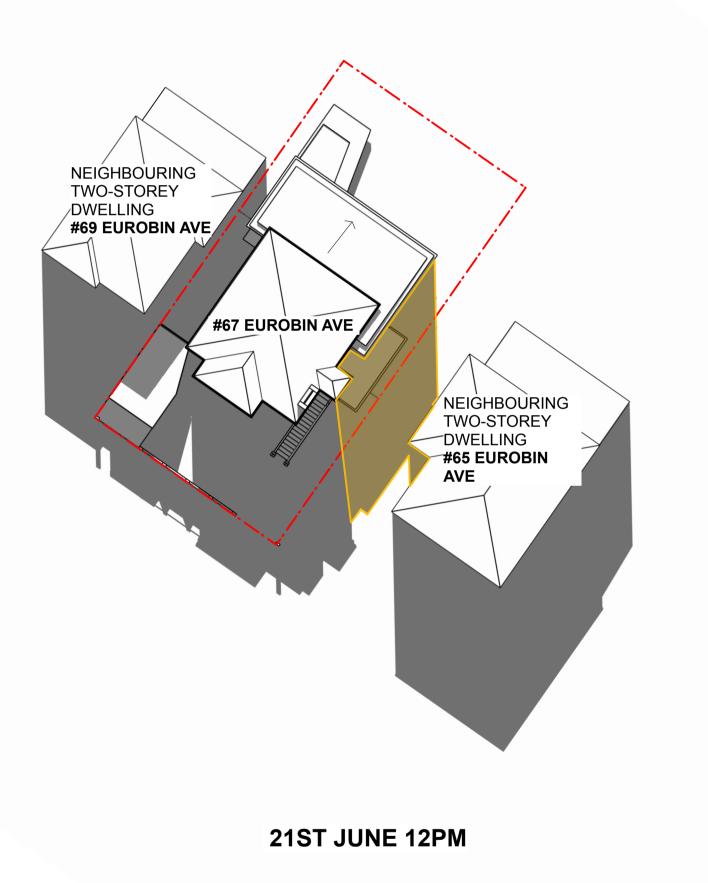
DA10-01SHADOW DIAGRAMS NTS

scale bar

NL

REVISION DATE

DESCRIPTION





 BY
 INCIDENTAL
 Suite 1/6 Waratah St, Mona Vale NSV

 Suite 1/6 Waratah St, Mona Vale NSV
 p: 8916 7357
 e: info@incidentalarchitecture.

 ARCHITECTURE
 Nominated Architect: Matthew Elkan NSW Reg

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