DP: **11909** LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M

**NEW WORKS: NEW 2ND STOREY ADDITION.** INTERNAL ALTS AND ADS **NEW FRONT DECK AND ENTRY NEW REAR GROUND FLOOR EXTENSION** 

EXISTING BUILDING OUTINE SMOKE ALARMS TO COMPLY WITH AS 3786

LEGEND:









BASIX™Certificate	Project address	
Building Sustainability Index	Project name	73124, 728 Barrenjoey Rd_02
www.planningportal.nsw.gov.au/development-and-assessment/basix	Street address	728 BARRENJOEY Road AVALON BEACH 2107
Alterations and Additions	Local Government Area	Northern Beaches Council
	Plan type and number	Deposited Plan DP11909
Certificate number: A1778366_02	Lot number	53
	Section number	*.
This certificate confirms that the proposed development will meet the NSW	Project type	
government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments.	Dwelling type	Dwelling house (detached)
have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.plannipportal.new.gov.au/definitions	Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
	N/A	N/A
Secretary Date of Issue: Monday, 14 April 2025 To be valid, this certificate must be lodged within 3 months of the date of issue.	Certificate Prepared by place	se complete before submitting to Council or PCA)
To be valid, this sestimate must be loaged within 3 months of the date of issue.	Name / Company Name: Max Brightw	ell
عاقاله	ABN (if applicable): 95897024384	
NEW		

	1.001			
Secretary Date of Issue: Monday, 14 April 2025 To be valid, this certificate must be lodged within 3 months of the date of issue.	Certificate Prepared by (please	complete before	submitting to Council or PC	CA)
To be faile, and extensive mast be reaged maint of the table of loads.	Name / Company Name: Max Brightwell			
	ABN (if applicable): 95897024384			
NSW GOVIERMENT				
SAY E CIRCUIC (HT				
Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluore emitting-diode (LED) lamps.	ecent, compact fluorescent, or light-		~	V
Fixtures			•	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres particularly applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres particularly applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres particularly applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres particularly applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres particularly applicant must ensure the flow rate no greater than 9 litres particularly applicant must ensure the flow rate no greater than 9 litres particularly applicant must ensure the flow rate no greater than 9 litres particularly applicant must ensure the flow rate no greater than 9 litres particularly applicant must ensure the flow rate of the flow rate	per minute or a 3 star water rating.		~	v
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per aver	rage flush or a minimum 3 star water			

rating.		*		~	~
The applicant must ensure new or altered	taps have a flow rate no greater than 9 litres pe	r minute or minimum 3 star water rating.		~	
Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Cortifier Check
nsulation requirements					
	tered construction (floor(s), walls, and ceilings/				
	ational insulation is not required where the are s of altered construction where insulation alrea	a of new construction is less than 2m2, b) dy exists.	•	•	•
insulation specified is not required for part	s of altered construction where insulation alrea	dy exists.		_	_
					_
insulation specified is not required for part	s of altered construction where insulation alrea  Additional insulation required (R-	dy exists.			_
insulation specified is not required for part  Construction	s of altered construction where insulation alrea  Additional insulation required (R- value)	Cther specifications			
insulation specified is not required for part  Construction  concrete slab on ground floor.	s of altered construction where insulation alrea  Additional insulation required (R- value)  nil	Cther specifications		•	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevent overshadowing specifications must be satisfied for each window and glazed door.	~	~	-
The following requirements must also be satisfied in relation to each window and glazed door:		~	~
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-vatee and a Solar Heat Gain Coefficient (SHCC) no greater than that listed in the table below. Total system U-values and SHGC must be calculated in accordance with National Preneditation Rating Council (MFC) conditions.		~	~
Each window or glazed door with improved frames, or pyrulytic two-or glass, or clearful payleties glazing, or toxediar just must have a U-wake and a Sollar Head Gain Coefficier (6/HCC) or generate than that listed in the table below 10 data yaken U-wakes and SHOGs must be calculated in accordance with National Ferestination Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHOG may be substituted.		~	~
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or grazed door and no more than 2400 mm above the sill.	V	~	v
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		~	-
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The specing between battens must not be more than 50 mm.		~	V

Blazing requir	ements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier
Vindows and gla	zed doors glazing	g requirements							
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	SW	3.24	0	а	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
W2	SW	1.98	0	a	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
W3	SW	1.26	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
W4	SW	3	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
W5	NW	1.62	0	0	eave/ verandeh/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			

GENERAL NOTES
●BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
•CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



lazing require	ements						Show on DA Plans	Show on CC/CDC Plans & specs	Cartifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
We	NW	0.84	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
W7	NW	4.2	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic law-e, (U-value: 3.99, SHGC: 0.4)			
W8	NE	0.96	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W9	NE	3	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W10	NE	1.2	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
lazing require	ements						Showon	Show on CC/CDC	Certifie

							DA Plans	Plans & specs	Gheck
dows and glaz	ed doors glazing	requirements							
/indow/door umber	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
/11	NE	3.6	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
/12	NE	1.2	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
1	N	7.14	D	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
2	NE	5.25	D	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			

### DISCLAIMER:

THE DRAWINGS PROVIDED HEREIN HAVE BEEN COMPILED BY A DRAFTING HELP PTY LTD BASED ON THE DESIGN SPECIFICATIONS AND INSTRUCTIONS PROVIDED BY THE OWNER. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY, THE DRAFTSMAN DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN'S COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, OR SPECIFIC PROJECT REQUIREMENTS. IT IS RECOMMENDED THAT ALL DESIGNS BE REVIEWED BY A QUALIFIED PROFESSIONAL BEFORE IMPLEMENTATION. THE OWNER ACCEPTS FULL RESPONSIBILITY FOR THE DESIGN AND ANY ASSOCIATED OUTCOMES.

SMOKE ALARMS TO COMPLY WITH AS 3786

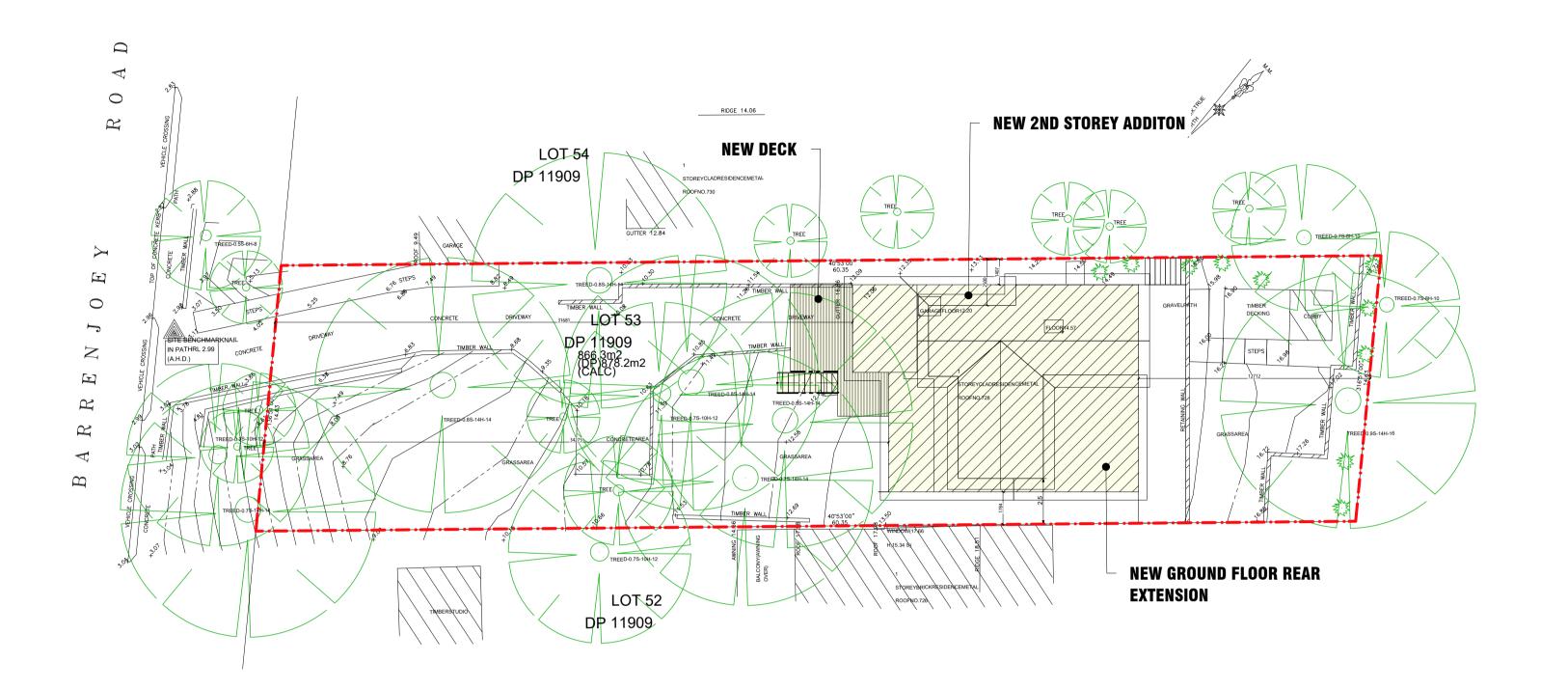
NOTE: 1ST FLOOR WINDOWS

TO BE RESTRICTED

1:100						
2m	0	2m	4m	6m	8m	10m

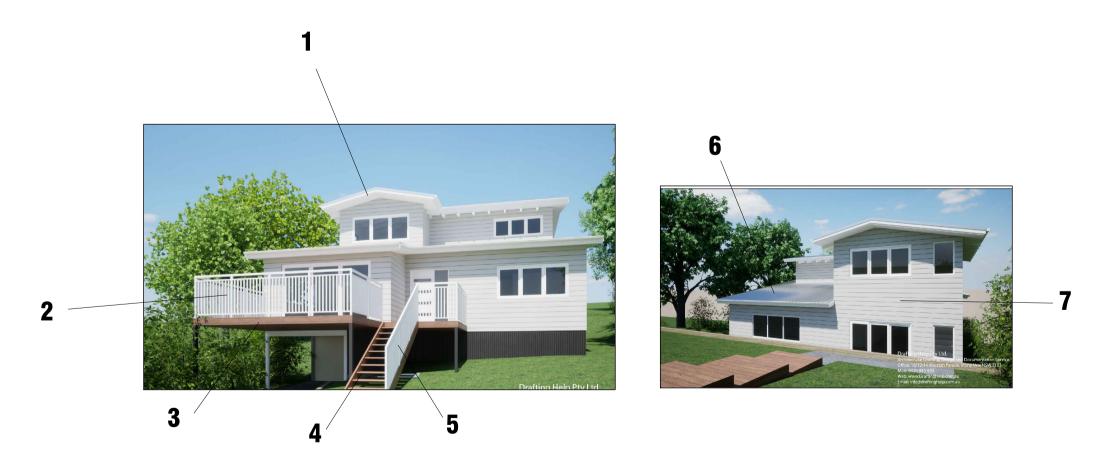
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### THIS DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL AUSTRALIAN STANDARDS



### **SITE PLAN SCALE 1:200**

### MATERIALS AND FINISHES



- 1. ALL CLADDING IS- H3 DESIGN PINE WEATHERBOARD PROFILE 'CHAMFER' 166MM X 18MM - IN DULUX TRANQUIL RETREAT
- 2. BALUSTRADE IN TIMBER PAINTED IN VIVID WHITE 3. ALL DECKING IS 140MM HARDWOOD DECKING BOARDS
- 4. ALL DECKING AND STAIRS HARDWOOD
- 5. BALUSTRADE IN TIMBER PAINTED IN VIVID WHITE
- 6. ALL ROOFING IS CORRUGATED IRON, IF LOWER THAT 5 DEGREES IN PITCH FOR LOWER FLOOR ROOFS ROOFING WILL BE TRIMDEK. ROOFING COLOURS WILL BE COLORBOND MONUMENT. ALL DOWN PIPES AND FLASHING WILL BE IN COLOUR MONUMENT
- 7. ALL WINDOWS ARE TIMBER PAINTED IN VIVID WHITE.

# BEACH

ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE COUNCIL COMPLIANT PLANS

27-Sep-22 AS SHOWN DP No. 11909

ISSUED FOR DA 10.01.25

DRAFTING HELP PTY LTD 18/12-14 WARATAH ST MONA VALE 2103 www.draftinghelp.com.au 02 8776 3474

Project Name and Address JESSICA L` GREEN 728 BARRENJOEY RD **AVALON BEACH** 

DP: 11909
LOT No. 53
SITE AREA: 866.30MSQ.
EXIST. GFA: 112.00MSQ.
PROPOSED GFA: 253.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:

NEW 2ND STOREY ADDITION.

INTERNAL ALTS AND ADS

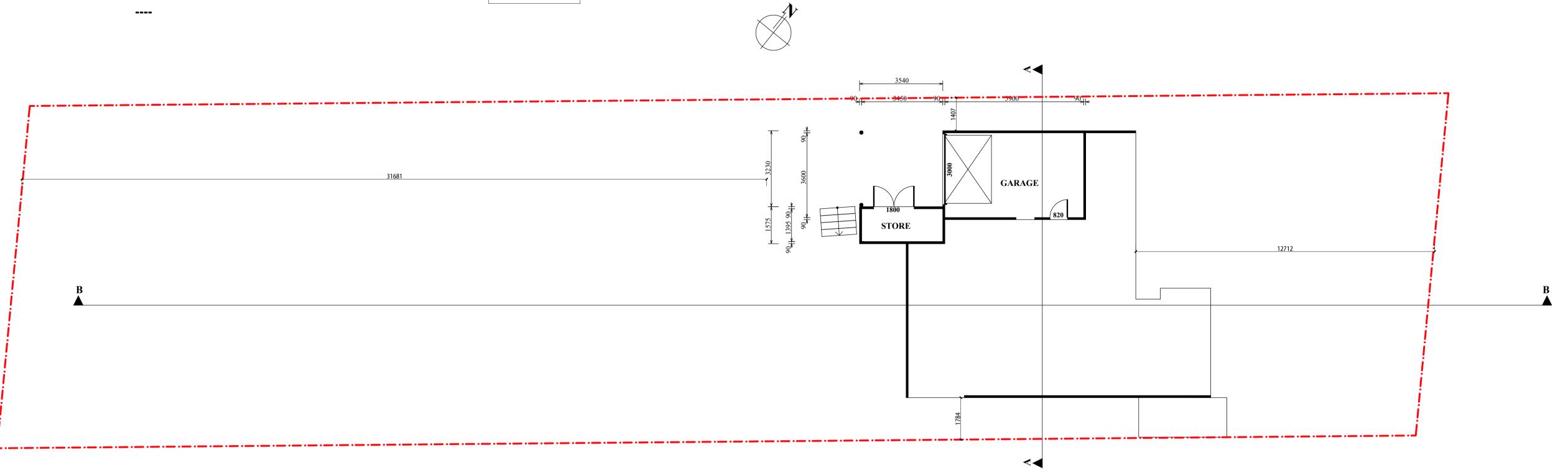
NEW FRONT DECK AND ENTRY

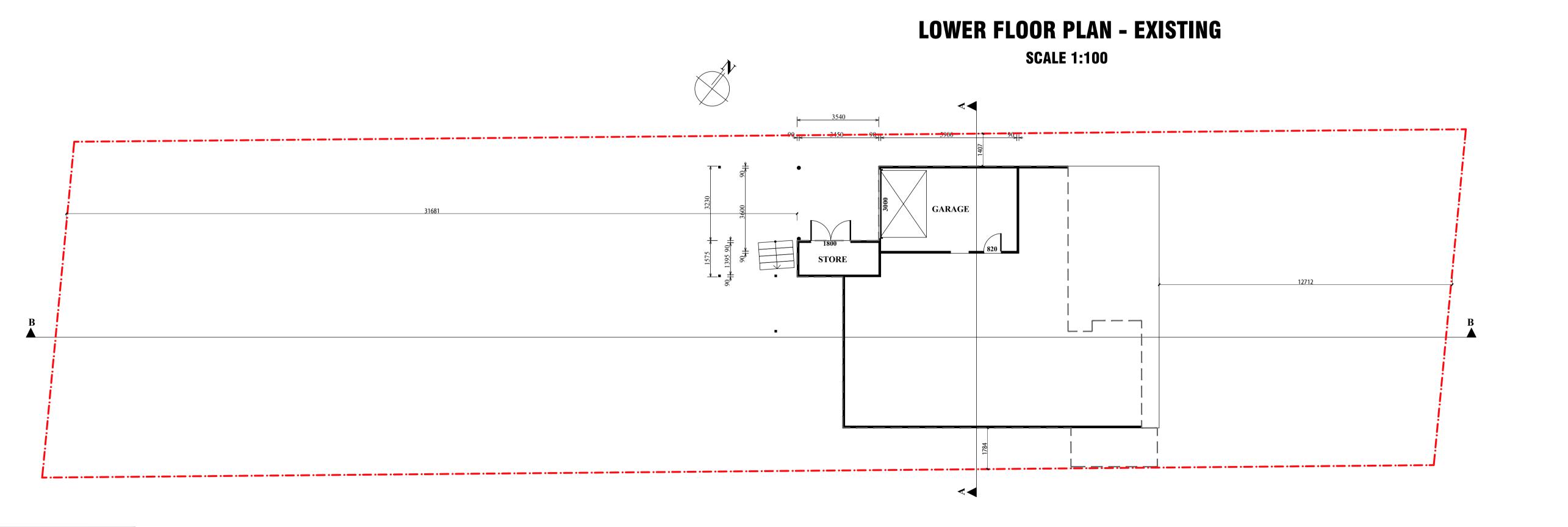
NEW REAR GROUND FLOOR EXTENSION

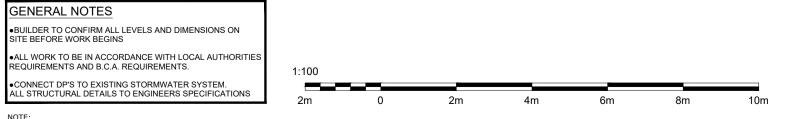
LEGEND:

EXISTING BUILDING OUTINE

SMOKE ALARMS TO COMPLY WITH AS 3786







LOWER FLOOR PLAN - PROPOSED

**SCALE 1:100** 

728 BARRENJOEY RD AVALON BEACH 2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE COUNCIL COMPLIANT PLANS AS SHOWN DP No. 11909 A ISSUED FOR DA 10.01.25 DRAFTING HELP PTY LTD 18/12-14 WARATAH ST MONA VALE 2103 www.draftinghelp.com.au 02 8776 3474

Project Name and Address

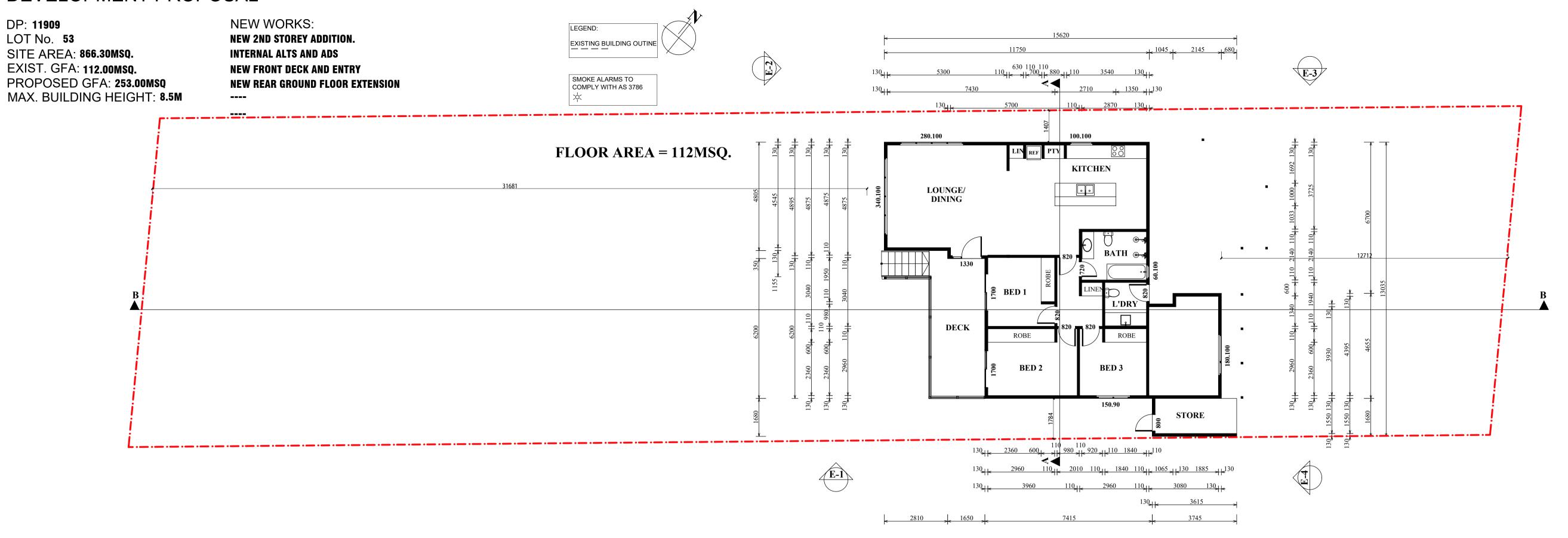
JESSICA L` GREEN

728 BARRENJOEY RD Avalon Beach

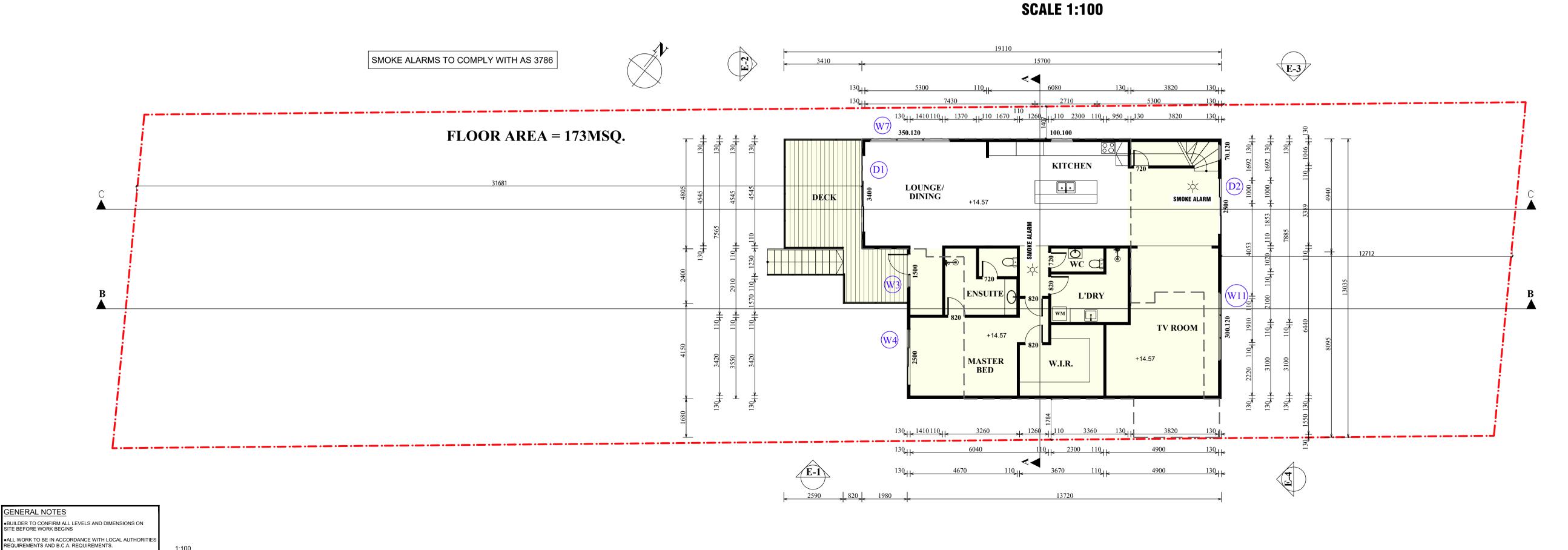
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◆CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

DP: **11909** LOT No. 53

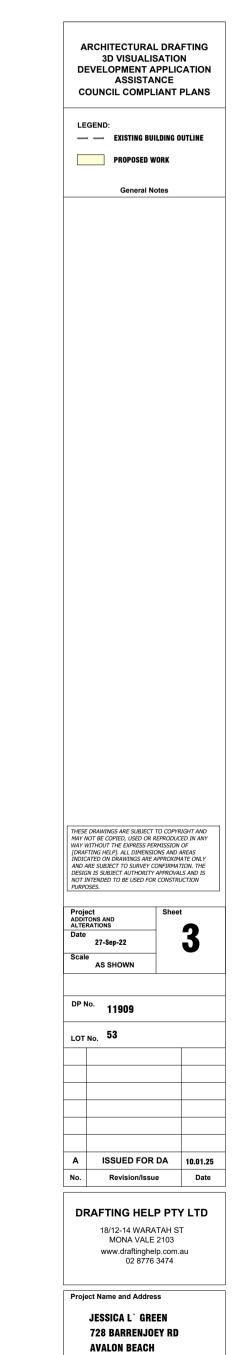


### **GROUND FLOOR PLAN - EXISTING**



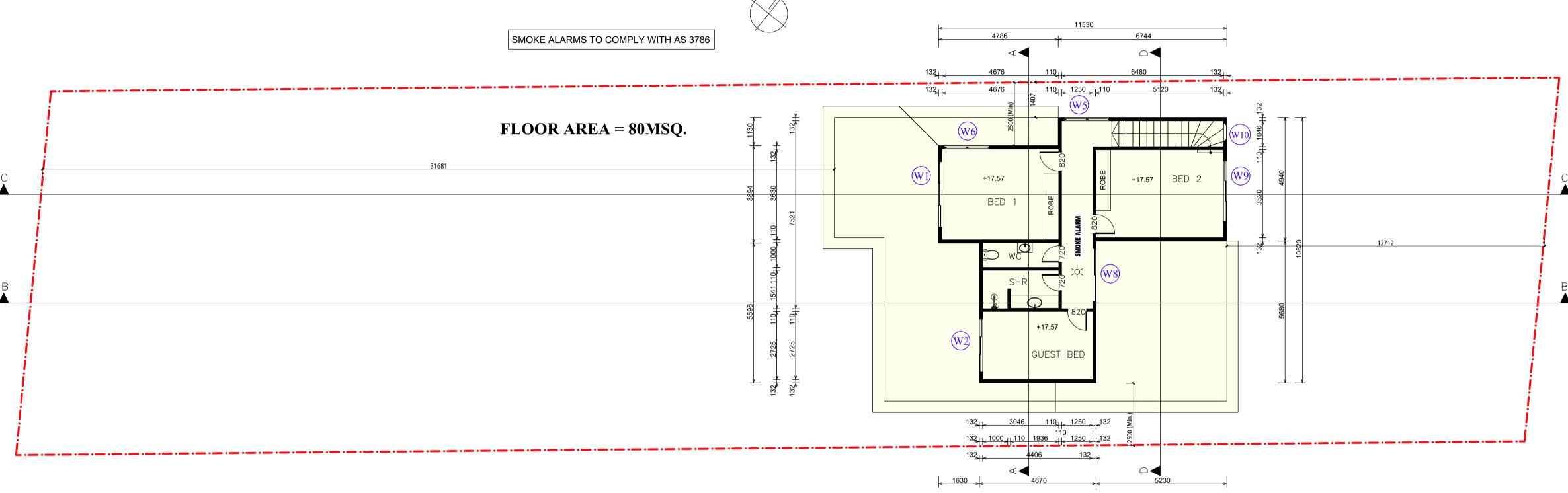
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**GRPUND FLOOR PLAN - PROPOSED SCALE 1:100** 



DP: **11909** LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M **NEW WORKS: NEW 2ND STOREY ADDITION. INTERNAL ALTS AND ADS NEW FRONT DECK AND ENTRY NEW REAR GROUND FLOOR EXTENSION**  EXISTING BUILDING OUTINE SMOKE ALARMS TO COMPLY WITH AS 3786

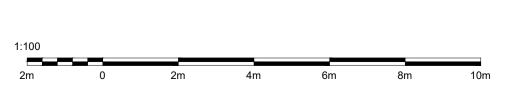
SMOKE ALARMS TO COMPLY WITH AS 3786



### **1ST FLOOR PLAN - PROPOSED**

**SCALE 1:100** 

 BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS •ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIE: REQUIREMENTS AND B.C.A. REQUIREMENTS. •CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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LE	GEND:	
_	- — EXISTING BUILDING OUTLINE	
	PROPOSED WORK	
	General Notes	
WAY I	E DRAWINGS ARE SUBJECT TO COPYRIGHT AND NOT BE COPIED, USED OR REPRODUCED IN ANY WITHOUT THE EXPRESS PERMISSION OF ETING HELP, ALD IMENSIONS AND AREAS	
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Project Name and Address JESSICA L` GREEN

DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M

•CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NEW WORKS:

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INTERNAL ALTS AND ADS

NEW FRONT DECK AND ENTRY

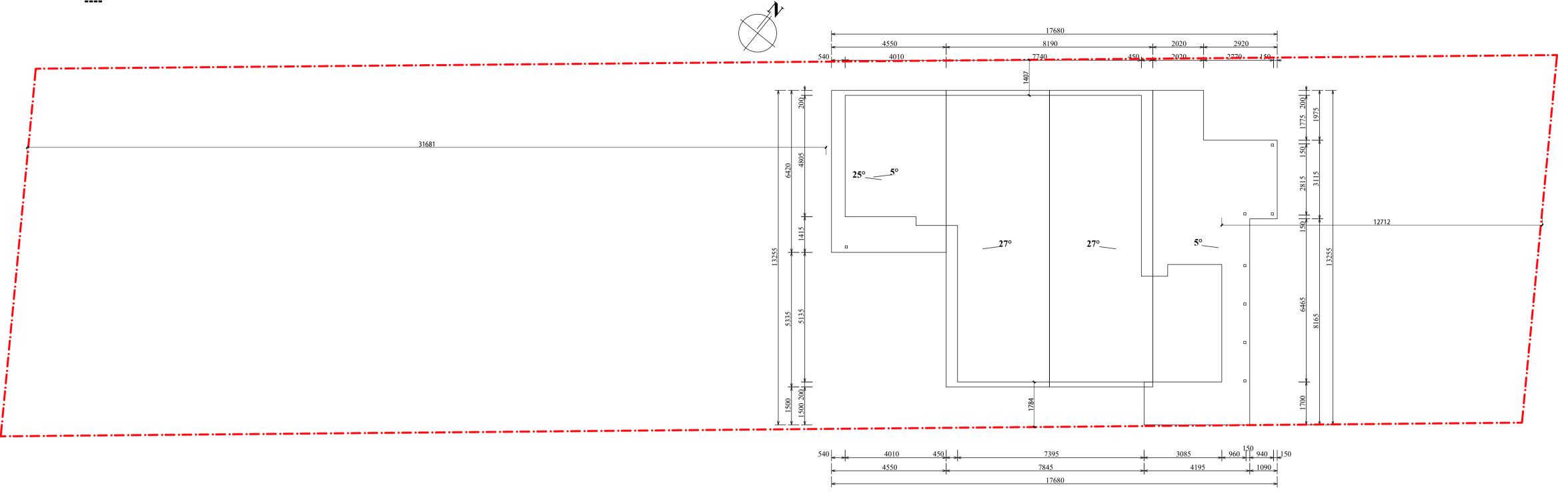
NEW REAR GROUND FLOOR EXTENSION

LEGEND:

EXISTING BUILDING OUTINE

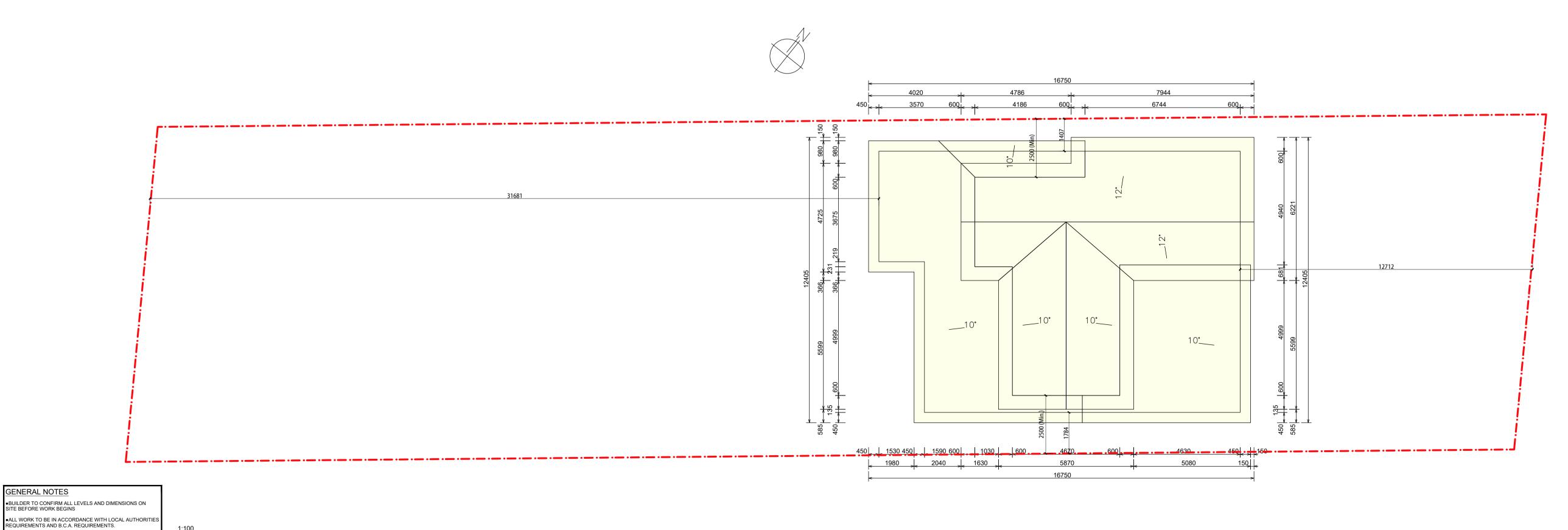
SMOKE ALARMS TO COMPLY WITH AS 3786

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### **ROOF PLAN - EXISTING**

**SCALE 1:100** 

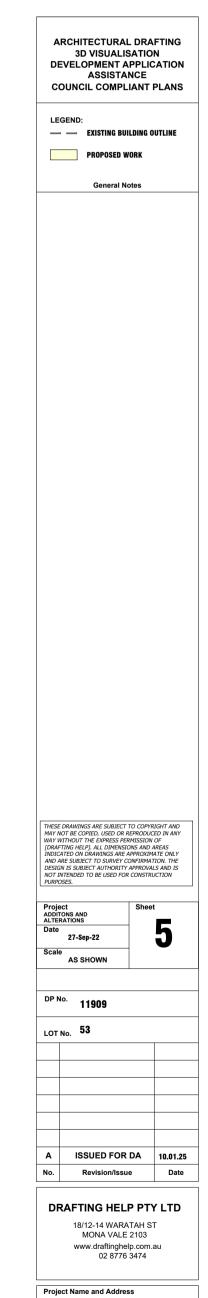


NOTE:
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ROOF PLAN - PROPOSED

SCALE 1:100

728 BARRENJOEY RD AVALON BEACH 2107



JESSICA L` GREEN

728 BARRENJOEY RD Avalon Beach

DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M

> BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS

•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIE: REQUIREMENTS AND B.C.A. REQUIREMENTS.

CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
 ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NEW WORKS:

NEW 2ND STOREY ADDITION.

INTERNAL ALTS AND ADS

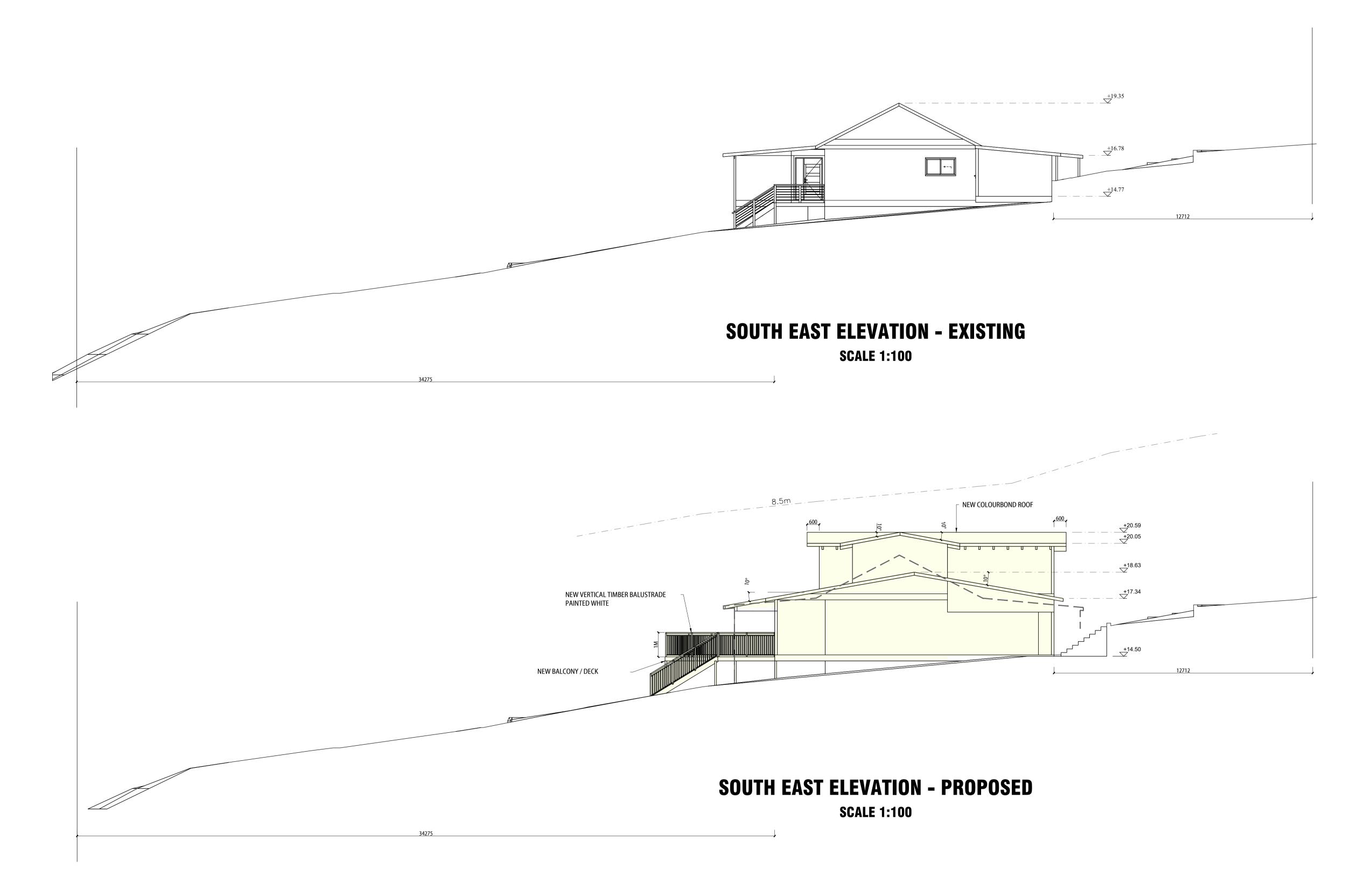
NEW FRONT DECK AND ENTRY

NEW REAR GROUND FLOOR EXTENSION

EXISTING BUILDING OUTINE

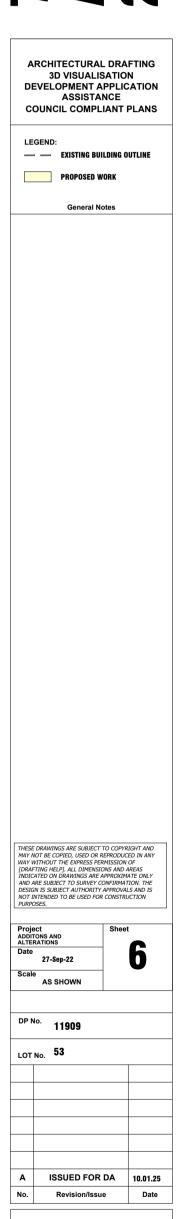
SMOKE ALARMS TO
COMPLY WITH AS 3786

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18/12-14 WARATAH ST

MONA VALE 2103

www.draftinghelp.com.au

02 8776 3474

Project Name and Address

JESSICA L` GREEN

DP: 11909
LOT No. 53
SITE AREA: 866.30MSQ.
EXIST. GFA: 112.00MSQ.
PROPOSED GFA: 253.00MSQ
MAX. BUILDING HEIGHT: 8.5M

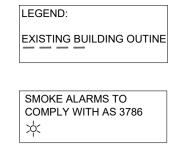
NEW WORKS:

NEW 2ND STOREY ADDITION.

INTERNAL ALTS AND ADS

NEW FRONT DECK AND ENTRY

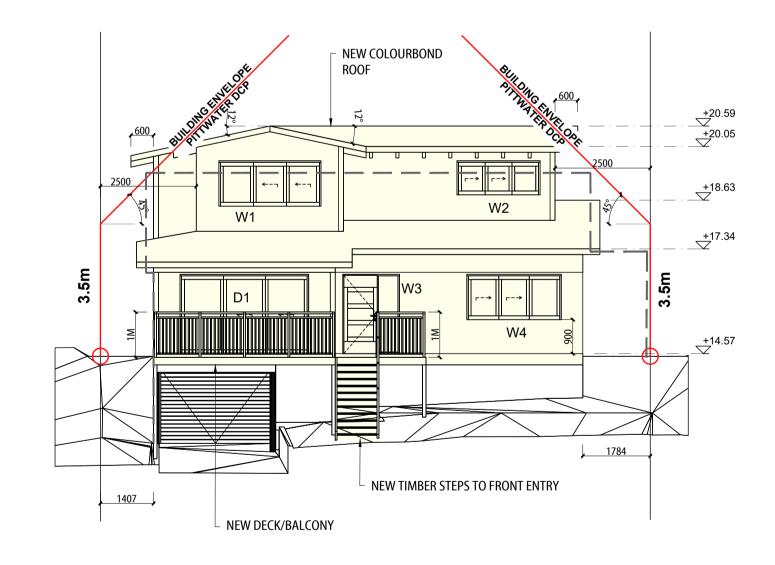
NEW REAR GROUND FLOOR EXTENSION



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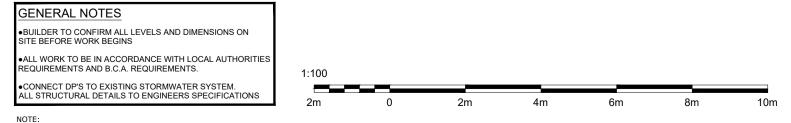


SOUTH WEST ELEVATION - EXISTING
SCALE 1:100

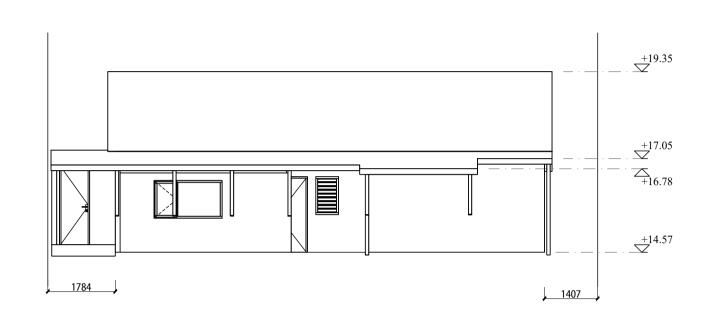


SOUTH WEST ELEVATION - PROPOSED

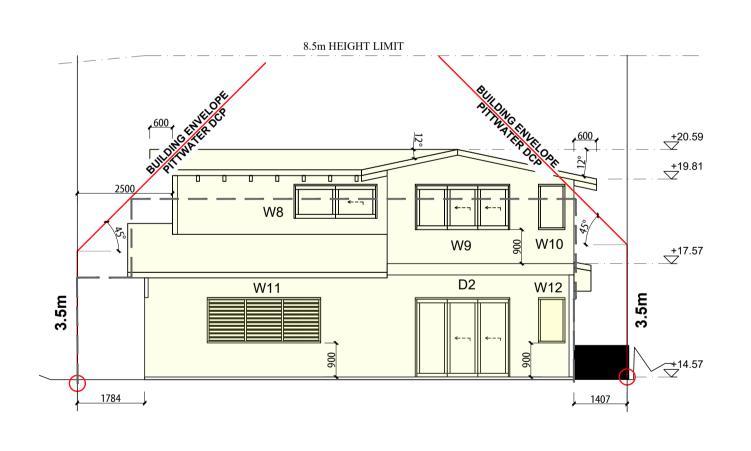
SCALE 1:100



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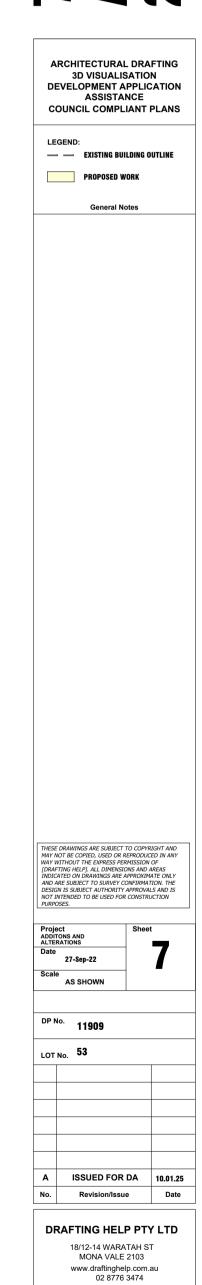
NORTH EAST ELEVATION - EXISTING
SCALE 1:100



NORTH EAST ELEVATION - PROPOSED

SCALE 1:100





Project Name and Address

JESSICA L` GREEN

**728 BARRENJOEY RD** 

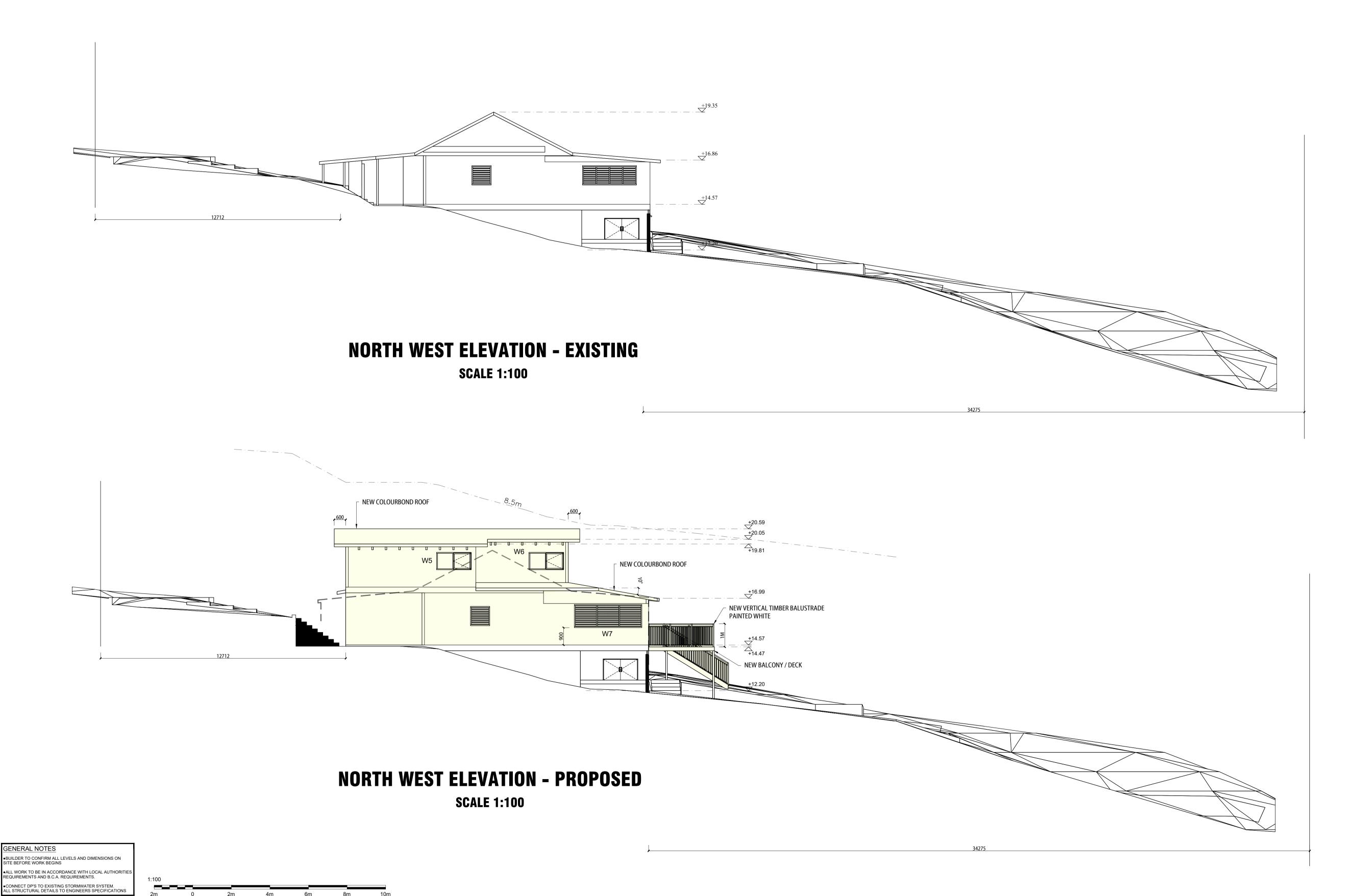
**AVALON BEACH** 

DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY
NEW REAR GROUND FLOOR EXTENSION

EXISTING BUILDING OUTINE

SMOKE ALARMS TO
COMPLY WITH AS 3786

---



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Project Name and Address

JESSICA L` GREEN

DP: 11909
LOT No. 53
SITE AREA: 866.30MSQ.
EXIST. GFA: 112.00MSQ.
PROPOSED GFA: 253.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:

NEW 2ND STOREY ADDITION.

INTERNAL ALTS AND ADS

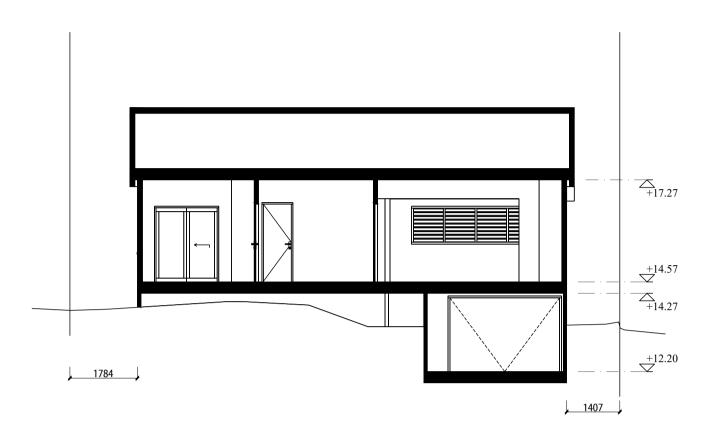
NEW FRONT DECK AND ENTRY

NEW REAR GROUND FLOOR EXTENSION

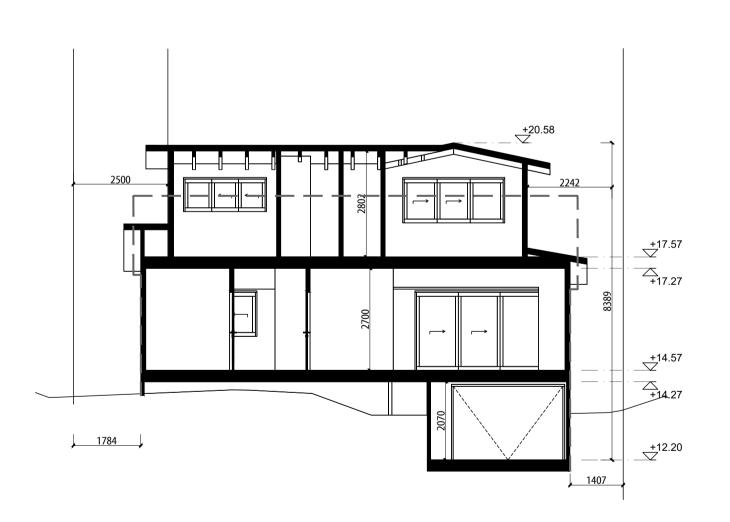
EXISTING BUILDING OUTINE

SMOKE ALARMS TO
COMPLY WITH AS 3786

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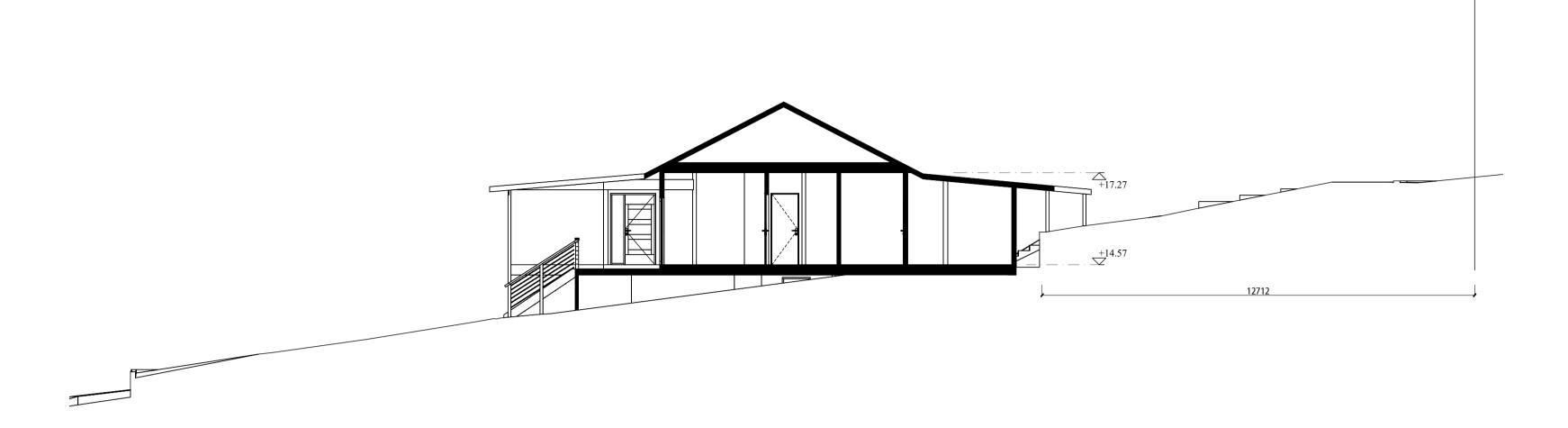


SECTION A - EXISTING
SCALE 1:100

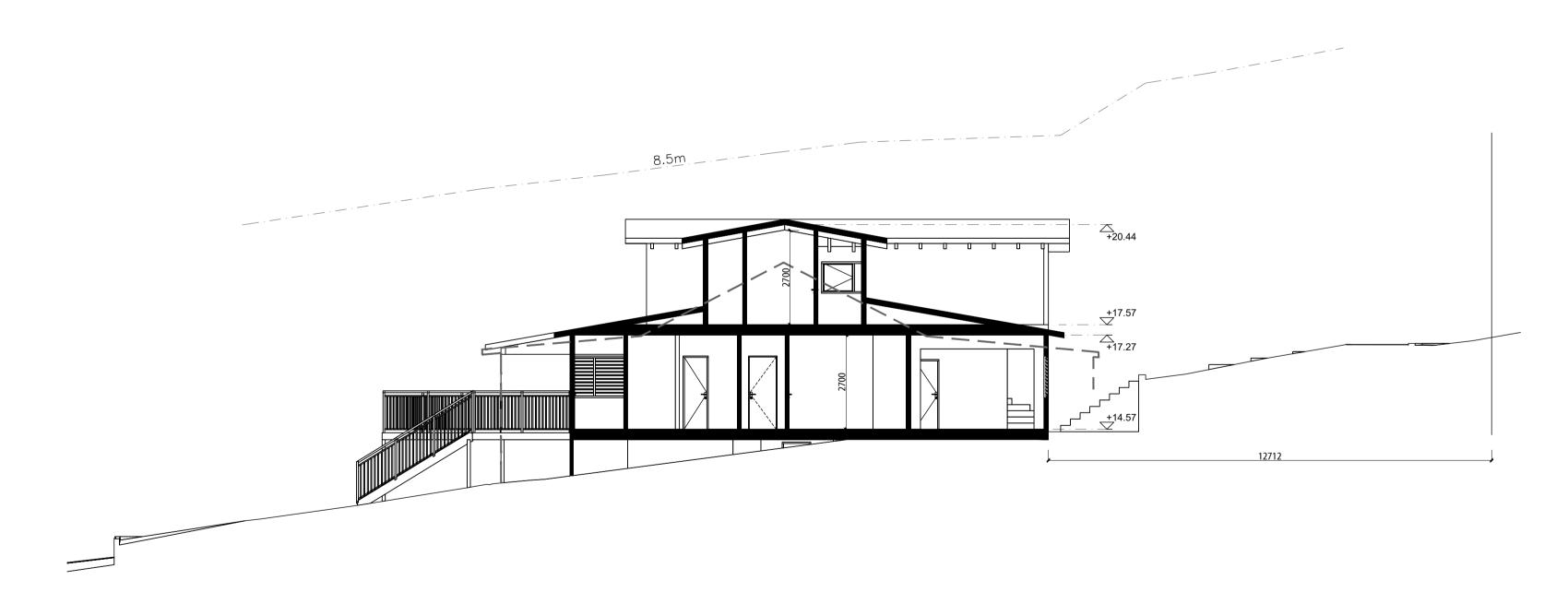


SECTION A - PROPOSED

SCALE 1:100



SECTION B - EXISTING
SCALE 1:100



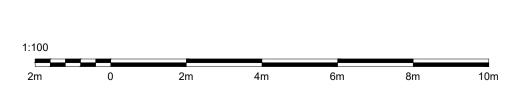
SECTION B - PROPOSED
SCALE 1:100

GENERAL NOTES

•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS

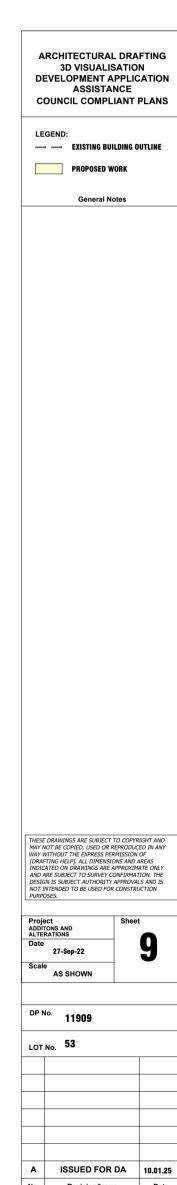
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.

•CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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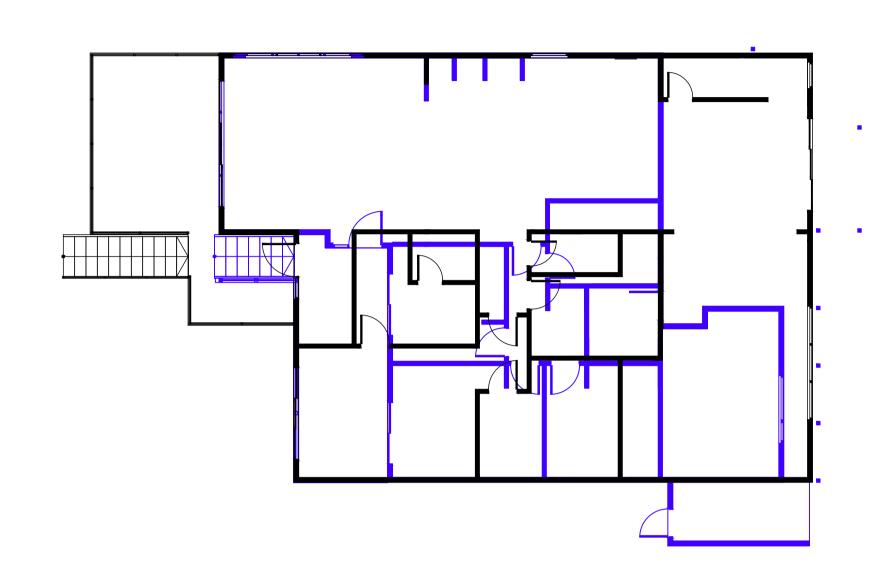
02 8776 3474

Project Name and Address

JESSICA L` GREEN

DP: **11909** LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M **NEW WORKS: NEW 2ND STOREY ADDITION. INTERNAL ALTS AND ADS NEW FRONT DECK AND ENTRY NEW REAR GROUND FLOOR EXTENSION** 

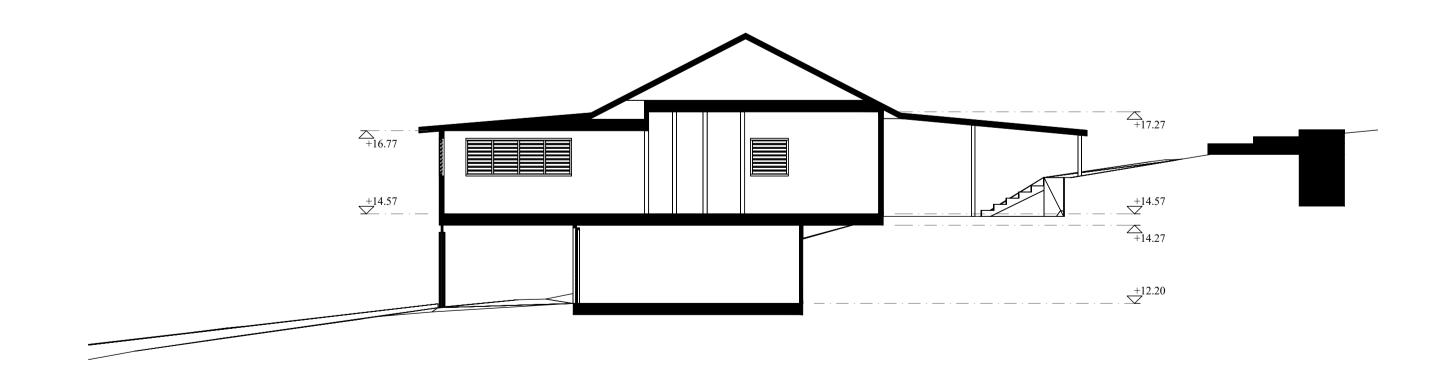
LEGEND: EXISTING BUILDING OUTINE SMOKE ALARMS TO COMPLY WITH AS 3786



### **GROUND FLOOR DEMO PLAN**

**SCALE 1:100** 

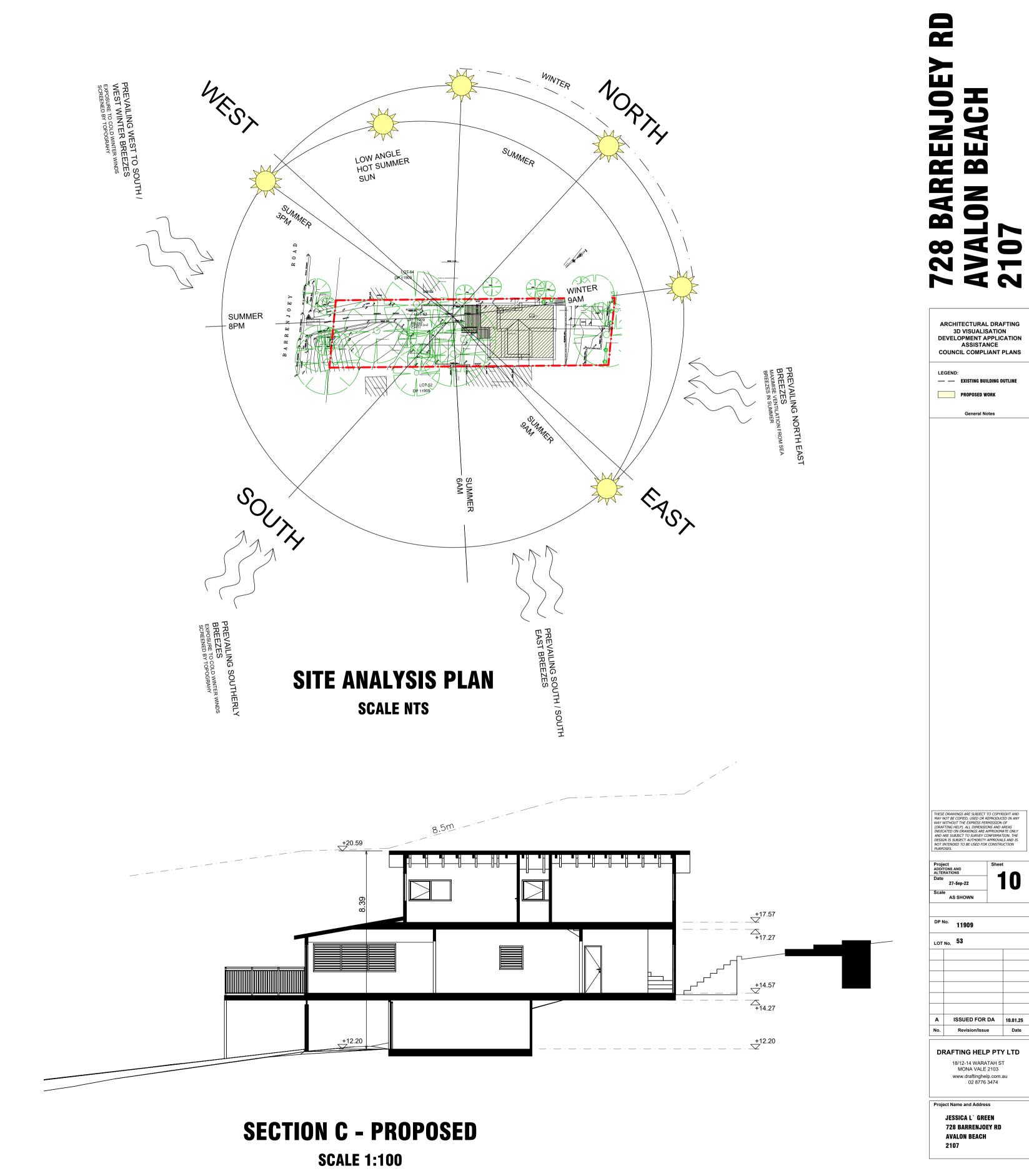




### SECTION C - EXISTING

**SCALE 1:100** •ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIE: REQUIREMENTS AND B.C.A. REQUIREMENTS. ◆CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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BEACH

ISSUED FOR DA 10.01.25

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JESSICA L` GREEN

DP: 11909
LOT No. 53
SITE AREA: 866.30MSQ.
EXIST. GFA: 112.00MSQ.
PROPOSED GFA: 253.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:

NEW 2ND STOREY ADDITION.

INTERNAL ALTS AND ADS

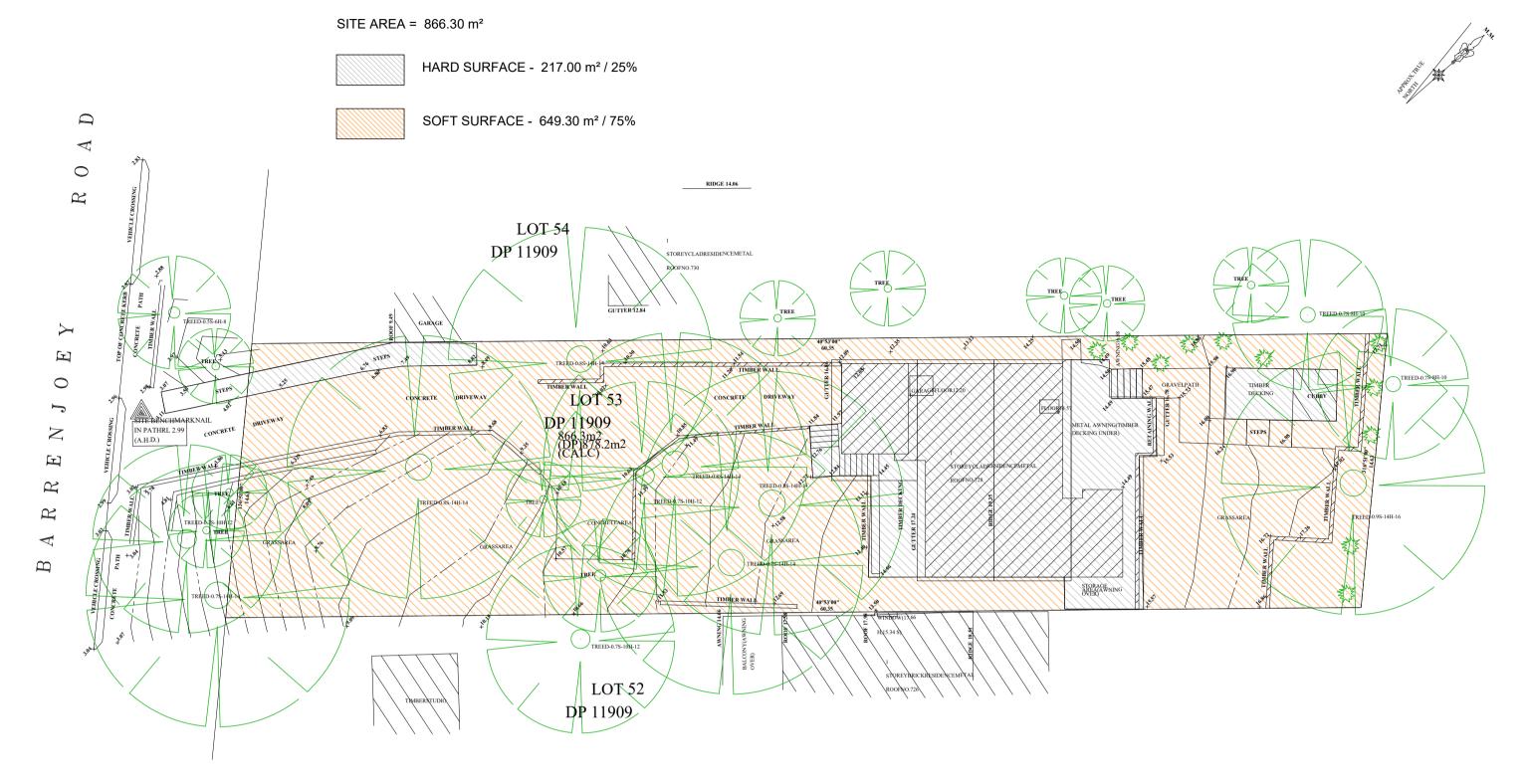
NEW FRONT DECK AND ENTRY

NEW REAR GROUND FLOOR EXTENSION

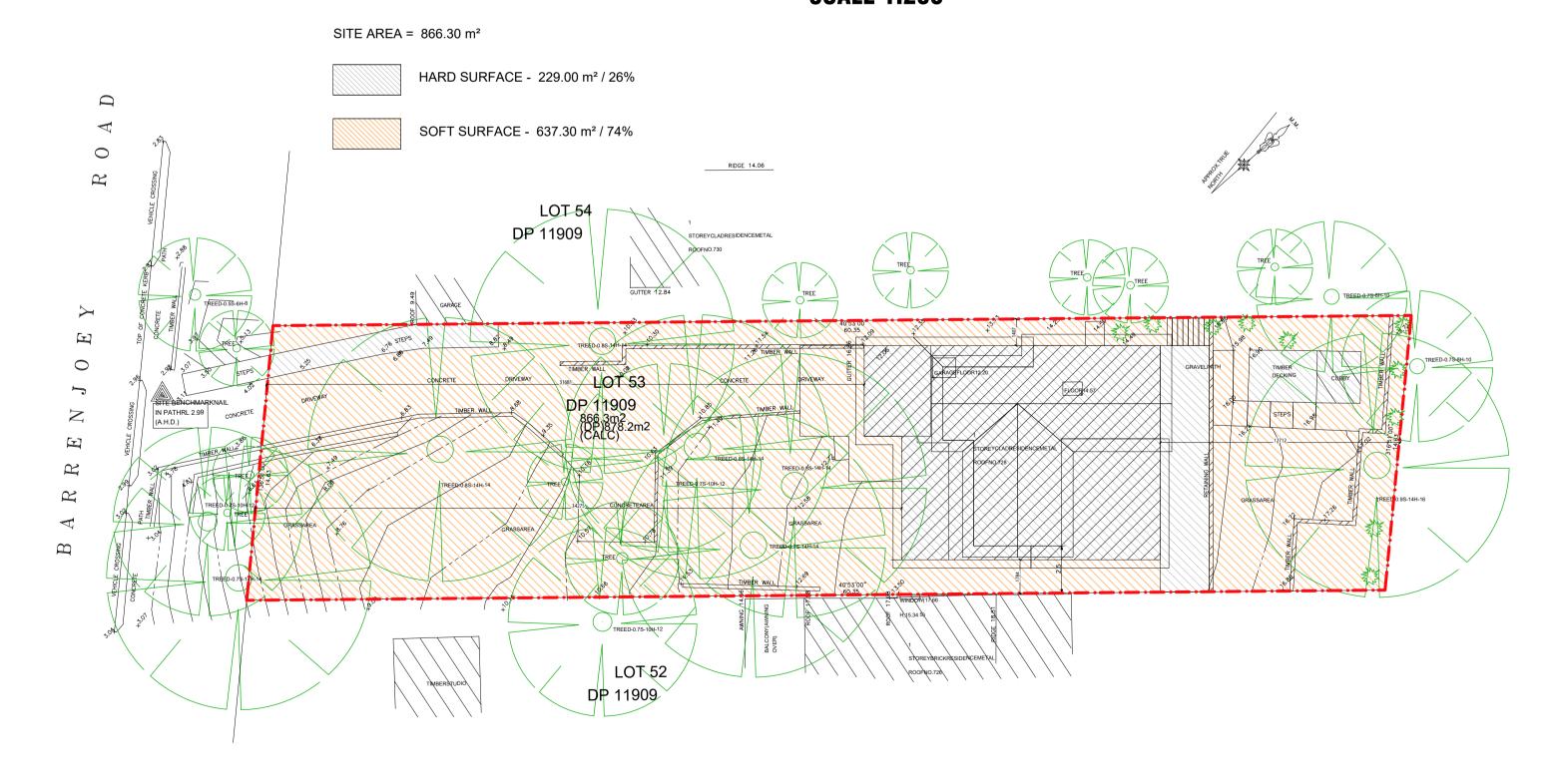
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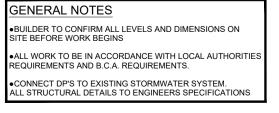
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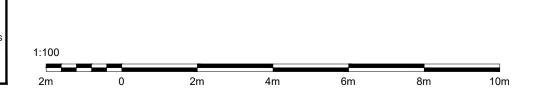
SMOKE ALARMS TO
COMPLY WITH AS 3786



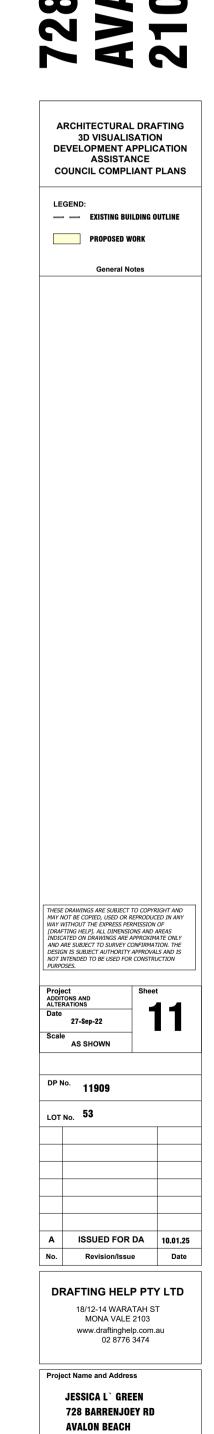
## LANDUSE DIAGRAM - EXISTING SCALE 1:200







LANDUSE DIAGRAM - PROPOSED
SCALE 1:200



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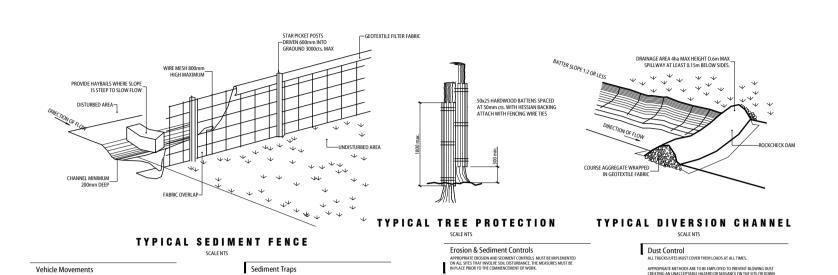
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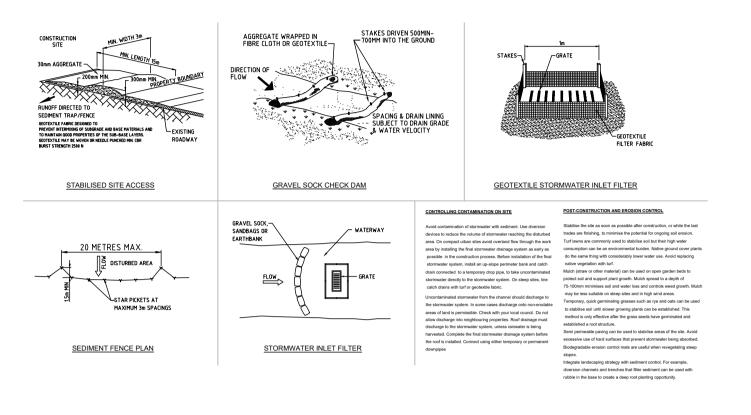
**NEW WORKS: NEW 2ND STOREY ADDITION. INTERNAL ALTS AND ADS NEW FRONT DECK AND ENTRY NEW REAR GROUND FLOOR EXTENSION** 

EXISTING BUILDING OUTINE SMOKE ALARMS TO COMPLY WITH AS 3786

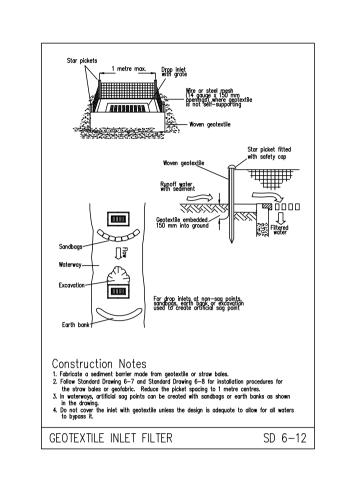
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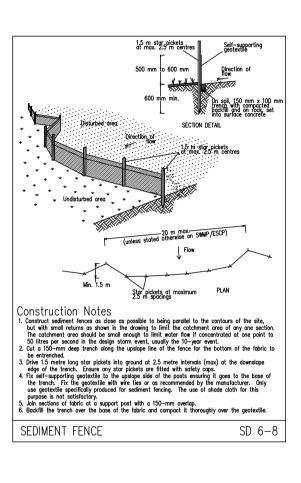


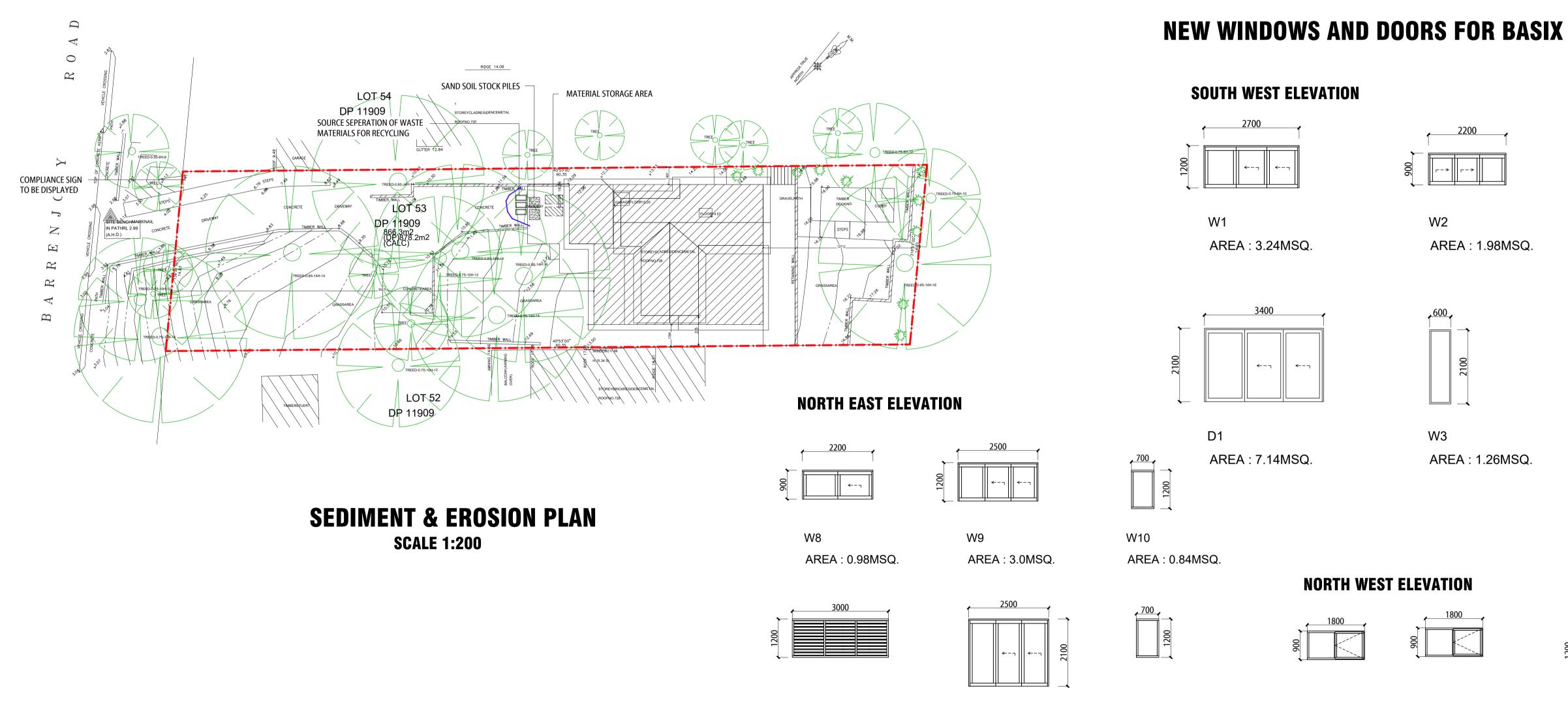




SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS



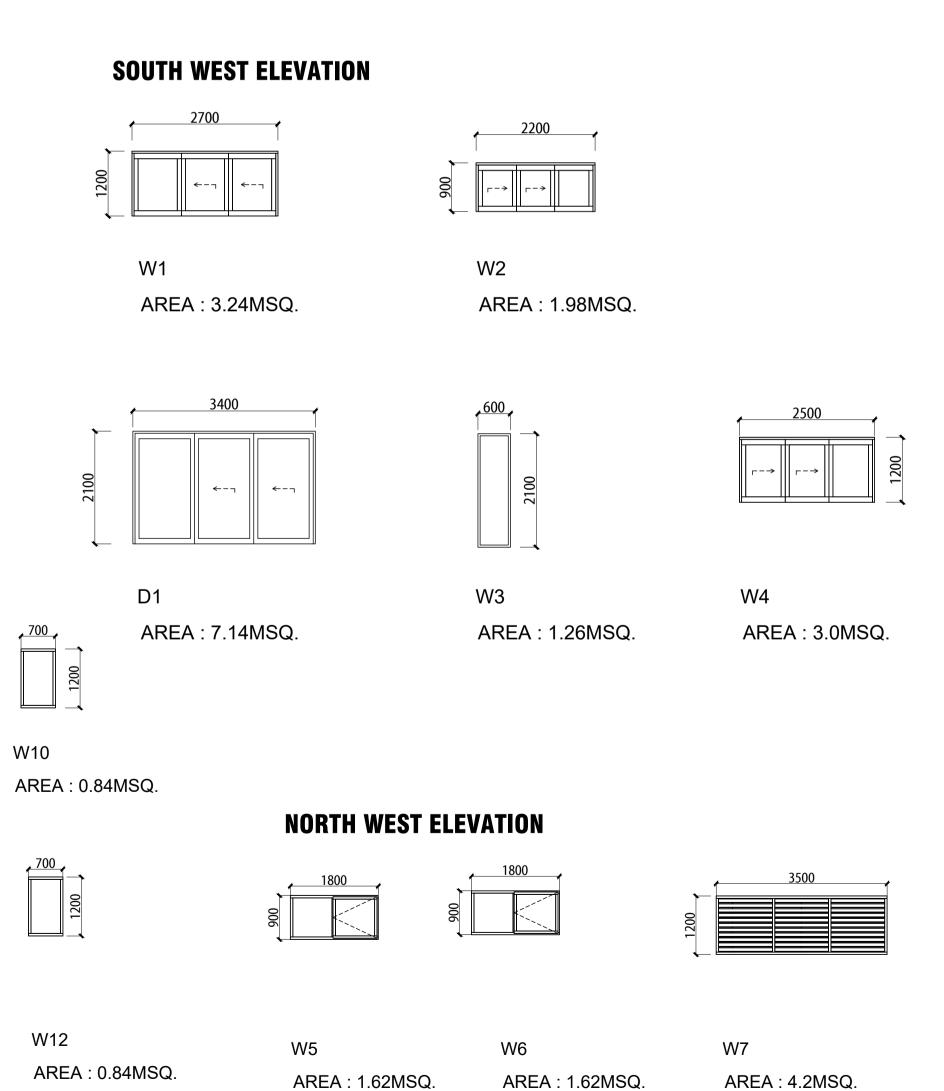




W11

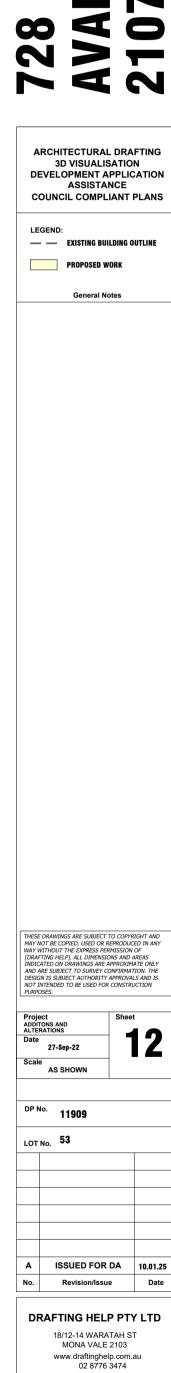
AREA: 3.6MSQ.

AREA: 5.25MSQ.



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NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING



Project Name and Address

JESSICA L` GREEN

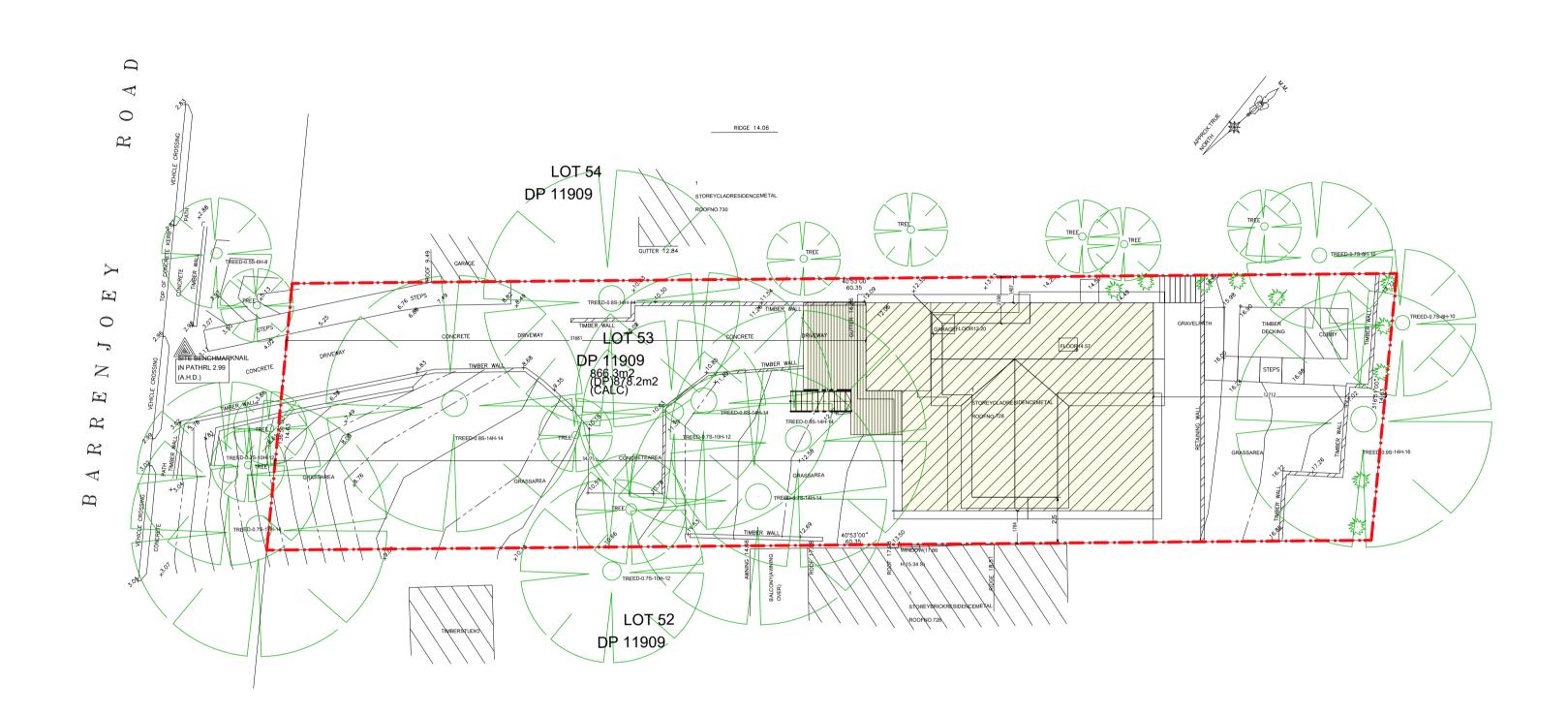
DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M NEW WORKS:
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INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY
NEW REAR GROUND FLOOR EXTENSION

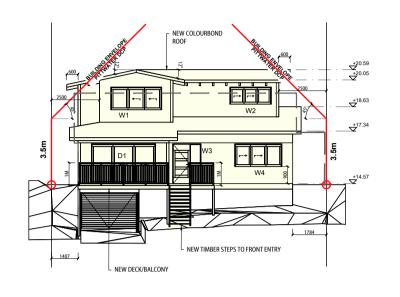
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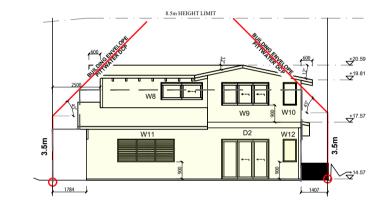
EXISTING BUILDING OUTINE

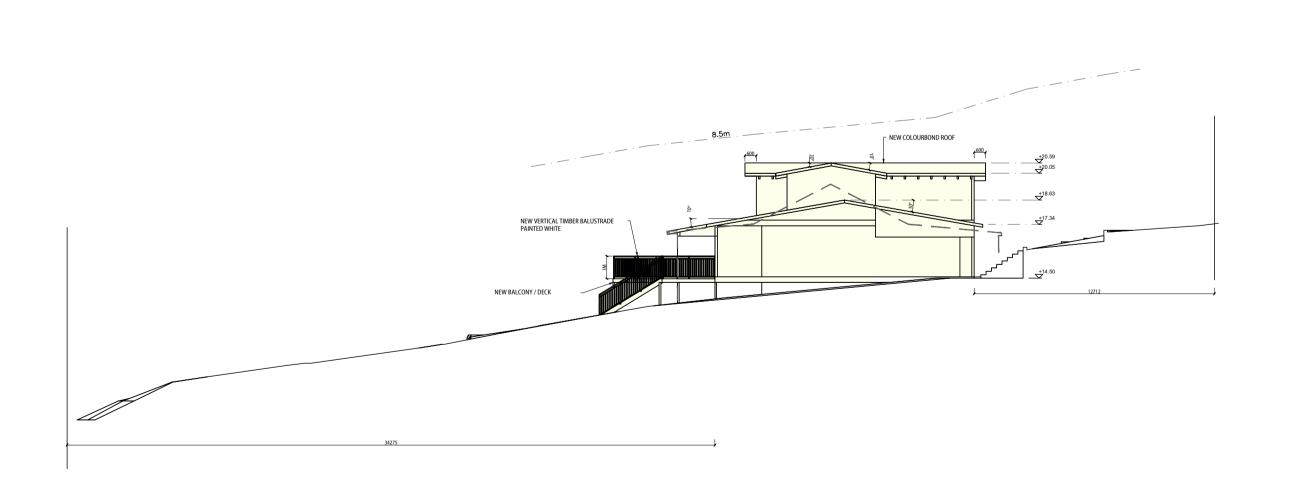
SMOKE ALARMS TO COMPLY WITH AS 3786

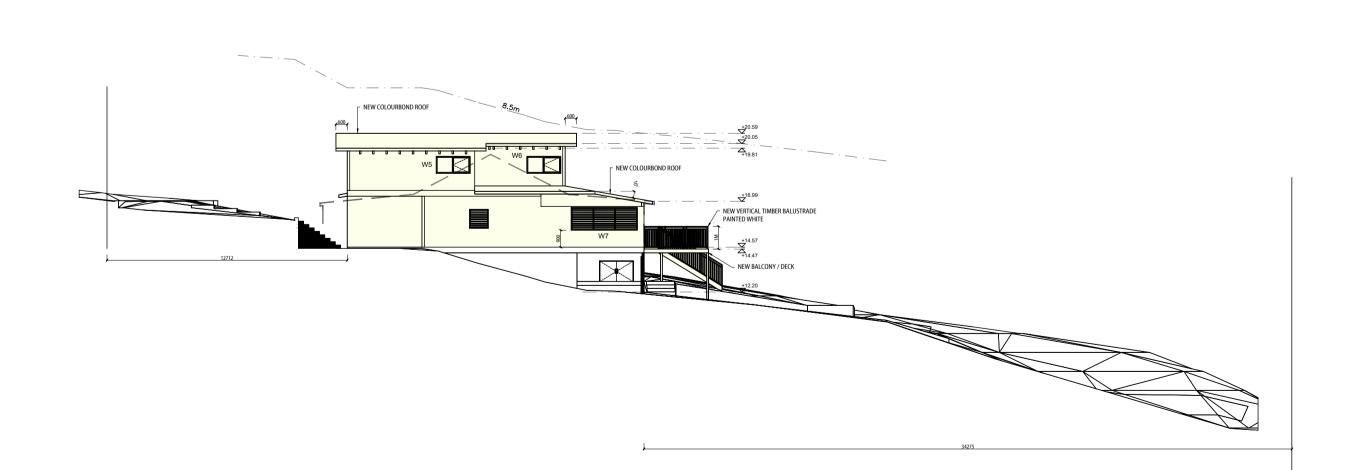
### NOTIFICATION PLAN

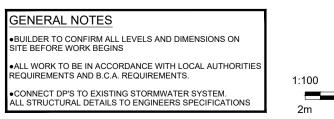


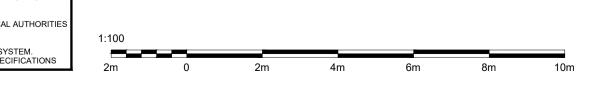




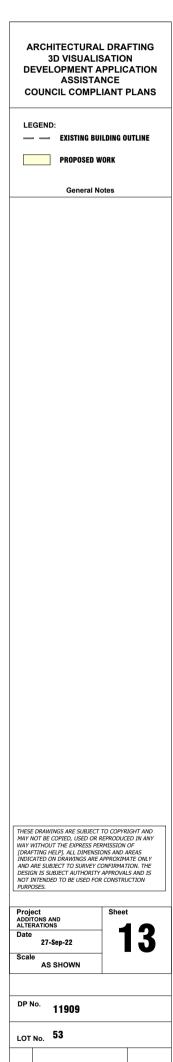








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