






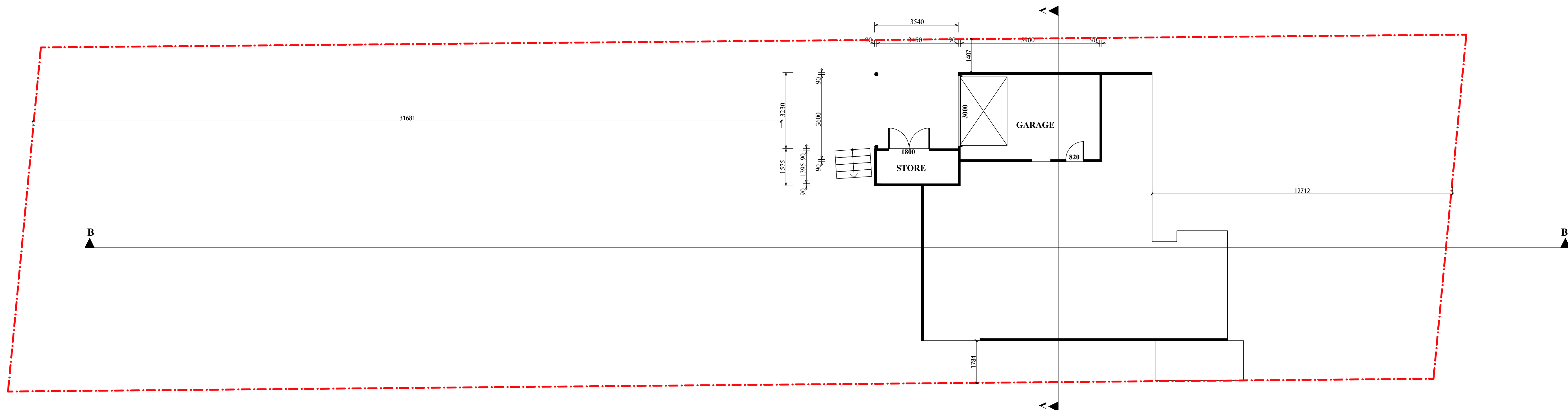
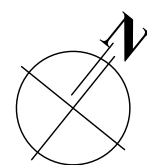
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LOT No. **53**  
SITE AREA: **866.30MSQ.**  
EXIST. GFA: **112.00MSQ.**  
PROPOSED GFA: **253.00MSQ**  
MAX. BUILDING HEIGHT: **8.5M**

**NEW WORKS:**  
**NEW 2ND STOREY ADDITION.**  
**INTERNAL ALTS AND ADS**  
**NEW FRONT DECK AND ENTRY**  
**NEW REAR GROUND FLOOR EXTENSION**  
 =====

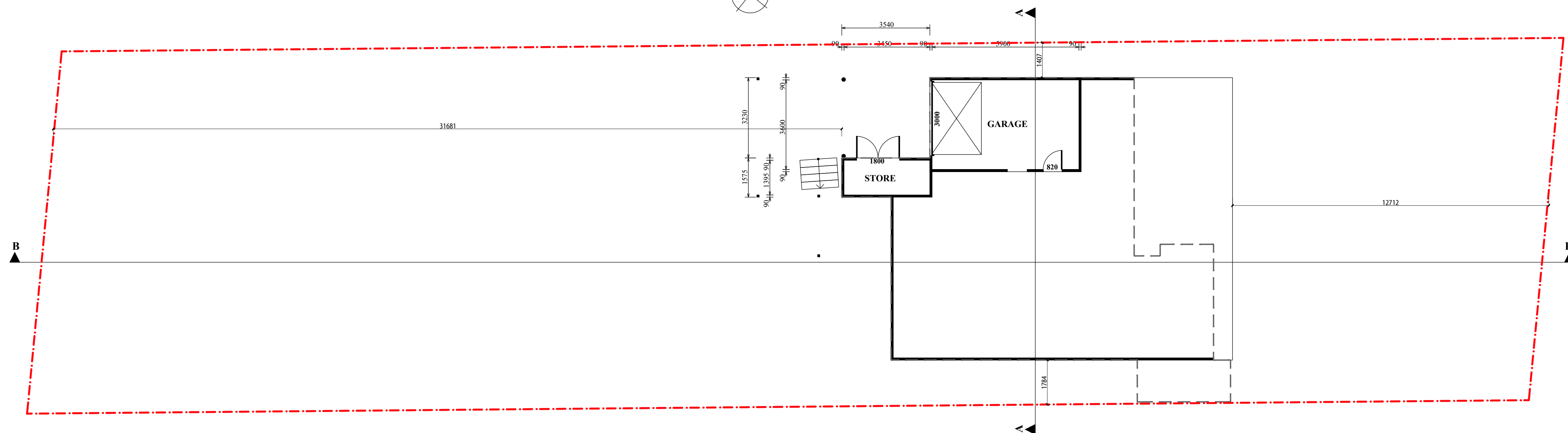
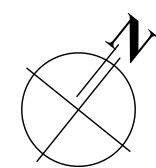
LEGEND:

EXISTING BUILDING OUTLINE  
— — — — —

SMOKE ALARMS TO  
COMPLY WITH AS 3786  




**LOWER FLOOR PLAN - EXISTING**  
**SCALE 1:100**



## LOWER FLOOR PLAN - PROPOSED

SCALE 1:100

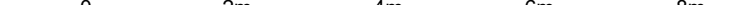
### GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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1:100



2m 0 2m 4m 6m 8m 10m

**728 BARRENJOEY RD  
AVALON BEACH  
2107**

**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**  
 **EXISTING BUILDING OUTLINE**  
 **PROPOSED WORK**

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Project ADDITONS AND ALTERATIONS	Sheet
Date 27-Sep-22	<b>2</b>
Scale AS SHOWN	

DP No. 11000

LOT No. **53**


A	ISSUED FOR DA	10.01.25
No.	Revision/Issue	Date

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**728 BARRENJOEY RD**  
**AVALON BEACH**  
**2107**

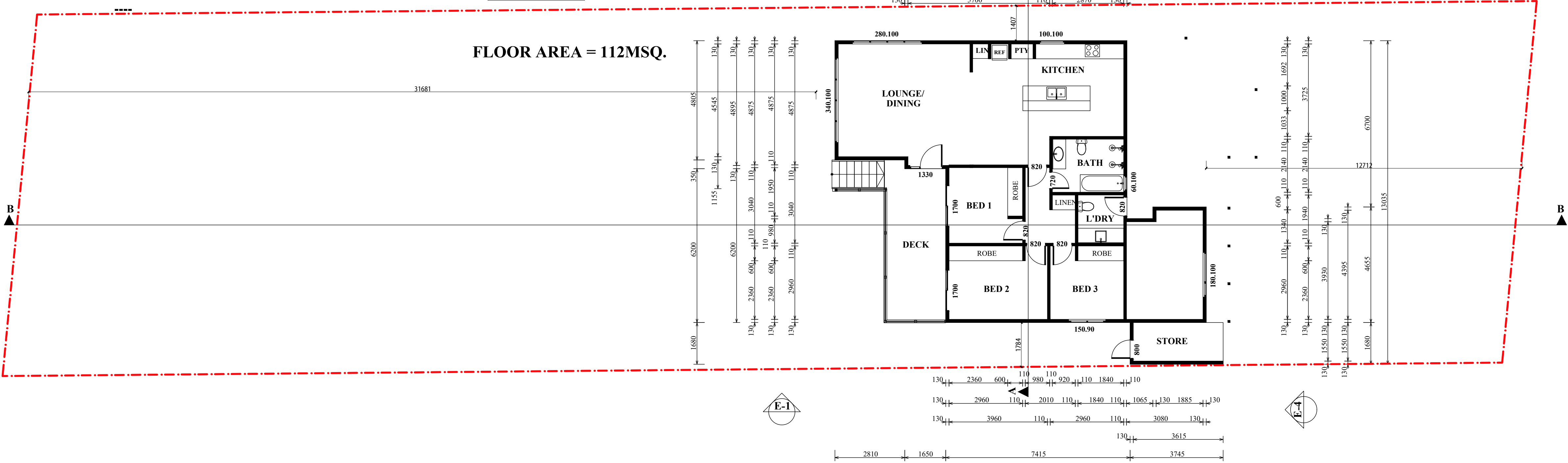
DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

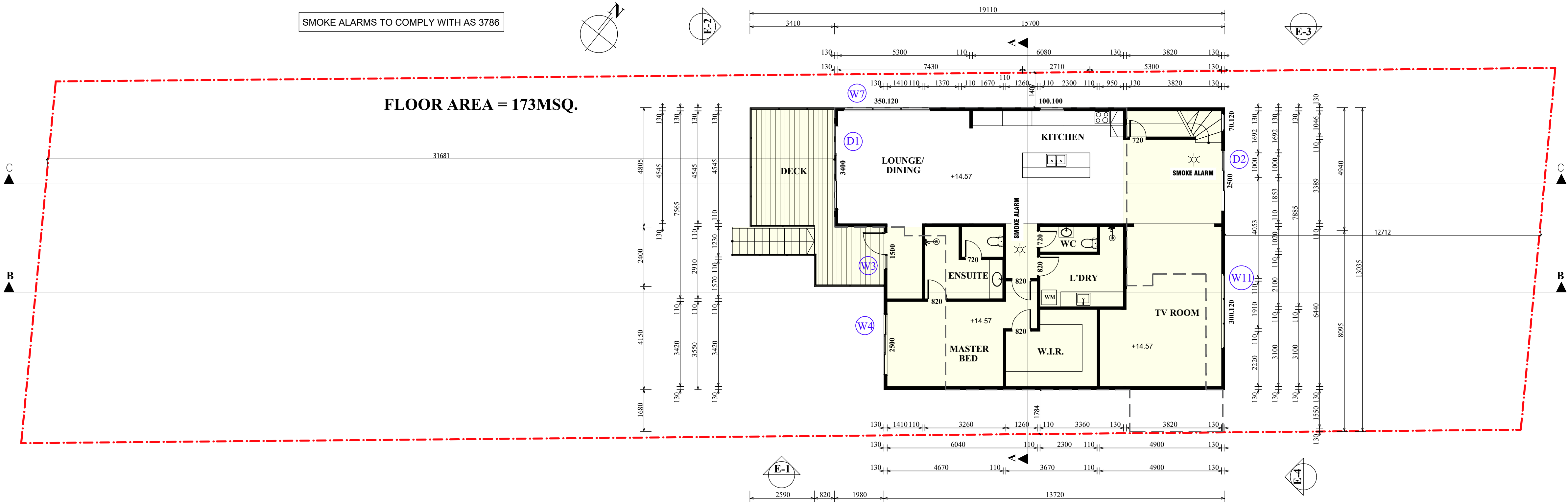
NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY  
NEW REAR GROUND FLOOR EXTENSION

LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786



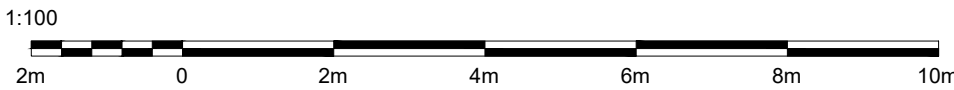
GROUND FLOOR PLAN - EXISTING  
SCALE 1:100



GRPUND FLOOR PLAN - PROPOSED  
SCALE 1:100

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3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
--- EXISTING BUILDING OUTLINE  
--- PROPOSED WORK

General Notes

Project Annotations and Alterations  
Date: 27-Sep-22  
Scale: AS SHOWN

Sheet: 3

DP No. 11909  
LOT No. 53

Revisions

DRAFTING HELP PTY LTD  
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Project Name and Address  
JESSICA L' GREEN  
728 BARRENJOEY RD  
AVALON BEACH  
2107

DP: **11909**  
LOT No. **53**  
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**NEW 2ND STOREY ADDITION.**  
**INTERNAL ALTS AND ADS**  
**NEW FRONT DECK AND ENTRY**  
**NEW REAR GROUND FLOOR EXTENSION**  
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LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO  
COMPLY WITH AS 3786

SMOKE ALARMS TO COMPLY WITH AS 3786

[illegible]

## 1ST FLOOR PLAN - PROPOSED

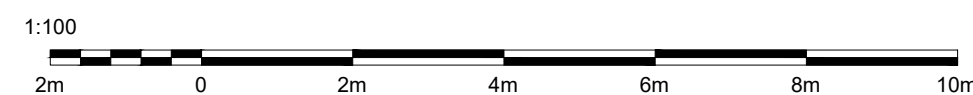
SCALE 1:100

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**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

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Project ADDITIONS AND ALTERATIONS	Sheet  <b>4</b>
Date 27-Sep-22	
Scale AS SHOWN	

DP No. 11909

LOT No. **53**


A	ISSUED FOR DA	10.01.25
No.	Revision/Issue	Date

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**AVALON BEACH**  
**2107**

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AVALON BEACH  
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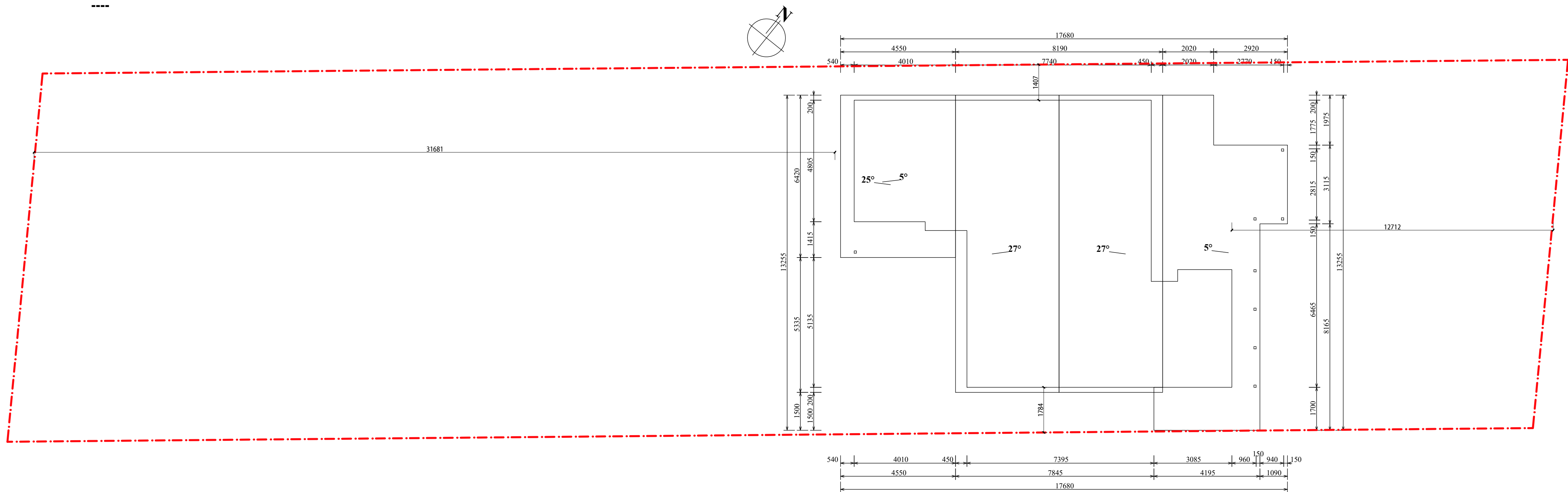
DP: **11909**  
LOT No. **53**  
SITE AREA: **866.30MSQ.**  
EXIST. GFA: **112.00MSQ.**  
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**INTERNAL ALTS AND ADS**  
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**NEW REAR GROUND FLOOR EXTENSION**  
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LEGEND:

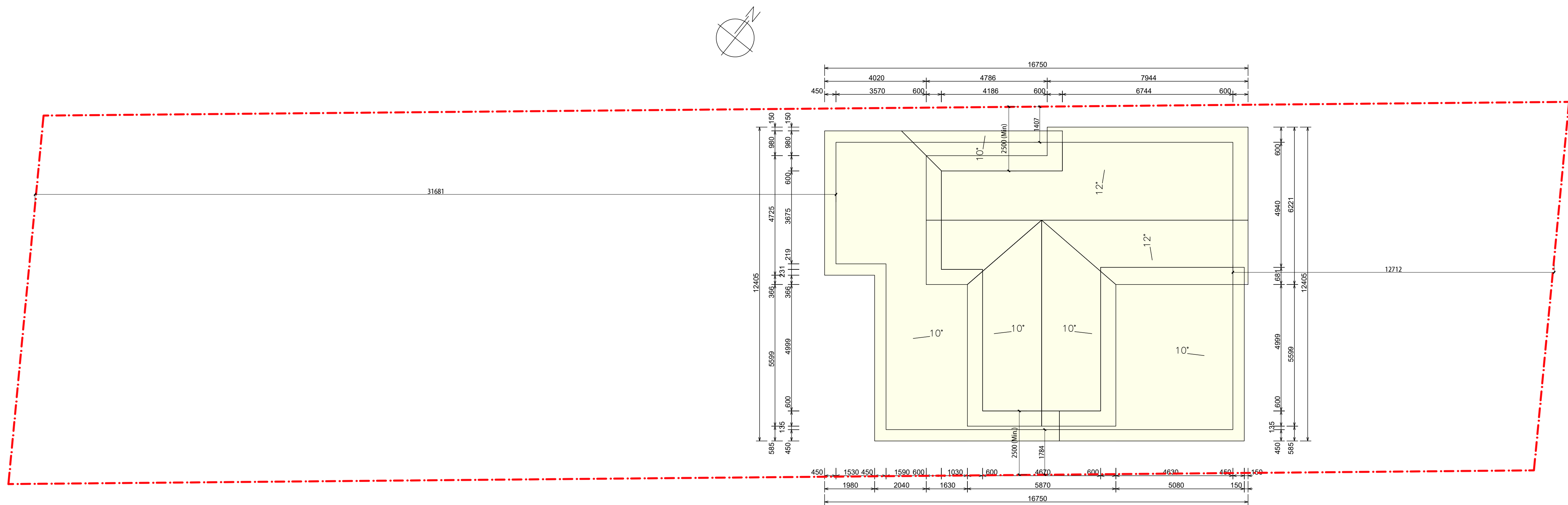
EXISTING BUILDING OUTLINE

**SMOKE ALARMS TO  
COMPLY WITH AS 3786**



## ROOF PLAN - EXISTING

SCALE 1:100



## ROOF PLAN - PROPOSED

SCALE 1:100


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1:100



2m 0 2m 4m 6m 8m 10m

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AVALON BEACH  
2107**

**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
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COUNCIL COMPLIANT PLANS**

LEGEND:

— — — EXISTING BUILDING OUTLINE

PROPOSED WORK

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Project ADDITIONS AND ALTERATIONS	Sheet  <div style="font-size: 48pt; font-weight: bold; text-align: center;">5</div>
Date 27-Sep-22	
Scale AS SHOWN	

DP No.	<b>11909</b>
LOT No.	<b>53</b>


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**Project Name and Address**

**JESSICA L` GREEN**  
**728 BARRENJOEY RD**  
**AVALON BEACH**  
**2107**



DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
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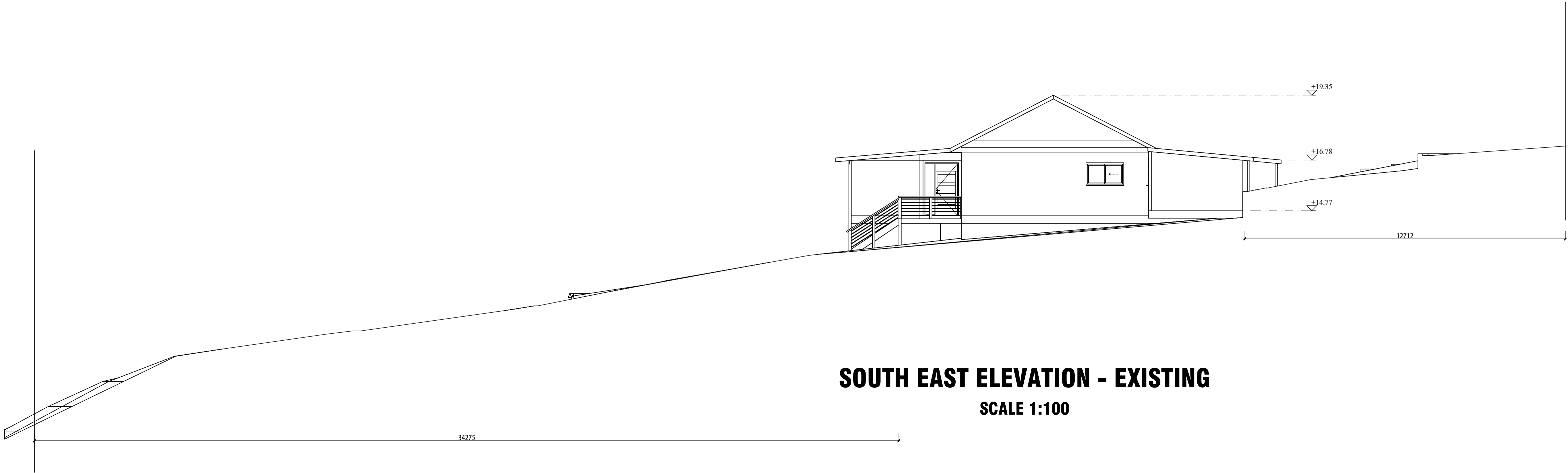
NEW WORKS:  
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LEGEND:

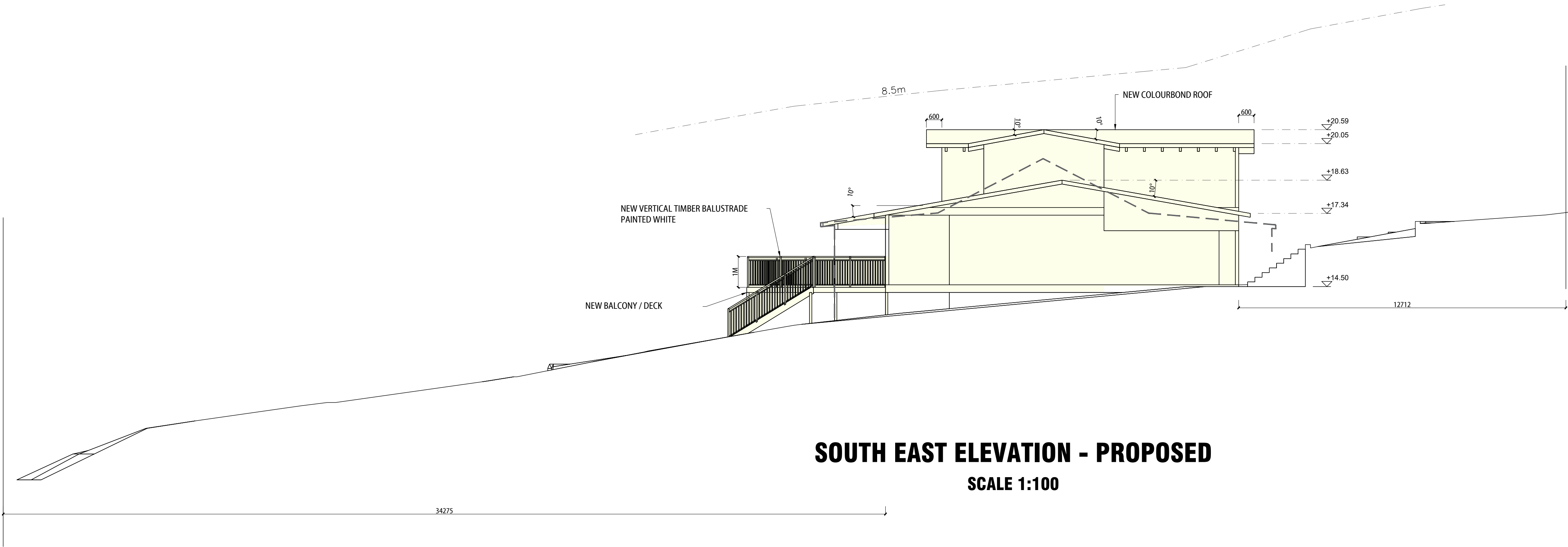
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

☆



SOUTH EAST ELEVATION - EXISTING  
SCALE 1:100



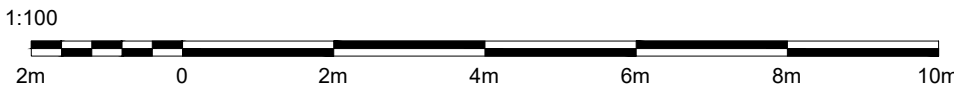
SOUTH EAST ELEVATION - PROPOSED  
SCALE 1:100

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3D VISUALISATION  
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COUNCIL COMPLIANT PLANS

LEGEND:

---

EXISTING BUILDING OUTLINE

PROPOSED WORK

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Project Additions and Alterations	Sheet
Date 27-Sep-22	6
Scale AS SHOWN	

DP No. 11909  
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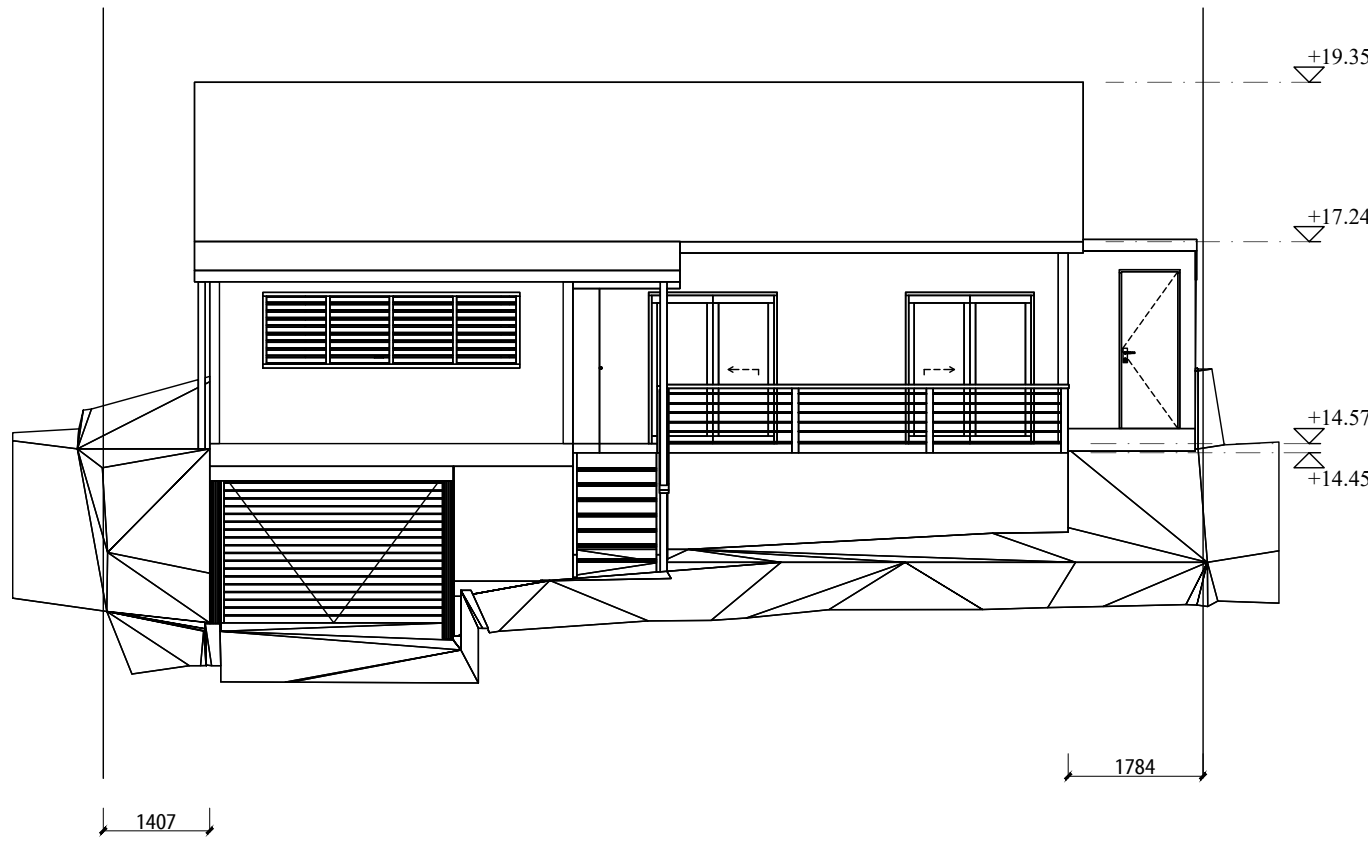
DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
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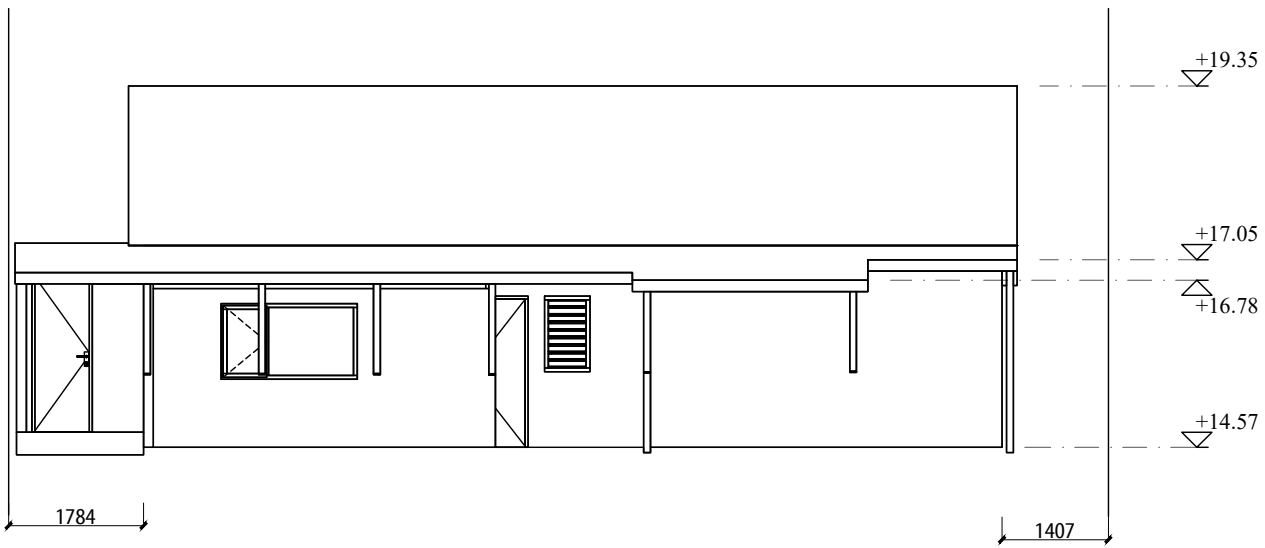
NEW WORKS:  
NEW 2ND STOREY ADDITION.  
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LEGEND:  
EXISTING BUILDING OUTLINE

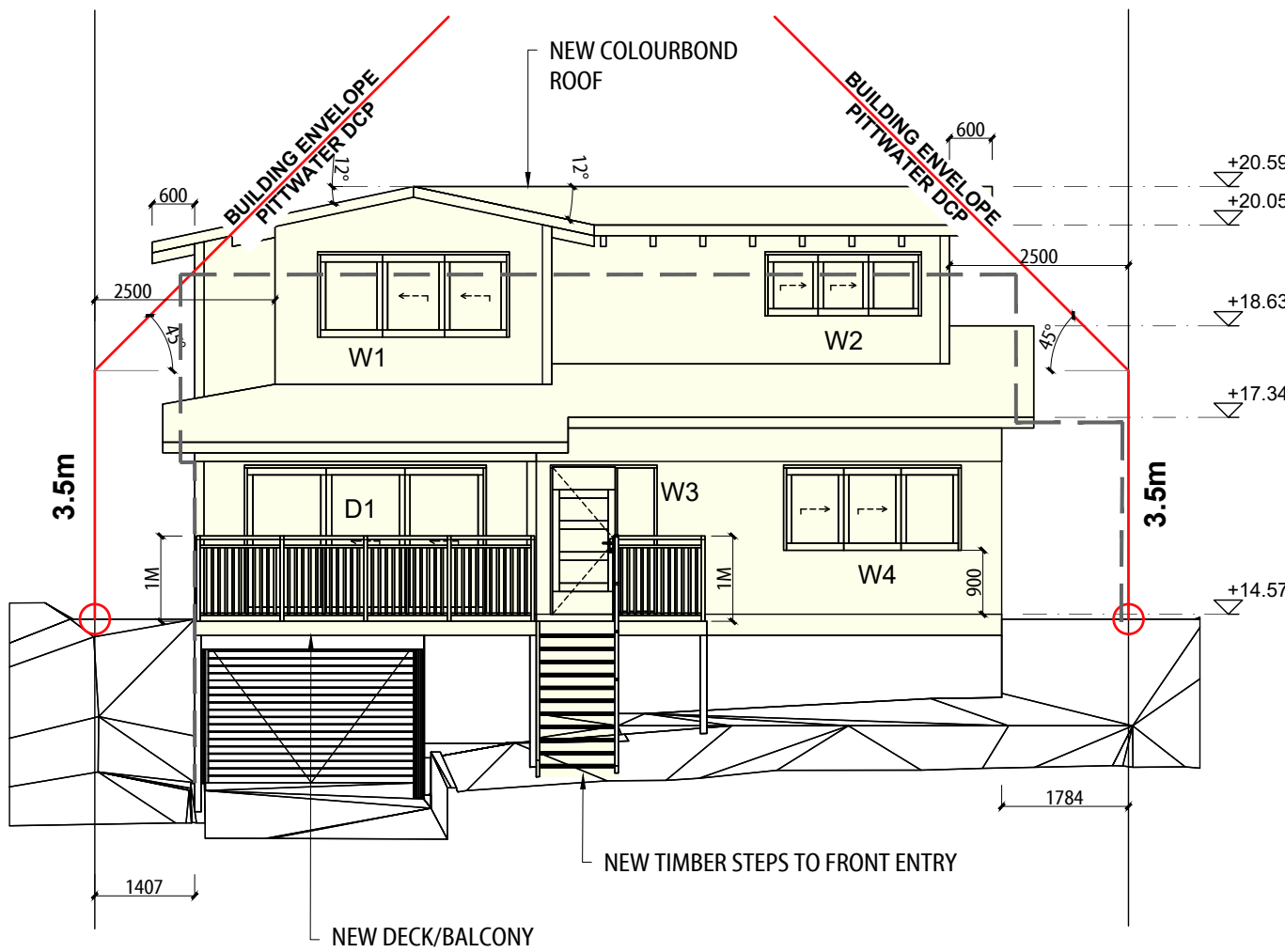
SMOKE ALARMS TO COMPLY WITH AS 3786  
★



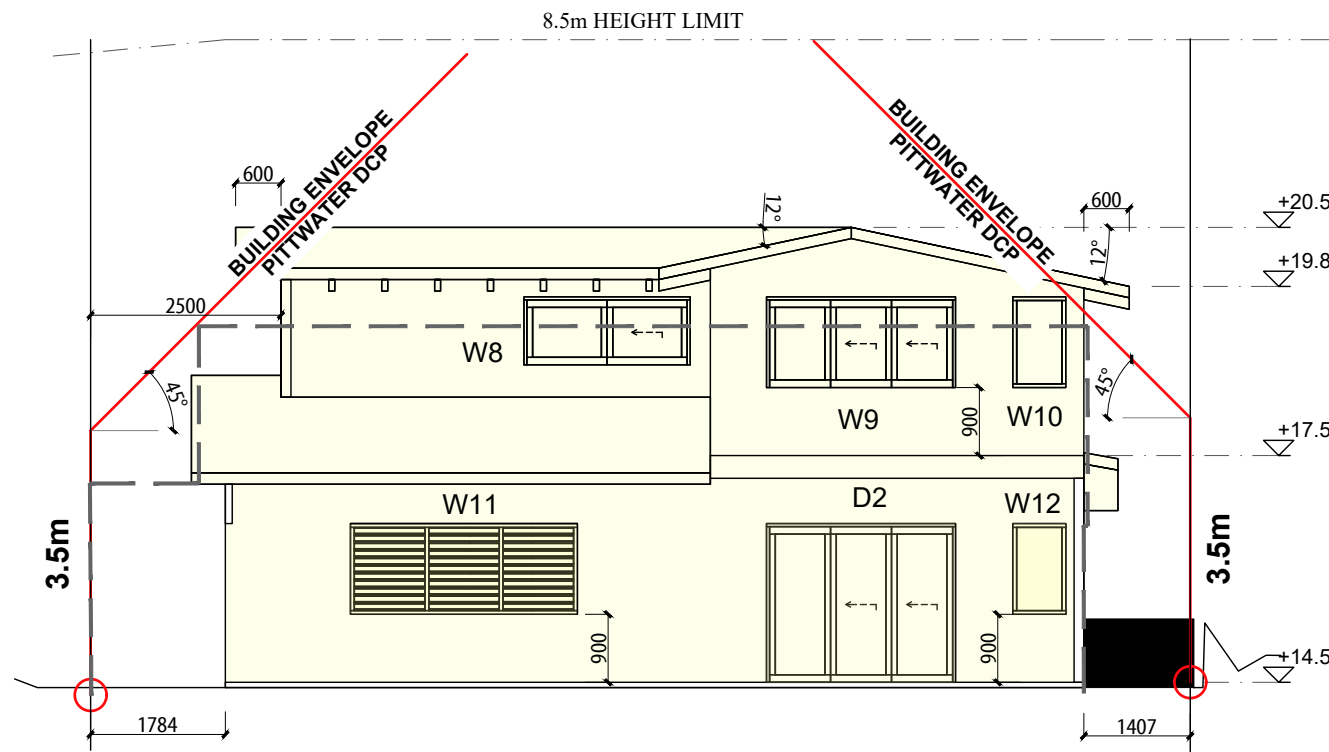
SOUTH WEST ELEVATION - EXISTING  
SCALE 1:100



NORTH EAST ELEVATION - EXISTING  
SCALE 1:100

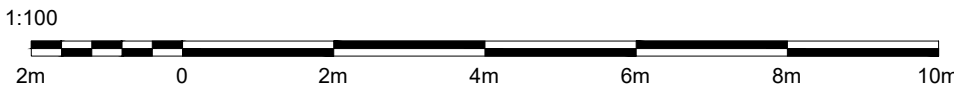


SOUTH WEST ELEVATION - PROPOSED  
SCALE 1:100



NORTH EAST ELEVATION - PROPOSED  
SCALE 1:100

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LEGEND:  
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Project ADDRESS AND ALTITUDE	Sheet <b>7</b>
Date 27-Sep-22	
Scale AS SHOWN	

DP No. 11909  
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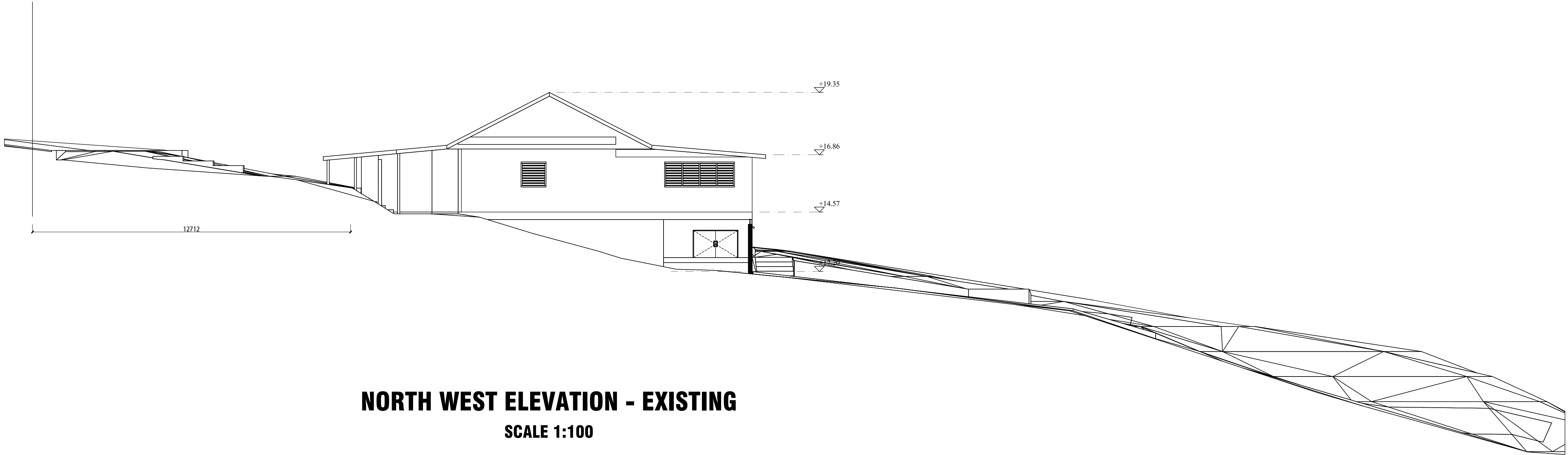
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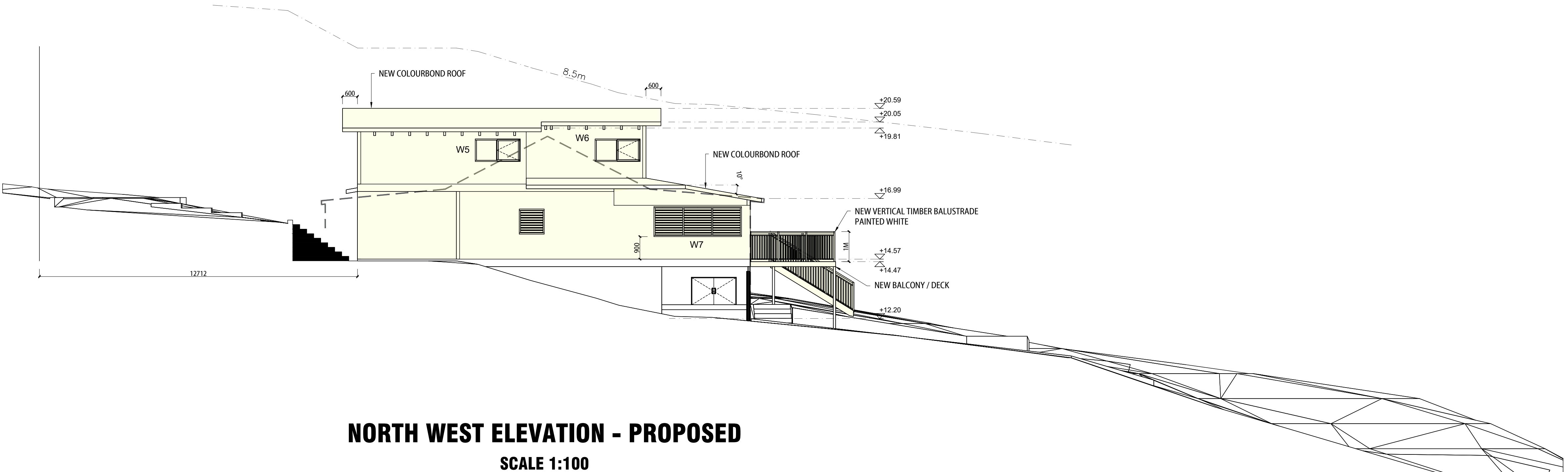
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LEGEND:  
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SMOKE ALARMS TO COMPLY WITH AS 3786  
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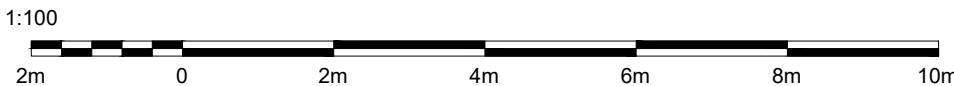
NORTH WEST ELEVATION - EXISTING  
SCALE 1:100



NORTH WEST ELEVATION - PROPOSED  
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AVALON BEACH  
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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
--- EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

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Project Additions and Alterations	Sheet 8
Date 27-Sep-22	
Scale AS SHOWN	

DP No. 11909  
LOT No. 53


A	ISSUED FOR DA	10.01.25
No.	Revision/Issue	Date

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18/12-14 WARATAH ST  
MONA VALE 2103  
www.draftinghelp.com.au  
02 8776 3474

Project Name and Address  
JESSICA L' GREEN  
728 BARRENJOEY RD  
AVALON BEACH  
2107



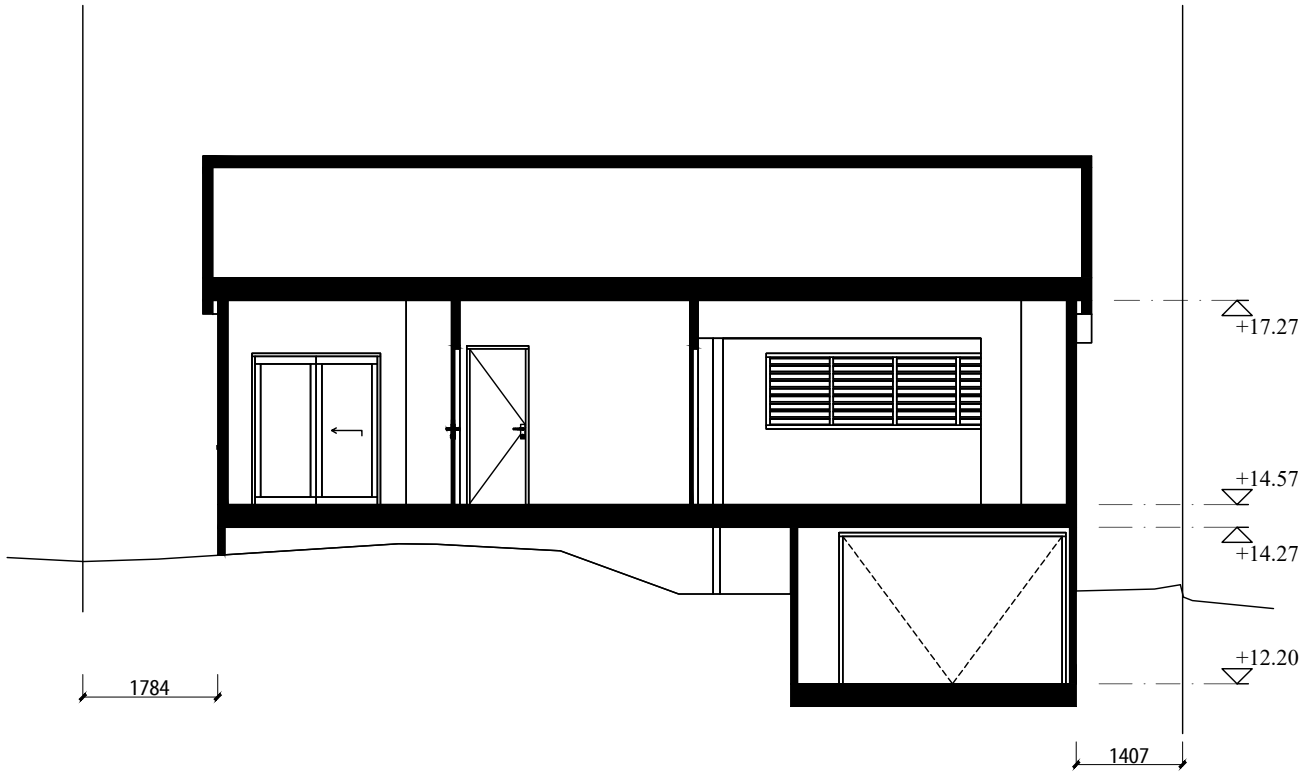
DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

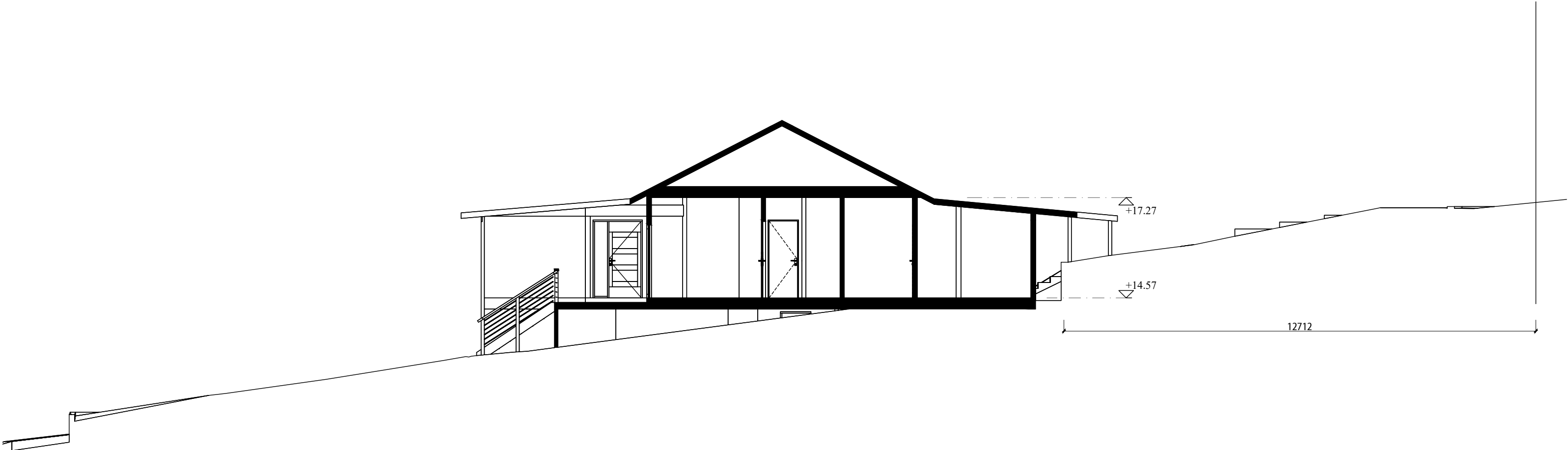
NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY  
NEW REAR GROUND FLOOR EXTENSION  
-----  
-----

LEGEND:  
EXISTING BUILDING OUTLINE

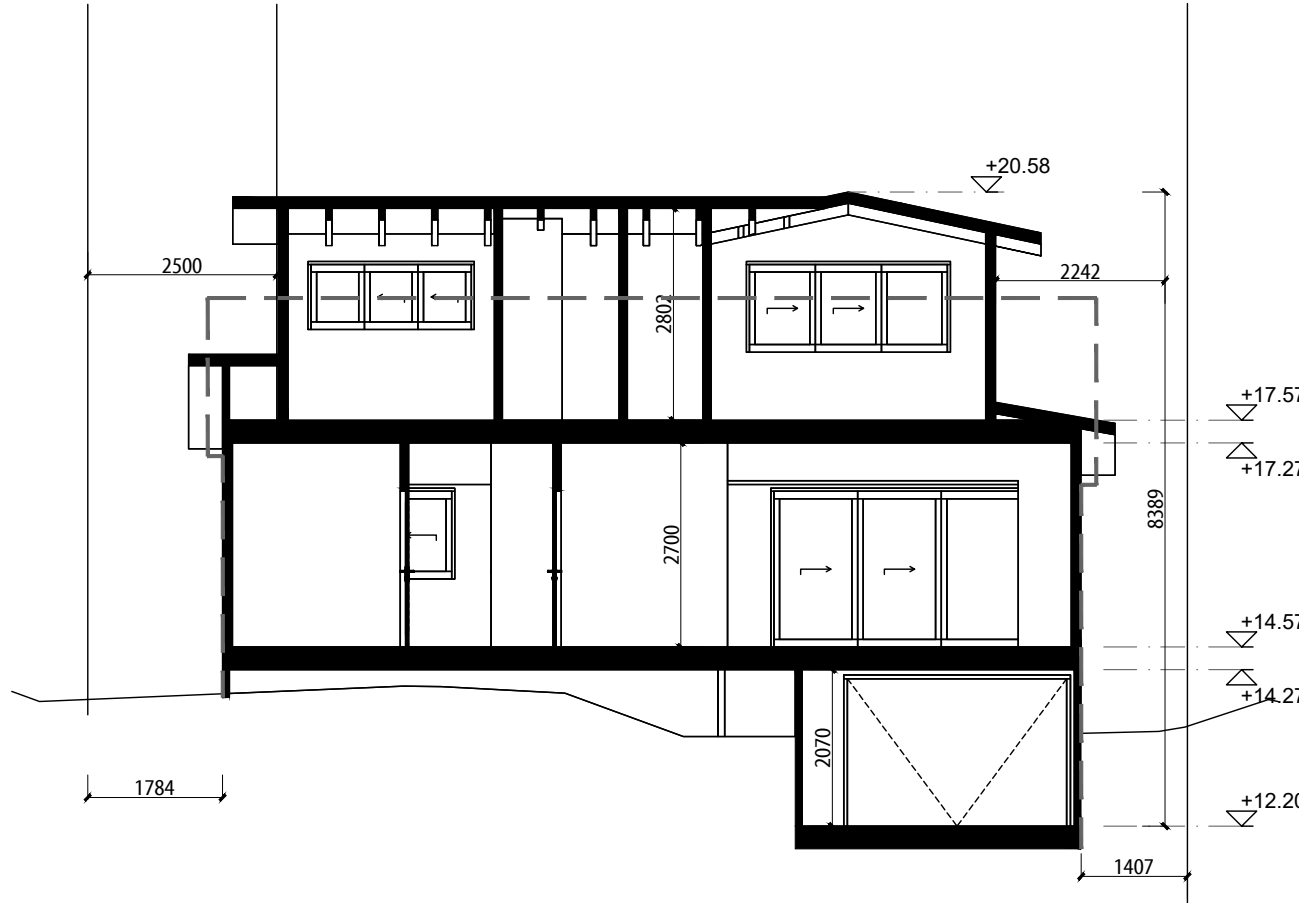
SMOKE ALARMS TO COMPLY WITH AS 3786  
☆



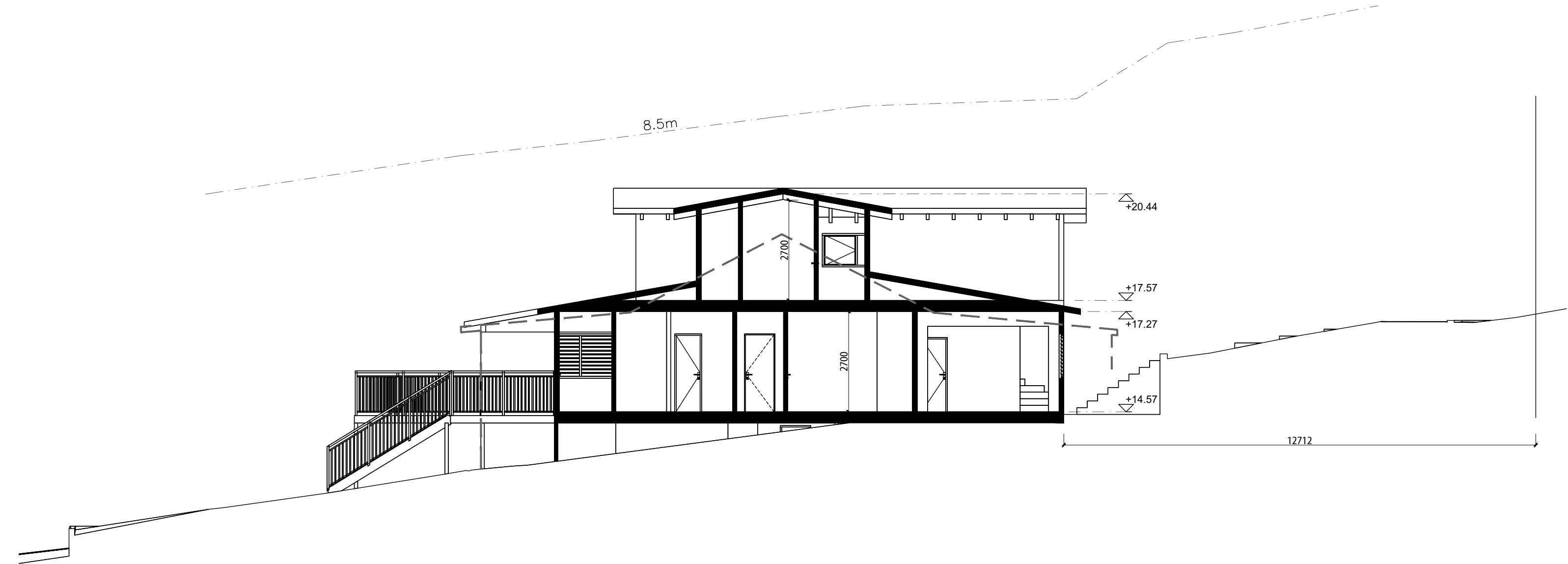
SECTION A - EXISTING  
SCALE 1:100



SECTION B - EXISTING  
SCALE 1:100



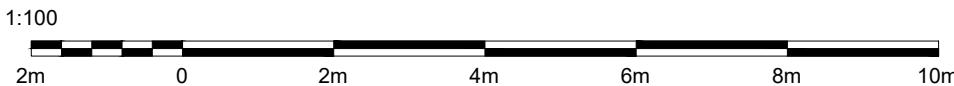
SECTION A - PROPOSED  
SCALE 1:100



SECTION B - PROPOSED  
SCALE 1:100

GENERAL NOTES

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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
--- EXISTING BUILDING OUTLINE  
--- PROPOSED WORK  
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Project ADDRESS AND ALTERNATIONS	Sheet
Date 27-Sep-22	9
Scale AS SHOWN	

DP No. 11909  
LOT No. 53

A	ISSUED FOR DA	10.01.25
No.	Revision/Issue	Date

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02 8776 3474


Project Name and Address  
JESSICA L' GREEN  
728 BARRENJOEY RD  
AVALON BEACH  
2107

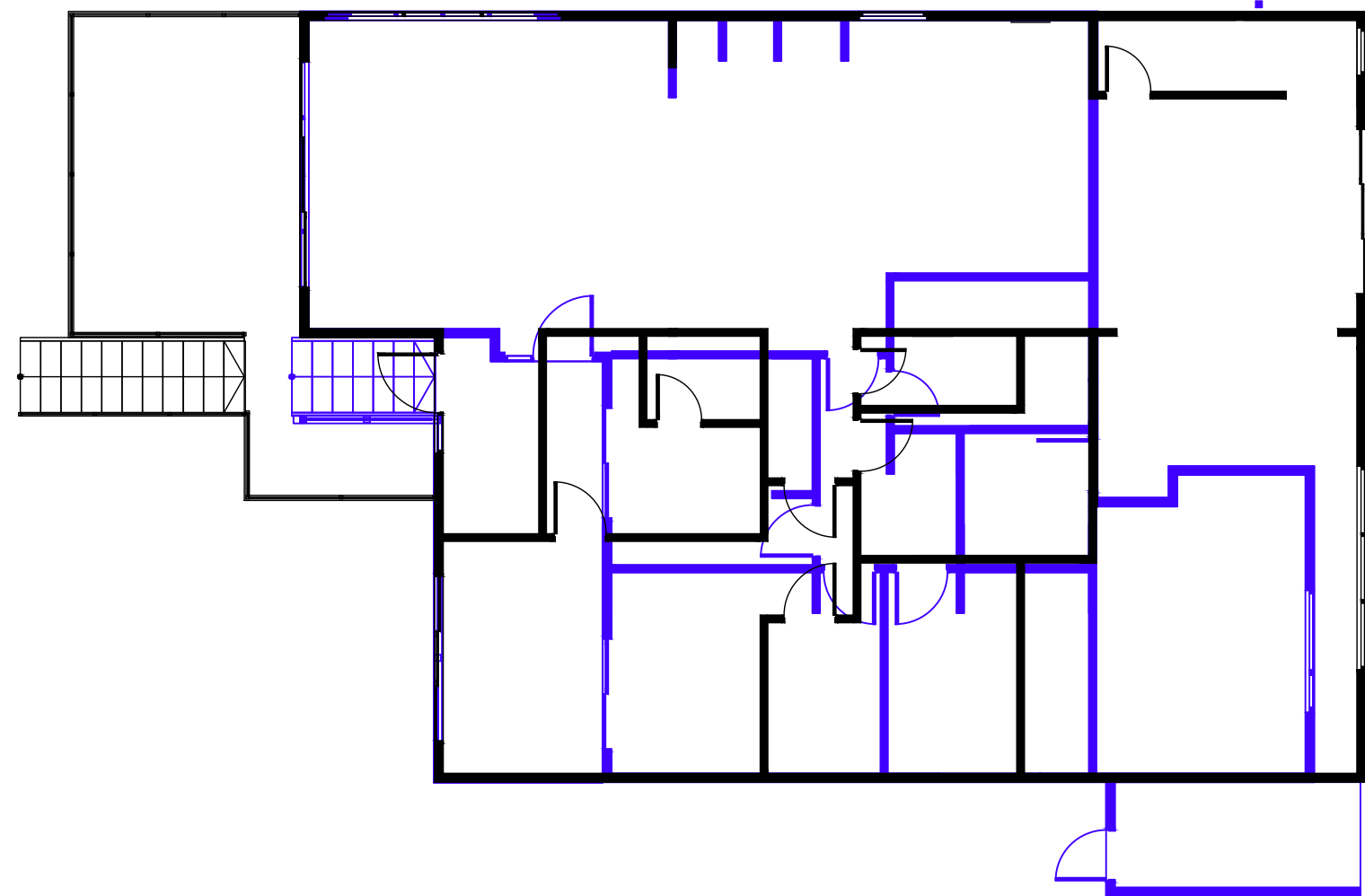
DP: **11909**  
LOT No. **53**  
SITE AREA: **866.30MSQ.**  
EXIST. GFA: **112.00MSQ.**  
PROPOSED GFA: **253.00MSQ**  
MAX. BUILDING HEIGHT: **8.5M**

**NEW WORKS:**  
**NEW 2ND STOREY ADDITION.**  
**INTERNAL ALTS AND ADS**  
**NEW FRONT DECK AND ENTRY**  
**NEW REAR GROUND FLOOR EXTENSION**  
 =====  
 =====

LEGEND:

EXISTING BUILDING OUTLINE  
— — — —

SMOKE ALARMS TO  
COMPLY WITH AS 3786  


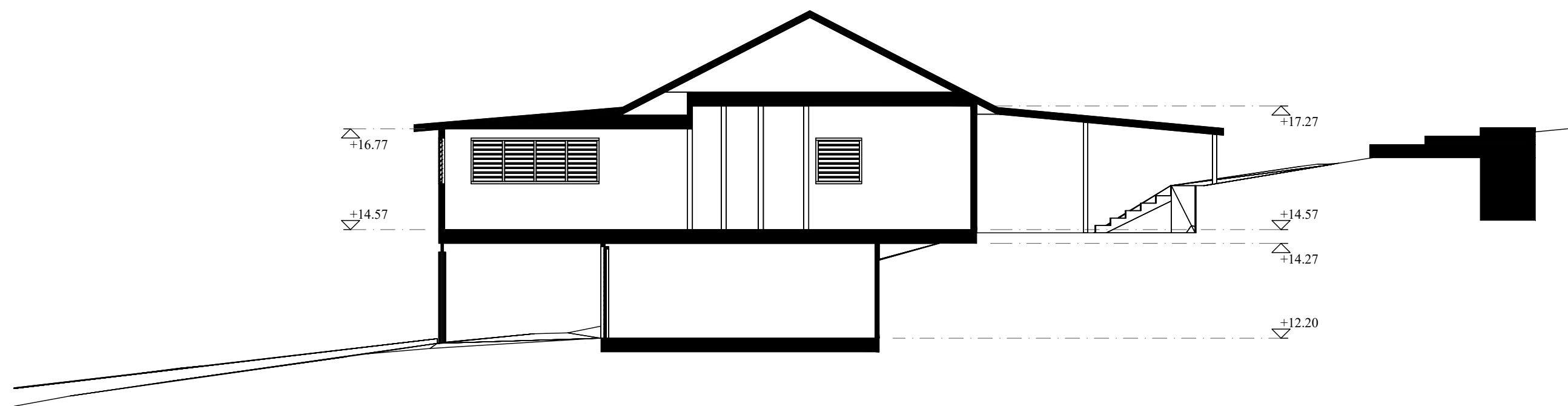


## GROUND FLOOR DEMO PLAN

SCALE 1:100

**LEGEND:**

 EXISTING WORKS TO BE REMOVED

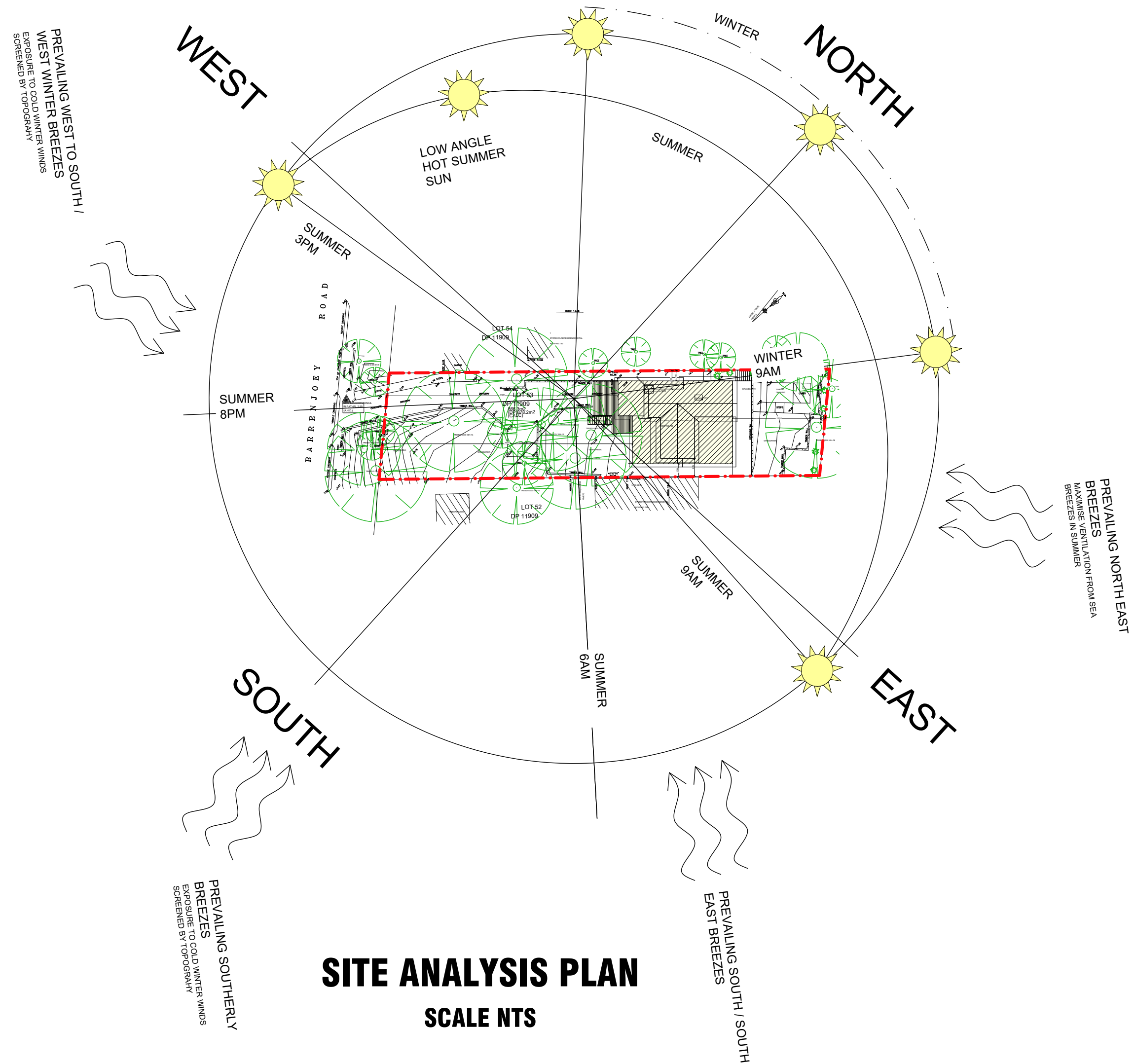
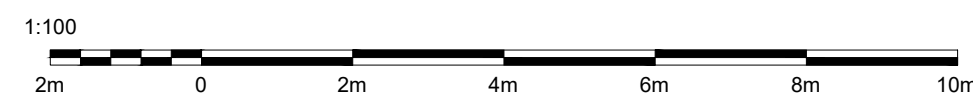


**SECTION C - EXISTING**  
**SCALE 1:100**

### GENERAL NOTES

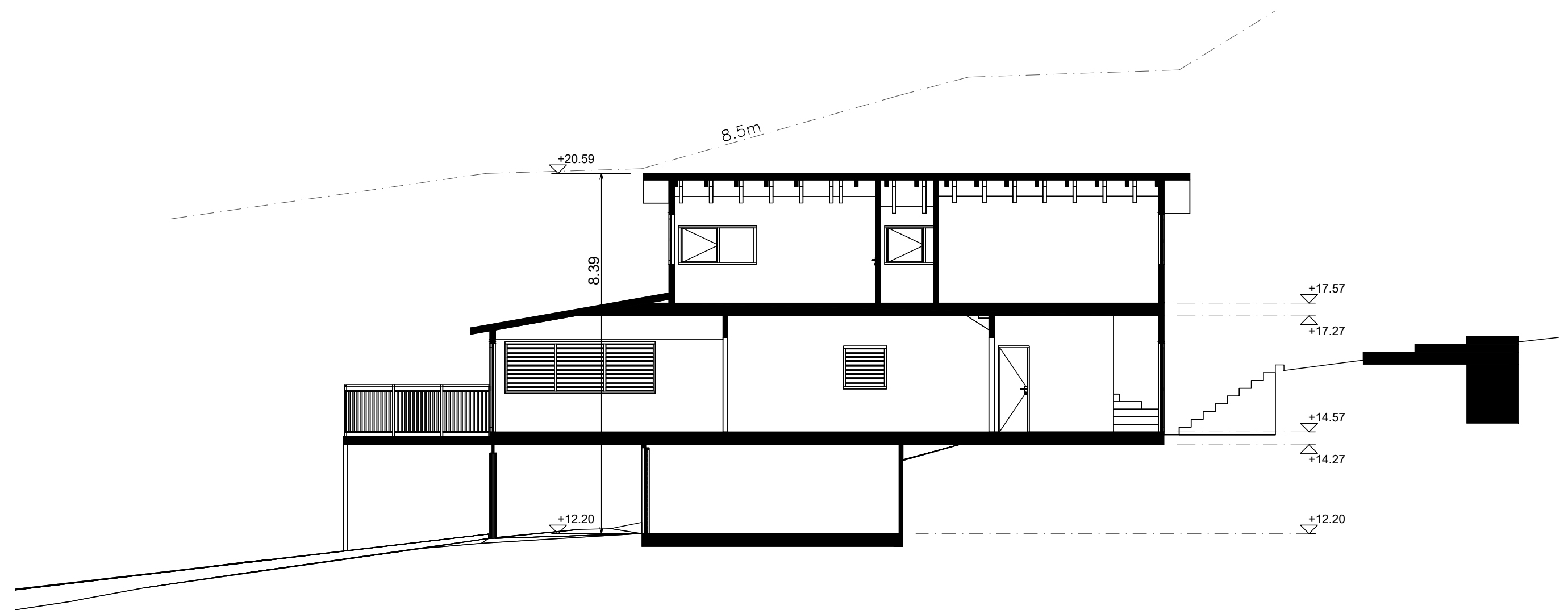
- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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# SITE ANALYSIS PLAN



## SCALE NTS



**SECTION C - PROPOSED**  
**SCALE 1:100**

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AVALON BEACH  
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**ARCHITECTURAL DRAFTING  
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DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

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Project ADDITONS AND ALTERATIONS	Sheet
Date 27-Sep-22	<b>10</b>
Scale AS SHOWN	

DP No. **11909**

LOT No. **53**


ISSUED FOR DA	10.01.25
Revision/Issue	Date

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**728 BARRENJOEY RD**  
**AVALON BEACH**  
**2107**



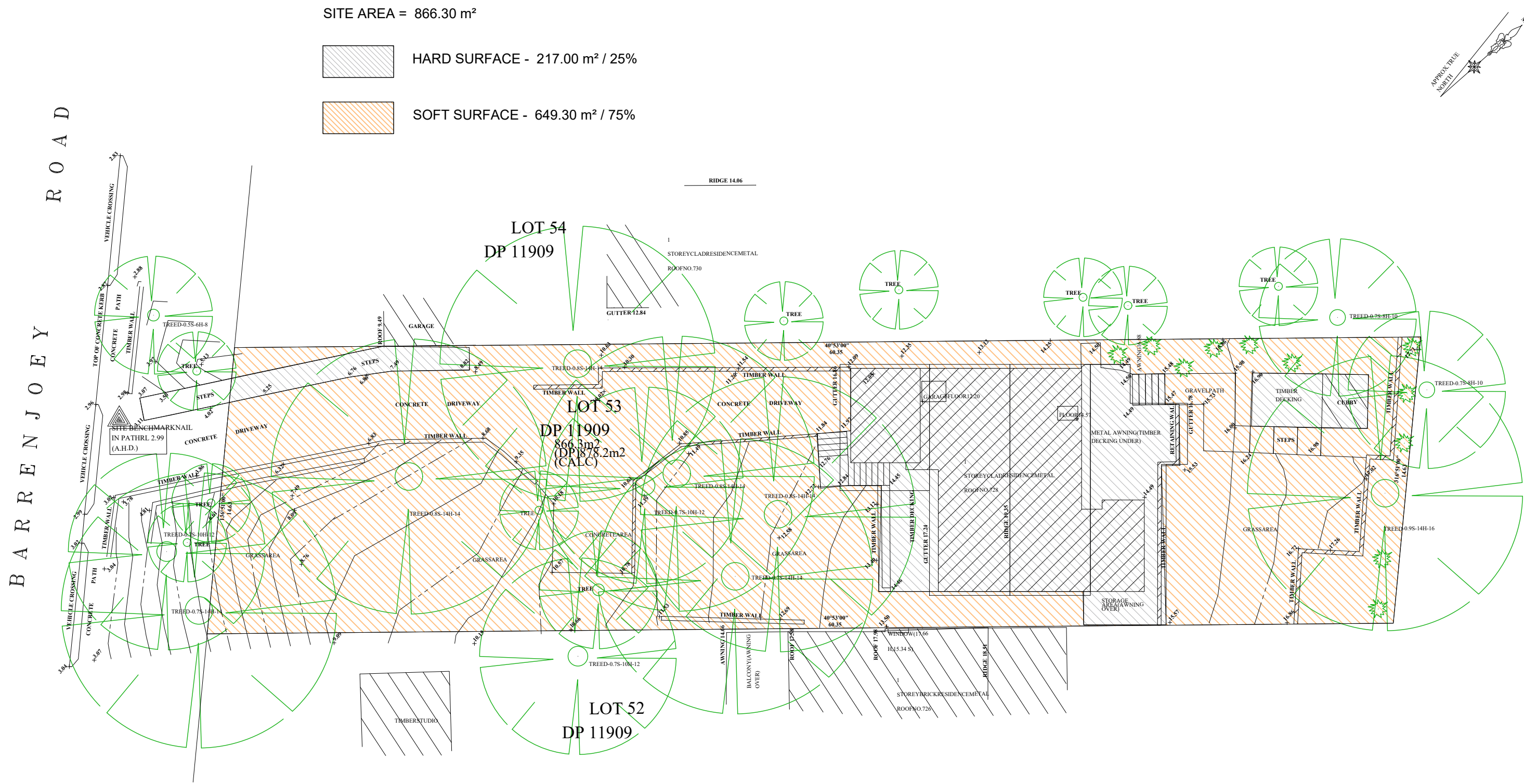
DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

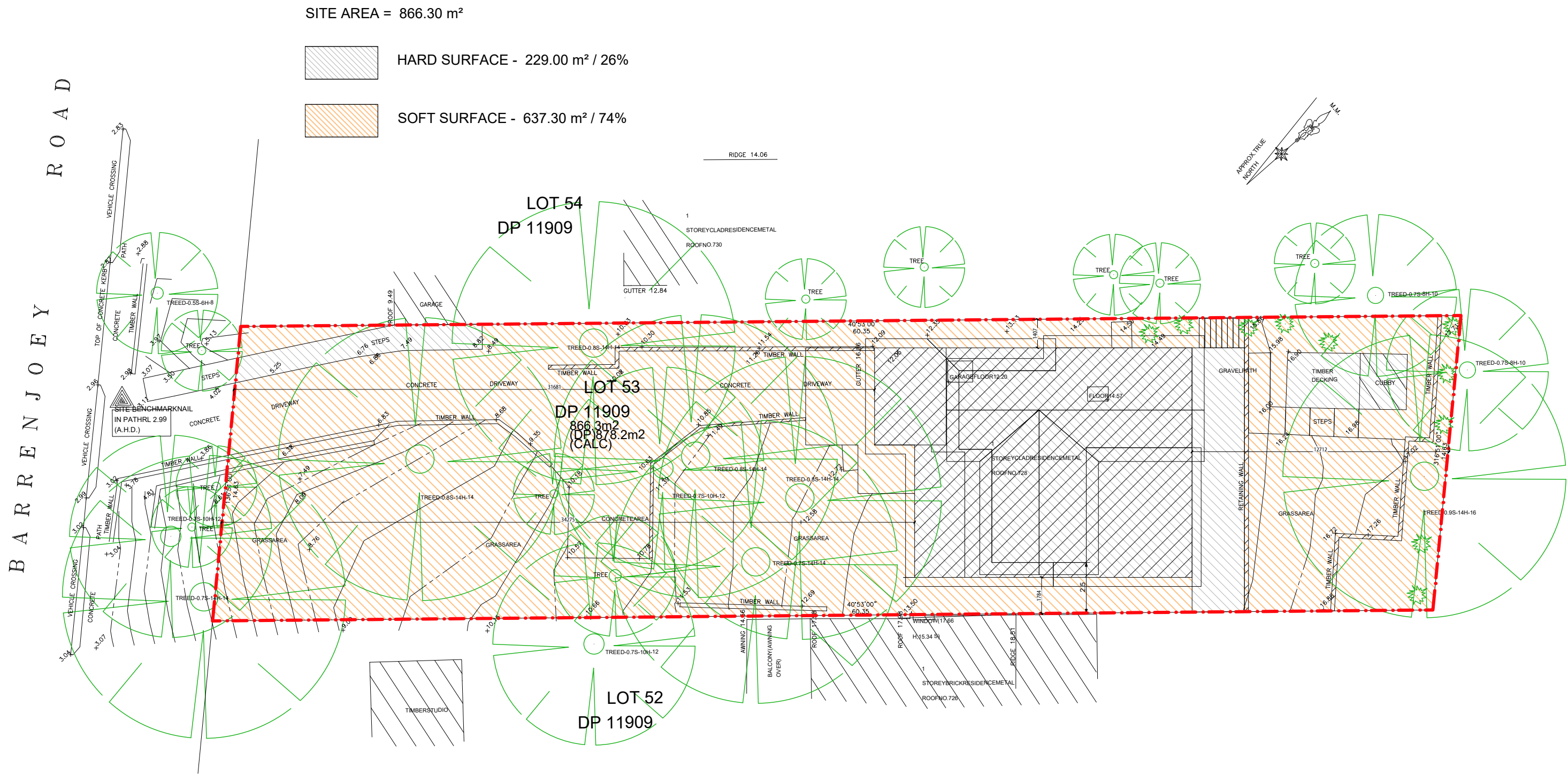
NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY  
NEW REAR GROUND FLOOR EXTENSION  
-----  
-----

LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786  
★



LANDUSE DIAGRAM - EXISTING  
SCALE 1:200



LANDUSE DIAGRAM - PROPOSED  
SCALE 1:200

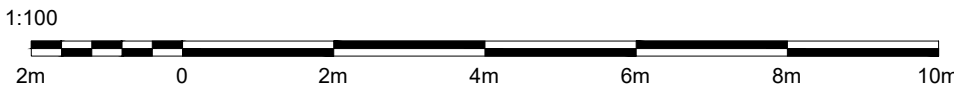
GENERAL NOTES

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•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.

•CONNECT DIPS TO EXISTING STORMWATER SYSTEM

ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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Project  
Additions and  
Alterations

Date  
27-Sep-22

Scale  
AS SHOWN

Sheet  
11

DP No. 11909  
LOT No. 53

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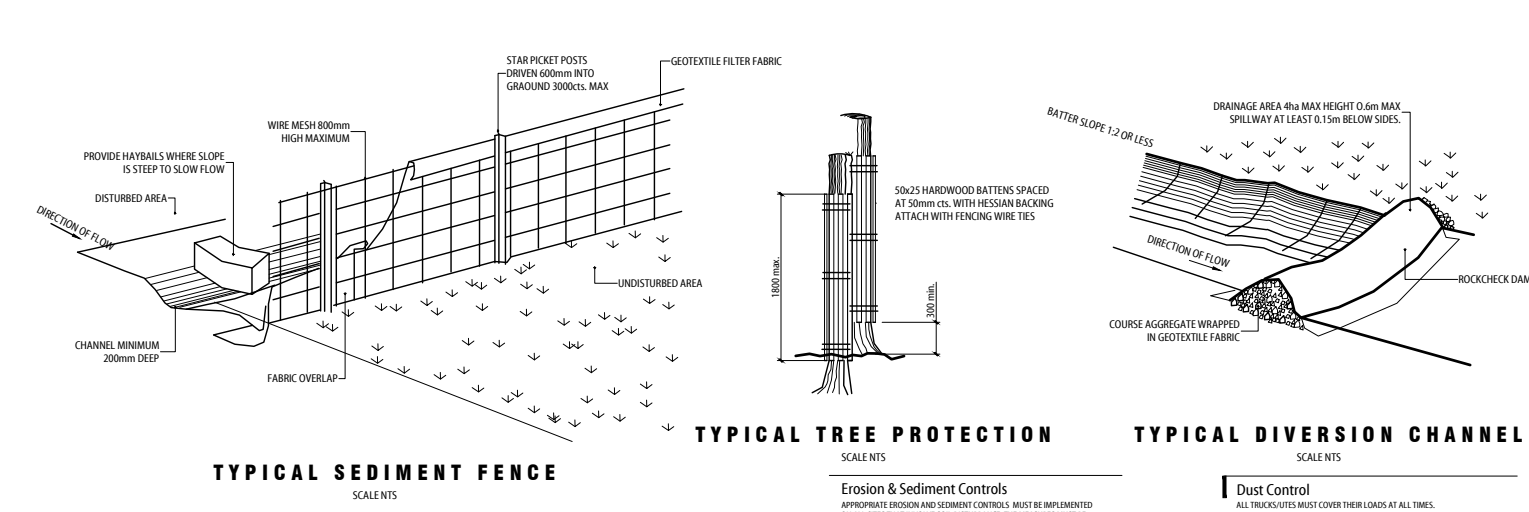


DEVELOPMENT PROPOSAL

DP: **11909**  
LOT No. **53**  
SITE AREA: **866.30MSQ.**  
EXIST. GFA: **112.00MSQ.**  
PROPOSED GFA: **253.00MSQ**  
MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:  
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**INTERNAL ALTS AND ADS**  
**NEW FRONT DECK AND ENTRY**  
**NEW REAR GROUND FLOOR EXTENSION**  
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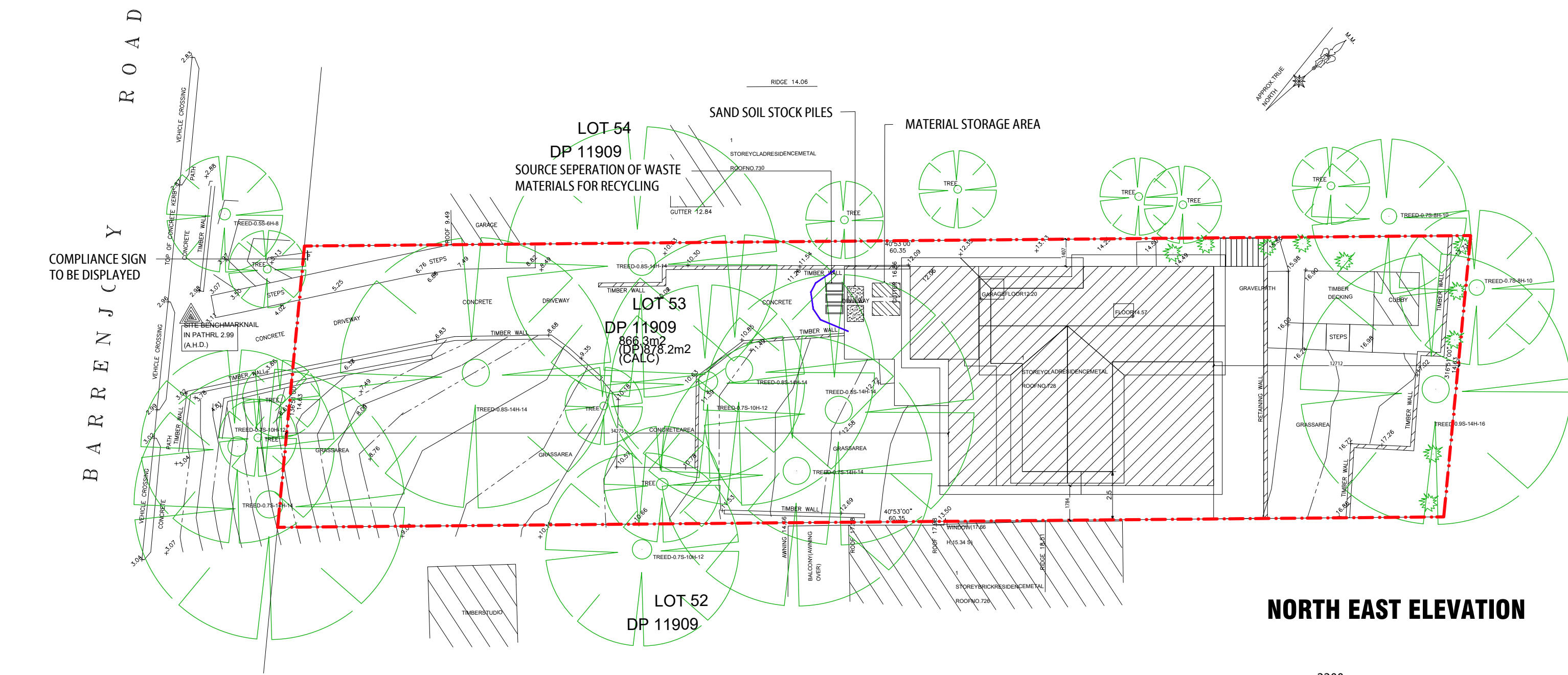
LEGEND:  
EXISTING BUILDING OUTLINE  
  
  
SMOKE ALARMS TO COMPLY WITH AS 3786  
★



**Vehicle Movements**  
To ensure compliance with the relevant standards, the following measures shall be implemented:  
1. All vehicles shall be loaded and unloaded in a designated area.  
2. All vehicles shall be parked in a designated area.  
3. All vehicles shall be loaded and unloaded in a designated area.  
4. All vehicles shall be parked in a designated area.  
5. All vehicles shall be loaded and unloaded in a designated area.  
6. All vehicles shall be parked in a designated area.  
7. All vehicles shall be loaded and unloaded in a designated area.  
8. All vehicles shall be parked in a designated area.  
9. All vehicles shall be loaded and unloaded in a designated area.  
10. All vehicles shall be parked in a designated area.

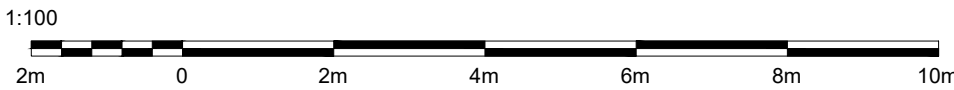
**Sediment Fences**  
Sediment fences shall be constructed in accordance with the following requirements:  
1. All sediment fences shall be constructed in accordance with the following requirements.  
2. All sediment fences shall be constructed in accordance with the following requirements.  
3. All sediment fences shall be constructed in accordance with the following requirements.  
4. All sediment fences shall be constructed in accordance with the following requirements.  
5. All sediment fences shall be constructed in accordance with the following requirements.  
6. All sediment fences shall be constructed in accordance with the following requirements.  
7. All sediment fences shall be constructed in accordance with the following requirements.  
8. All sediment fences shall be constructed in accordance with the following requirements.  
9. All sediment fences shall be constructed in accordance with the following requirements.  
10. All sediment fences shall be constructed in accordance with the following requirements.

**Dust Control**  
Dust control measures shall be implemented in accordance with the following requirements:  
1. All dust control measures shall be implemented in accordance with the following requirements.  
2. All dust control measures shall be implemented in accordance with the following requirements.  
3. All dust control measures shall be implemented in accordance with the following requirements.  
4. All dust control measures shall be implemented in accordance with the following requirements.  
5. All dust control measures shall be implemented in accordance with the following requirements.  
6. All dust control measures shall be implemented in accordance with the following requirements.  
7. All dust control measures shall be implemented in accordance with the following requirements.  
8. All dust control measures shall be implemented in accordance with the following requirements.  
9. All dust control measures shall be implemented in accordance with the following requirements.  
10. All dust control measures shall be implemented in accordance with the following requirements.

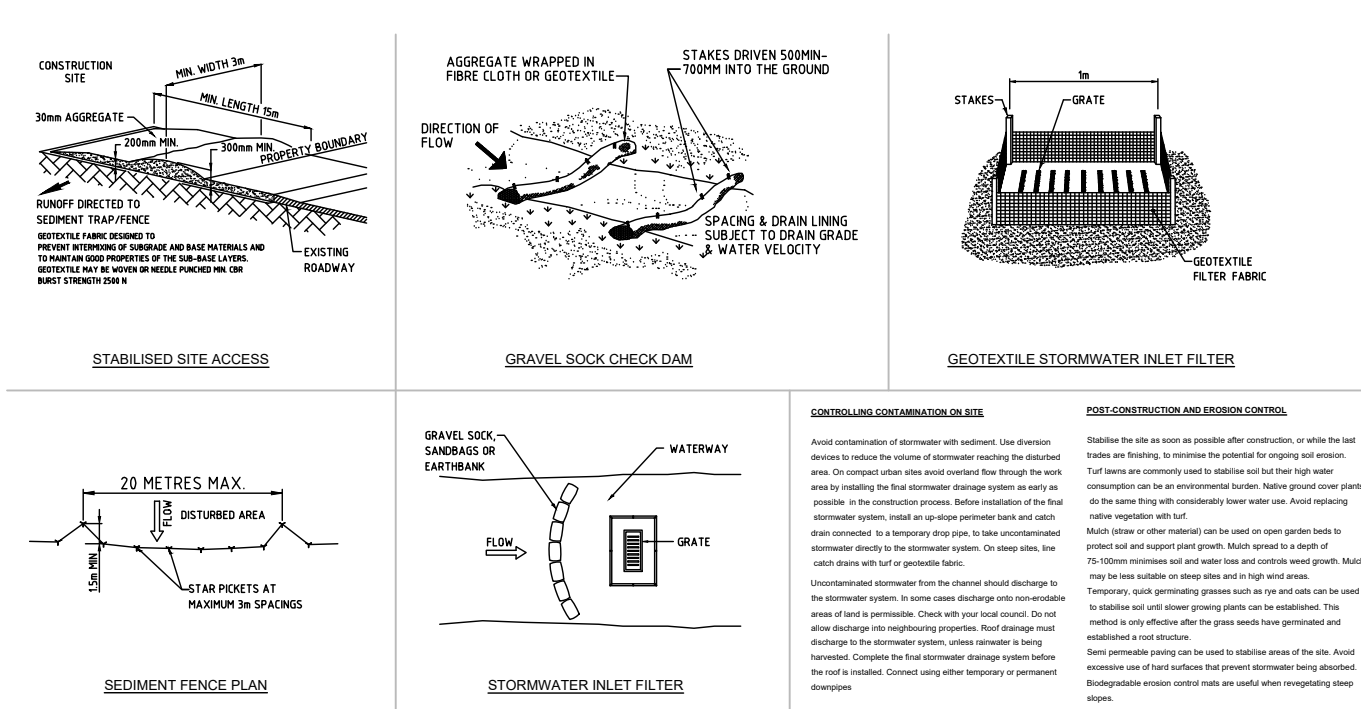


**SEDIMENT & EROSION PLAN**  
SCALE 1:200

**GENERAL NOTES**  
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ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



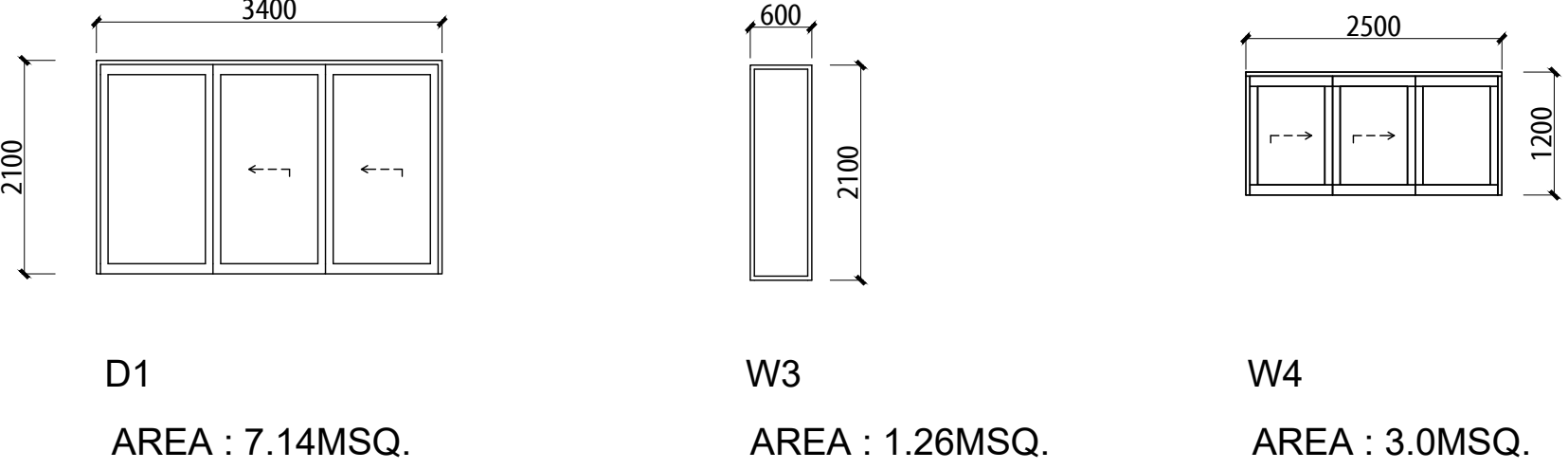
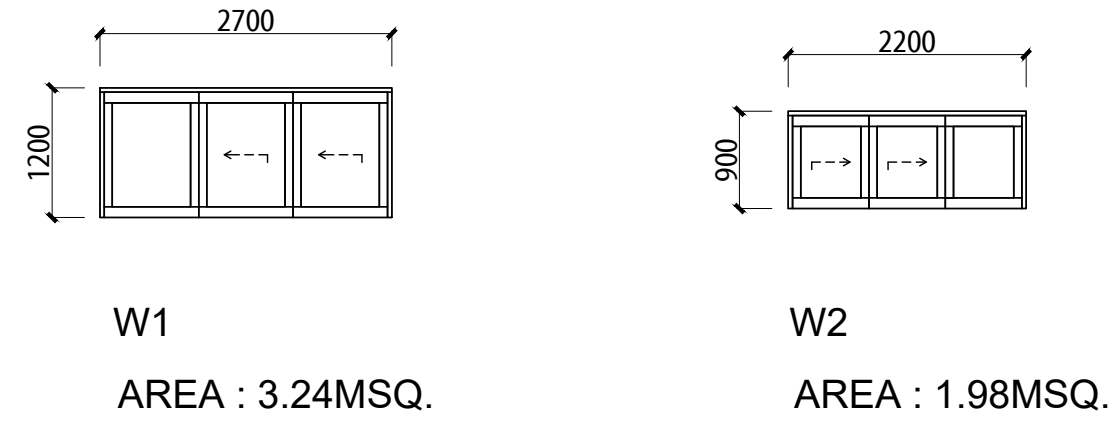
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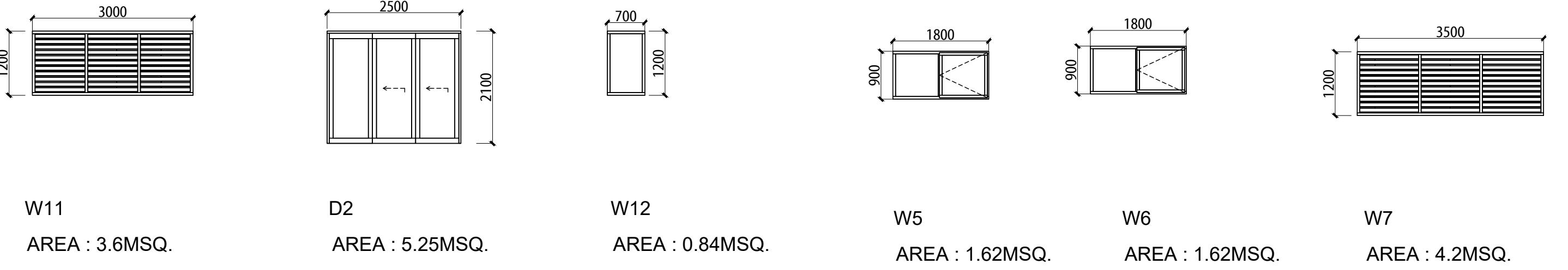
SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS

**NEW WINDOWS AND DOORS FOR BASIX**

**SOUTH WEST ELEVATION**



**NORTH WEST ELEVATION**



**NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING**

**728 BARRENJOEY RD**  
**AVALON BEACH**  
**2107**

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
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ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
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Project ADDRESS AND ALTERNATION  
Date: 27-Sep-22  
Scale: AS SHOWN  
Sheet: 12

DP No. 11909  
LOT No. 53

A ISSUED FOR DA 10.01.25  
No. Revision/Issue Date

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AVALON BEACH  
2107



DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

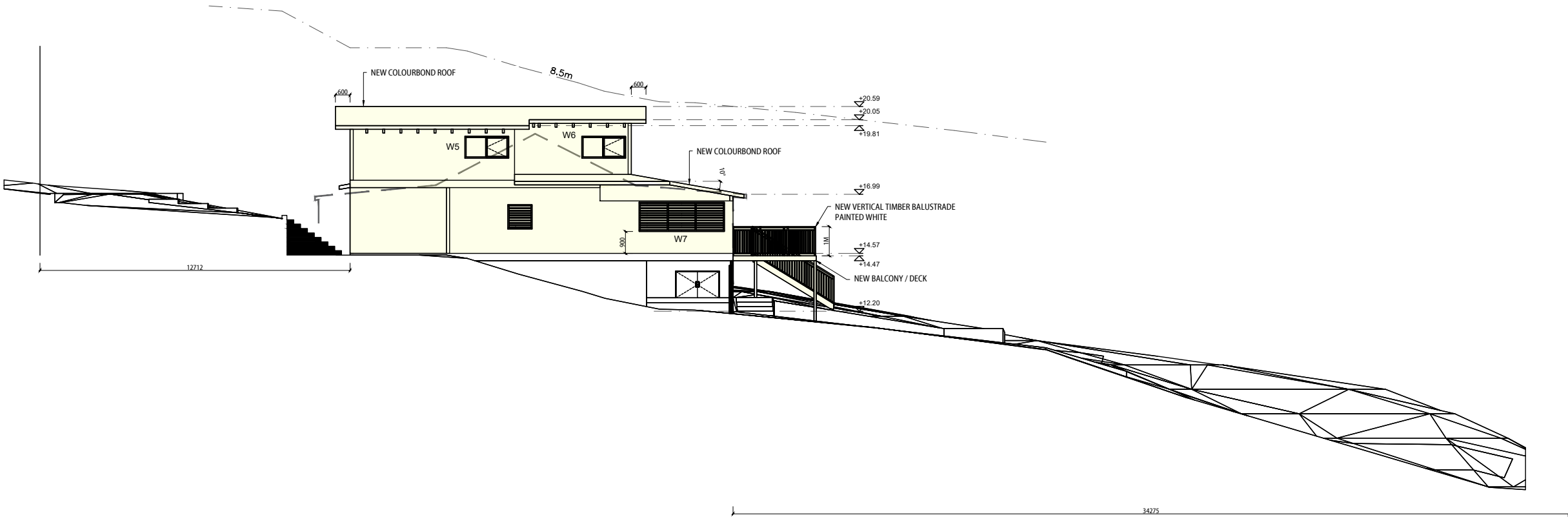
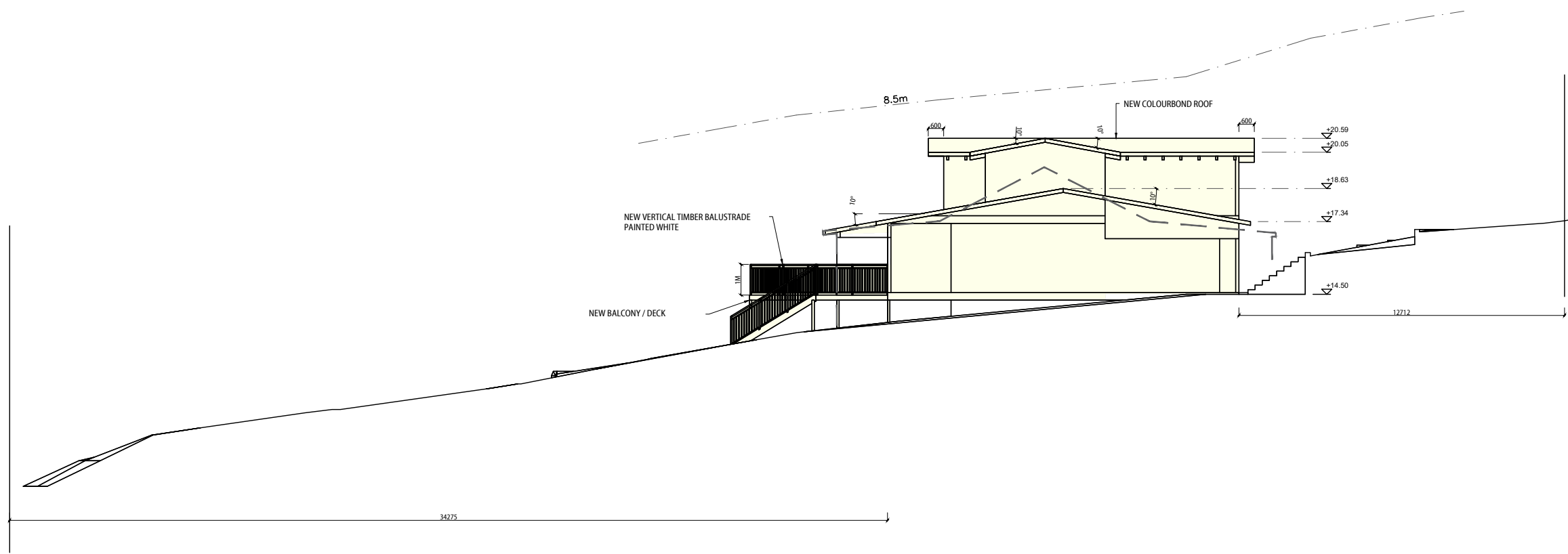
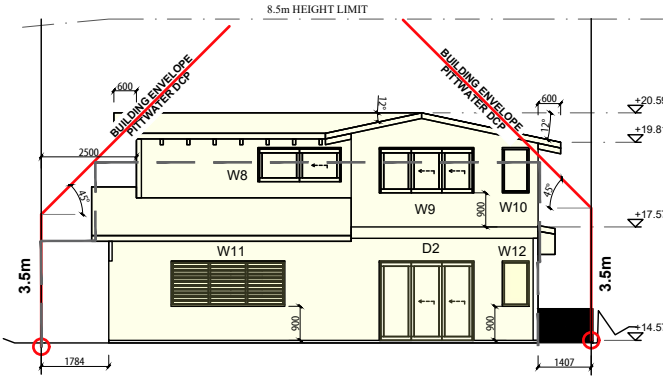
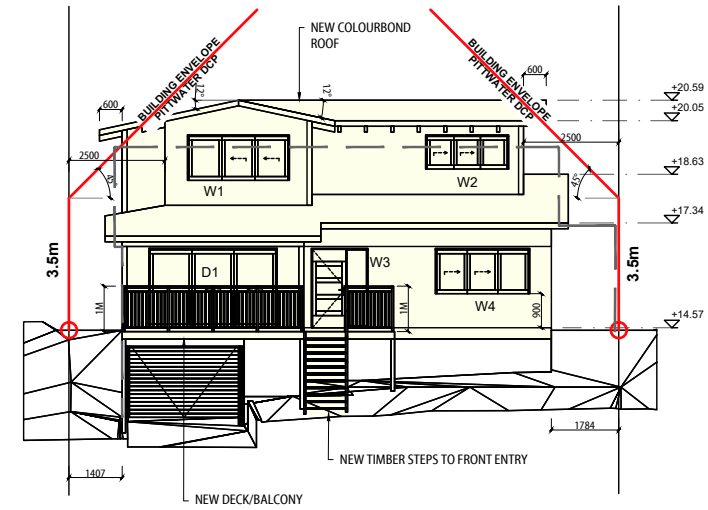
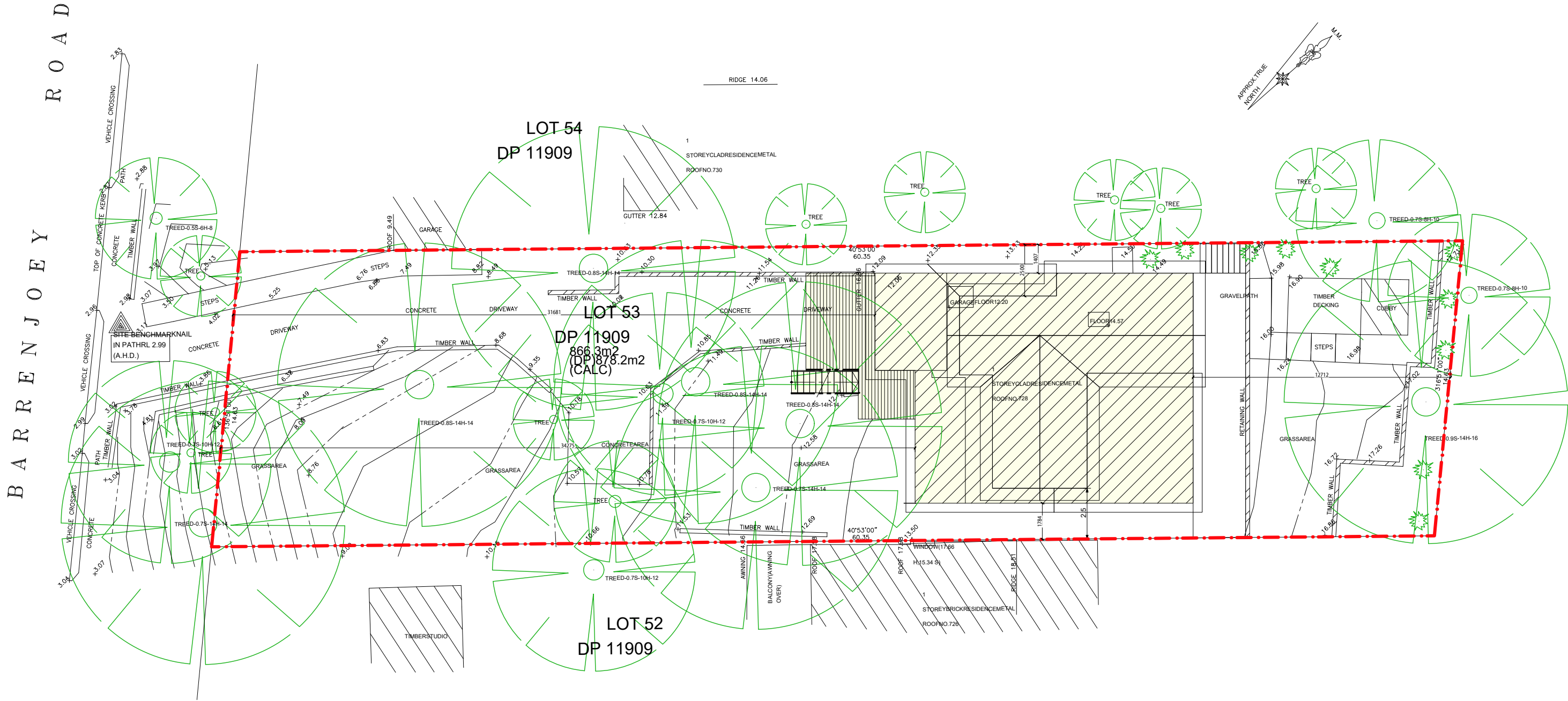
NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY  
NEW REAR GROUND FLOOR EXTENSION  
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LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786  
☆

NOTIFICATION PLAN

728 BARRENJOEY RD  
AVALON BEACH  
2107



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3D VISUALISATION  
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