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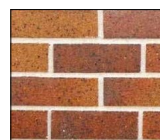
private residence

29 daly street, bilgola plateau

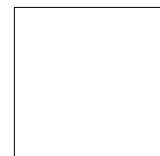
additions and alterations
development application

architectural perspectives

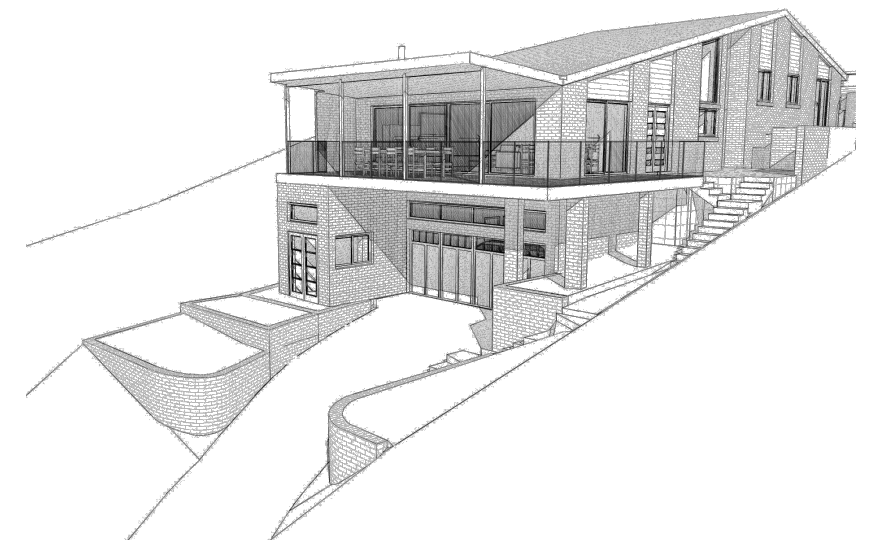
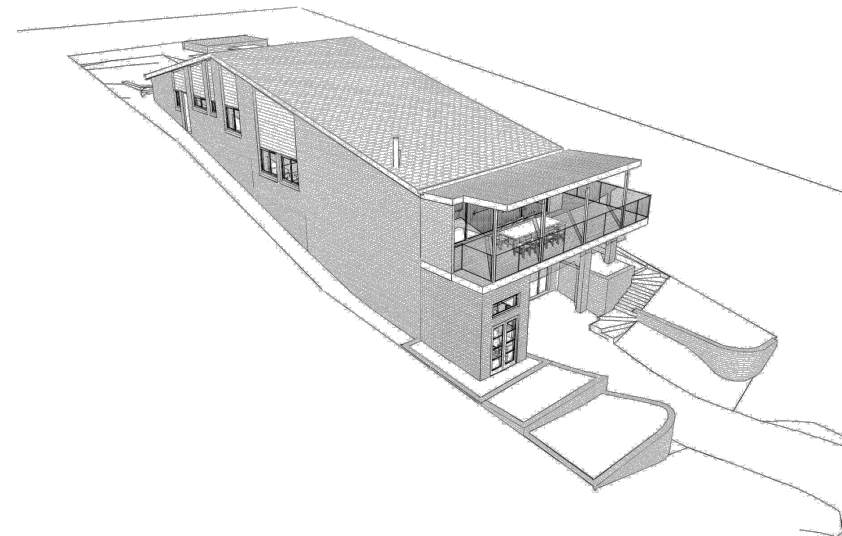
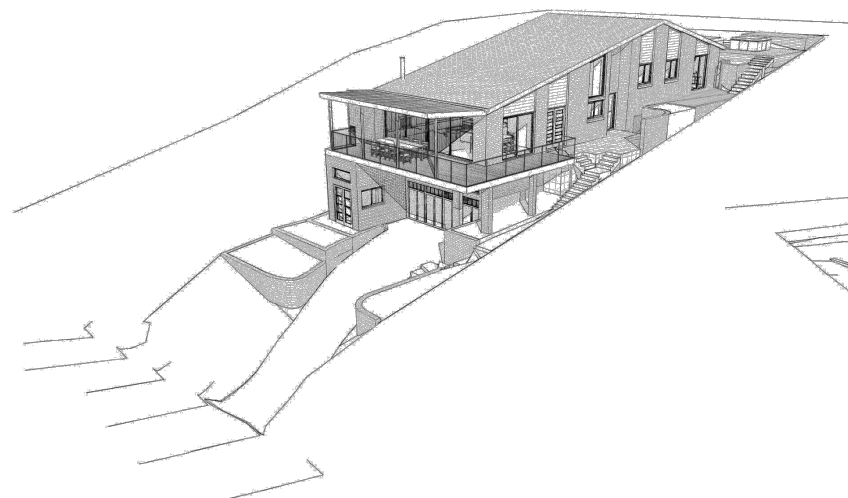
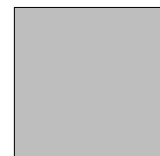
BRICK
WHITE
or similar
to match existing



WINDOWS
WHITE
ALUMINIUM
or similar

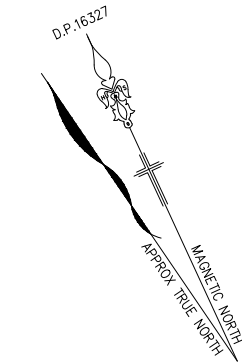
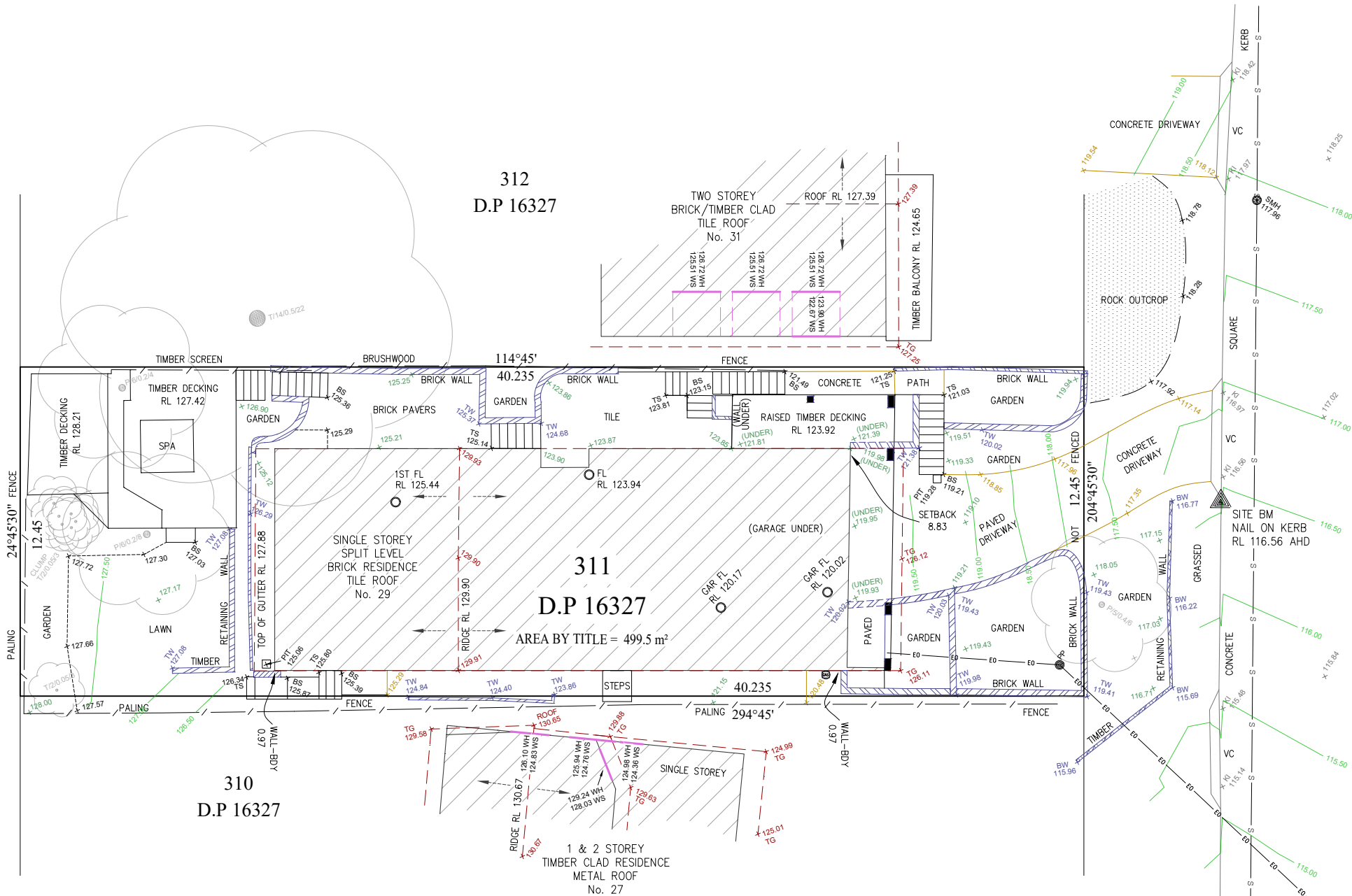
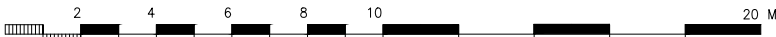


ROOF
COLORBOND
SHALE GREY
or similar



A1

1:100@A1
1:200@A3



STREET

DALY

TITLE NOTATIONS:

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- B934554 COVENANT
- A1841659 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA

LAYER	LINE TYPE
BUILDING & STRUCTURES	
CONTOURS	
EDGE OF PAVING AND CONCRETE	
ELECTRICITY OVERHEAD	
FENCE	
GARDEN	
ROAD	
ROOF LINE	
ROCK OUTCROP	
WALLS AND RETAINING WALLS	
WINDOWS AND DOORS	

- PALM
P/CANOPY/TRUNK DIAMETER/HEIGHT
- TREE
T/CANOPY/TRUNK DIAMETER/HEIGHT
- ROOF FALL INDICATOR
- DENOTES STONE RETAINING WALL
- DENOTES COLUMN
- DENOTES STAIRS

NOTES:

1. BOUNDARIES HAVE BEEN DETERMINED BY FIELD SURVEY
2. ORIGIN OF LEVELS SSM 66025 RL 113.724 AHD.
3. CONTOUR INTERVAL, 0.5 METRES.
4. CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
5. CRITICAL SPOT LEVELS SHOULD BE CONFIRMED PRIOR TO ANY DESIGN OR CONSTRUCTION.
6. THIS DRAWING MUST BE PRINTED IN COLOUR.
7. TOP OF WALLS AND FENCES ARE INDICATIVE IN NATURE AND AS SUCH ARE ONLY RELIABLE AT THE LOCATIONS INDICATED.
8. ONLY VISIBLE SERVICES HAVE BEEN SURVEYED. THE POSITION OF UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED. IF EXCAVATION IS REQUIRED IT IS RECOMMENDED A FULL UTILITY INVESTIGATION BE UNDERTAKEN SUBJECT TO S149 OF THE EP&A, IN CONJUNCTION WITH A LOCATION SURVEY BE CONDUCTED BEFORE CONSTRUCTION COMMENCES.
9. ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE AT THE LAND TITLES OFFICE.
10. WALL TO BOUNDARY DIMENSIONS SHOWN ON THIS PLAN MUST NOT BE USED FOR CONSTRUCTION PURPOSES. IF CONSTRUCTION IS INTENDED FOR THE SUBJECT PROPERTY ON OR NEAR THE BOUNDARIES, THE BOUNDARIES MUST BE MARKED.
11. TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
12. THE POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY.
13. COPYRIGHT(2021) H&S LAND SURVEYORS PTY LTD. "ALL RIGHTS RESERVED"

SYM CODE	DESCRIPTION
	BM BENCH MARK
	BOL BOLLARD
	GAS GAS SERVICE/METER
	HYD HYDRANT
	IC INSPECTION CAP
	LP LIGHT POLE
	PIT SERVICE PIT
	PP POWER POLE
	SGN SIGN
	SLH SEWER LAMP/VENT HOLE
	SMH SEWER MANHOLE
	SV STOP VALVE
	TEL TELECOM SERVICE
	WM WATER METER
	US UNKNOWN SERVICE

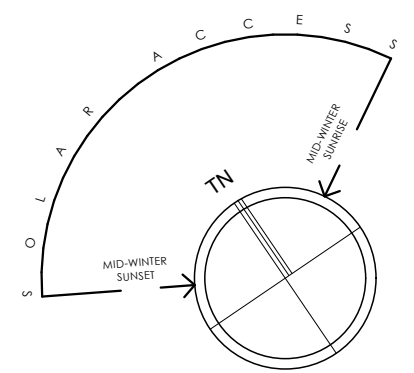
LEGEND

- BS - BOTTOM OF STEP
- BW - BOTTOM OF WALL
- DH - DOOR HEAD LEVEL
- DS - DOOR SILL LEVEL
- FL - FLOOR LEVEL
- GFL - GARAGE FLOOR LEVEL
- KI - KERB INVERT LEVEL
- PA - PARAPET
- PC - PEDESTRIAN CROSSING
- SO - STORMWATER OUTLET
- TF - TOP OF FENCE
- TG - TOP OF GUTTER
- TS - TOP OF STAIRS
- TW - TOP OF WALL
- VC - VEHICLE CROSSING
- WH - WINDOW HEAD
- WS - WINDOW SILL

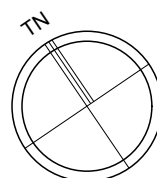


DATE OF REVISION: 29/07/2021	LGA: NORTHERN BEACHES
REVISION: B	SURVEYED: GH
DATE OF SURVEY: 09/10/2021	DRAWN: GH
HORIZONTAL DATUM: N/A	CHECKED: JS
VERTICAL DATUM: AHD	SCALE @ A3 - 1:200
SHEET 1 OF 1 SHEETS	SCALE @ A1 - 1:100

DANIEL AND VALERIE MARSH	
SURVEY PLAN SHOWING DETAIL, LEVELS & BOUNDARY IDENTIFICATION OVER LOT 311 IN D.P 16327 NO. 29 DALY STREET, BILGOLA PLATEAU	
	H & S
JASON SHELDRAKE REG'D SURVEYOR ID No.9132	LAND SURVEYORS . PTY LTD ABN: 90 631 354 286 E-MAIL: info@hslandsurveyors.com.au






Solar June 21 12pm
1:200

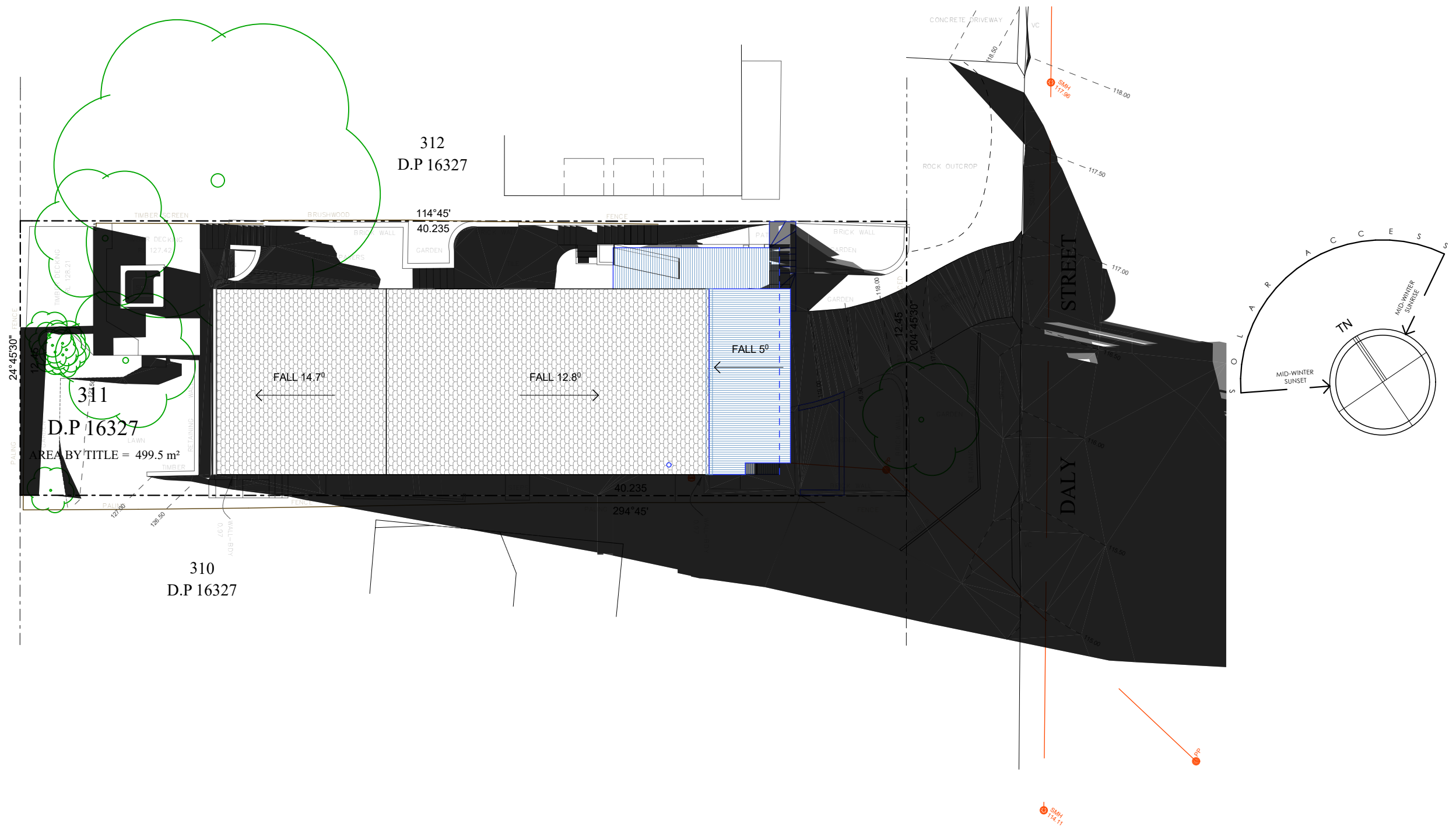


REV	DATE	DESCRIPTION
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CLIENT: **Private**

 = Proposed Work
 = Demolition
 = Existing

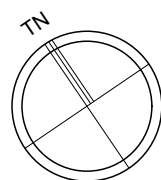
STATUS: DA		
DATE: 101221	SCALE: 1:200@A3	PROJECT NUMBER: 2104
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA13		



Proposed shadow

Existing shadow

Solar June 21 3pm
1:200



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.		
REV	DATE	DESCRIPTION

Plan A
info@plansA.com.au

PROJECT: 29 Daly St, Bilgola Plateau,
2107, NSW
Alterations & Additions
LOT 311 in DP 16327 - 499.5m2

CLIENT:
Private

■ = Proposed Work
■ = Demolition
■ = Existing

STATUS: DA		
DATE: 101221	SCALE: 1:200@A3	PROJECT NUMBER: 2104
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA14		

Alterations and Additions

Certificate number: A429479

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 27 August 2021

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements		✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	

Description of project

Project address	
Project name	29 Daly St - DA
Street address	29 Daly Street Bilgola Plateau 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 16327
Lot number	311
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	E	3.1	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W1A	E	0.9	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	E	7	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	E	7	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



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The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

Plan A
info@plansA.com.au

PROJECT: 29 Daly St, Bilgola Plateau, 2107, NSW
Alterations & Additions
LOT 311 in DP 16327 - 499.5m2

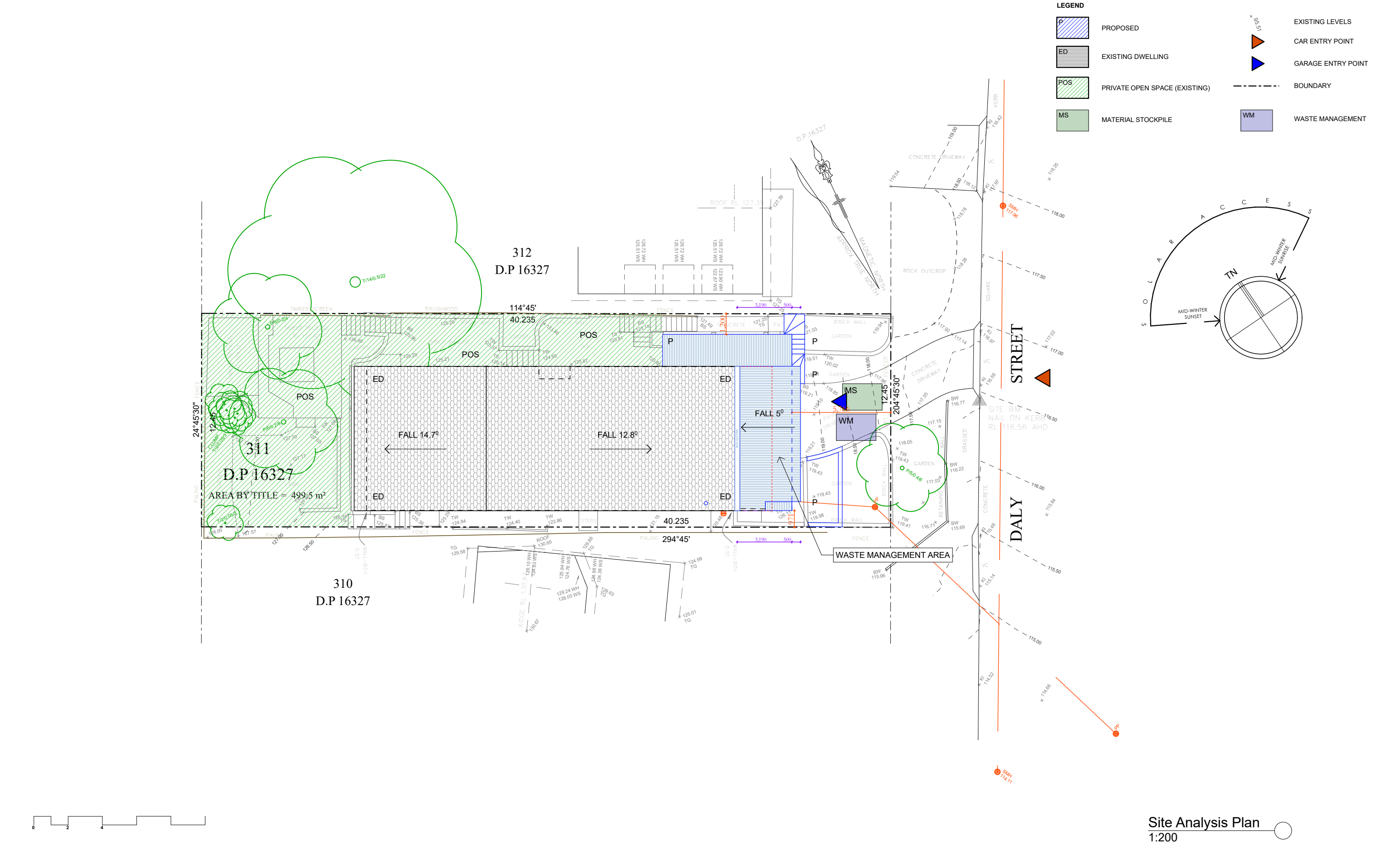
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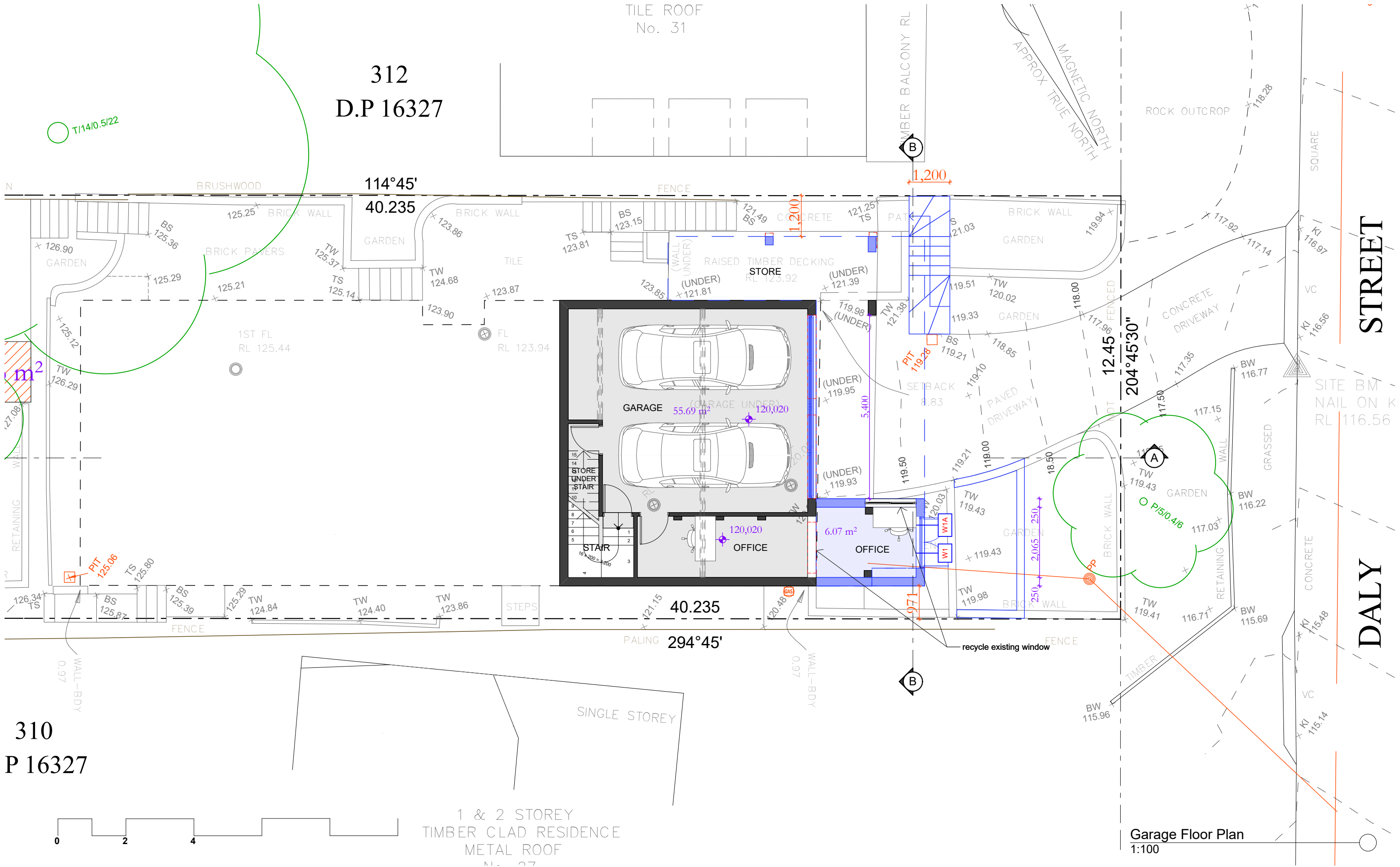
= Proposed Work

= Demolition

= Existing

STATUS: DA		
DATE: 101221	SCALE: 1:100@A3	PROJECT NUMBER: 2104
STAGE: DA	DRAWN/DESIGNEL: PB / MP	
DRAWING NO: DA15		





DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.

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REV	DATE	DESCRIPTION

Plan A

info@plansA.com.au

PROJECT: 29 Daly St, Bilgola Plateau, 2107, NSW

Alterations & Additions

LOT 311 in DP 16327 - 499.5m2

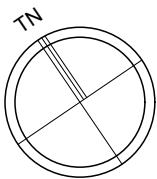
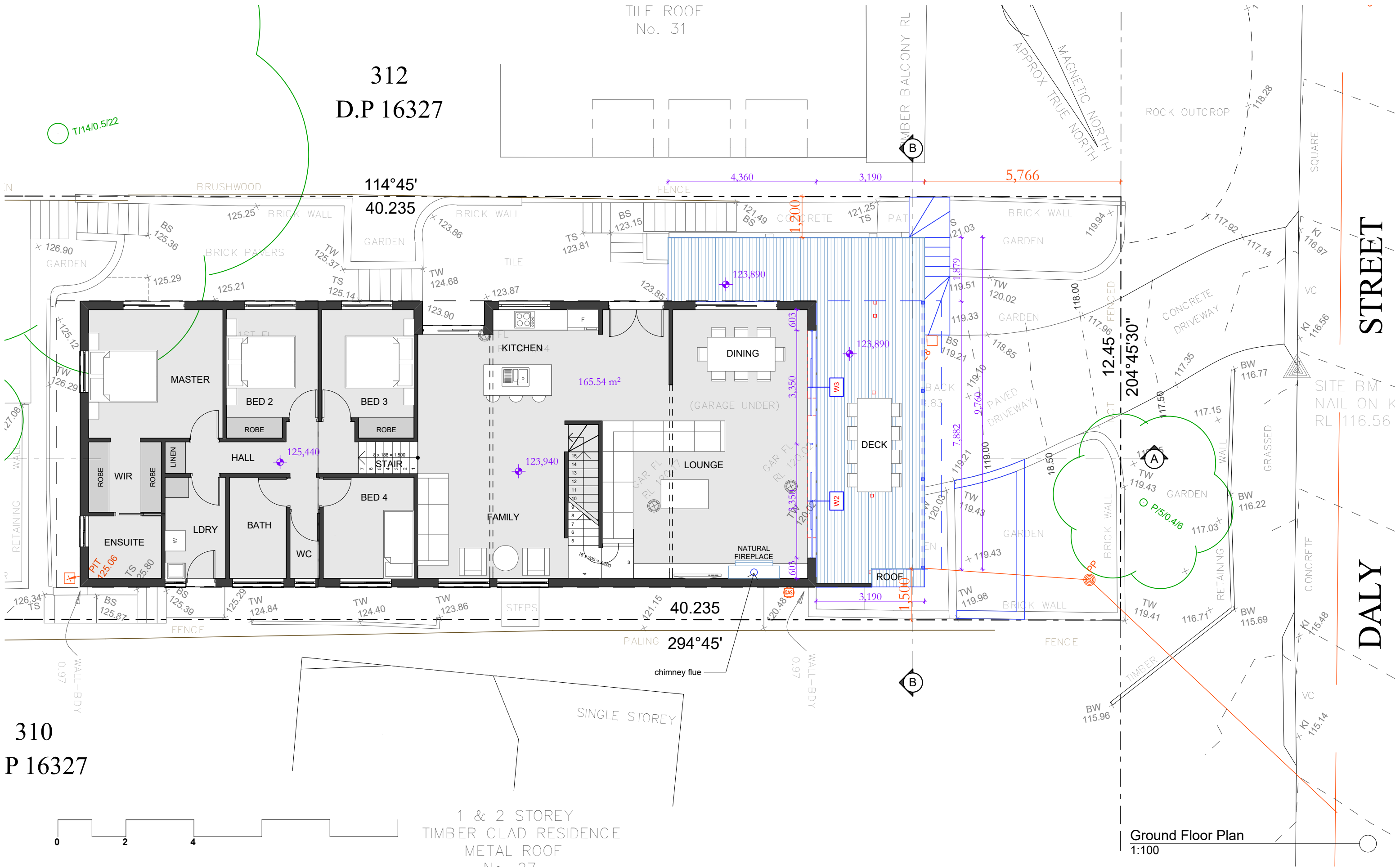
CLIENT: Private

= Proposed Work

= Demolition

= Existing

STATUS: DA		PROJECT NUMBER: 2104
DATE: 101221	SCALE: 1:100@A3	ISSUE:
STAGE: DA	DRAWN/DESIGNED: PB / MP	
DRAWING NO: DA4		



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
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REV	DATE	DESCRIPTION

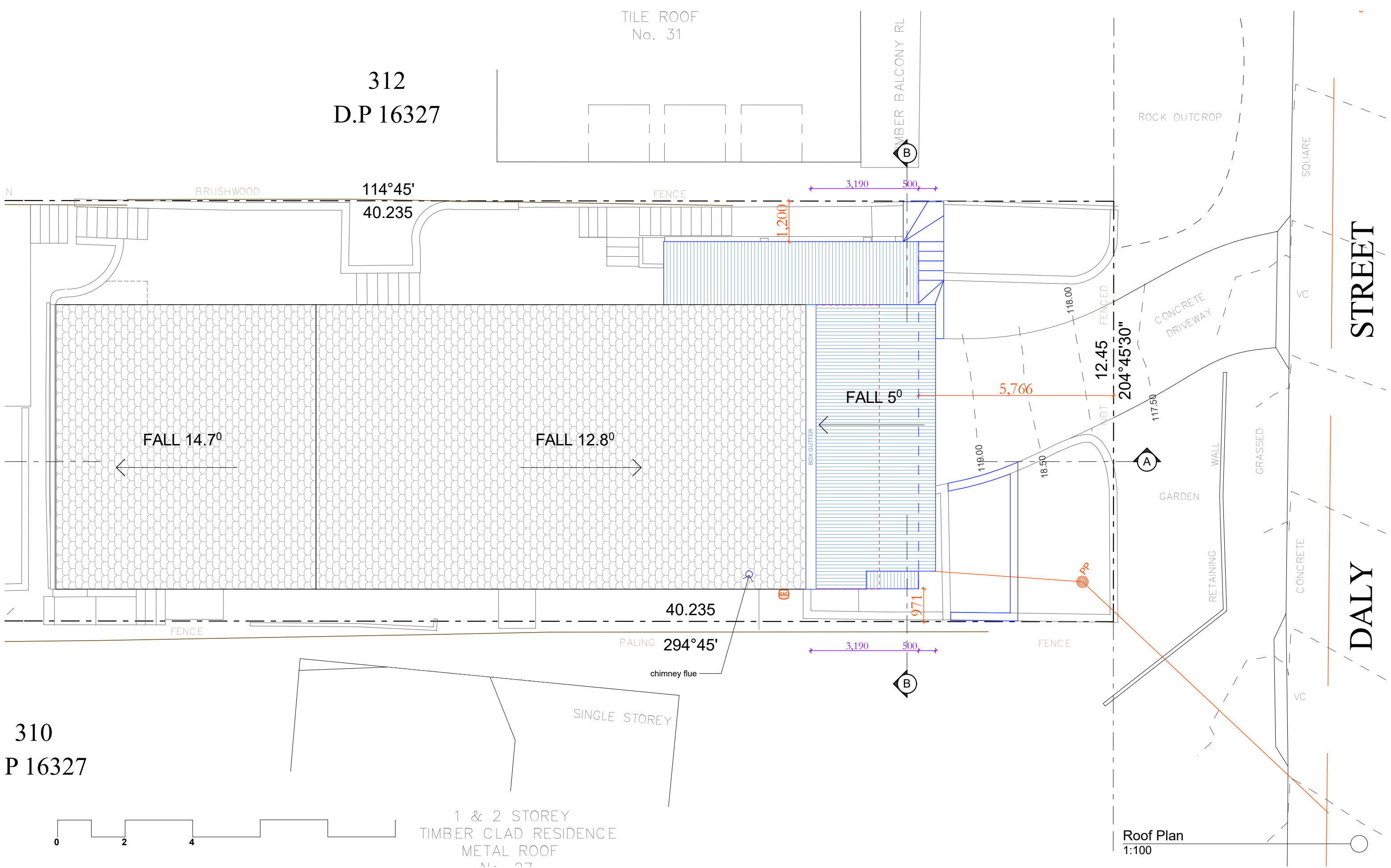
Plan A
info@plansA.com.au

PROJECT: 29 Daly St, Bilgola Plateau,
2107, NSW
Alterations & Additions
LOT 311 in DP 16327 - 499.5m2

CLIENT:
Private

Proposed Work
Demolition
Existing

STATUS: DA		
DATE: 101221	SCALE: 1:100@A3	PROJECT NUMBER: 2104
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA5		





DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

Plan A
info@plansA.com.au

PROJECT: 29 Daly St, Bilgola Plateau, 2107, NSW
Alterations & Additions
LOT 311 in DP 16327 - 499.5m2

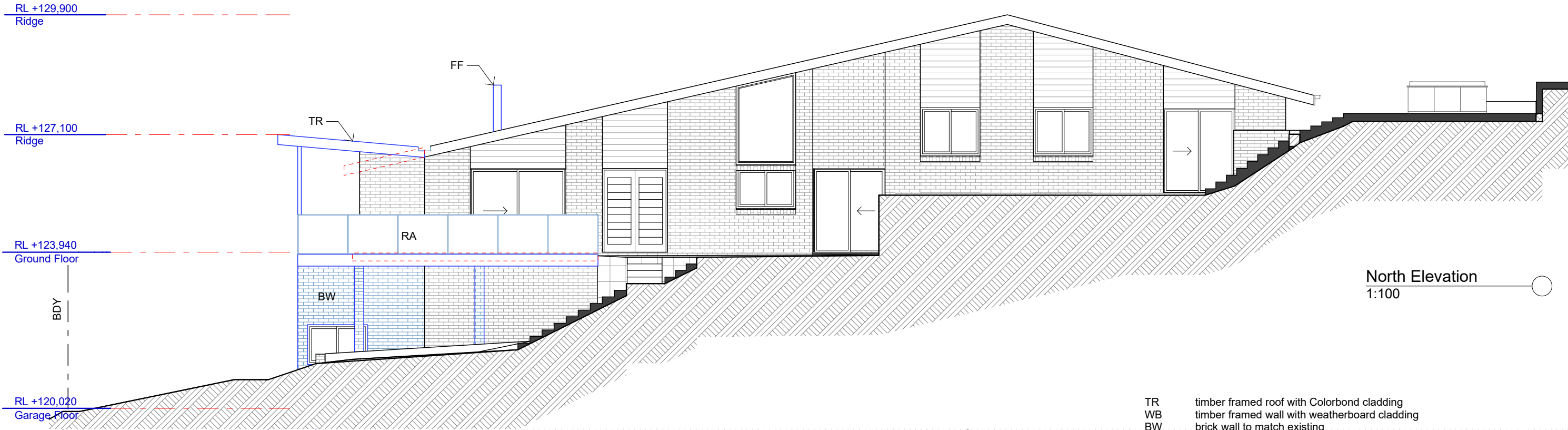
CLIENT: Private

= Proposed Work

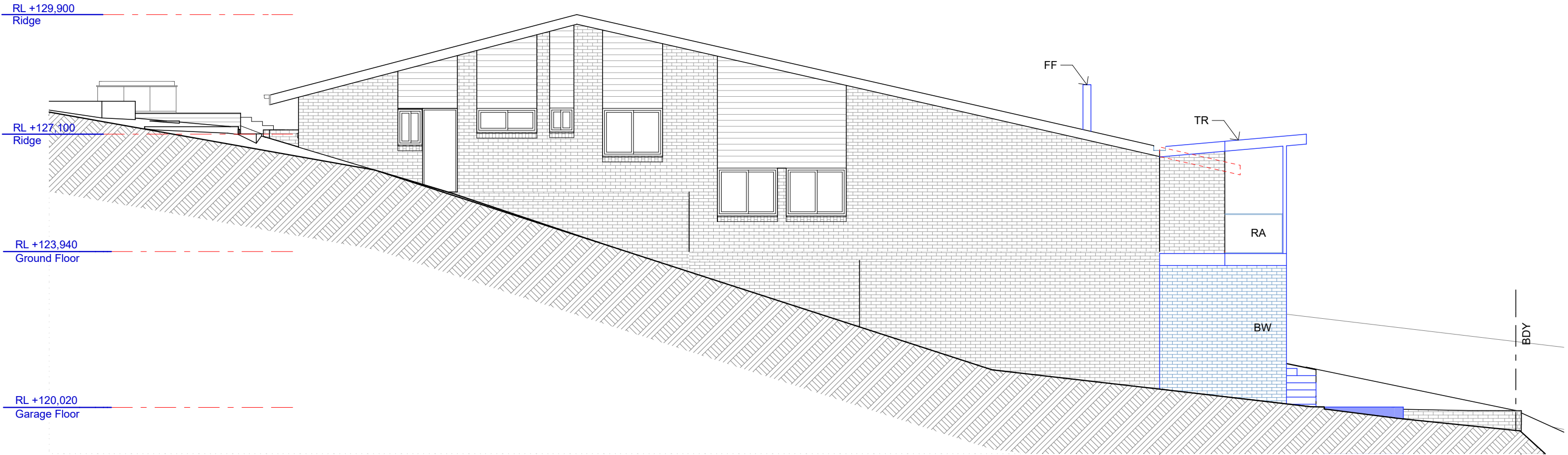
= Demolition

= Existing

STATUS: DA		PROJECT NUMBER: 2104
DATE: 101221	SCALE: 1:100@A3	ISSUE:
STAGE: DA	DRAWN/DESIGNED: PB / MP	
DRAWING NO: DA6		



- TR timber framed roof with Colorbond cladding
WB timber framed wall with weatherboard cladding
BW brick wall to match existing
AW aluminium window
RA rail to BCA
FF fireplace flue



South Elevation
1:100






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REV	DATE	DESCRIPTION

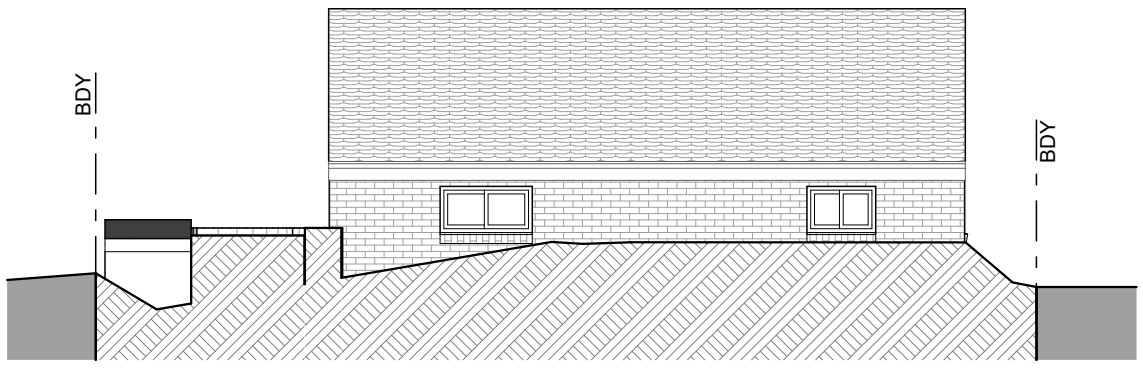
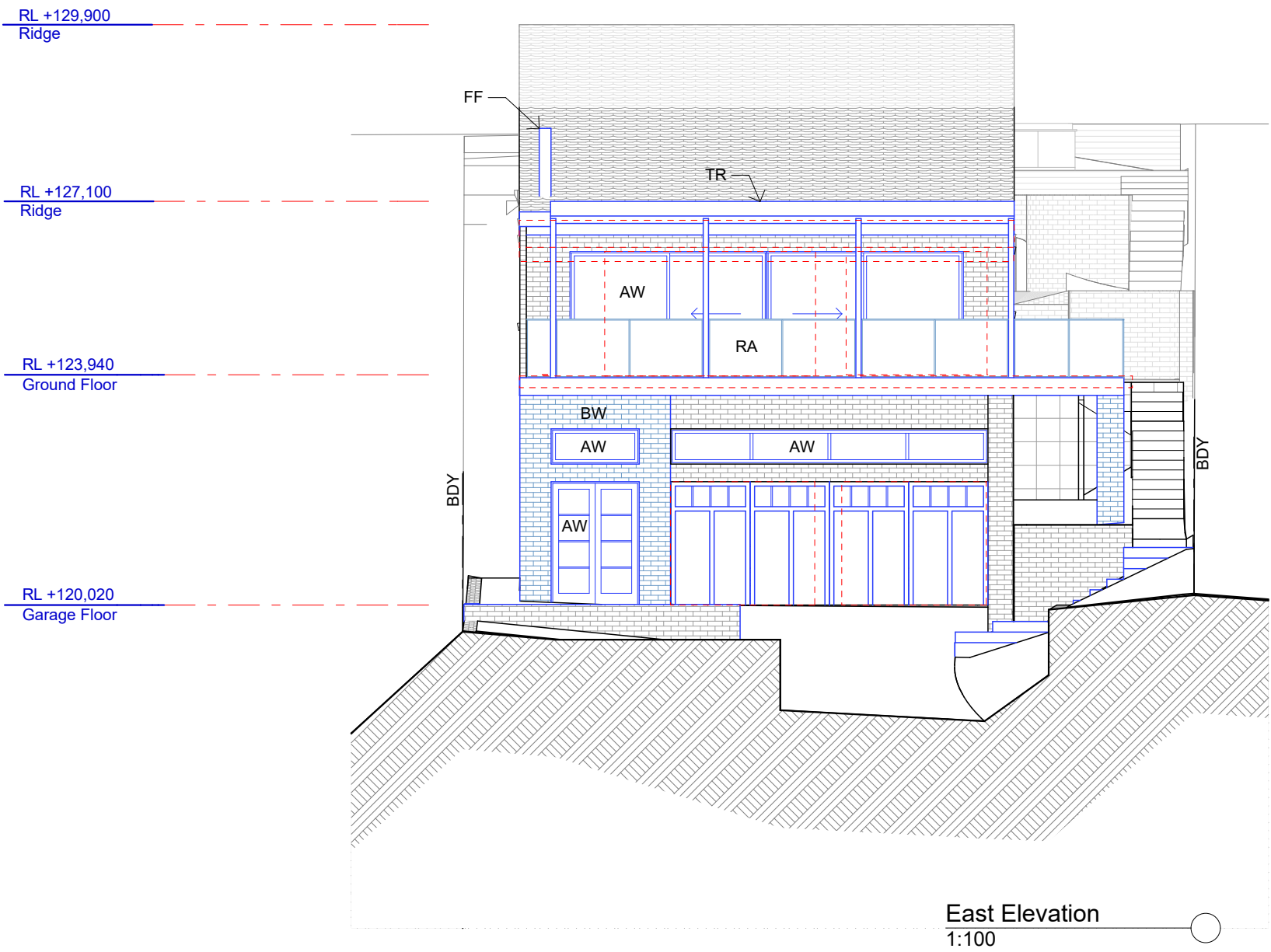
Plan A
info@plansA.com.au

PROJECT: 29 Daly St, Bilgola Plateau,
2107, NSW
Alterations & Additions
LOT 311 in DP 16327 - 499.5m2

CLIENT:
Private

-  = Proposed Work
 = Demolition
 = Existing

STATUS: DA		
DATE: 101221	SCALE: 1:100@A3	PROJECT NUMBER: 2104
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA7		



- TR timber framed roof with Colorbond cladding
- WB timber framed wall with weatherboard cladding
- BW brick wall to match existing
- AW aluminium window
- RA rail to BCA
- FF fireplace flue



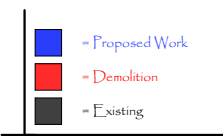
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REV	DATE	DESCRIPTION

Plan A
info@plansA.com.au

PROJECT: 29 Daly St, Bilgola Plateau,
2107, NSW
Alterations & Additions
LOT 311 in DP 16327 - 499.5m2

CLIENT:
Private

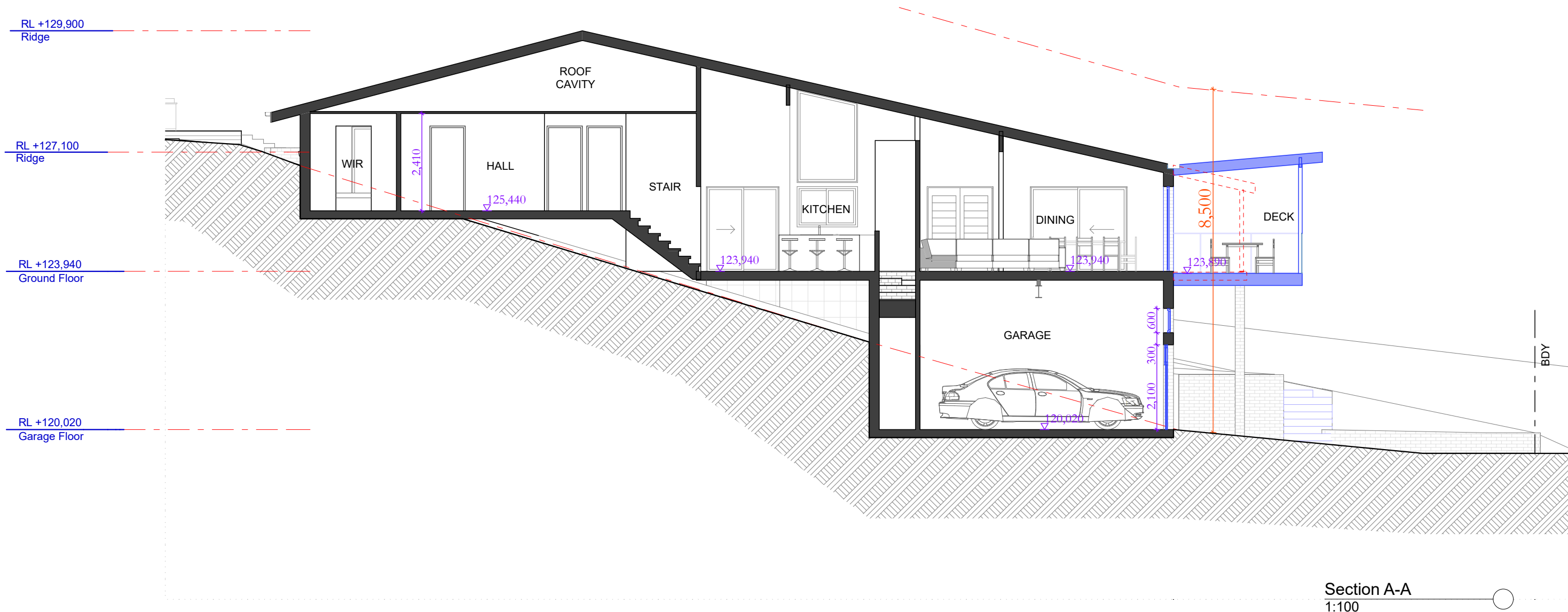


STATUS:
DA

DATE:	SCALE:	PROJECT NUMBER:
101221	1:100@A3	2104

STAGE:	DRAWN/DESIGNED:	ISSUE:
DA	PB / MP	

DRAWING NO:
DA8



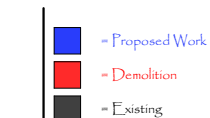
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
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REV	DATE	DESCRIPTION

Plan A
info@plansA.com.au

PROJECT: 29 Daly St, Bilgola Plateau,
2107, NSW
Alterations & Additions
LOT 311 in DP 16327 - 499.5m2

CLIENT:
Private



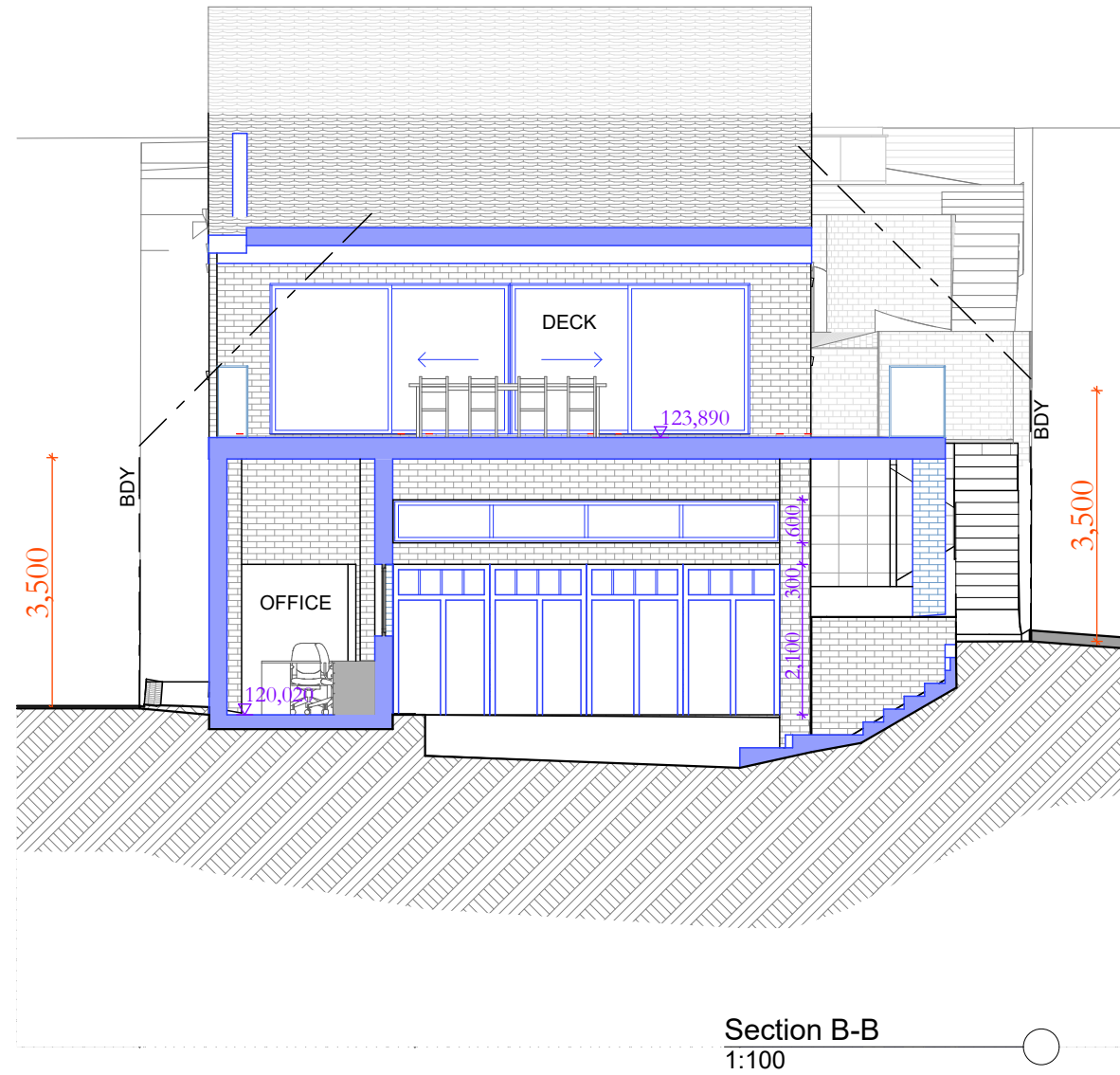
STATUS: DA		
DATE: 101221	SCALE: 1:100@A3	PROJECT NUMBER: 2104
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA9		

RL +129,900
Ridge

RL +127,100
Ridge

RL +123,940
Ground Floor

RL +120,020
Garage Floor



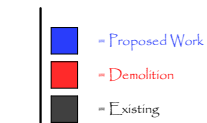
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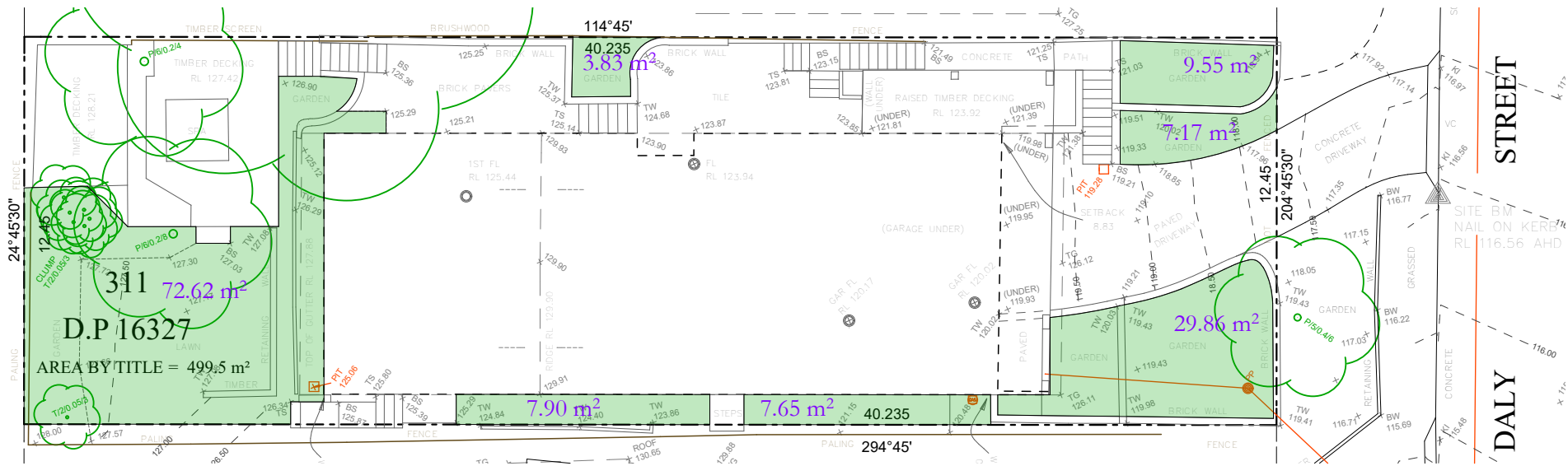
Plan A
info@plansA.com.au

PROJECT: 29 Daly St, Bilgola Plateau,
2107, NSW
Alterations & Additions
LOT 311 in DP 16327 - 499.5m2

CLIENT:
Private



STATUS: DA		
DATE: 101221	SCALE: 1:100@A3	PROJECT NUMBER: 2104
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA10		



Landscaping Existing Plan
1:200

SITE AREA = 499.5m²

LANDSCAPED AREA MIN. 60% SITE AREA = 299.70m²

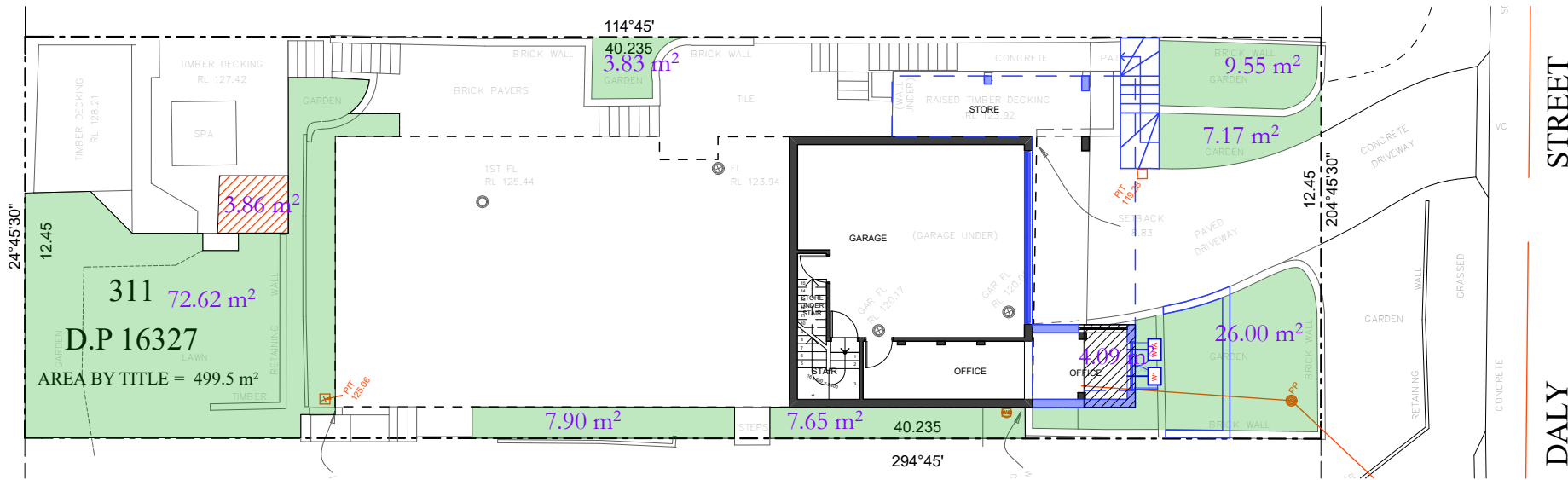
LANDSCAPED AREA EXISTING = 138.58m²

LANDSCAPED AREA PROPOSED = 134.72m²

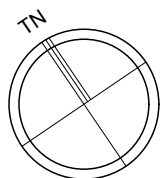
IMPERVIOUS VARIATION = 3.86m²

NO CHANGE TO LANDSCAPED AREA

No Increase in impervious areas by 50m². No OSD required for alterations. New downpipes connected to existing stormwater line & discharged to street stormwater drainage system. Adequacy of existing system to be checked by stormwater engineer at construction stage.



Landscaping Proposed Plan
1:200



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REV	DATE	DESCRIPTION

Plan A
info@plansA.com.au

PROJECT: 29 Daly St, Bilgola Plateau,
2107, NSW
Alterations & Additions
LOT 311 in DP 16327 - 499.5m²

CLIENT:
Private

Legend:
Blue square = Proposed Work
Red square = Demolition
Black square = Existing

STATUS: DA		
DATE: 101221	SCALE: as shown	PROJECT NUMBER: 2104
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA11		