

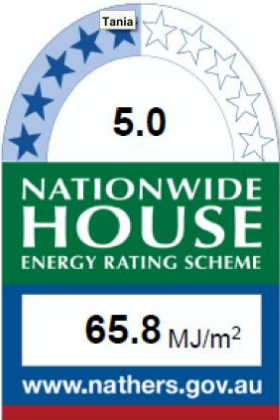
Certificate number: 1061531S\_02

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 247.9 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: • all toilets in the development  • the cold water tap that supplies each clothes washer in the development  • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓ ✓ ✓ ✓	✓ ✓ ✓ ✓
Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	131.0 square metres
floor - suspended floor/open subfloor	3.0 square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓ ✓ ✓	✓ ✓ ✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 5 of the bedrooms / study; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 3 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	



Certificate no.: 0004384434  
Assessor Name: Ian Fry  
Accreditation no.: VIC/BDAV/12/1441  
Certificate date: 22 Nov 2019  
Dwelling Address: 97 Waterview Street  
Mona Vale, NSW 2103  
www.nathers.gov.au



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0399**

AREAS	
SITE:	637.30 m²
GROUND FLOOR:	142.91 m²
FIRST FLOOR:	153.23 m²
GARAGE:	34.17 m²
PORCH:	3.12 m²
BALCONY:	N/A m²
ALFRESCO:	37.54 m²
	m²
TOTAL:	370.97 m²

2.5	SITE COVERAGE AND LANDSCAPE
2.4	NEIGHBOUR NOTIFICATION PLAN
2.3	SHADOW DIAGRAM
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION

QUOTE	DATE	QUOTE NUMBER	REV
KITCHEN			-
ZURCORP ELECTRICAL			-
TILES			-
CARPET			-
ZURCORP SECURITY			-
EHI			-
AIR CONDITIONING			-
STAIRS			-
LANDSCAPE			
HYDRAULICS			
ENGINEER			
PEG OUT			

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_ REV \_\_\_\_\_ DATE \_\_\_\_\_ AMENDMENTS \_\_\_\_\_ BY \_\_\_\_\_

ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

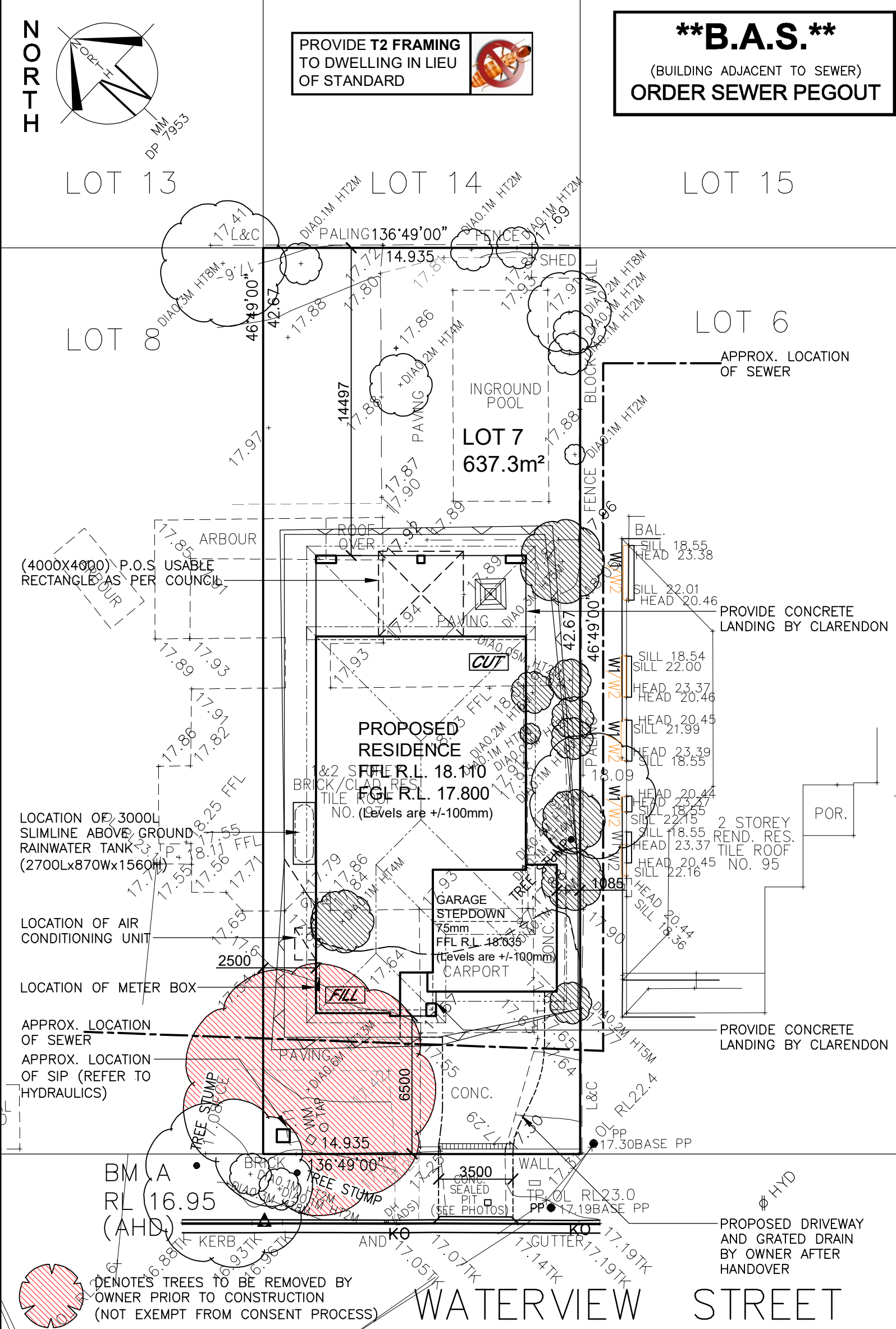
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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
BOSTON 36  
Classic  
R/H Garage  
  
Sapphire Specification  
Master Issued: 09.01.18      Revision: B

CLIENT:  
Mr. HOLLIDAY  
Mrs. HOLLIDAY  
  
SITE ADDRESS:  
Lot 7 No.97 DP:7953  
Waterview Street  
MONA VALE 2103

DA DRAWINGS  

DRAWN: PG.	DATE: 07.11.19	Rev: H
RATIO @ A3: N/A	CHECKED: J.S	
SHEET: 1	JOB No: 29913900	NSW



**\*\*B.A.S.\*\***  
(BUILDING ADJACENT TO SEWER)  
**ORDER SEWER PEGOUT**

**LOT 7**  
**D.P: 7953**  
**L.G.A: NORTHERN BEACHES**

**SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
PITTWATER DCP 21**

SITE AREA	637.3 m²
ROOF AREA	247.9 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (EXCLUDES HARD SURFACES)	383.7 m² 60.2 %
MIN. REQUIRED BY COUNCIL:	50 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 3.0m)	273.3 m²
MIN. REQUIRED BY COUNCIL:	80 m²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT (F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	8.5 m
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 3.5m AT BOUNDARY	

SITE COVERAGE STORMWATER CALCULATION	
ROOF FOOTPRINT:	247.9m²
DRIVEWAY/ PAVED AREAS:	32.5m²
TOTAL:	280.4m² 44.0 %
MAX SITE COVERAGE FOR OSD: (EXISTING COVERAGE + 50m²)	80.4 %

**Maximum 1000mm CUT**  
**Maximum 1000mm FILL**

WIND CLASSIFICATION: "N2"  
SLAB CLASSIFICATION: "M "

**NOTE:**  
ALL GROUND LINES ARE APPROXIMATE.  
EXTENT OF FILL & BATTER WILL BE  
DETERMINED ON SITE. SEDIMENT BARRIERS  
ARE TO BE CUSTOMISED SITE SPECIFIC

**NOTE:**  
OWNER TO DEMOLISH & REMOVE FROM  
SITE EXISTING HOUSE, INCLUDING  
FOOTINGS & SERVICES ABOVE & BELOW  
GROUND, PATHS, DRIVE, TREES &  
FENCES ETC. PRIOR TO COMMENCEMENT  
OF CONSTRUCTION.

**STORMWATER TO  
STREET VIA  
RAINWATER TANK**  
REFER TO HYDRAULIC DETAILS

DENOTES TREES TO BE REMOVED BY  
OWNER PRIOR TO CONSTRUCTION  
(NOT EXEMPT FROM CONSENT PROCESS)

DENOTES TREES TO BE REMOVED  
BY OWNER PRIOR TO CONSTRUCTION  
(EXEMPT FROM CONSENT PROCESS)

**SITE PLAN**  
**SCALE 1:200**  
GENERAL NOTES

6. A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED.
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

<b>ClarendonHomes</b> BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: <b>BOSTON 36</b> Classic R/H Garage  Sapphire Specification	CLIENT: Mr. HOLLIDAY Mrs. HOLLIDAY SITE ADDRESS: Lot 7 No.97 DP:7953 Waterview Street MONA VALE 2103	<b>DA DRAWINGS</b> DRAWN: BG RATIO @ A3: 1:200 SHEET: 2 DATE: 28.10.19 CHECKED: BG JOB No: 29913900 Rev: H NSW
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(S) SMOKE ALARM

● AIR CONDITIONING DUCT

DP ○ DOWN PIPE LOCATION

TAP X GARDEN TAP LOCATION

COB LIFT OFF HINGES

SP STEEL POST

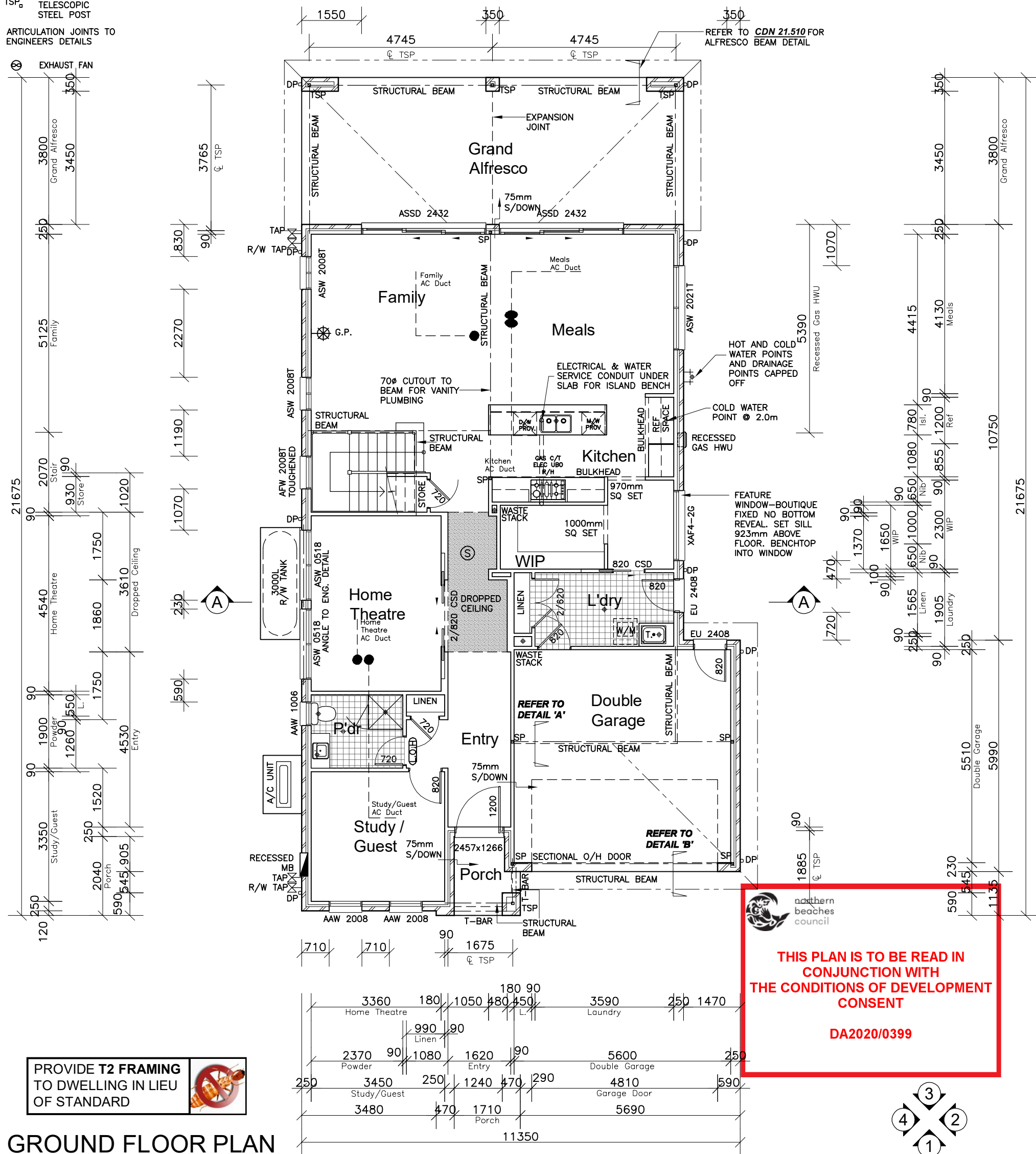
TSP TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

⊗ EXHAUST FAN

NOTE:  
(UNLESS NOTED OTHERWISE)  
300 DEEP BULKHEADS & SQ.  
SETS. 150 DROPPED CEILINGS

NOTE:  
INTERNAL DOOR LEAF HEIGHTS TO  
GROUND FLOOR TO BE 2340mm(H)



PROVIDE T2 FRAMING  
TO DWELLING IN LIEU  
OF STANDARD

## GROUND FLOOR PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

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Classic  
R/H Garage  
  
Sapphire Specification

CLIENT:  
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Mrs. HOLLIDAY  
  
SITE ADDRESS:  
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Waterview Street  
MONA VALE 2103

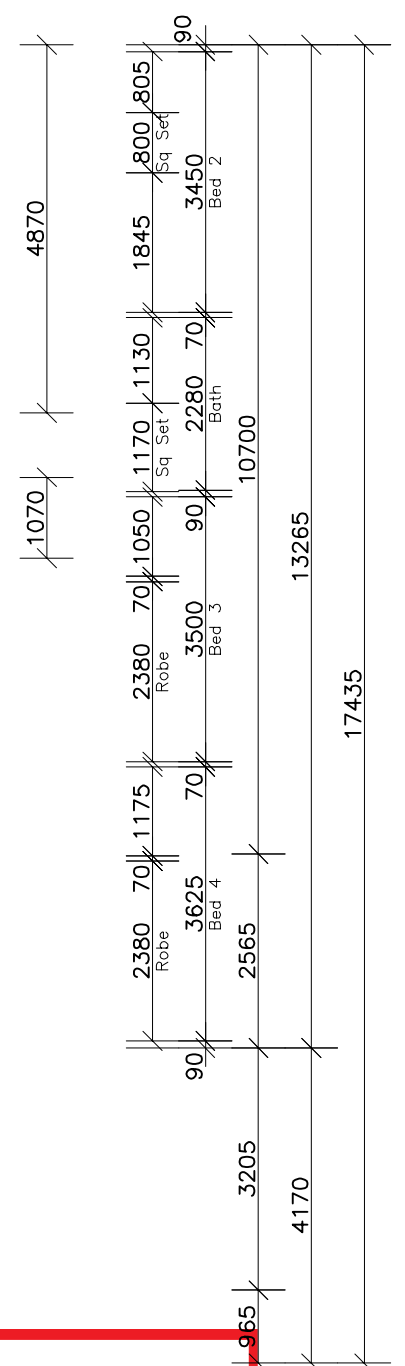
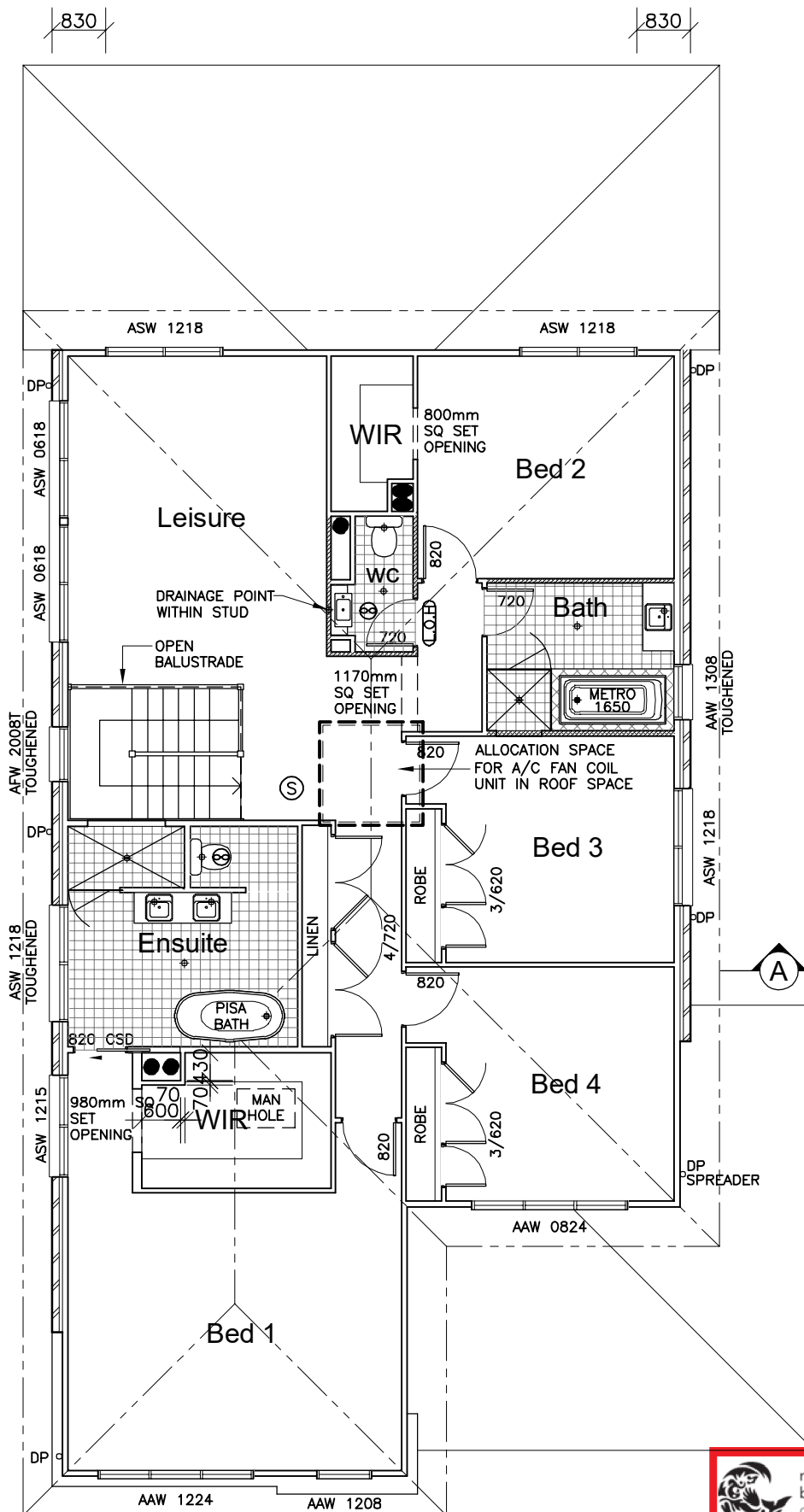
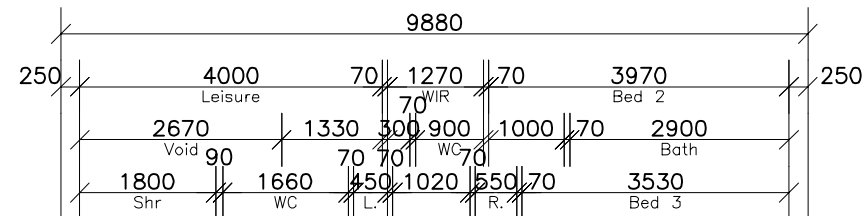
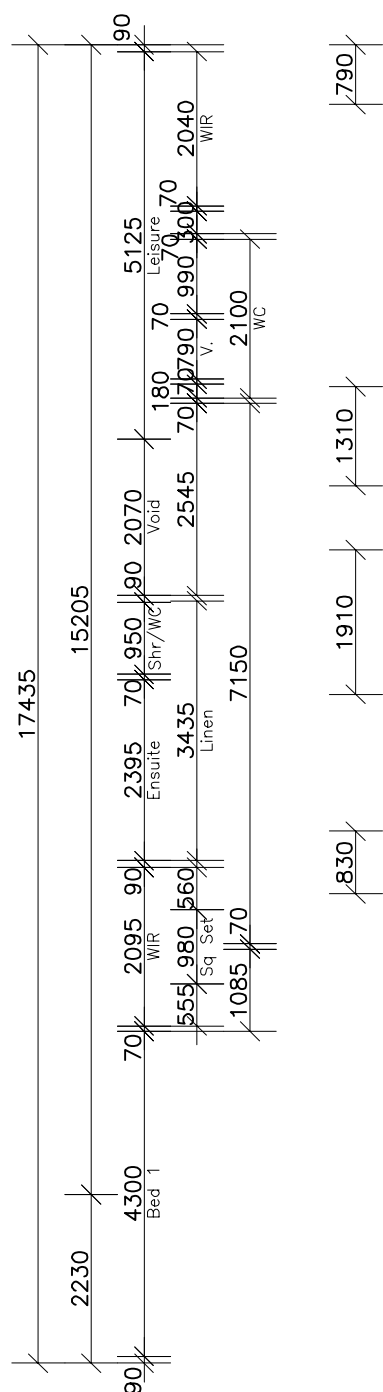
### DA DRAWINGS

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SHEET: 3	JOB No: 29913900	NSW

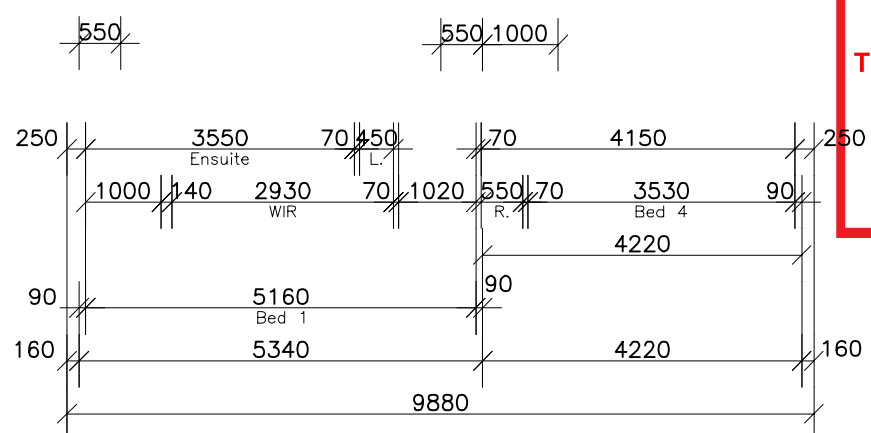
● AIR CONDITIONING DUCT

Technical drawing of a rectangular plate. The horizontal dimension is labeled 2670 and the vertical dimension is labeled 2070. The rectangle is filled with diagonal hatching lines.

PROVIDE R2.0(70mm)  
"SOUNDBREAK" ACOUSTIC  
INSULATION WALL BATTS TO  
INTERNAL WALLS  
OF Bed 2/Bath/Bed 3, WC  
(ONLY)



## FIRST FLOOR PLAN



northern  
beaches  
council

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DA2020/0399

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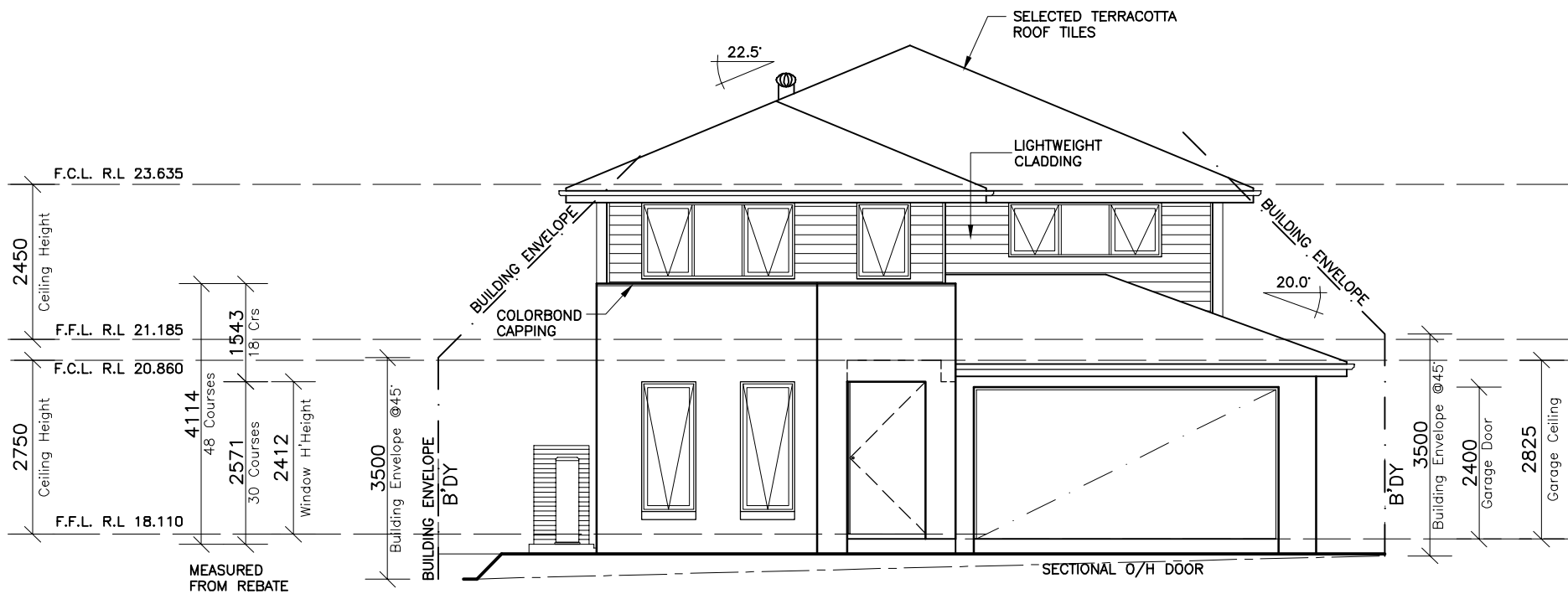
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SHEET: 4	JOB No: 29913900	NSW



PROVIDE T2 FRAMING  
TO DWELLING IN LIEU  
OF STANDARD



NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**



ELEVATION 1  
-SOUTH WEST-



ELEVATION 2  
-SOUTH EAST-



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DA2020/0399

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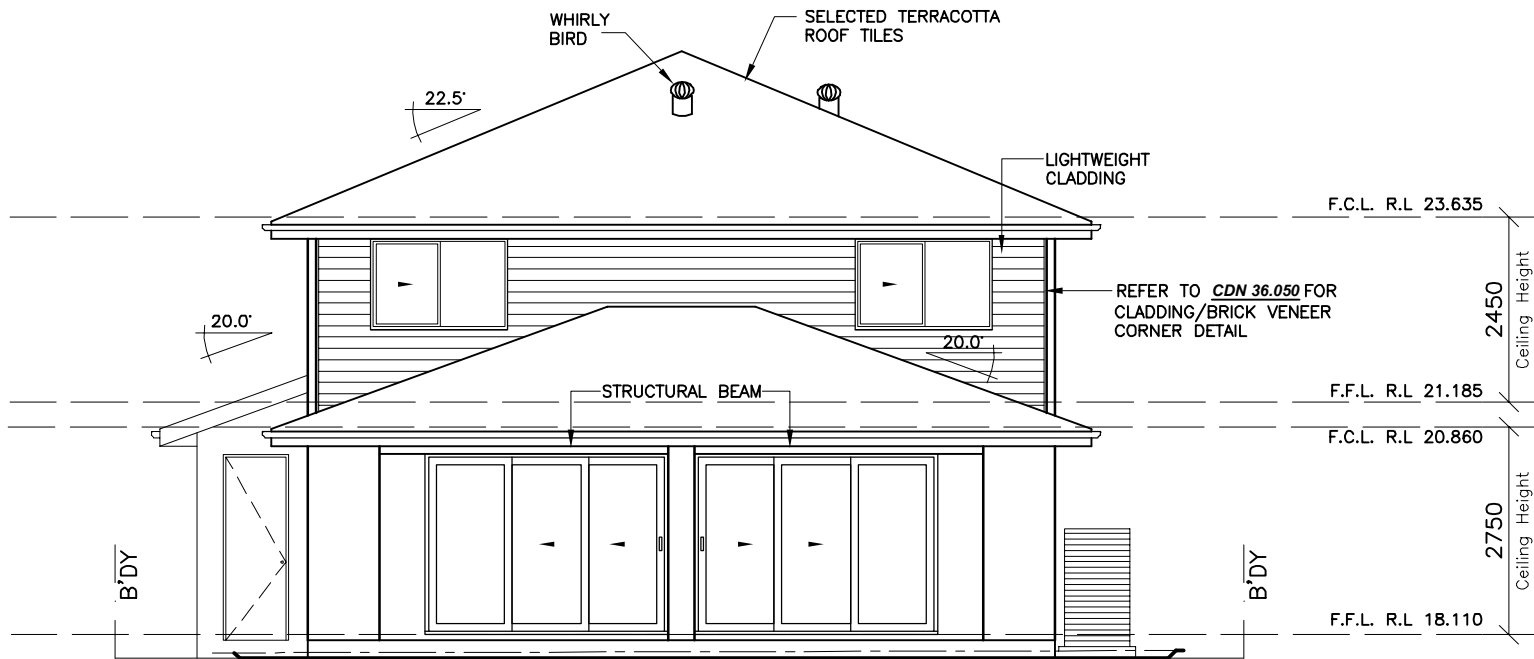
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SHEET: 5	JOB No: 29913900	NSW

PROVIDE T2 FRAMING  
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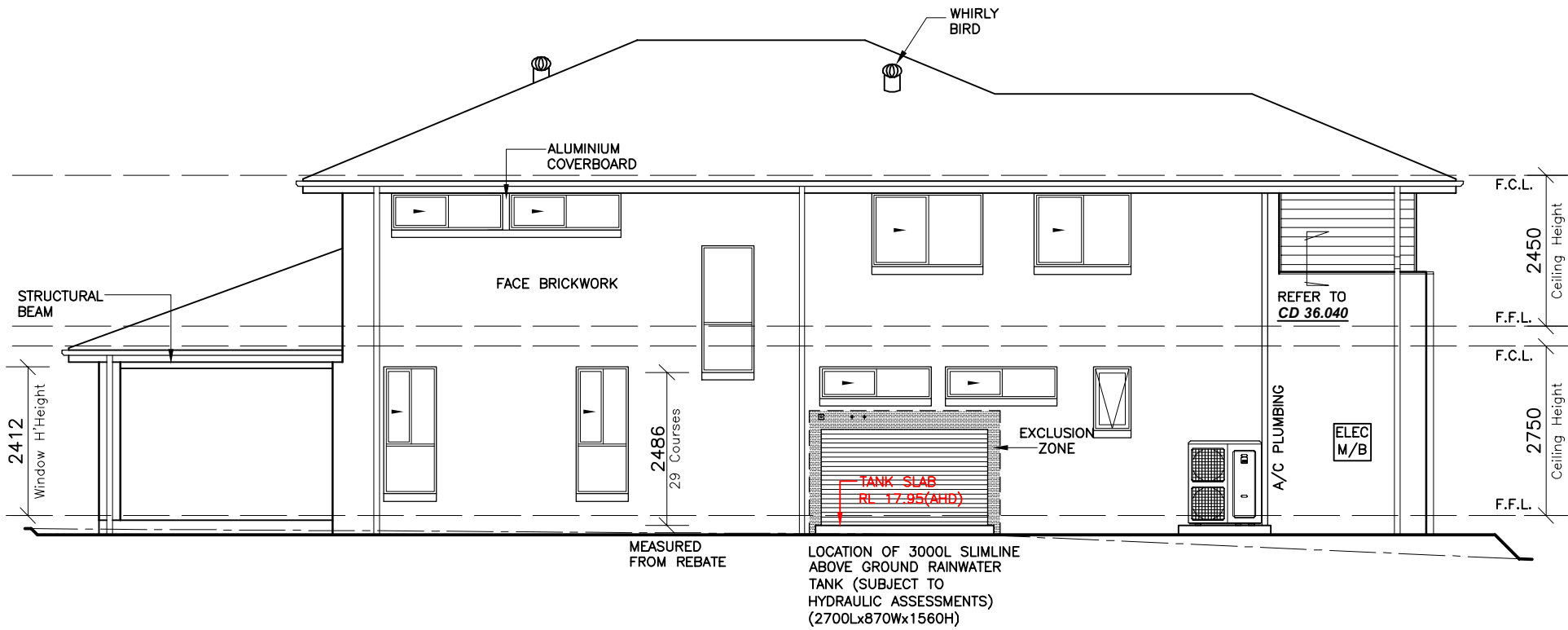


ELEVATION 3  
-NORTH EAST-



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DA2020/0399



ELEVATION 4  
-NORTH WEST-

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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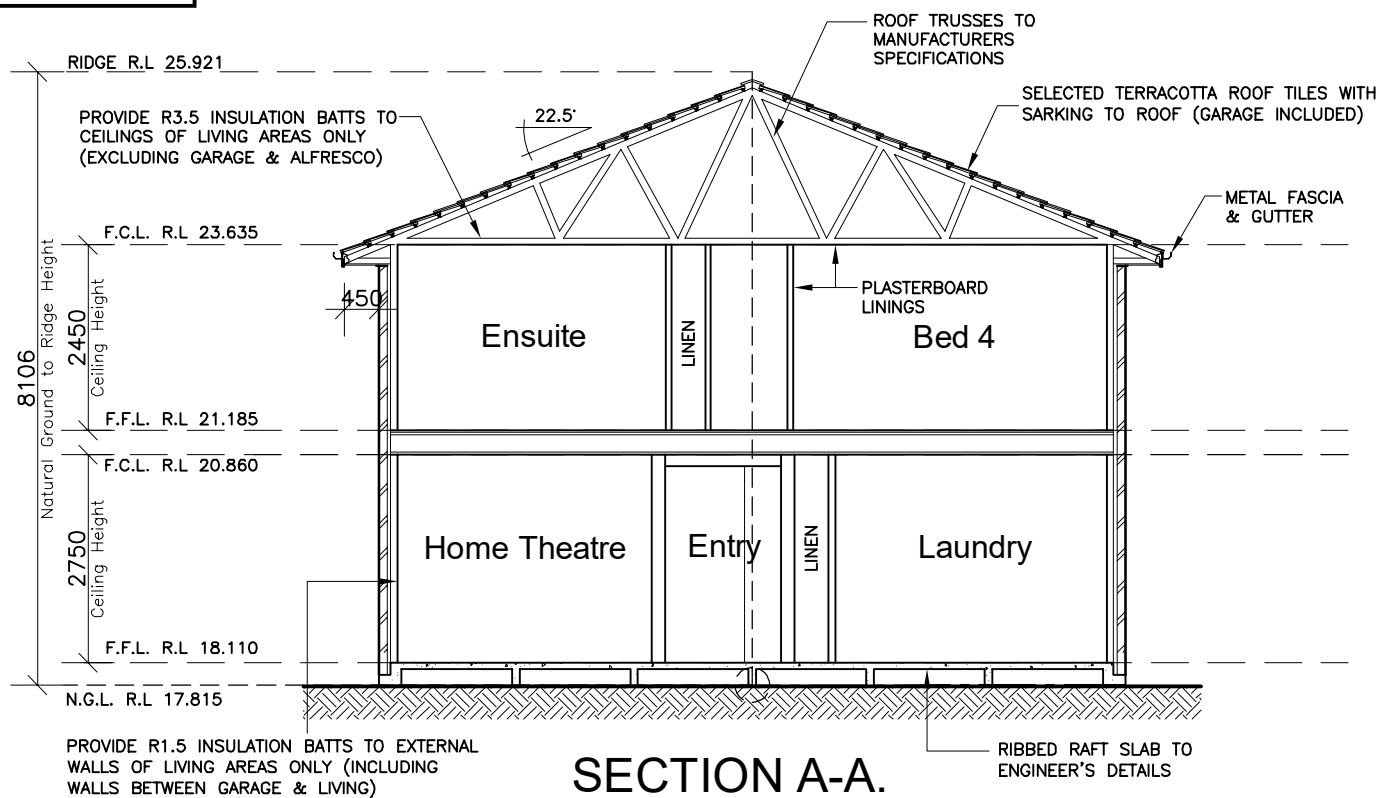
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SHEET: <b>6</b>	JOB No: <b>29913900</b>	<b>NSW</b>

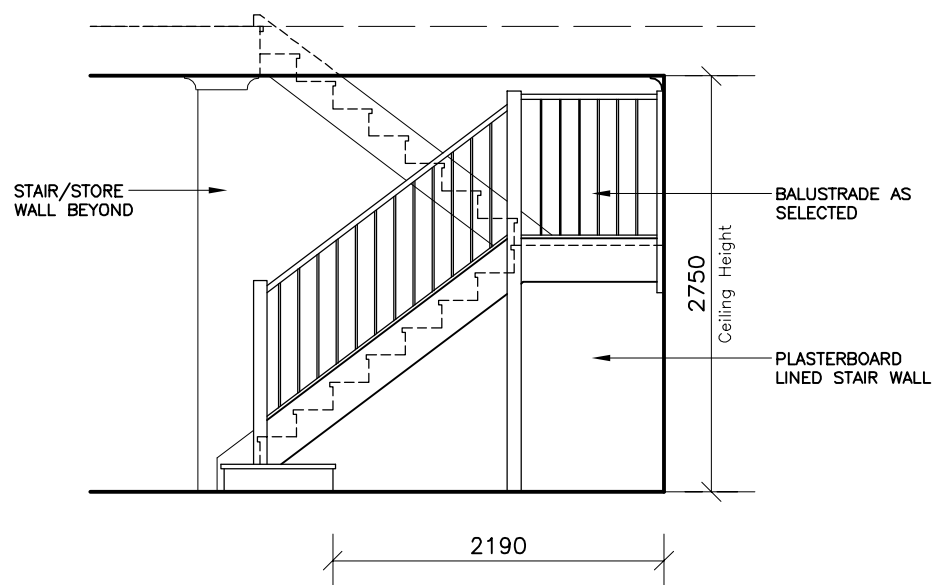


**NOTE:**  
INTERNAL DOOR LEAF HEIGHTS TO  
GROUND FLOOR TO BE 2340mm(H)

PROVIDE T2 FRAMING  
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SECTION A-A.



STAIR ELEVATION  
SCALE 1:50

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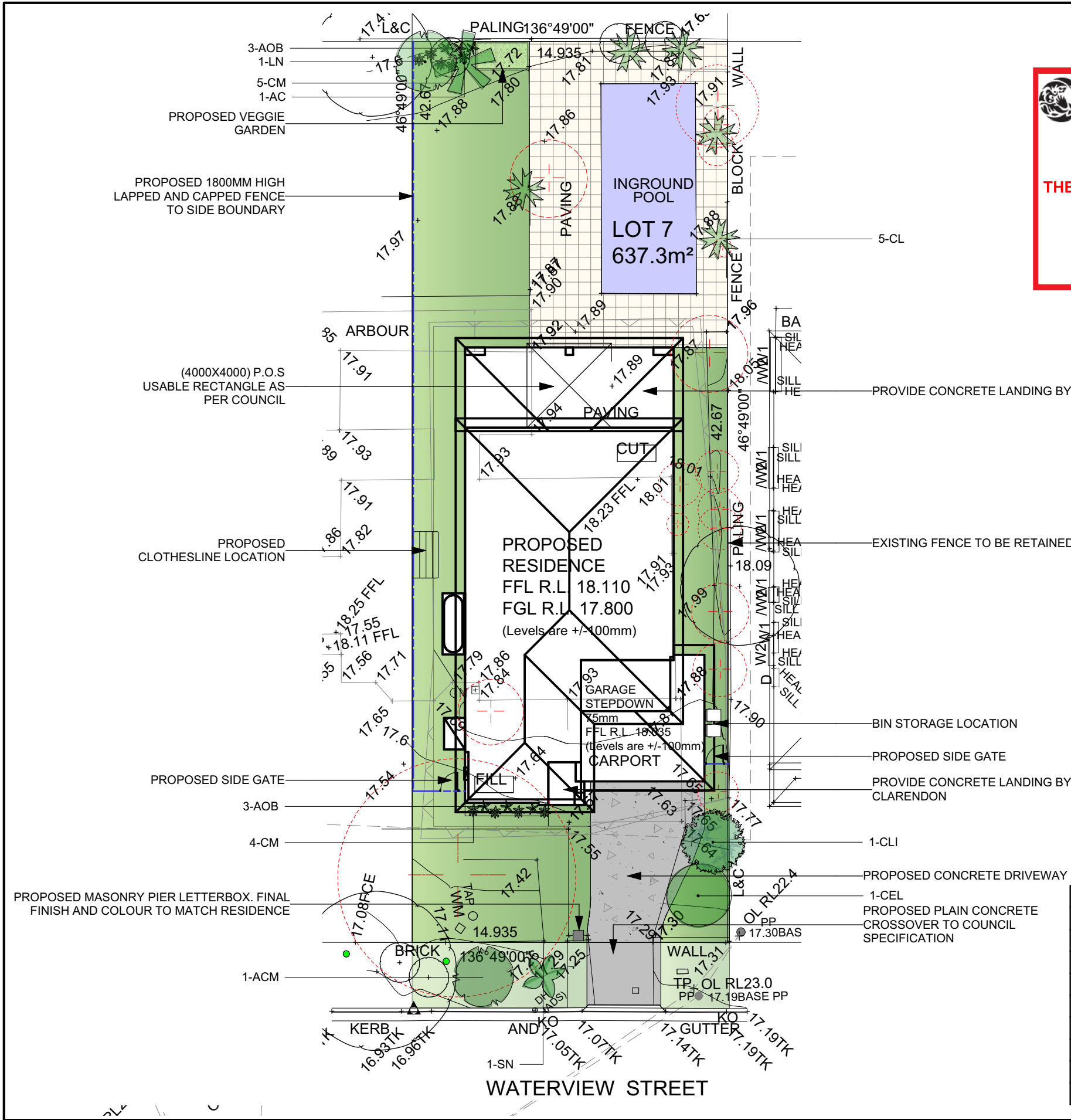
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DRAWN: PG.	DATE: 07.11.19	Rev:	H
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SHEET: 7	JOB No: 29913900	NSW	



 **northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0399**

**LEGEND**

**COLOUR CONCRETE**

**PLAIN CONCRETE**

**LAWN**

**FENCING**

**DECORATIVE GRAVEL/PEBBLE**

**STEPPING STONES IN GRAVEL/PEBBLE**

**RETAINING WALL**

**EXISTING TREE - RETAIN**

**EXISTING TREE - REMOVE**

**ISSUE FOR COUNCIL/DEVELOPER APPROVAL ONLY  
NOT FOR CONSTRUCTION**

**PLANT IMAGES**



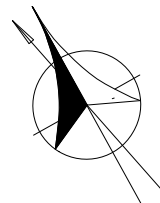
**PLANTING SCHEDULE**

ID	Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
ACM	Acmena smithii 'Minor'	Lillypilly	1	15lt	3000	5000
AOB	Agapanthus orientalis 'Blue'	Blue Nile Lily	6	2.5lt	600	600
AC	Archontophoenix alexandrae	Alexander Palm	1	25lt	3000	10000
CLI	Citrus 'Lime'	Lime	1	45lt	3000	3000
CEL	Citrus limon 'Eureka'	Eureka Lemon	1	25lt	3000	5000
CM	Clivea minata	Clivea	9	5lt	600	600
CL	Dypsis lutescens	Golden Cane Palm	5	25lt	2000	10000
LN	Lagerstroemia 'Natchez'	White Crepe Myrtle	1	25lt	3000	6000
SN	Strelitzia nicolai	Giant Bird of Paradise	1	25lt	2000	8000

General Notes:  
1. See Architects drawings for site levels, setbacks and extent of cut and fill.  
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.  
3. Landscape plan has been drawn to meet the minimum council and developer requirements. Additional landscape works further to minimum requirements have also been proposed on this plan. Any completion of works beyond the minimum requirements will remain at the discretion of the owner.  
4. Levels and dimensions are indicative only and are subject to site conditions.  
5. Requirements for retaining walls including height, position and extent, shall be determined and approved by others.



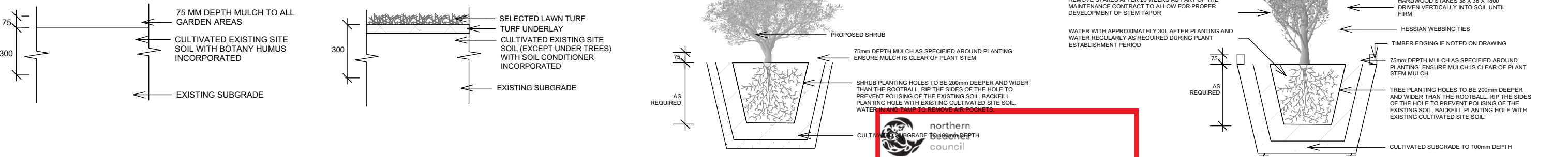
**BLUEGUM DESIGN SERVICES**  
T: 0435 127 244  
E: info@bluegumdesign.com.au  
W: bluegumdesign.com.au



DATE		REVISION	
DRAWING			
LANDSCAPE PLAN			
ADDRESS		DATE	PROJECT #
LOT 7, 97 WATERVIEW STREET, MONA VALE		05/12/19	CLARENDON HOMES
CLIENT		DRAWN	DWG #
ALLAN HOLLIDAY		SL	L/01
LODGE/MENT/COUNCIL		SCALE @ A3	REVISION
NORTHERN BEACHES COUNCIL		1:200	



LANDSCAPE DETAILS



OUTLINE LANDSCAPE SPECIFICATION

**Tree Protection:** Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

**Soil Preparation:** Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

**Lawn Edging and Stepping Stones:**(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging.(ii)Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

**Planting:** Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

**Staking:** All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

**Mulching:** Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

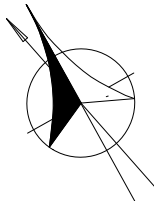
**Turfing:** Prepare for, level & lay cultivated Palmetto Buffalo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

General Notes:  
1. See Architects drawings for site levels, setbacks and extent of cut and fill.  
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.  
3. Landscape plan has been drawn to meet the minimum council and developer requirements. Additional landscape works further to minimum requirements have also been proposed on this plan. Any completion of works beyond the minimum requirements will remain at the discretion of the owner.  
4. Levels and dimensions are indicative only and are subject to site conditions.  
5. Requirements for retaining walls including height, position and extent, shall be determined and approved by others.



**BLUEGUM DESIGN**  
Landscape Plans for DA

**BLUEGUM DESIGN SERVICES**  
T: 0435 127 244  
E: info@bluegumdesign.com.au  
W: bluegumdesign.com.au



DATE		REVISION	
DRAWING		<b>LANDSCAPE DETAILS</b>	
ADDRESS		<b>97 WATERVIEW STREET, MONA VALE</b>	DATE <b>05/12/19</b>
CLIENT		<b>ALLAN HOLLIDAY</b>	DRAWN <b>SL</b>
LODGEMENT/COUNCIL		<b>NORTHERN BEACHES COUNCIL</b>	SCALE @ A3 <b>N/A</b>
			PROJECT # <b>CLARENDON HOMES</b>
			DWG # <b>L/02</b>
			REVISION



Certificate number: 1062209M\_04















Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
GF	2	46.0	4.0	0.0	0.0

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	✔	✔	
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install: <ul style="list-style-type: none"> <li>(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below, and</li> <li>(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.</li> </ul>		✔	✔
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔

[illegible]

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
MH	individual water tank (no. 1)	Tank size (min) 3000.0 litres	To collect run-off from at least: 150.0 square metres of roof area;	yes	yes	yes	no	no

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✔	✔	✔
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✔	✔
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/or at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✔	✔
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✔	✔

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.			
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		 	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		   	
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".			
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.			

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, not ducted	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-

QUOTE	DATE	QUOTE NUMBER	REV			
KITCHEN			-			
ZURCORP ELECTRICAL			-	L	25.06.20	GRANNY FLAT
TILES			-	K	12.05.20	NOTIFICATION
CARPET			-	J	16.04.20	AMENDED BAS
ZURCORP SECURITY			-	I	31.03.20	RESITED DWEL
EH1			-	H	25.03.20	EXEMPT FROM
AIR CONDITIONING			-	G	11.12.19	HYDRAULICS C
STAIRS			-	F	27.11.19	DA DRAWINGS
LANDSCAPE				E	26.11.19	BASIX AMENDN
HYDRAULICS				D	20.11.19	PCV 1
ENGINEER				C	07.11.19	CONTRACT DR
PEG OUT				B	28.10.19	RE-TENDER
				A	10.10.19	TENDER

CLIENT'S SIGNATURE:

DATE:

PRODUCT:

**BOSTON 36**  
Classic  
R/H Garage

## Sapphire Specification

Master Issued: 16.10.17      Revision: A

CLIENT:

Mr. HOLLIDAY  
Mrs. HOLLIDAY

SITE ADDRESS:

Lot 8 No.97, D.P: 7953

## Waterview Street

MONA VALE 2103

<u>AREAS</u>	
SITE:	637.30 m <sup>2</sup>
GROUND FLOOR:	142.91 m <sup>2</sup>
FIRST FLOOR:	153.23 m <sup>2</sup>
GARAGE:	34.17 m <sup>2</sup>
PORCH:	3.12 m <sup>2</sup>
BALCONY:	N/A m <sup>2</sup>
ALFRESCO:	37.54 m <sup>2</sup>
<u>GRANNY FLAT</u>	60.0 m <sup>2</sup>
TOTAL:	430.97 m <sup>2</sup>

2.5	SITE COVERAGE AND LANDSCAPE
2.4	NEIGHBOUR NOTIFICATION PLAN
2.3	SHADOW DIAGRAM
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
13	GF- WET AREA DETAILS
12	WET AREA DETAILS
11	WET AREA DETAILS
10	GF ELECTRICAL - SLAB - STEEL
9	ELECTRICAL
8	GF PLAN - ELEV - SECTION
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
<b>SHEET</b>	<b>DESCRIPTION</b>

<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>	<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L <div># ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div></div>	<div>PRODUCT: BOSTON 36 Classic R/H Garage  Sapphire Specification  Master Issued: 16.10.17      Revision: A</div>	<div>CIENT: Mr. HOLLIDAY Mrs. HOLLIDAY</div>	DA DRAWINGS		
			<div>SITE ADDRESS: Lot 8 No.97, D.P: 7953  Waterview Street MONA VALE 2103</div>	<div>DRAWN: PG.</div>	<div>DATE: 07.11.19</div>	<div>Rev:  L</div>
				<div>RATIO @ A3: N/A</div>	<div>CHECKED: J.S</div>	
				<div>SHEET: 1</div>	<div>JOB No: 29913901</div>	<div>NSW</div>



Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
GF	-	-	-	-	2	1	yes	yes	yes	yes	1	no
All other dwellings	3-phase airconditioning EER 3.0 - 3.5	3-phase airconditioning EER 3.0 - 3.5	3-phase airconditioning EER 3.0 - 3.5	3-phase airconditioning EER 3.0 - 3.5	5	3	yes	yes	yes	yes	3	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	no	yes

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
GF	16.0	25.5
All other dwellings	39.5	25.3

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m²)	Suspended floor with open subfloor (m²)	Suspended floor with enclosed subfloor (m²)	Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls
GF	46	-	-	-	No
All other dwellings	190	-	-	-	No

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0399

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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CLARENDON HOMES (NSW) P/L  
# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ  
IN PREFERENCE TO SCALING.

PRODUCT:

BOSTON 36  
Classic  
R/H Garage

Sapphire Specification  
Master Issued: 16.10.17      Revision: A

CLIENT:

Mr. HOLLIDAY  
Mrs. HOLLIDAY

SITE ADDRESS:  
Lot 8 No.97, D.P: 7953  
Waterview Street  
MONA VALE 2103

DA DRAWINGS

DRAWN:  
PG.

DATE:  
07.11.19

Rev:  
L

RATIO @ A3:  
N/A

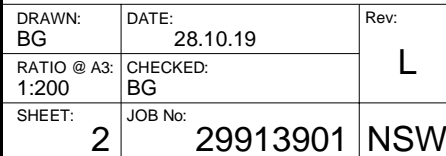
CHECKED:  
J.S

SHEET:  
1

JOB No:  
29913901

NSW







● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

⊗ EXHAUST FAN

SP STEEL POST

TSP TELESCOPIC STEEL POST

DP DOWN PIPE LOCATION

TAP GARDEN TAP LOCATION

ⓧ LIFT OFF HINGES

ARTICULATION JOINTS TO ENGINEERS DETAILS

NOTE:  
INTERNAL DOOR LEAF HEIGHTS TO GROUND FLOOR TO BE 2340mm(H)

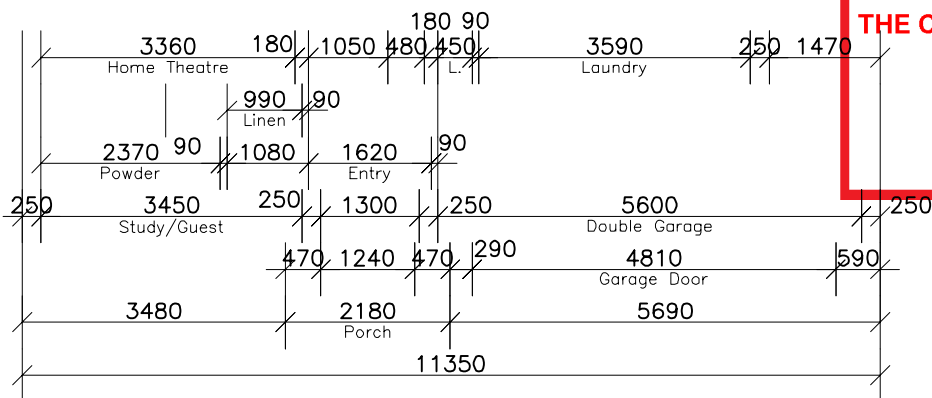
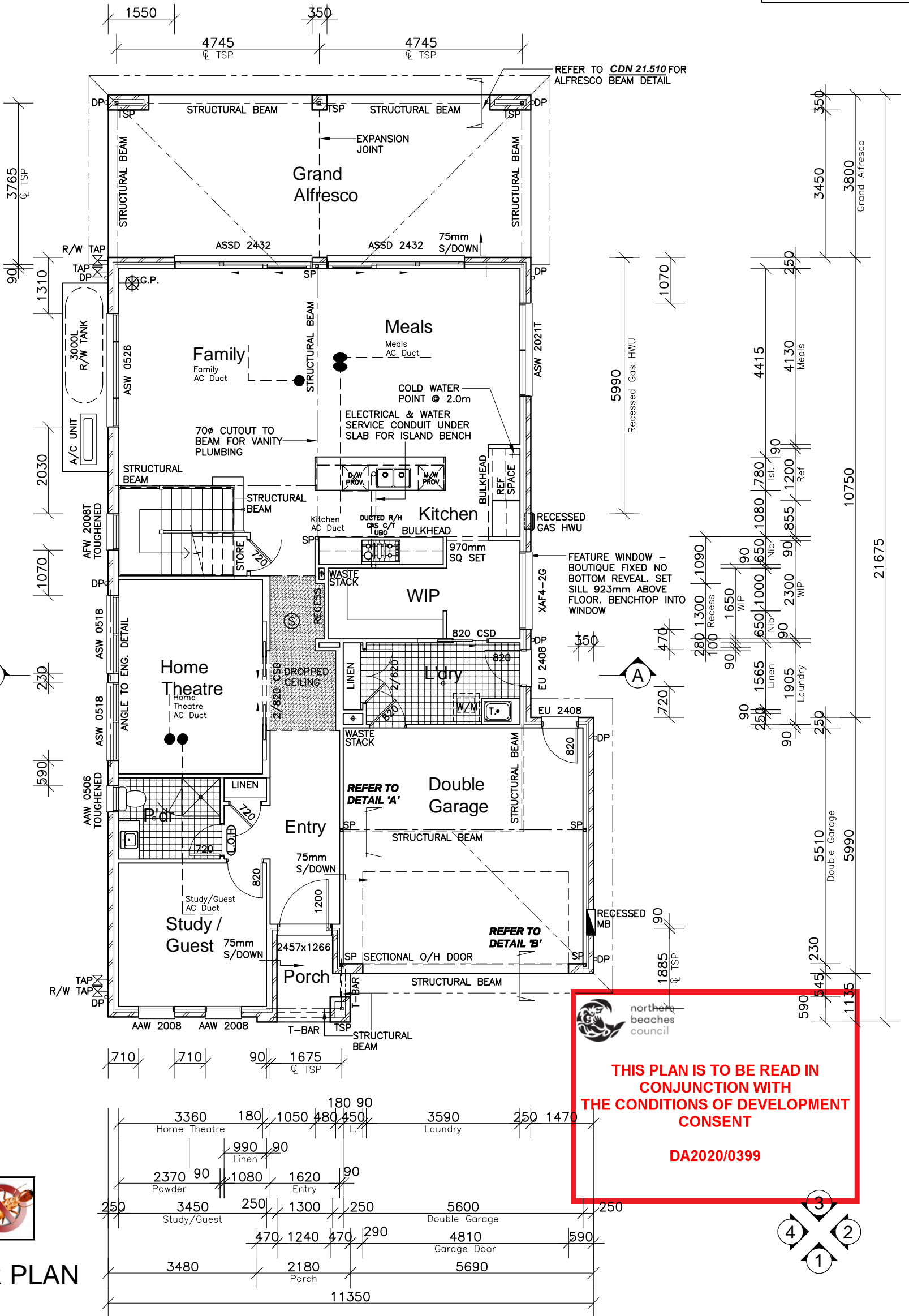
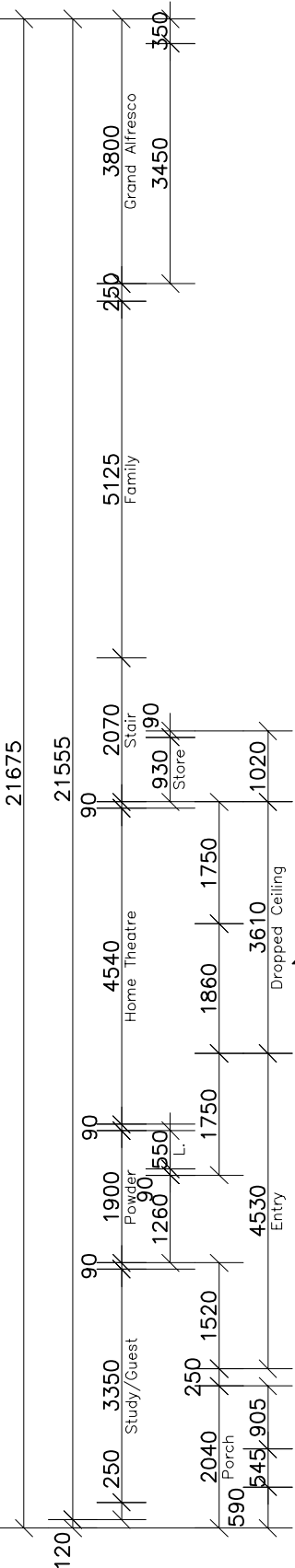
NOTE:  
PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

NOTE:  
(UNLESS NOTED OTHERWISE)  
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

REFER TO **CDN 21.510** FOR ALFRESCO BEAM DETAIL

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0399



PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



## GROUND FLOOR PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**  
BL No. 2298C  
ABN 18 003 892 706  
Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**BOSTON 36**  
Classic  
R/H Garage  
Sapphire Specification

CLIENT:  
Mr. HOLLIDAY  
Mrs. HOLLIDAY  
SITE ADDRESS:  
Lot 8 No.97, D.P: 7953  
Waterview Street  
MONA VALE 2103

DA DRAWINGS			
DRAWN: PG.	DATE: 07.11.19	Rev: L	
RATIO @ A3: 1:100	CHECKED: J.S		
SHEET: 3	JOB No: 29913901	NSW	

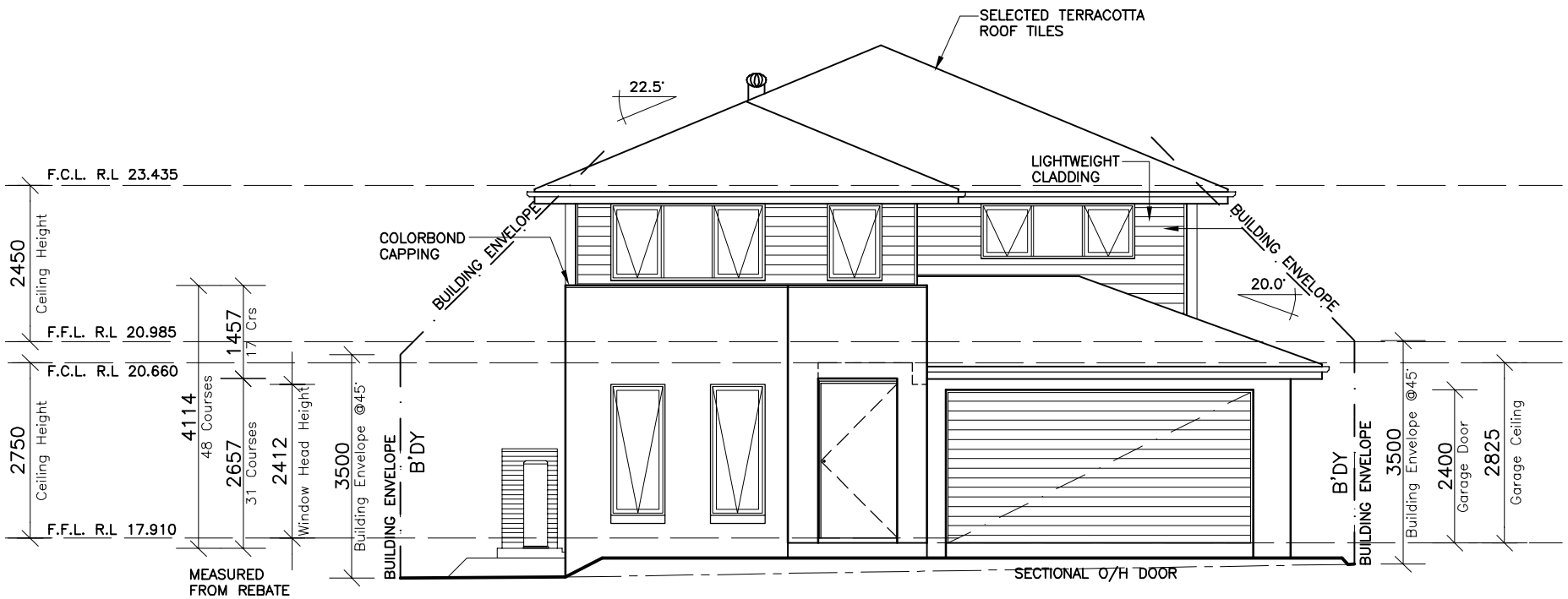
DRAWN: PG.	DATE: 07.11.19	Rev:  L
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 4	JOB No: 29913901	

NSW

PROVIDE T2 FRAMING  
TO DWELLING IN LIEU  
OF STANDARD



NOTES:  
FOR DROP-OFF's REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**

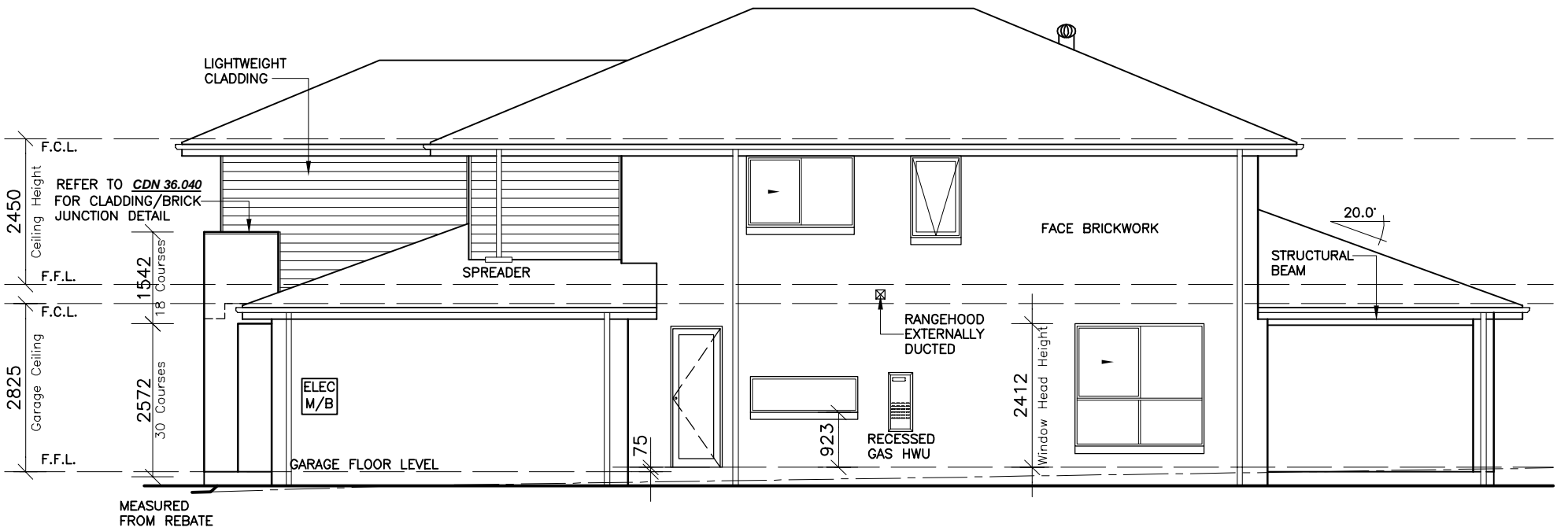


ELEVATION 1  
-SOUTH WEST-

 northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/0399**



ELEVATION 2  
-SOUTH EAST-

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ  
IN PREFERENCE TO SCALING.

PRODUCT:  
**BOSTON 36**  
Classic  
R/H Garage  
  
Sapphire Specification

CLIENT:  
Mr. HOLLIDAY  
Mrs. HOLLIDAY  
SITE ADDRESS:  
Lot 8 No.97, D.P: 7953  
Waterview Street  
MONA VALE 2103

DA DRAWINGS

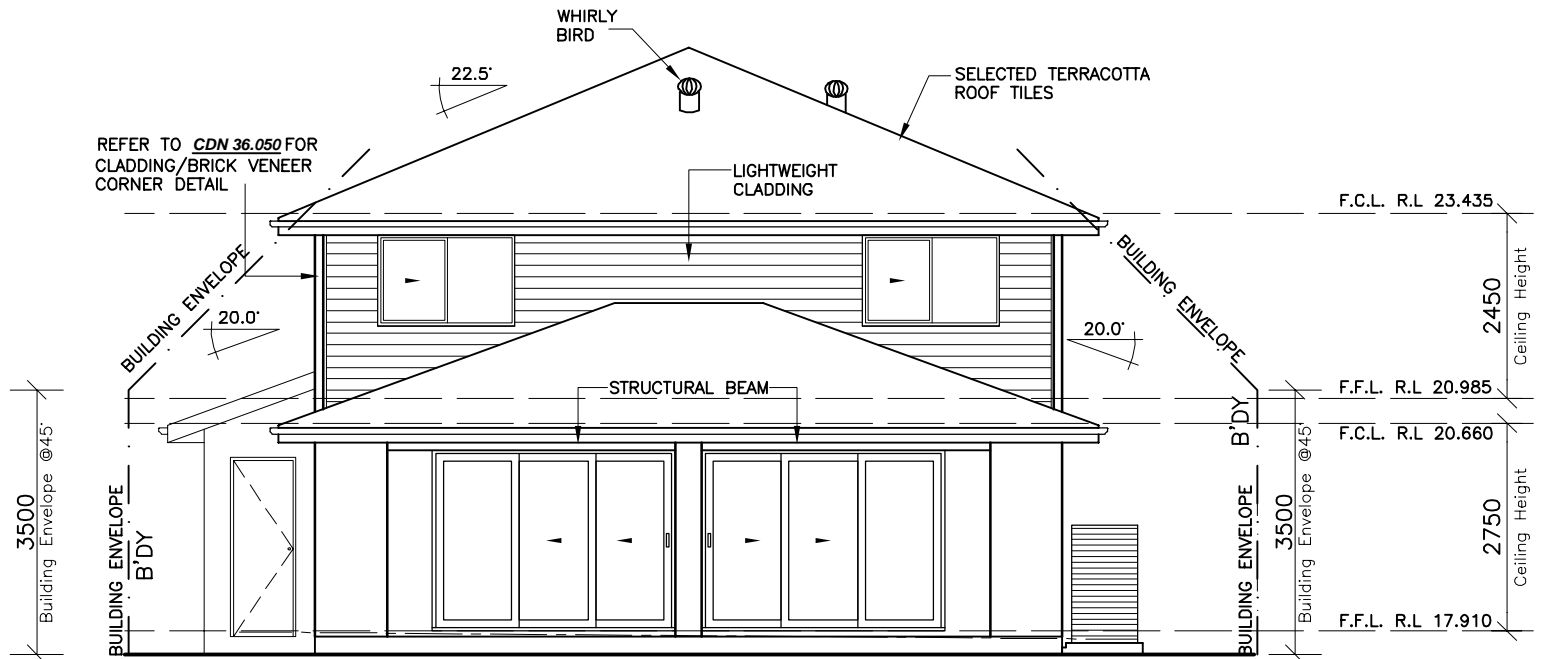
DRAWN: PG.	DATE: 07.11.19	Rev: L
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29913901	NSW



PROVIDE T2 FRAMING  
TO DWELLING IN LIEU  
OF STANDARD



NOTES:  
FOR DROP-OFF's REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**



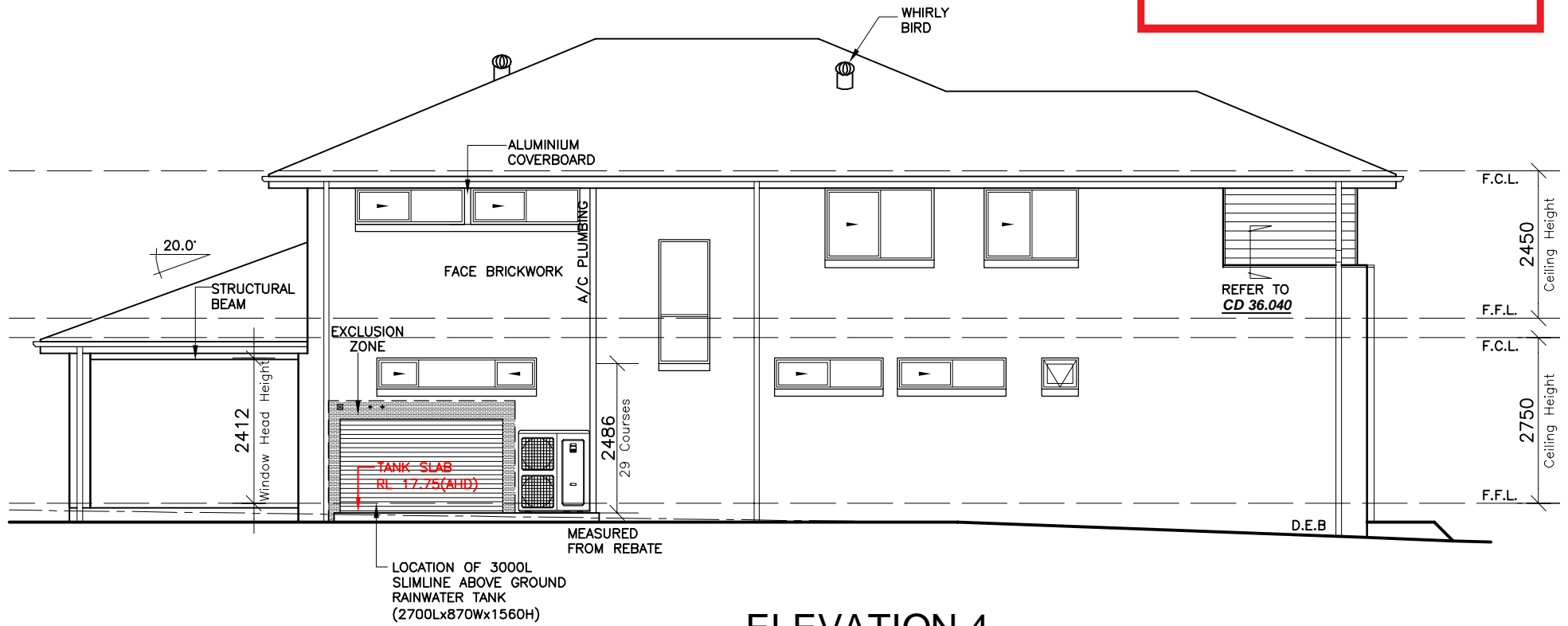
ELEVATION 3  
-NORTH EAST-



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0399



ELEVATION 4  
-NORTH WEST-

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ  
IN PREFERENCE TO SCALING.

PRODUCT:  
**BOSTON 36**  
Classic  
R/H Garage  
  
Sapphire Specification

CLIENT:  
Mr. HOLLIDAY  
Mrs. HOLLIDAY  
SITE ADDRESS:  
Lot 8 No.97, D.P: 7953  
Waterview Street  
MONA VALE 2103

DA DRAWINGS

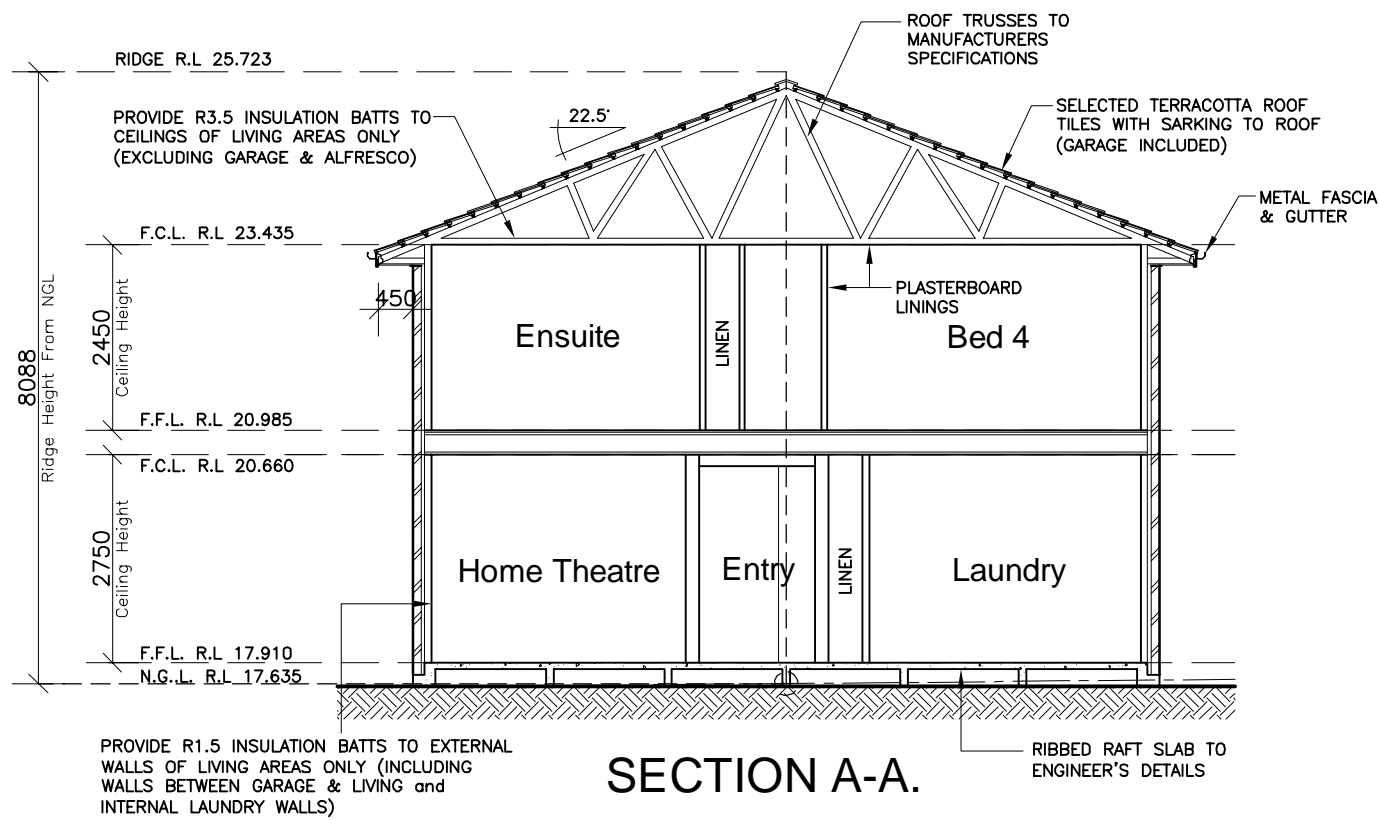
DRAWN: PG.	DATE: 07.11.19	Rev: L
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 6	JOB No: 29913901	NSW

NOTE:  
INTERNAL DOOR LEAF HEIGHTS TO  
GROUND FLOOR TO BE 2340mm(H)

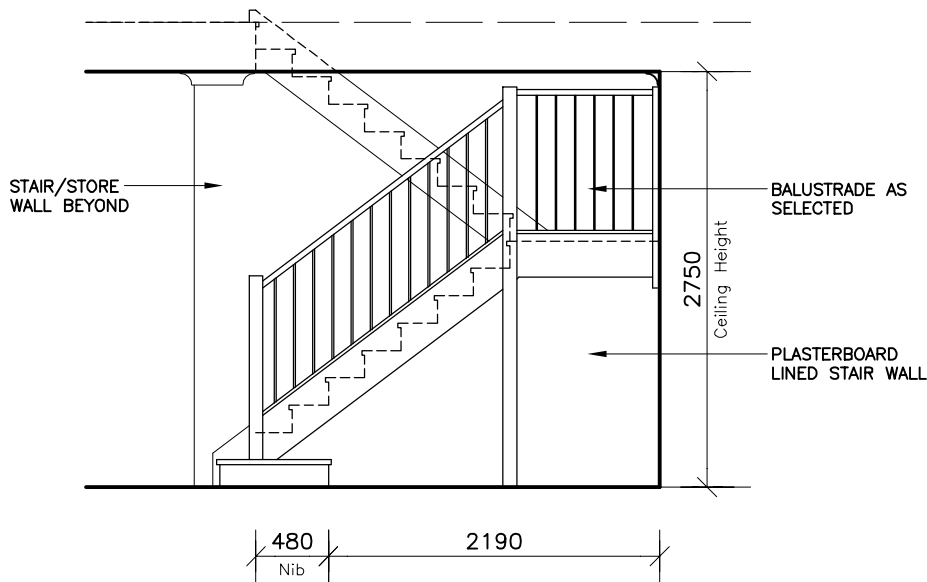
PROVIDE T2 FRAMING  
TO DWELLING IN LIEU  
OF STANDARD



PROVIDE R1.5 INSULATION BATTS TO CEILING  
JOISTS BETWEEN GARAGE & FIRST FLOOR



SECTION A-A.



STAIR ELEVATION  
SCALE 1:50



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0399

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ  
IN PREFERENCE TO SCALING.

PRODUCT:  
**BOSTON 36**  
Classic  
R/H Garage  
  
Sapphire Specification

CLIENT:  
Mr. HOLLIDAY  
Mrs. HOLLIDAY  
SITE ADDRESS:  
Lot 8 No.97, D.P: 7953  
Waterview Street  
MONA VALE 2103

DA DRAWINGS

DRAWN: PG.	DATE: 07.11.19	Rev: L
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 7	JOB No: 29913901	NSW



SMOKE ALARM

DENOTES WINDOWS WITH LOW 'E' GLAZING

DOWN PIPE LOCATION  
GARDEN TAP LOCATION  
LIFT OFF HINGES  
STEEL POST  
TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

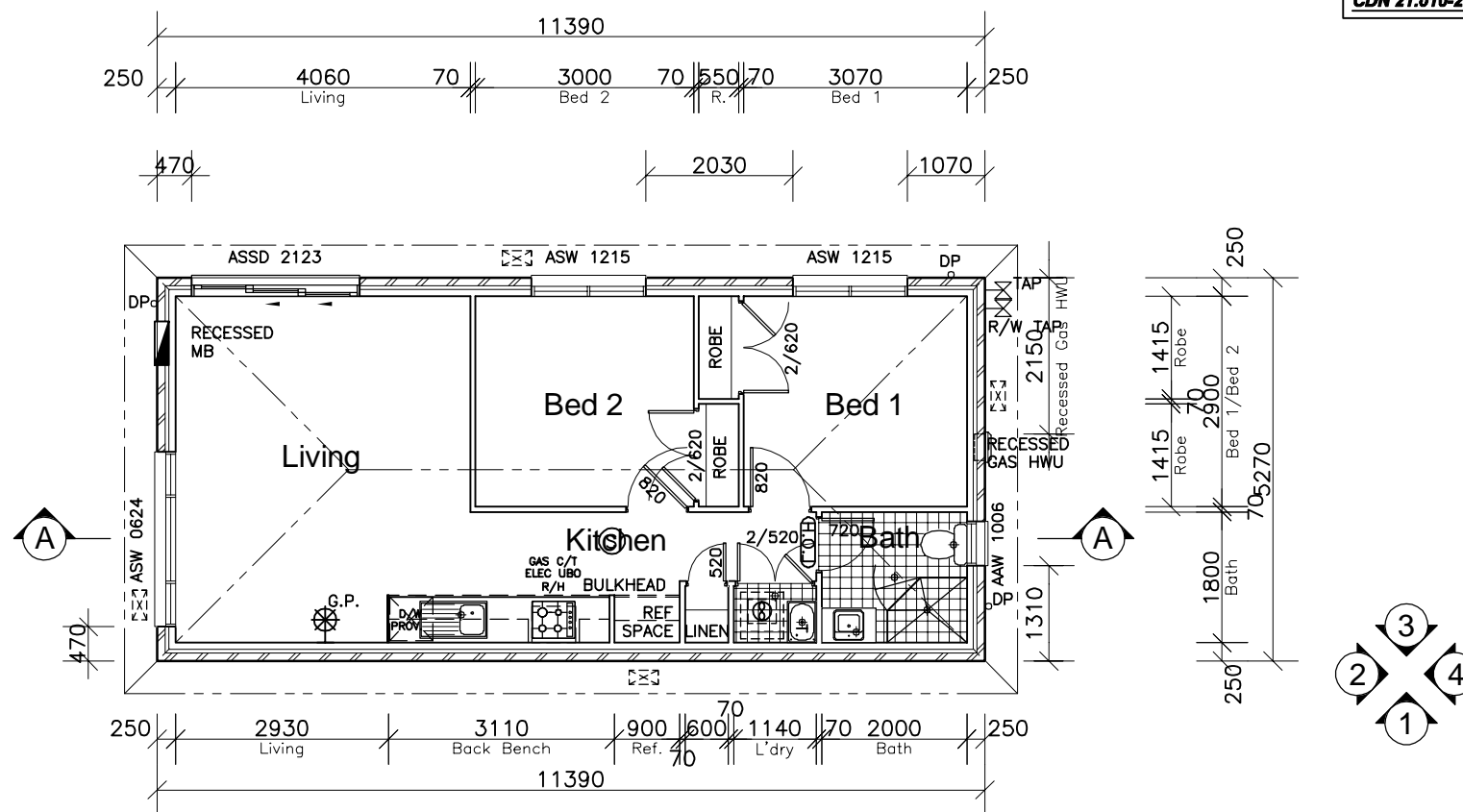
EXHAUST FAN  
400x200mm EAVE VENT

NOTE:  
(UNLESS NOTED OTHERWISE)

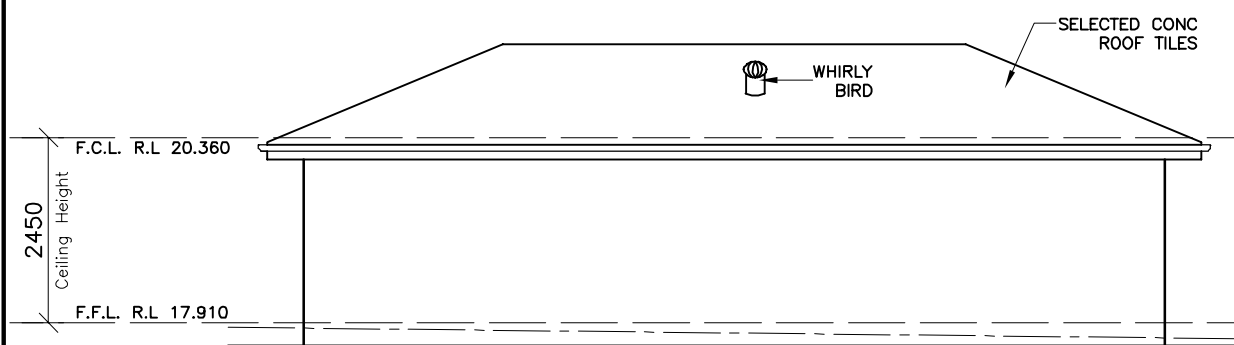
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

NOTES:  
FOR DROP-OFF'S REFER TO FRAMING DETAILS  
CDN 21.010-21.080

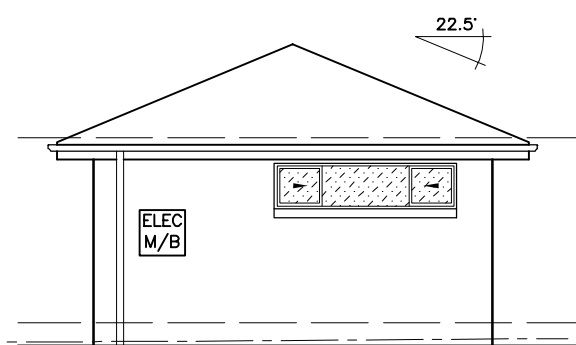
## FLOOR PLAN



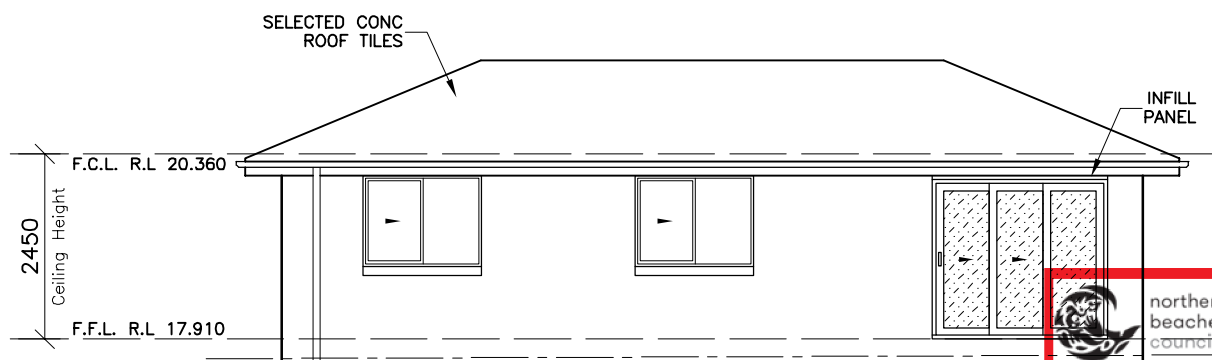
## ELEVATION 1 -SOUTH WEST-



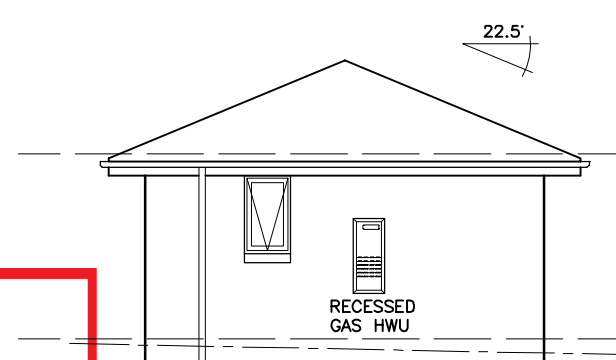
## ELEVATION 2 -SOUTH EAST-



## ELEVATION 3 -NORTH EAST-



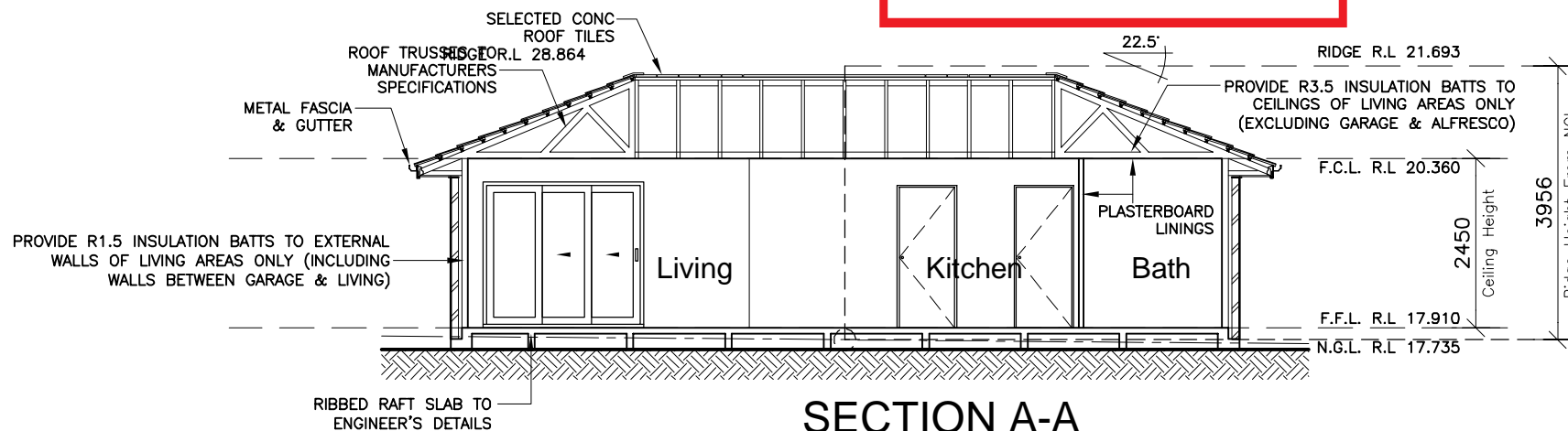
## ELEVATION 4 -NORTH WEST-



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0399

## SECTION A-A



60sqm Granny Flat  
2 Bedroom

CLIENT'S SIGNATURE: DATE:

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

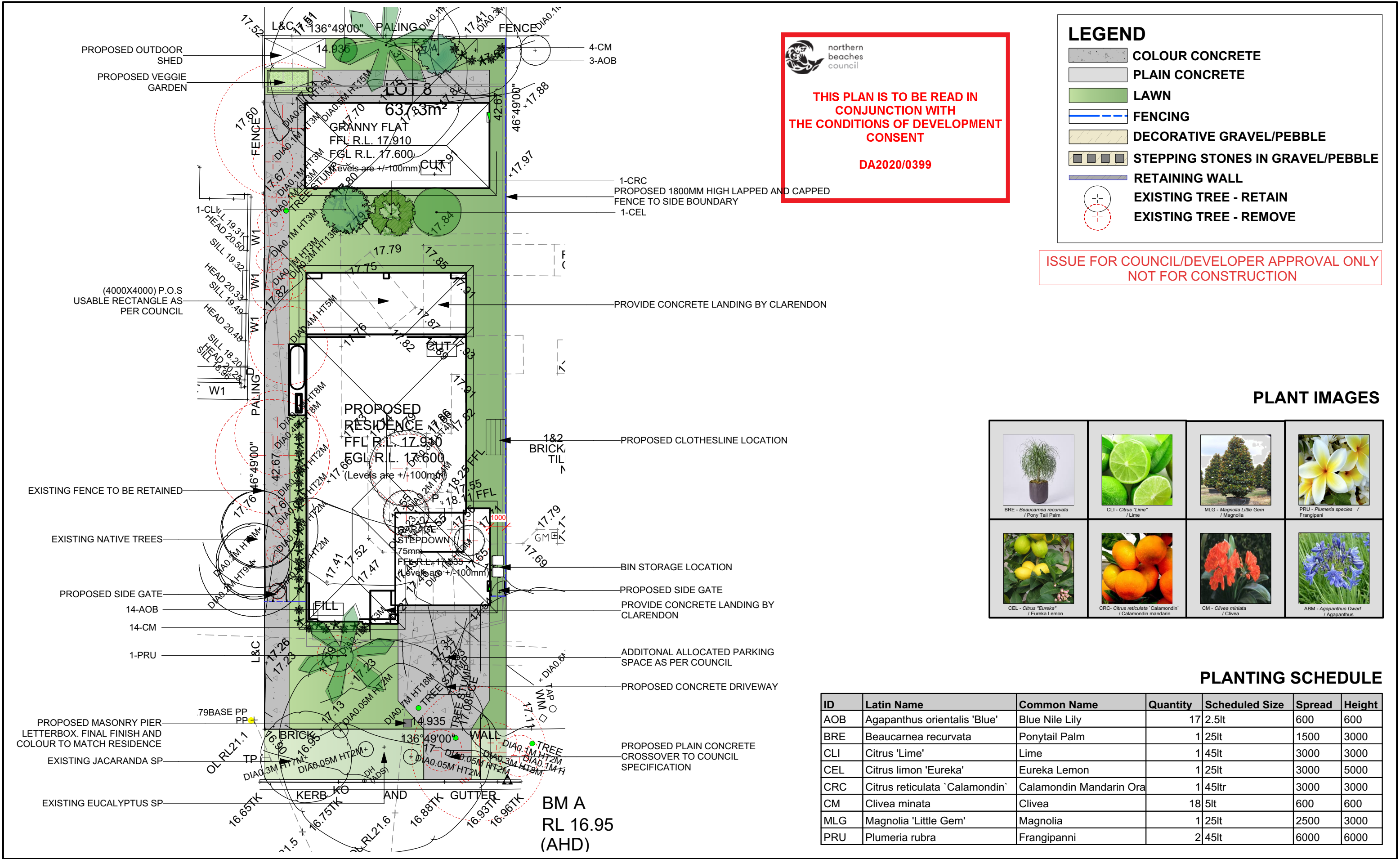
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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**BOSTON 36**  
Classic  
R/H Garage  
  
Sapphire Specification

CLIENT:  
Mr. HOLLIDAY  
Mrs. HOLLIDAY  
SITE ADDRESS:  
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Waterview Street  
MONA VALE 2103

## DA DRAWINGS

DRAWN: PG.	DATE: 07.11.19	Rev: L
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 8	JOB No: 29913901	NSW




General Notes:  
1. See Architects drawings for site levels, setbacks and extent of cut and fill.  
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.  
3. Landscape plan has been drawn to meet the minimum council and developer requirements. Additional landscape works further to minimum requirements have also been proposed on this plan. Any completion of works beyond the minimum requirements will remain at the discretion of the owner.  
4. Levels and dimensions are indicative only and are subject to site conditions.  
5. Requirements for retaining walls including height, position and extent, shall be determined and approved by others.



**BLUEGUM DESIGN**  
Landscape Plans for DA

**BLUEGUM DESIGN SERVICES**  
T: 0435 127 244  
E: info@bluegumdesign.com.au  
W: bluegumdesign.com.au

	DATE		REVISION	
	DRAWING			
	LANDSCAPE PLAN			
	ADDRESS		DATE	PROJECT #
	LOT 8, 97 WATERVIEW STREET, MONA VALE		30/06/20	CLARENDON HOMES
CLIENT		DRAWN	DWG #	
ALLAN HOLLIDAY		SL	L/01	
LODGEMENT/COUNCIL		SCALE @ A3	REVISION	
NORTHERN BEACHES COUNCIL		1:200	B	