

SCHEDULE OF EXTERNAL FINISHES



PAINTED BRICKWORK (BW)



STEEL ROOFING (SR)



HARDWOOD (HW)

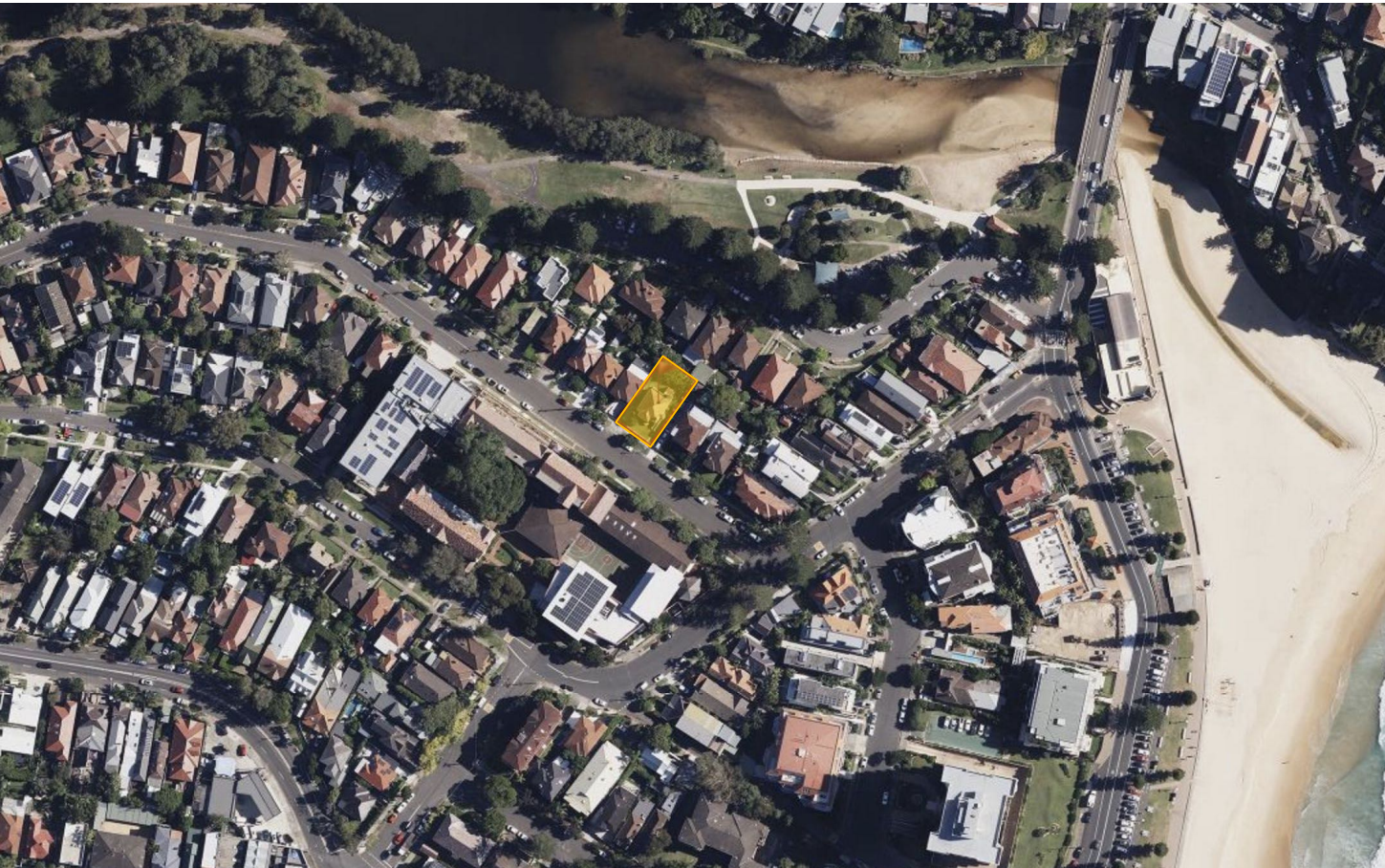


HARDWOOD DECKING (TD)



POLYCARBONATE ROOFING (PCR)

PAGE	DRAWING	DATE	REVISION
DA 1	1:200 SITE PLAN / SITE ANALYSIS	MAY 2025	ISSUE DA
DA 2	1:100 GROUND FLOOR PLAN	MAY 2025	ISSUE DA
DA 3	1:100 FIRST FLOOR PLAN	MAY 2025	ISSUE DA
DA 4	1:100 NORTH AND WEST ELEVATIONS	MAY 2025	ISSUE DA
DA 5	1:100 SOUTH AND EAST ELEVATIONS	MAY 2025	ISSUE DA
DA 6	1:100 SECTION AA	MAY 2025	ISSUE DA
DA 7	1:200 EROSION AND SEDIMENT CONTROL PLAN AND SITE WASTE MANAGEMENT PLAN	MAY 2025	ISSUE DA
DA 8	1:200 CONCEPT STORMWATER MANAGEMENT PLAN	MAY 2025	ISSUE DA
DA 9	1:200 LANDSCAPE/PRIVATE OPEN SPACE/ FSR CALCULATIONS	MAY 2025	ISSUE DA
DA 10	NTS SHADOW DIAGRAMS	MAY 2025	ISSUE DA



CONTEXT



SITE

BASIX SPECIFICATIONS

WATER :
- MIN 700L Rainwater Tank;
- Roof Collection area : Minimum 70m2
- Rainwater re-used in Pool Tap (x1)
- Showers : 3", Taps : 3", Toilets 3"

ENERGY :
- Heat Pump HW Heater
- LED or Fluorescent lighting to 40% of lighting

THERMAL PERFORMANCE SPECIFICATIONS

External Walls
Medium Colour
Cavity Brick - nil
Timber Framed (enclosed subfloor) - R1.30

Roof
Timber Framed - Foil backed blanket 55mm
Ceiling - R2.06

External Floor
Concrete slab on ground – R 1.0 edge insulation (in slab heating system)
Framed timber – R 1.3 Insulation R0.60 (down) (or R1.30 including construction)

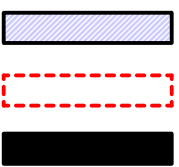
NOTES

FINISHES LEGEND

BW BRICKWORK
SR STEEL ROOFING
HW HARDWOOD
TD HARDWOOD DECKING
B-X EXISTING BRICKWORK

CODE:

NEW WALL
EXISTING WALL DEMOLISHED
EXISTING WALL RETAINED



- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
- ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :
- AS 1684 - LIGHT TIMBER FRAMING CODE
- AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
- AS 2870 -2011 - RESIDENTIAL SLABS AND FOOTINGS
- AS/NZS 3000 - 2016 - WIRING RULES
- AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
- AS 3660.1 - 2014 - TERMITE MANAGEMENT
- AS 3700-2018 - MASONRY STRUCTURES
- AS 3740-2021 - WATERPROOFING OF WET AREAS
- AS 4100 - 2020 - STEEL STRUCTURES
- AS 1926.1 - 2012 - SWIMMING POOL SAFETY

SITE INFORMATION ;
- LOT 80 in DP14521
- SITE AREA : 465m2
- LOCAL GOVERNMENT : Manly Council
- ZONING R1 - GENERAL RESIDENTIAL

NOTES

FINISHES LEGEND

BW BRICKWORK
SR STEEL ROOFING
HW HARDWOOD
TD HARDWOOD DECKING
B-X EXISTING BRICKWORK

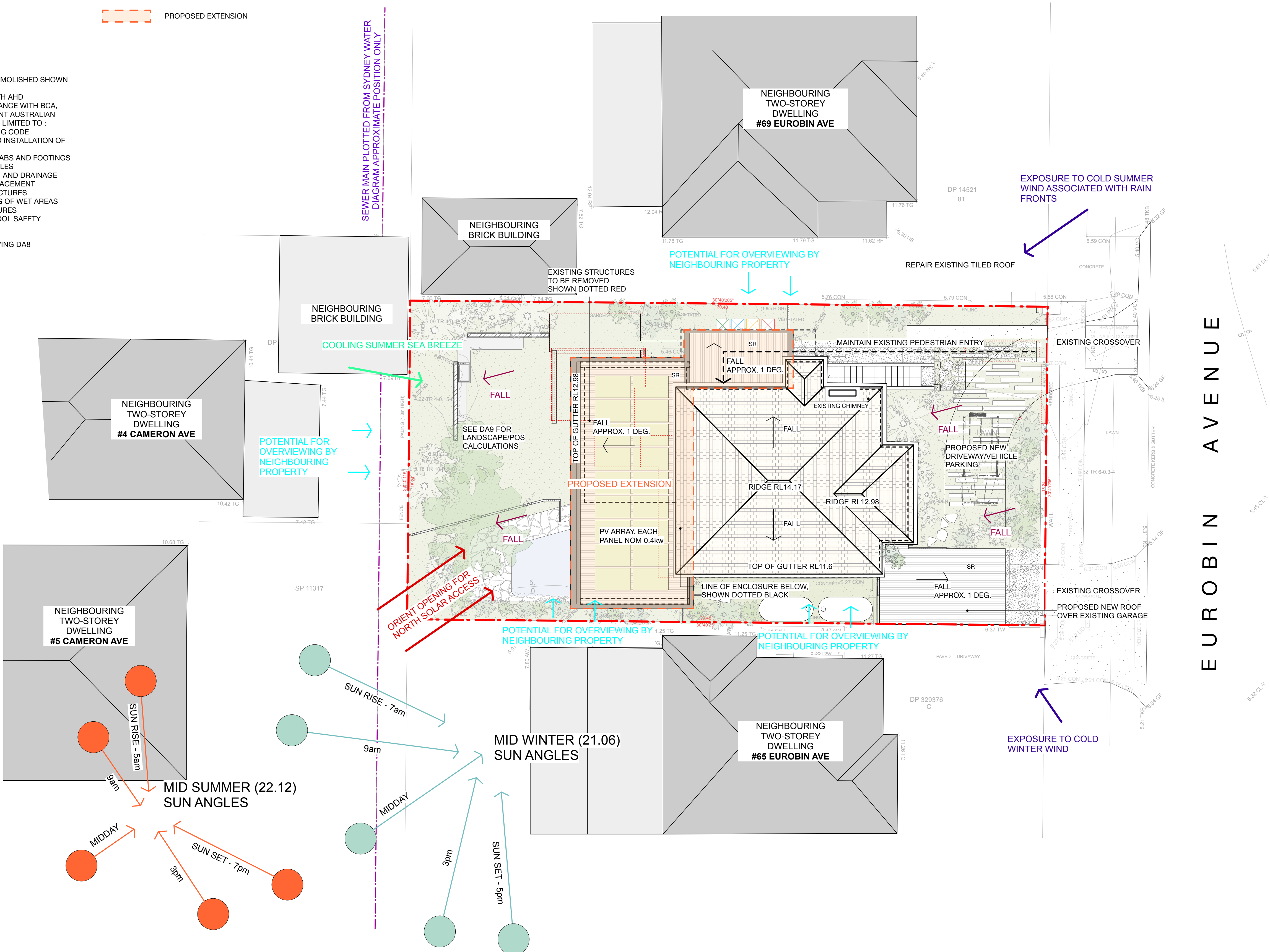
GENERAL :

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
- ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :
 - AS 1684 - LIGHT TIMBER FRAMING CODE
 - AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
 - AS 2870 - 2011 - RESIDENTIAL SLABS AND FOOTINGS
 - AS/NZS 3000 - 2018 - WIRING RULES
 - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
 - AS 3660.1 - 2014 - TERMITE MANAGEMENT
 - AS 3700-2018 - MASONRY STRUCTURES
 - AS 3740-2021 - WATERPROOFING OF WET AREAS
 - AS 4100 - 2020 - STEEL STRUCTURES
 - AS 1926.1 - 2012 - SWIMMING POOL SAFETY

- FOR SITE DRAINAGE SEE DRAWING DA8

LEGEND

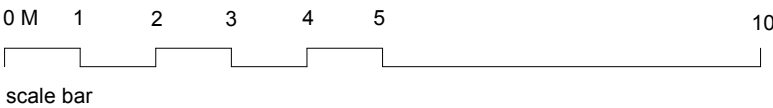
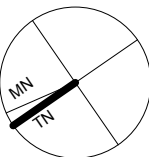
--- SITE BOUNDARY
--- PROPOSED EXTENSION



DA1 - 01 SITE PLAN 1:200

SITE INFORMATION ;
- LOT 80 in DP14521
- SITE AREA : 465m2
- LOCAL GOVERNMENT : Manly Council
- ZONING R1 - GENERAL RESIDENTIAL

DA ISSUE



REVISION	DATE	DESCRIPTION	BY

INCIDENTAL
ARCHITECTURE

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS.
DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY
COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT

Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

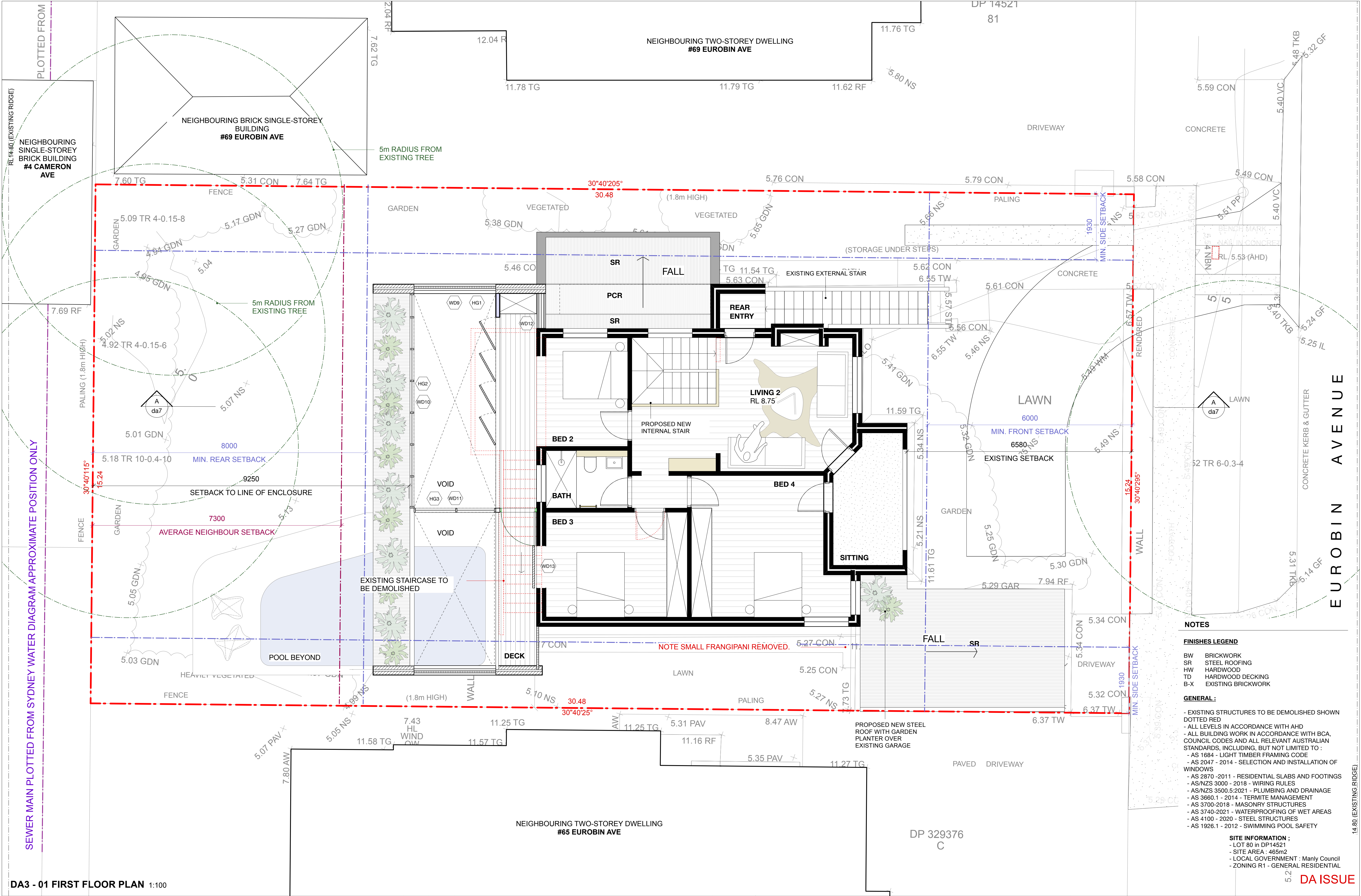
PROJECT: **HANSEN - MANLY**
67 Eurobin Ave, Manly
On the land of the Gadigal people

DRAWING: **SITE PLAN / SITE ANALYSIS**

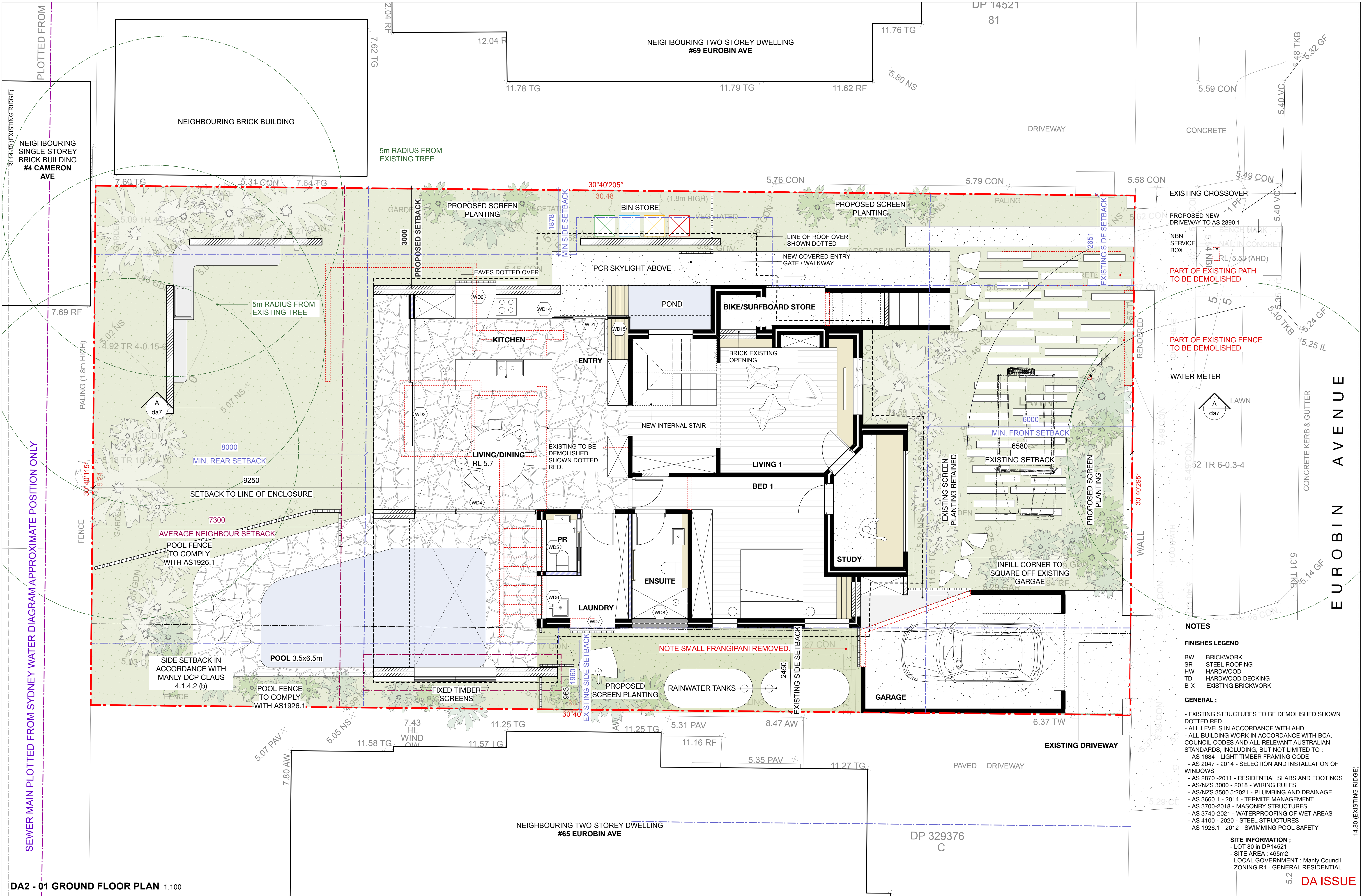
DATE: **MAY 2025**

SCALE: **1:100@A3**

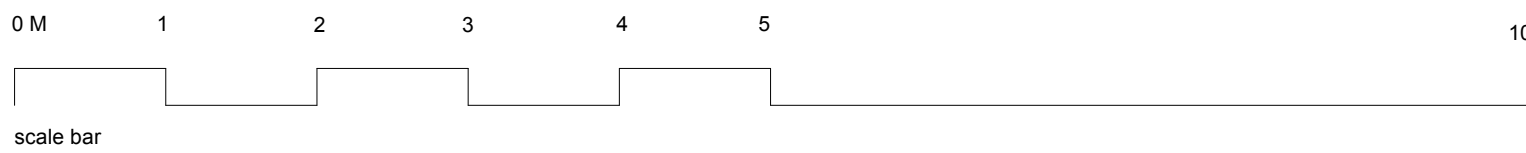
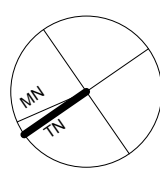
SHEET: **DA1**




- NOTES**
- FINISHES LEGEND**
- BW BRICKWORK
 - SR STEEL ROOFING
 - HW HARDWOOD
 - TD HARDWOOD DECKING
 - B-X EXISTING BRICKWORK
- GENERAL:**
- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
 - ALL LEVELS IN ACCORDANCE WITH AHD
 - ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :
 - AS 1684 - LIGHT TIMBER FRAMING CODE
 - AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
 - AS 2870 - 2011 - RESIDENTIAL SLABS AND FOOTINGS
 - AS/NZS 3000 - 2018 - WIRING RULES
 - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
 - AS 3680.1 - 2014 - TERMITE MANAGEMENT
 - AS 3700-2018 - MASONRY STRUCTURES
 - AS 3740-2021 - WATERPROOFING OF WET AREAS
 - AS 4100 - 2020 - STEEL STRUCTURES
 - AS 1928.1 - 2012 - SWIMMING POOL SAFETY
- SITE INFORMATION :**
- LOT 80 in DP14521
 - SITE AREA : 465m²
 - LOCAL GOVERNMENT : Manly Council
 - ZONING R1 - GENERAL RESIDENTIAL



DA2 - 01 GROUND FLOOR PLAN 1:100



REVISION	DATE	DESCRIPTION	BY



INCIDENTAL
ARCHITECTURE

Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS.
DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT

project

HANSEN - MANLY
67 Eurobin Ave, Manly
On the land of the Gadigal people

date

MAY 2025

scale

1:100@A3

page

2

drawing

GROUND FLOOR PLAN

- NOTES**
- FINISHES LEGEND**
- BW BRICKWORK
 - SR STEEL ROOFING
 - HW HARDWOOD
 - TD HARDWOOD DECKING
 - B-X EXISTING BRICKWORK
- GENERAL :**
- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
 - ALL LEVELS IN ACCORDANCE WITH AHD
 - ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :
 - AS 1684 - LIGHT TIMBER FRAMING CODE
 - AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
 - AS 2870 - 2011 - RESIDENTIAL SLABS AND FOOTINGS
 - AS/NZS 3000 - 2018 - WIRING RULES
 - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
 - AS 3660.1 - 2014 - TERMITE MANAGEMENT
 - AS 3700-2018 - MASONRY STRUCTURES
 - AS 3740-2021 - WATERPROOFING OF WET AREAS
 - AS 4100 - 2020 - STEEL STRUCTURES
 - AS 1928.1 - 2012 - SWIMMING POOL SAFETY
- SITE INFORMATION :**
- LOT 80 in DP14521
 - SITE AREA : 465m²
 - LOCAL GOVERNMENT : Manly Council
 - ZONING R1 - GENERAL RESIDENTIAL

DA ISSUE

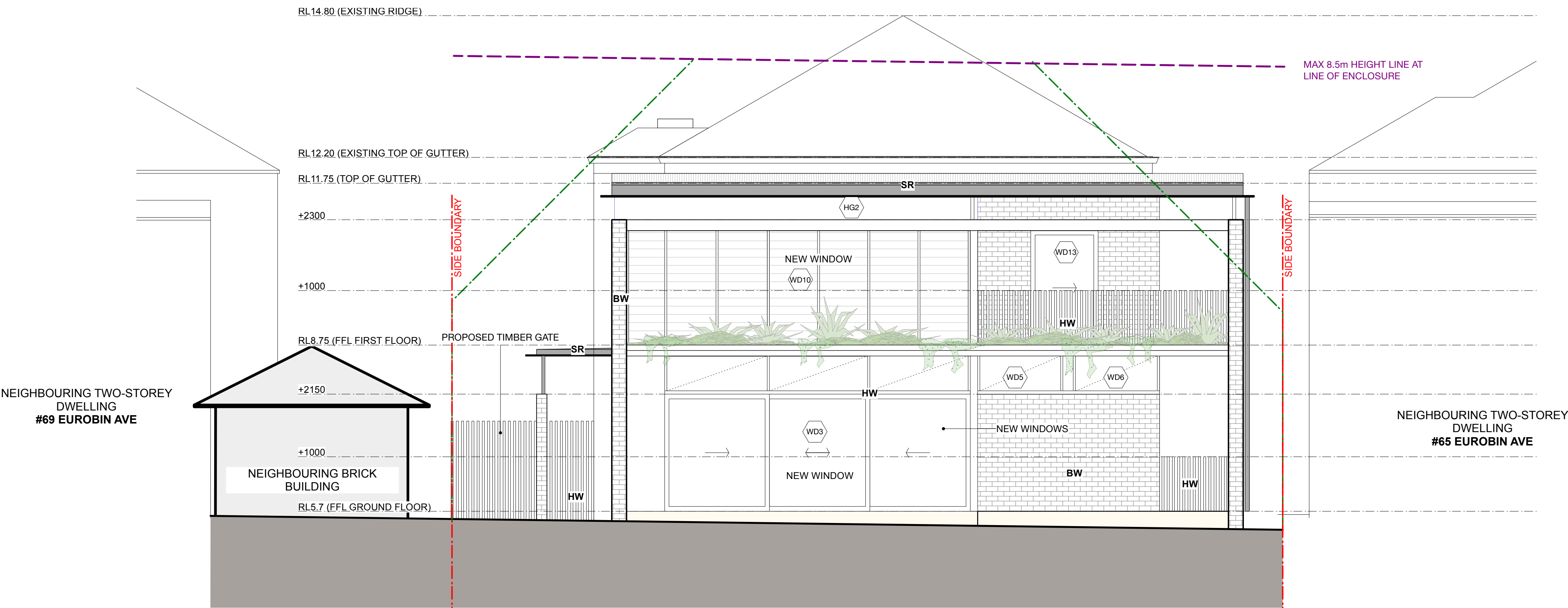
NOTES

FINISHES LEGEND

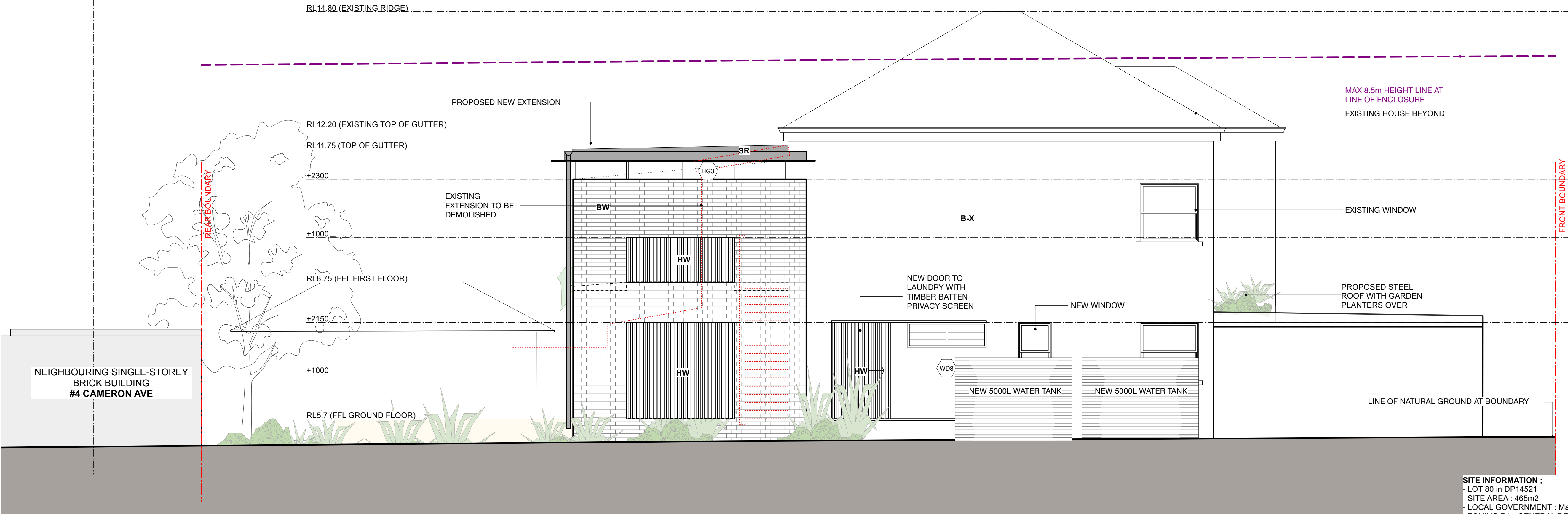
BW BRICKWORK
SR STEEL ROOFING
HW HARDWOOD
TD HARDWOOD DECKING
B-X EXISTING BRICKWORK

GENERAL :

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
- ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :
 - AS 1684 - LIGHT TIMBER FRAMING CODE
 - AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
 - AS 2870 - 2011 - RESIDENTIAL SLABS AND FOOTINGS
 - AS/NZS 3000 - 2018 - WIRING RULES
 - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
 - AS 3660.1 - 2014 - TERMITE MANAGEMENT
 - AS 3700-2018 - MASONRY STRUCTURES
 - AS 3740-2021 - WATERPROOFING OF WET AREAS
 - AS 4100 - 2020 - STEEL STRUCTURES
 - AS 1926.1 - 2012 - SWIMMING POOL SAFETY



DA4 - 01 NORTH ELEVATION 1:100



SITE INFORMATION ;
- LOT 80 in DP14521
- SITE AREA : 465m2
- LOCAL GOVERNMENT : Manly Council
- ZONING R1 - GENERAL RESIDENTIAL

DA4 - 02 WEST ELEVATION 1:100

DA ISSUE

<div>0 M1234510</div> <div>scale bar</div>						REVISION	DATE	DESCRIPTION	BY	<div><div><div></div></div><div>INCIDENTAL ARCHITECTURE</div></div> <div>Suite 1/6 Waratah St, Mona Vale NSW 2103 p : 8916 7357 e : info@incidentalarchitecture.com.au Nominated Architect: Matthew Elkan NSW Reg # 6821</div> <div>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT</div>		project : HANSEN - MANLY 67 Eurobin Ave, Manly <i>On the land of the Gadigal people</i>	date : MAY 2025	<div>DA4</div>
										drawing : NORTH AND WEST ELEVATIONS	scale : 1:100@A3			

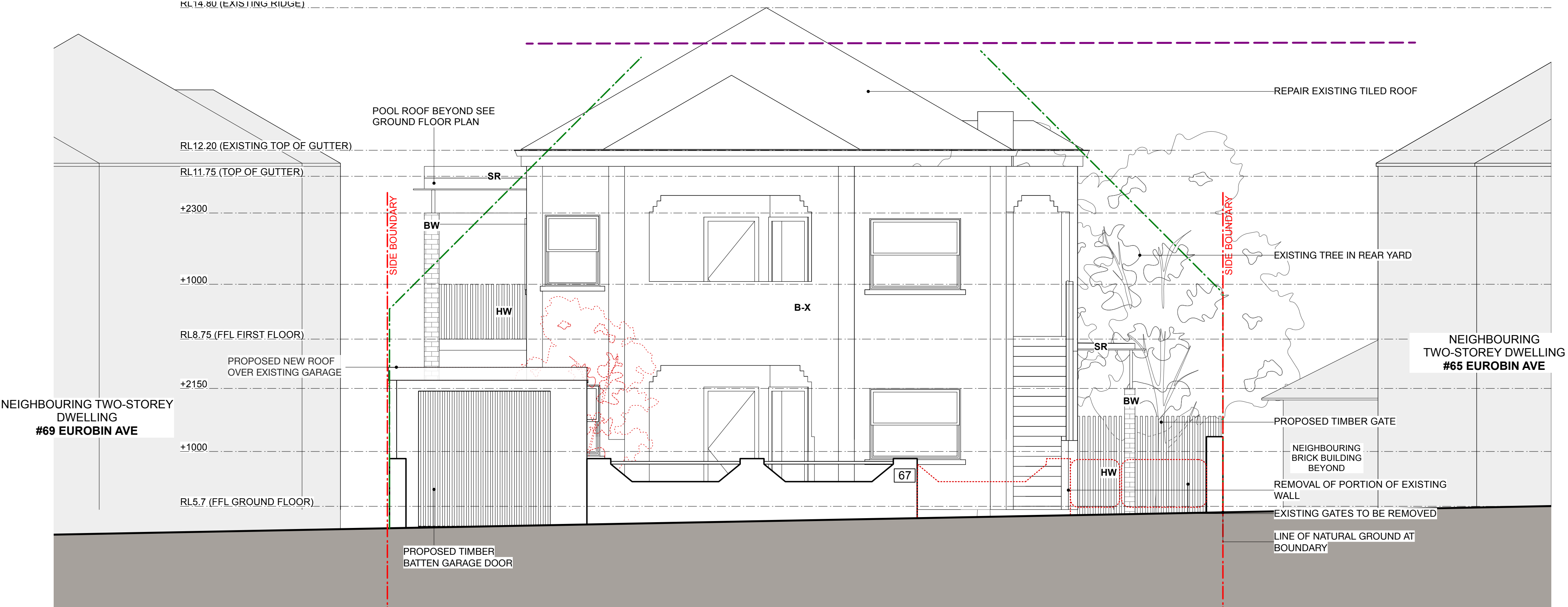
NOTES

FINISHES LEGEND

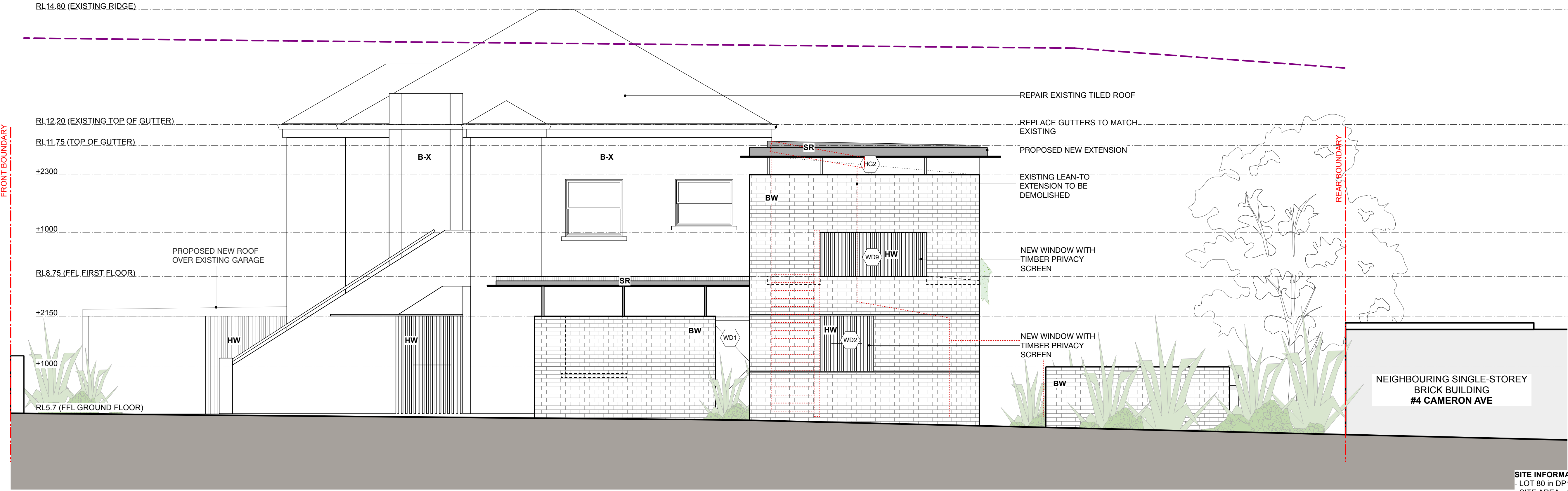
BW BRICKWORK
SR STEEL ROOFING
HW HARDWOOD
TD HARDWOOD DECKING
B-X EXISTING BRICKWORK

GENERAL :

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
- ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :
 - AS 1684 - LIGHT TIMBER FRAMING CODE
 - AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
 - AS 2870 - 2011 - RESIDENTIAL SLABS AND FOOTINGS
 - AS/NZS 3000 - 2018 - WIRING RULES
 - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
 - AS 3660.1 - 2014 - TERMITE MANAGEMENT
 - AS 3700-2018 - MASONRY STRUCTURES
 - AS 3740-2021 - WATERPROOFING OF WET AREAS
 - AS 4100 - 2020 - STEEL STRUCTURES
 - AS 1926.1 - 2012 - SWIMMING POOL SAFETY



DA5 - 01 SOUTH ELEVATION 1:100



DA5 - 02 EAST ELEVATION 1:100

SITE INFORMATION ;
- LOT 80 in DP14521
- SITE AREA : 465m2
- LOCAL GOVERNMENT : Manly Council
- ZONING R1 - GENERAL RESIDENTIAL

DA ISSUE

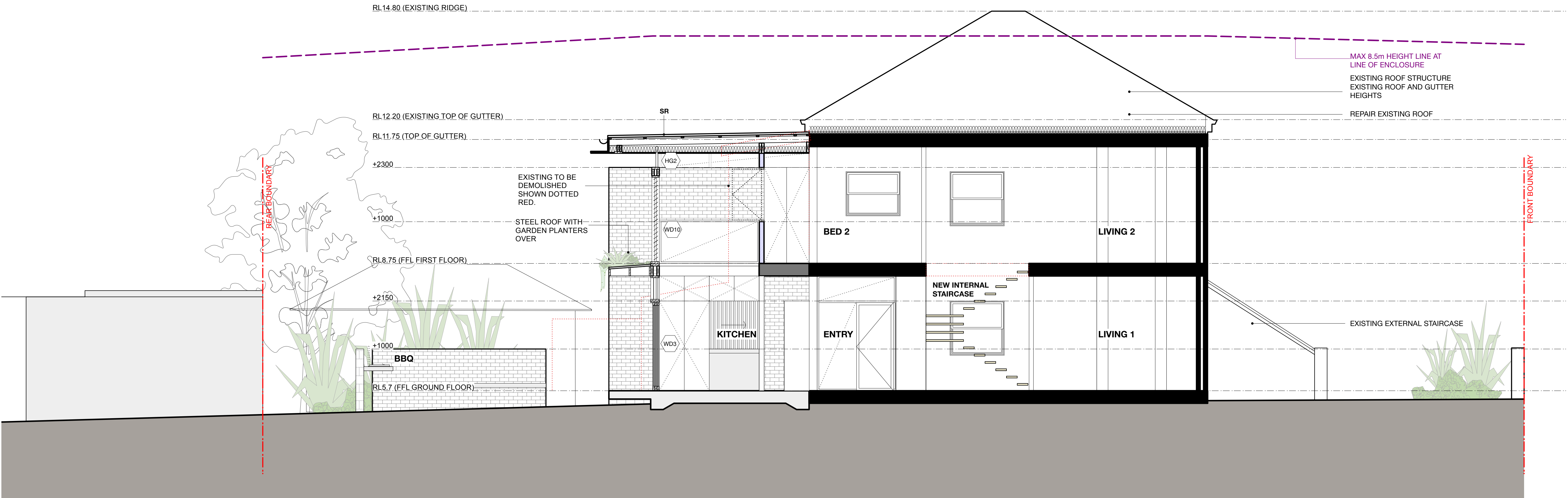
NOTES

FINISHES LEGEND

BW BRICKWORK
SR STEEL ROOFING
HW HARDWOOD
TD HARDWOOD DECKING
B-X EXISTING BRICKWORK

GENERAL :

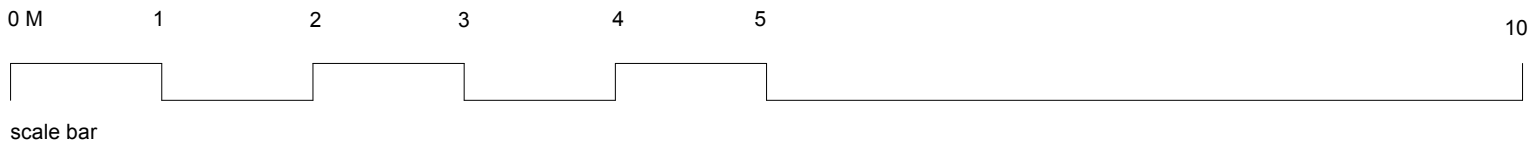
- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
- ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :
 - AS 1684 - LIGHT TIMBER FRAMING CODE
 - AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
 - AS 2870 -2011 - RESIDENTIAL SLABS AND FOOTINGS
 - AS/NZS 3000 - 2018 - WIRING RULES
 - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
 - AS 3660.1 - 2014 - TERMITE MANAGEMENT
 - AS 3700-2018 - MASONRY STRUCTURES
 - AS 3740-2021 - WATERPROOFING OF WET AREAS
 - AS 4100 - 2020 - STEEL STRUCTURES
 - AS 1926.1 - 2012 - SWIMMING POOL SAFETY



DA6 - 01 SECTION AA 1:100

SITE INFORMATION ;
- LOT 80 in DP14521
- SITE AREA : 465m2
- LOCAL GOVERNMENT : Manly Council
- ZONING R1 - GENERAL RESIDENTIAL

DA ISSUE



REVISION	DATE	DESCRIPTION	BY

INCIDENTAL
ARCHITECTURE

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS.
DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY
COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT

Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: **HANSEN - MANLY**
67 Eurobin Ave, Manly
On the land of the Gadigal people

DRAWING: **EXISTING SECTION AA and BB**

DATE: **MAY 2025**

SCALE: **1:100@A3**

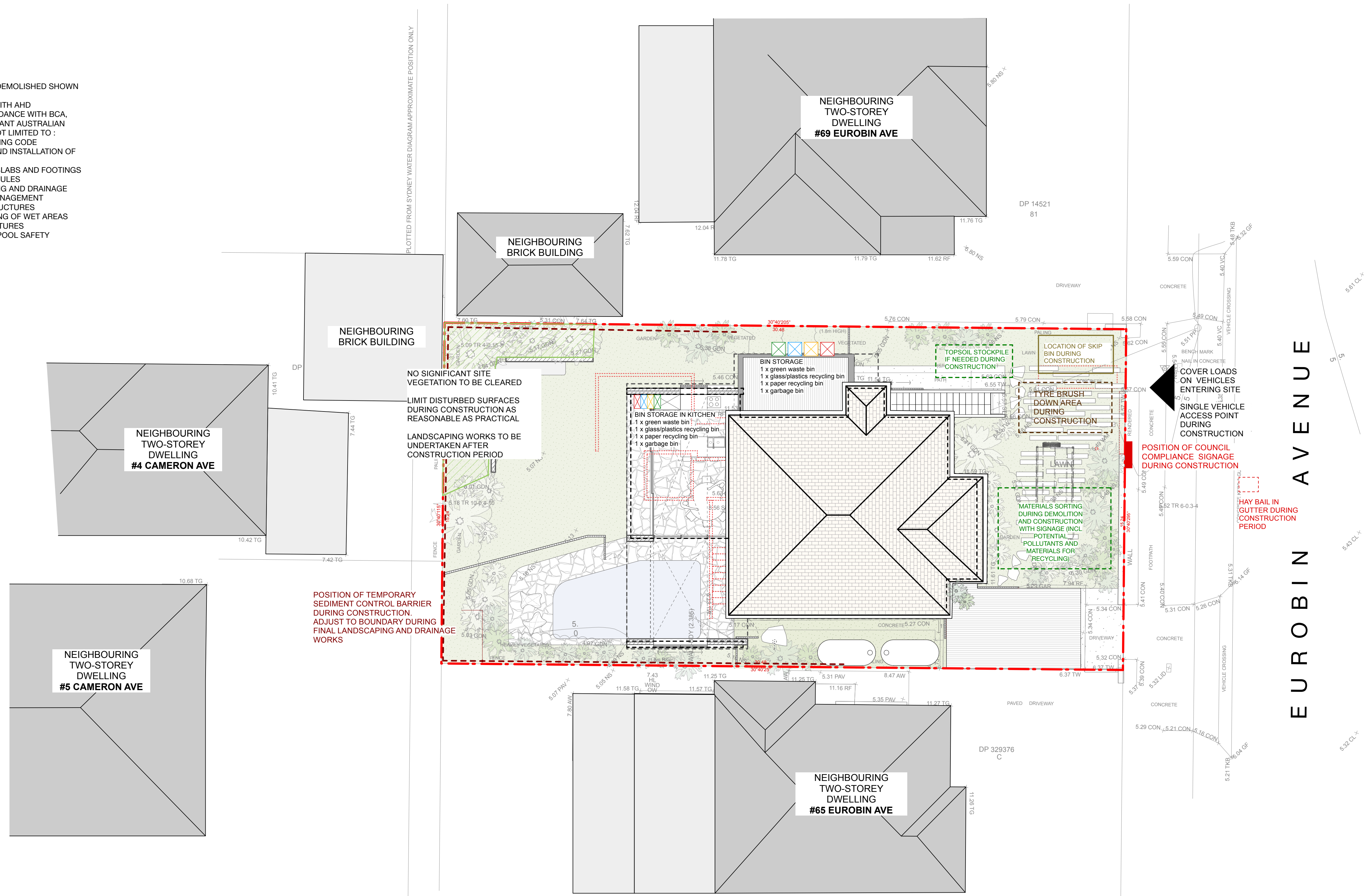
SHEET: **DA6**

FINISHES LEGEND :

BW	BRICKWORK
SR	STEEL ROOFING
HW	HARDWOOD
TD	HARDWOOD DECKING
B-X	EXISTING BRICKWORK

GENERAL :

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
- ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS INCLUDING, BUT NOT LIMITED TO :
 - AS 1684 - LIGHT TIMBER FRAMING CODE
 - AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
 - AS 2870 -2011 - RESIDENTIAL SLABS AND FOOTINGS
 - AS/NZS 3000 - 2018 - WIRING RULES
 - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
 - AS 3660.1 - 2014 - TERMITE MANAGEMENT
 - AS 3700-2018 - MASONRY STRUCTURES
 - AS 3740-2021 - WATERPROOFING OF WET AREAS
 - AS 4100 - 2020 - STEEL STRUCTURES
 - AS 1926.1 - 2012 - SWIMMING POOL SAFETY



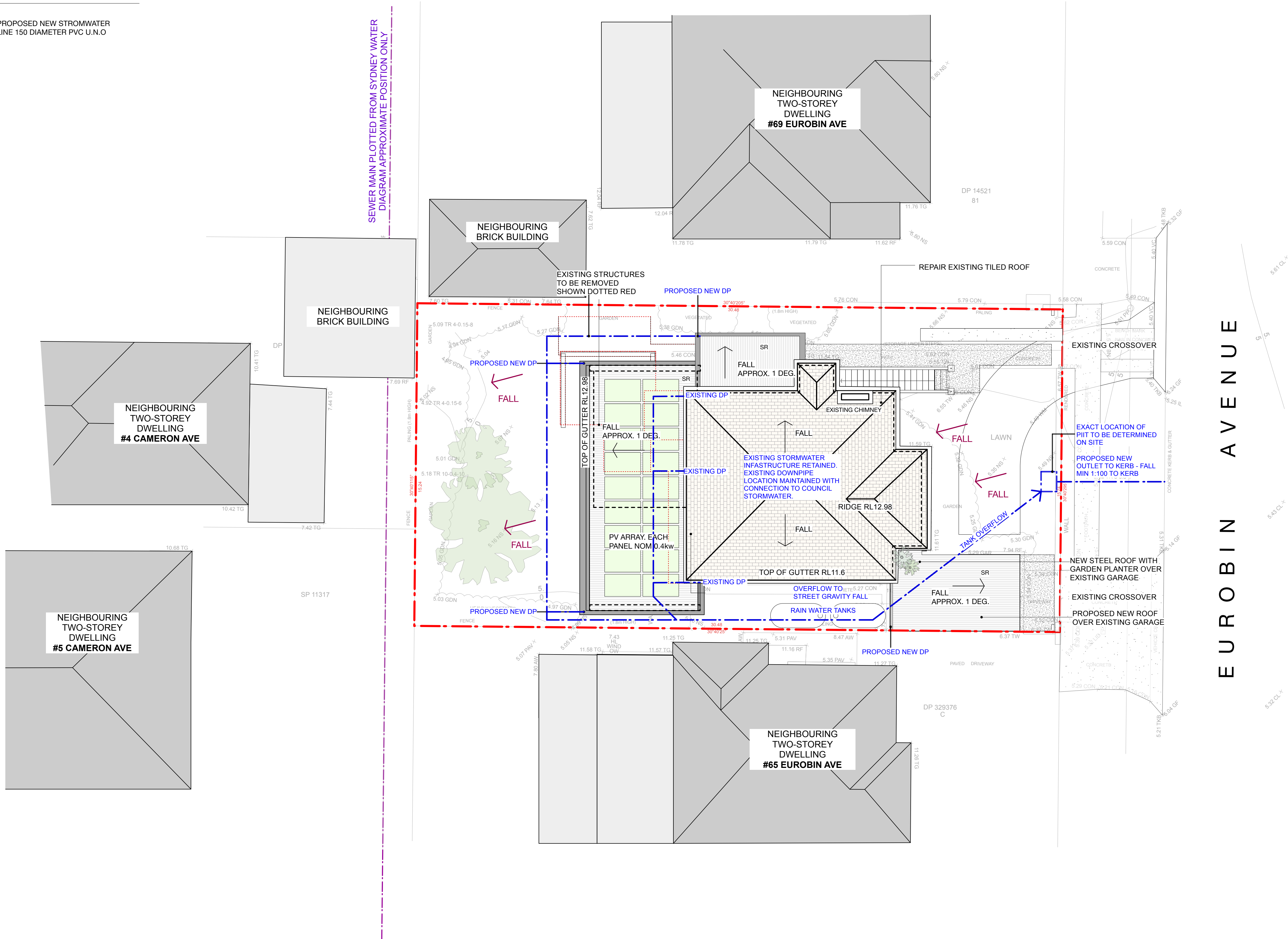
SITE INFORMATION ;
 - LOT 80 in DP14521
 - SITE AREA : 465m2
 - LOCAL GOVERNMENT : Manly Council
 - ZONING R1 - GENERAL RESIDENTIAL

DA7

<div><div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div></div></div></div>

KEY

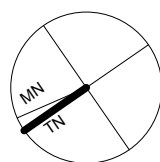
---> PROPOSED NEW STORMWATER
LINE 150 DIAMETER PVC U.N.O



SITE INFORMATION ;
- LOT 80 in DP14521
- SITE AREA : 465m2
- LOCAL GOVERNMENT : Manly Council
- ZONING R1 - GENERAL RESIDENTIAL

DA ISSUE

DA8 - 01 CONCEPT STORM WATER MANAGEMENT PLAN 1:200



0 M 1 2 3 4 5 10
scale bar

REVISION	DATE	DESCRIPTION	BY

INCIDENTAL
ARCHITECTURE

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS.
DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT.

Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: **HANSEN - MANLY**
67 Eurobin Ave, Manly
On the land of the Gadigal people

DRAWING: **CONCEPT STORMWATER MANAGEMENT PLAN**

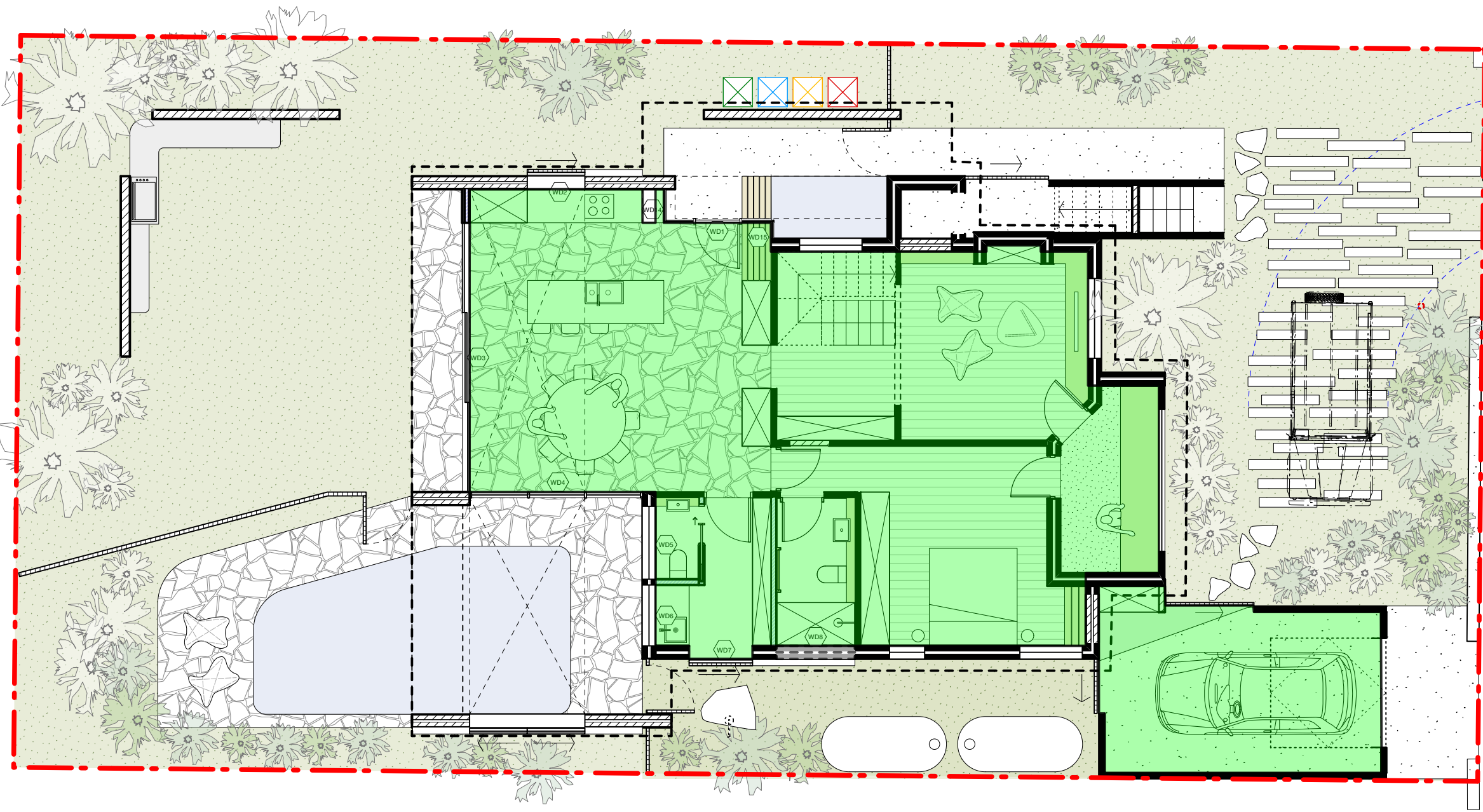
DATE: **MAY 2025**

SCALE: **1:200@A3**

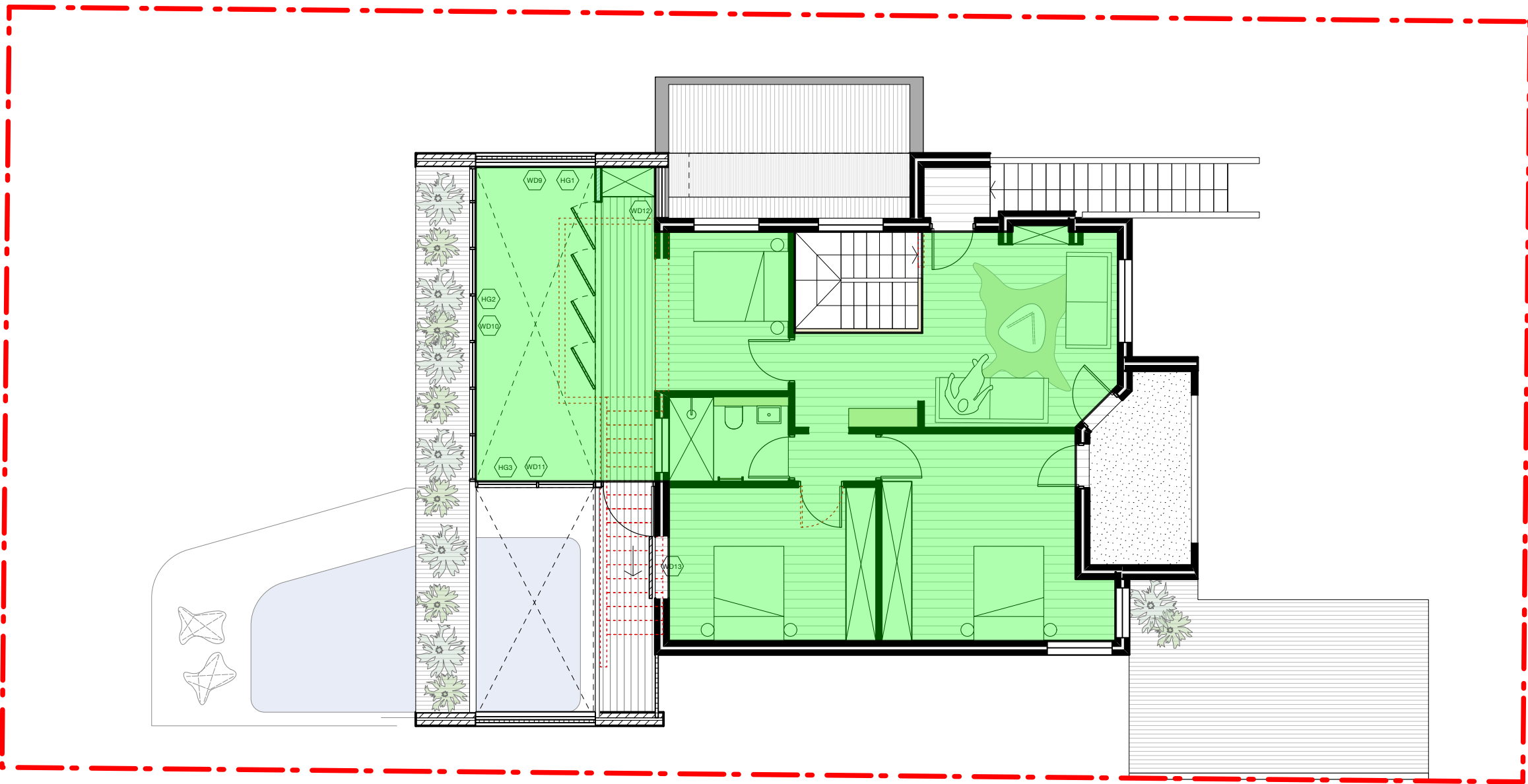
DA8

FLOOR SPACE RATIO

Allowable FSR = 0.6
Site area = 465m2
Existing GFA = 175 = 0.372:1
Proposed GFA = 214 = 0.4602:1



GROUND FLOOR PLAN | FSR DIAGRAM 1:200



FIRST FLOOR PLAN | FSR DIAGRAM 1:200

LANDSCAPED OPEN SPACE CALCULATIONS

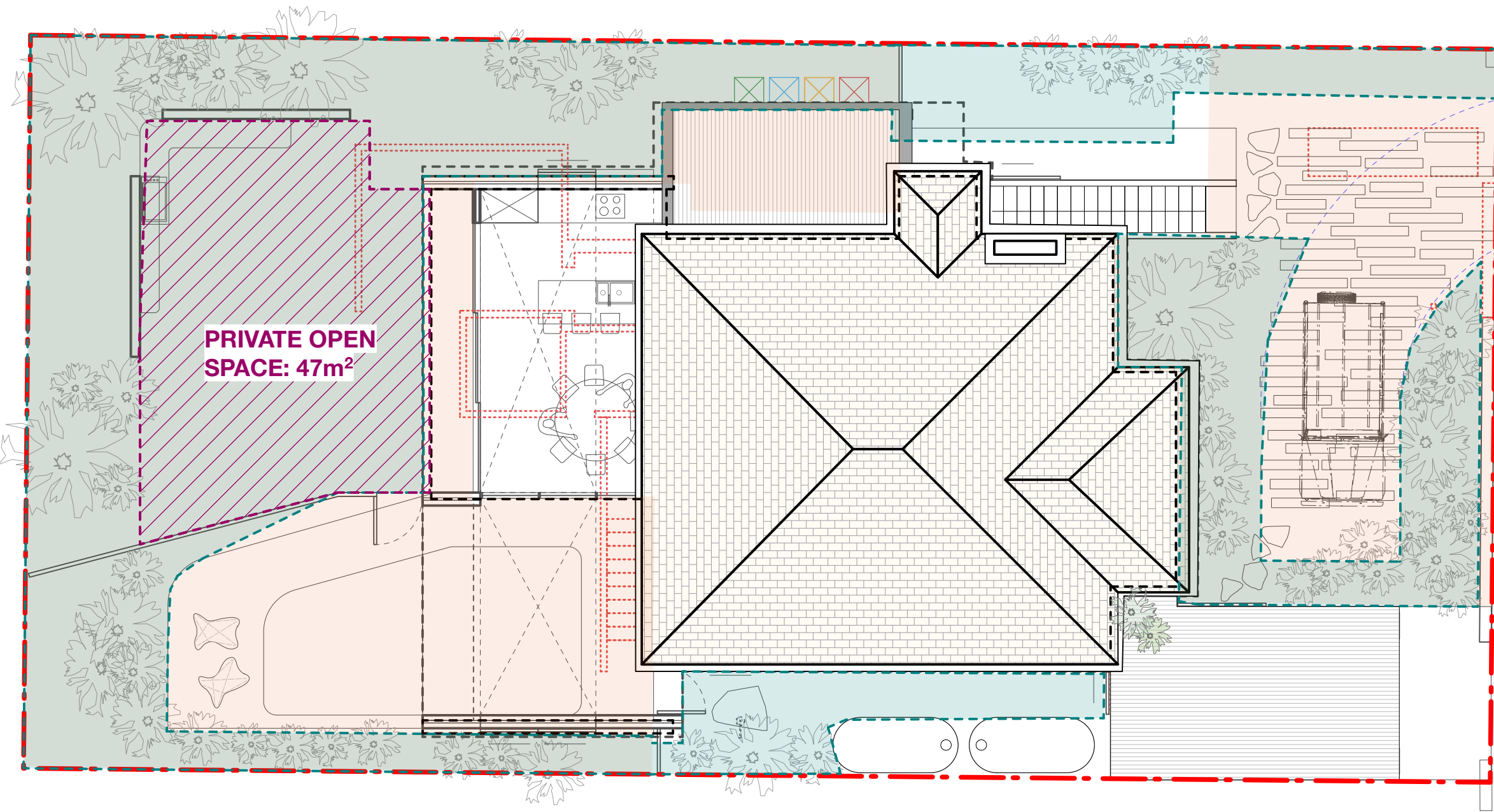
SITE LOCATED IN AREA OS3	
SITE AREA:	465m2
MINIMUM LANDSCAPED AREA: (35% AS PER MANLY DCP 2013)	89.6m2
PROPOSED LANDSCAPED AREA:	187m2
COMPLIANT:	YES

PRIVATE OPEN SPACE CALCULATIONS

SITE LOCATED IN AREA OS3	
SITE AREA:	465m2
MINIMUM PRIVATE OPEN SPACE: (AS PER MANLY DCP)	18m2
PROPOSED PRIVATE OPEN SPACE:	47m2
COMPLIANT:	YES

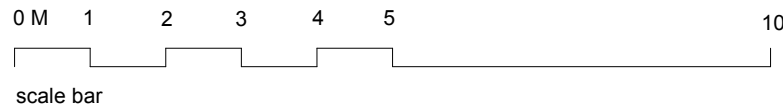
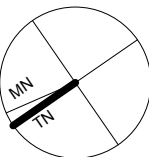
TOTAL OPEN AREA CALCULATIONS

SITE LOCATED IN AREA OS3	
SITE AREA:	465m2
MINIMUM TOTAL OPEN AREA: (AS PER MANLY DCP 2013) 55%	256m2
PROPOSED PRIVATE OPEN SPACE:	268m2
COMPLIANT:	YES

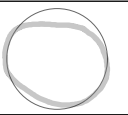


SITE INFORMATION ;
- LOT 80 in DP14521
- SITE AREA : 465m2
- LOCAL GOVERNMENT : Manly Council
- ZONING R1 - GENERAL RESIDENTIAL

DA09 - 01 LANDSCAPE AND PRIVATE OPEN SPACE CALCULATIONS 1:200



REVISION	DATE	DESCRIPTION	BY



INCIDENTAL
ARCHITECTURE

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS.
DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT

Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: **HANSEN - MANLY**
67 Eurobin Ave, Manly
On the land of the Gadigal people

DRAWING: **LANDSCAPE FSR AND POS CALCULATIONS**

DATE: **MAY 2025**

SCALE: **1:200@A3**

SHEET: **DA9**

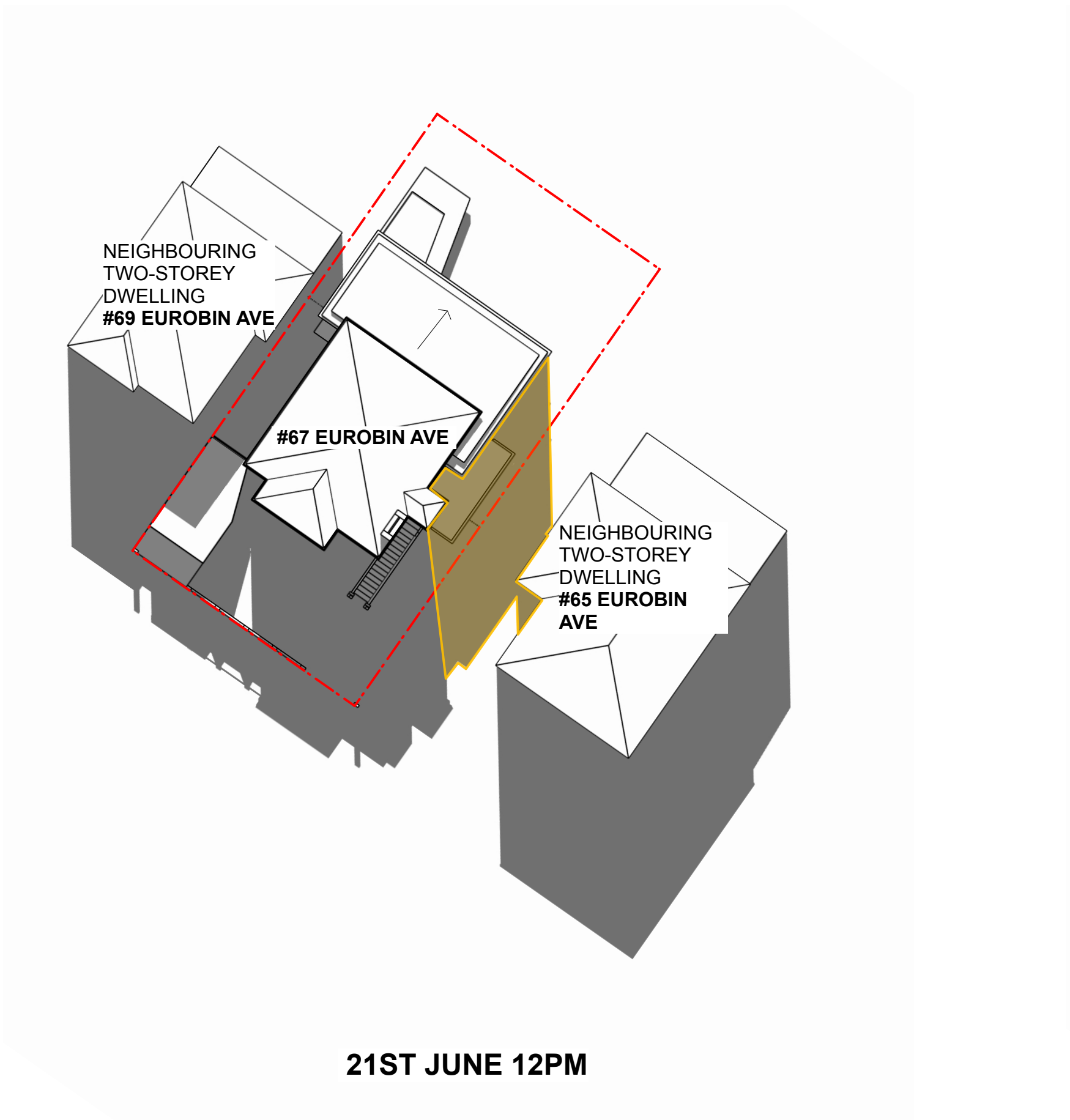
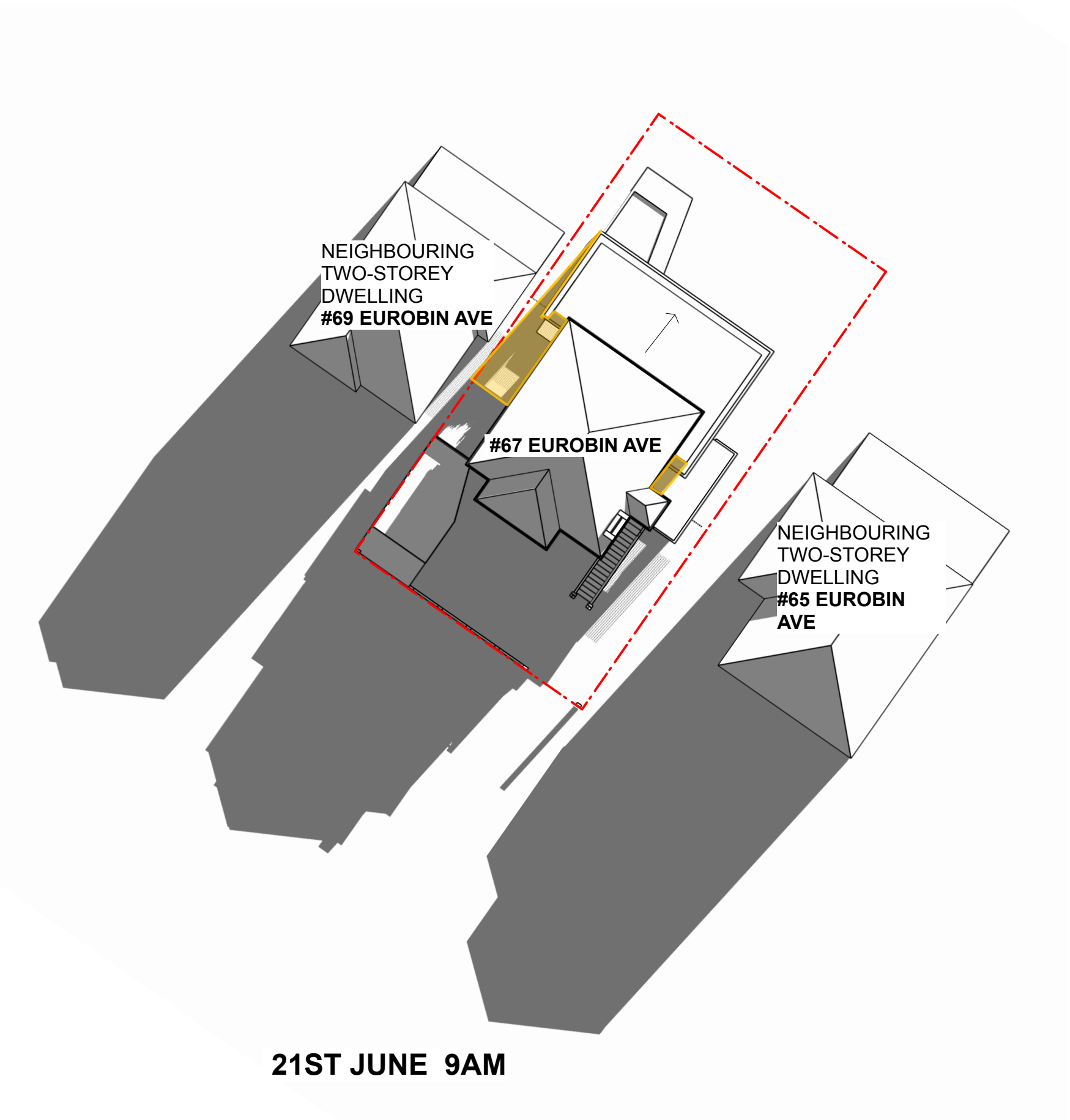
DA ISSUE

LEGEND

- SITE BOUNDARY
- NEW SHADOW GENERATED BY PROPOSED BUILDING

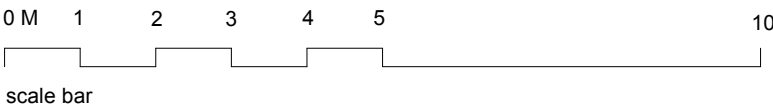
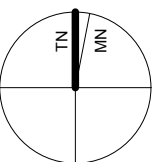
NOTES :

- THIS DRAWING IS SCHEMATIC ONLY.
- HEIGHT AND POSITION OF EXISTING STRUCTURES FROM SURVEY PLAN
- RIDGE HEIGHTS, GUTTER HEIGHTS AND SILL HEIGHTS AND NATURAL GROUND LEVELS FROM SURVEY PLAN
- 3 HRS OF SUNLIGHT IS MAINTAINED TO NEIGHBOURING PROPERTIES

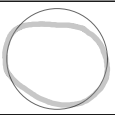


SITE INFORMATION ;
- LOT 80 in DP14521
- SITE AREA : 465m2
- LOCAL GOVERNMENT : Manly Council
- ZONING R1 - GENERAL RESIDENTIAL

DA10- 01SHADOW DIAGRAMS NTS



REVISION	DATE	DESCRIPTION	BY



INCIDENTAL
ARCHITECTURE

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS.
DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY
COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT

Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: **HANSEN - MANLY**
67 Eurobin Ave, Manly
On the land of the Gadigal people

DRAWING: **SHADOW DIAGRAMS**

DATE: **MAY 2025**

SCALE: **NTS**

DA10

DA ISSUE