

Certificate number: 1018810S

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 130 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

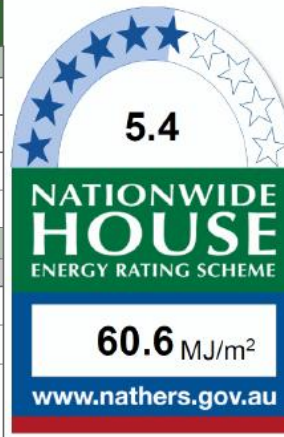
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, not ducted; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedrooms / study;		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 2 of the living / dining rooms;		✓	✓
• the kitchen;		✓	✓
• all bathrooms/toilets;		✓	✓
• the laundry;		✓	✓
• all hallways;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

QUOTE	DATE	QUOTE NUMBER	REV
KITCHEN			-
ZURCORP ELECTRICAL			-
TILES			-
CARPET			-
ZURCORP SECURITY			-
EHI			-
AIR CONDITIONING			-
STAIRS			-
LANDSCAPE			-
HYDRAULICS			-
ENGINEER			-
PEG OUT			-

REV	DATE	AMENDMENTS	BY
F	17.07.19	EXTERNAL COLOURS	M.H.
E	03.06.19	LODGEMENT PLANS & HYDRAULICS	MD
D	24.05.19	RESITING ON UNREG. CONTOUR	SM
C	13.03.19	LOCATION OF SERVICES AREA	PJ
B	21.02.19	CONTRACT DRAWINGS	PG.
A	07.02.19	PRELIMINARY TENDER	BG

CLIENT'S SIGNATURE: _____ DATE: _____



Certificate no.: 0003890274
 Assessor Name: Ian Fry
 Accreditation no.: VIC/BDAV/12/1441
 Certificate date: 27 May 2019
 Dwelling Address: Proposed Road Warriewood, NSW 2102
 www.nathers.gov.au



AREAS	
SITE:	349.90 m ²
GROUND FLOOR:	98.55 m ²
FIRST FLOOR:	116.33 m ²
GARAGE:	27.45 m ²
PORCH:	1.99 m ²
BALCONY:	N/A m ²
TOTAL:	244.32 m ²

SHEET	DESCRIPTION
2.4	SHADOWN DIAGRAMS
2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS
2.1	CONSTRUCTION PLAN
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET

ClarendonHomes
 BL No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153

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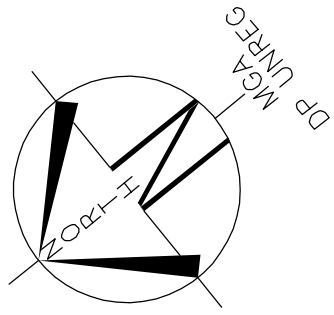
PRODUCT:
PADDINGTON 29 MKII
 Malibu
 R/H Garage
 Sapphire Specification

CLIENT:
 Ms. LIU
 SITE ADDRESS:
 Lot 15
 Proposed Road
 WARRIEWOOD 2102

CONTRACT DRAWINGS

DRAWN: PG.	DATE: 24.05.19	Rev: F
RATIO @ A3: N/A	CHECKED: J.S	
SHEET: 1	JOB No: 29913475	NSW

NORTH



SUBJECT TO REGISTRATION OF LAND AND CONFIRMATION FROM 10.7 CERTIFICATE

(A) EASEMENT FOR SEWER PURPOSES 5 WIDE VIDE 63908113
(H) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE

LOT 15
D.P: UNREGISTERED
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED IN ACCORDANCE WITH PITTWATER DCP 21 - D16

SITE AREA	349.9 m ²
SITE COVERAGE	
HOUSE FOOTPRINT:	130.5 m ²
ESTIMATED DRIVEWAY, PATHS & PAVING:	28.4 m ²
TOTAL SITE COVERAGE:	158.9 m ²
	45.4 %
MAX. ALLOWABLE BY DEVELOPER:	65 %

LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	122.9 m ²
(MIN. DIMENSION OF 3.0m)	35.1 %
MIN. REQUIRED BY COUNCIL:	35 %

PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	77.7 m ²
(MIN. DIMENSION OF 4.0m)	
MIN. REQUIRED BY COUNCIL:	24 m ²

HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	10.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

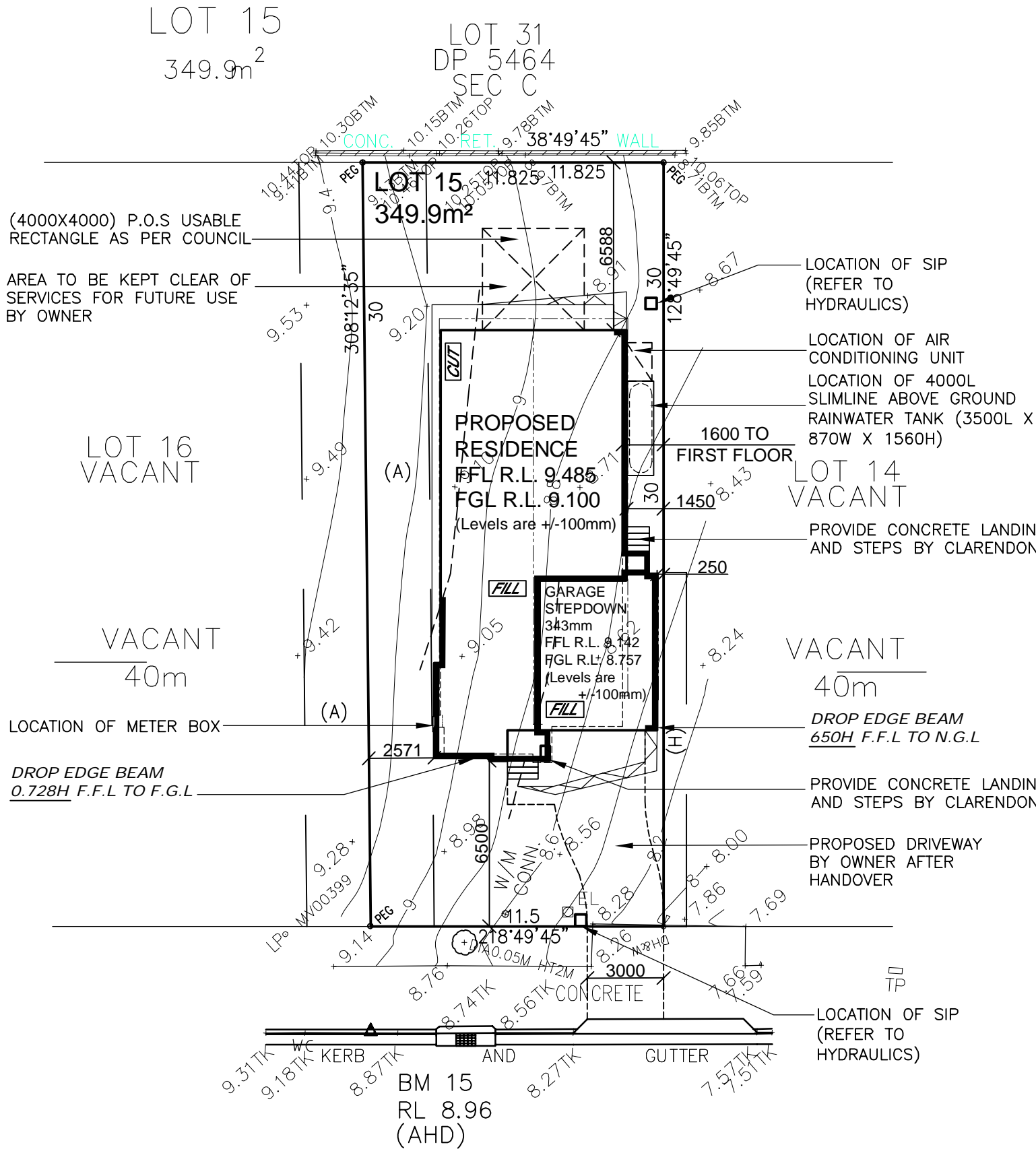
Maximum 1000mm CUT
Maximum 1000mm FILL

WIND CLASSIFICATION: "N2"

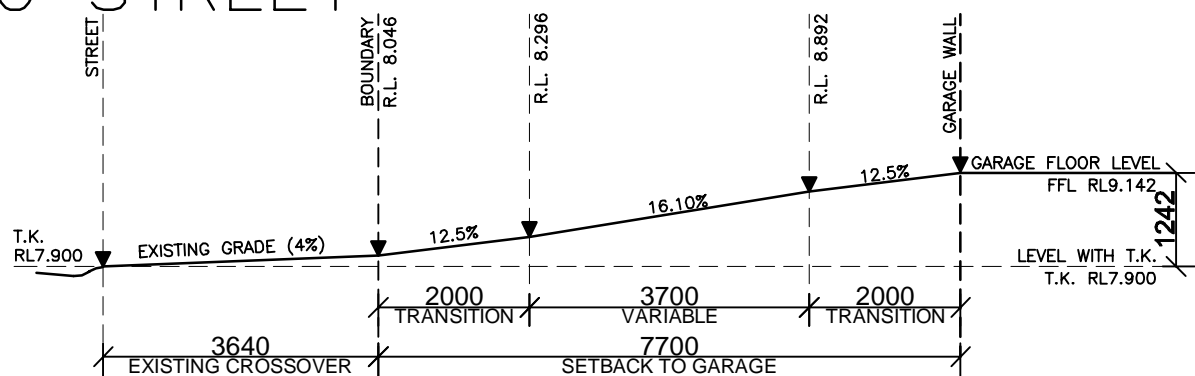
SLAB CLASSIFICATION: "H1"

NOTE:
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

STORMWATER TO STREET VIA RAINWATER TANK
REFER TO HYDRAULIC DETAILS



BUBALO STREET



DRIVEWAY GRADIENT PROFILE

SCALE - 1:100

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8854 5000

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DIMENSIONS TO BE READ IN

PRODUCT:
PADDINGTON 29 MKII
Malibu
R/H Garage
Sapphire Specification

CLIENT:
Ms. LIU
SITE ADDRESS:
Lot 15
Proposed Road
WADDIEWOOD 2100

CONTRACT DRAWINGS

DRAWN: BG	DATE: 24.05.19	Rev: F
RATIO @ A3: 1:200	CHECKED: BG	
SHEET: 2	JOB No: 29913475	NSW

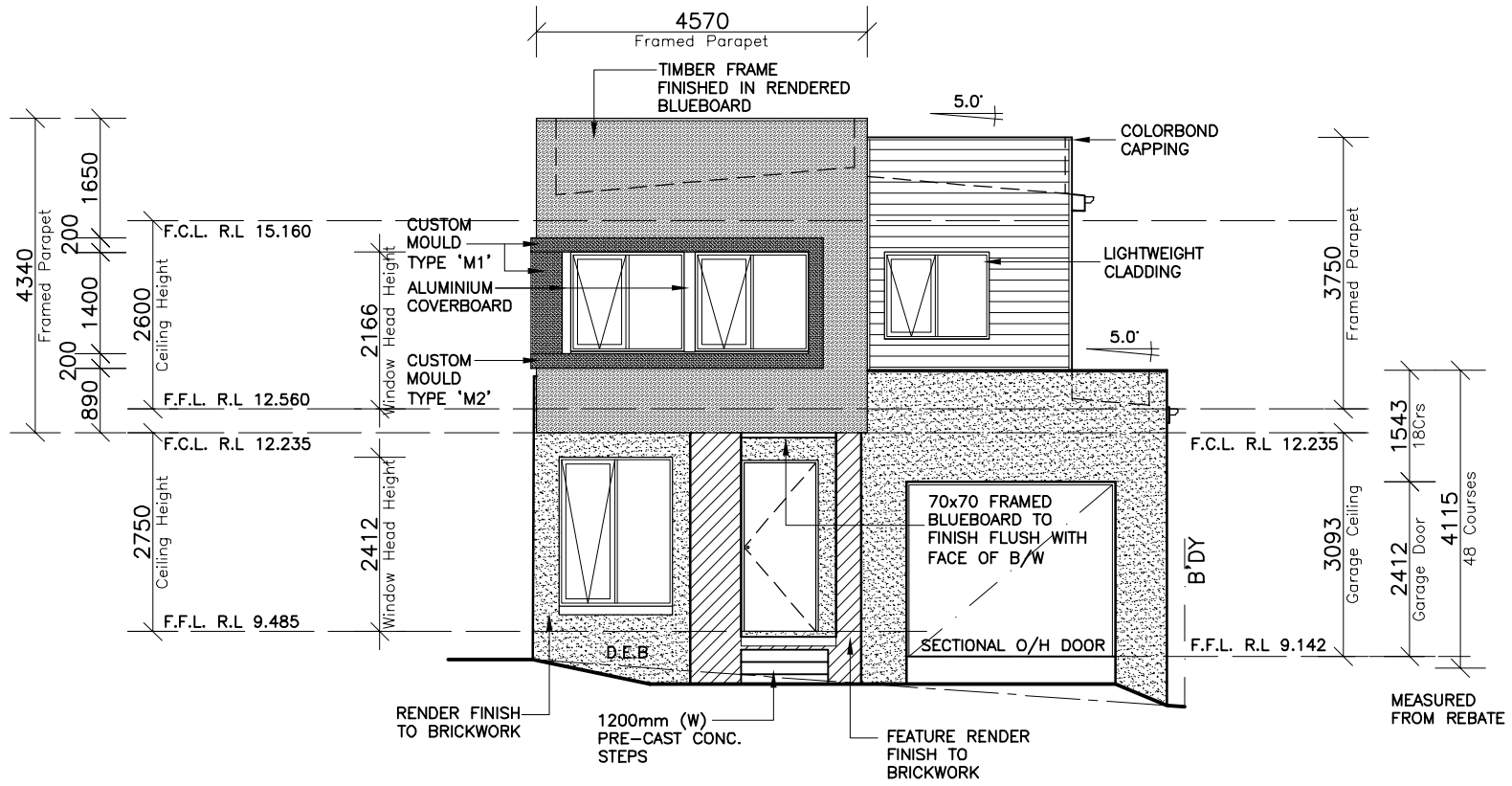
NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

DENOTES WINDOWS/DOORS WITH LOW E GLAZING

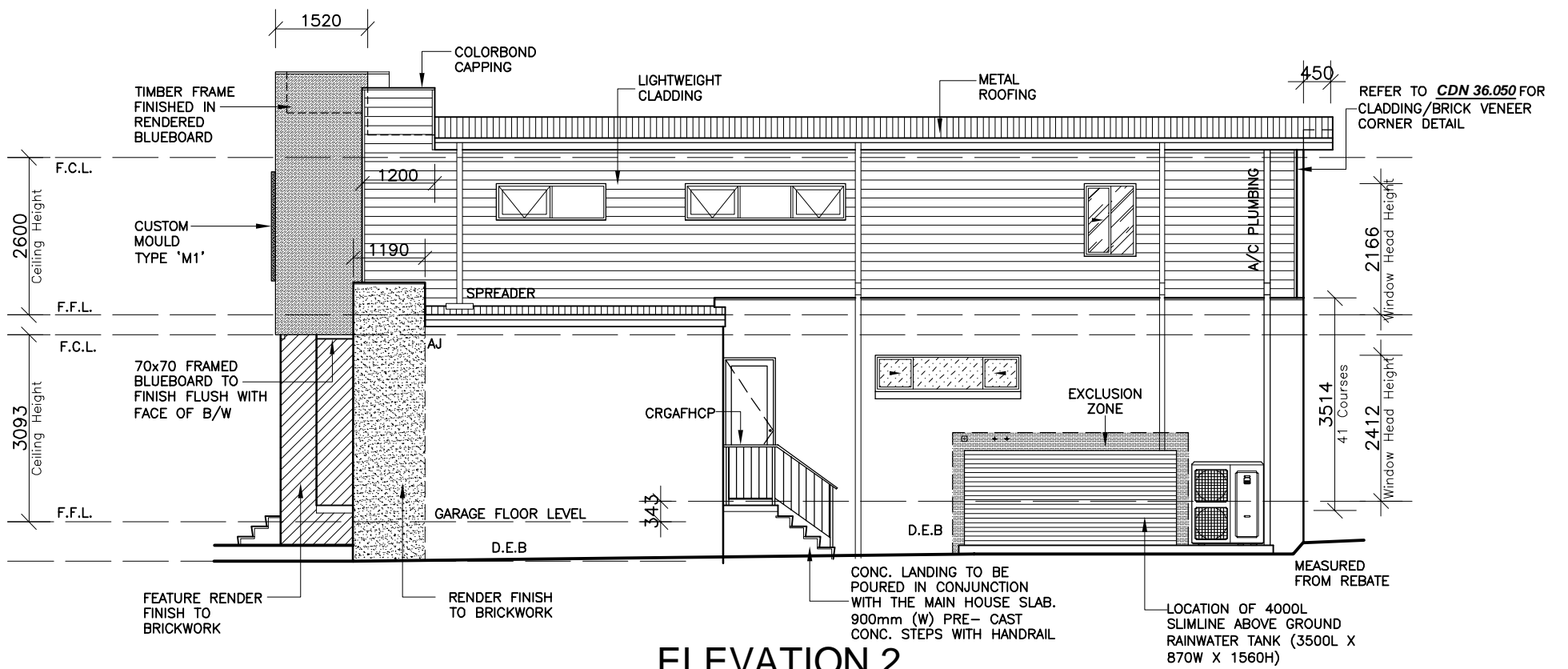
NOTE:
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

DENOTES WINDOWS WITH 6.38mm TRANSLUCENT LAMINATED GLAZING

NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080



**ELEVATION 1
-NORTH WEST-**



**ELEVATION 2
-SOUTH WEST-**

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

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Malibu
R/H Garage
Sapphire Specification

CLIENT:
Ms. LIU
SITE ADDRESS:
Lot 15
Proposed Road
WADDIEWOOD 2100

CONTRACT DRAWINGS

DRAWN:	DATE:	Rev:
PG.	24.05.19	F
RATIO @ A3:	CHECKED:	
1:100	J.S	
SHEET:	JOB No:	
5	29913475	NSW

NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

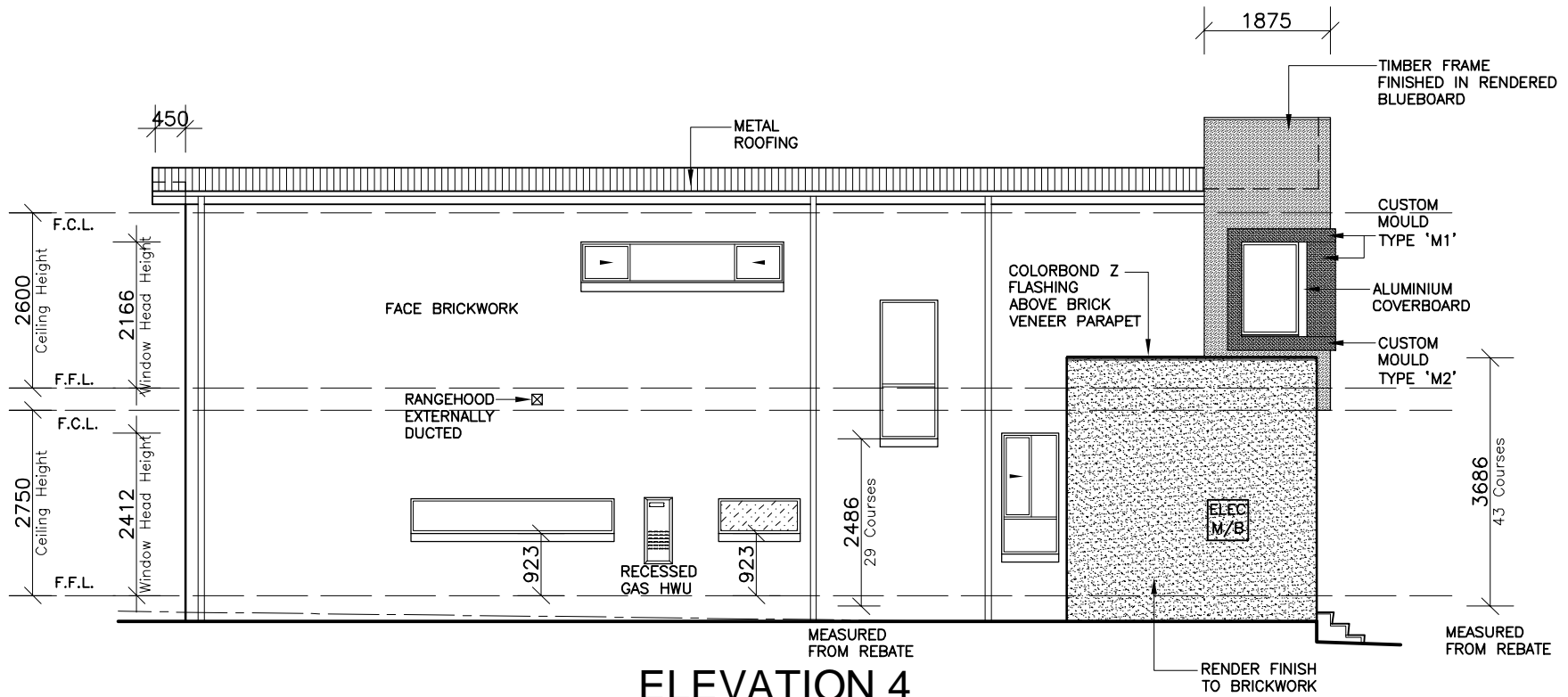
DENOTES WINDOWS/DOORS WITH LOW E GLAZING

NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS



**ELEVATION 3
-SOUTH EAST-**



**ELEVATION 4
-NORTH EAST-**

CLIENT'S SIGNATURE: _____ DATE: _____

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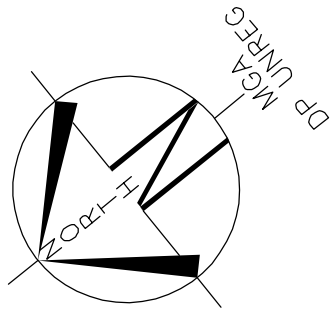
PRODUCT:
PADDINGTON 29 MKII
Malibu
R/H Garage
Sapphire Specification

CLIENT:
Ms. LIU
SITE ADDRESS:
Lot 15
Proposed Road
WADDIEWOOD 2100

CONTRACT DRAWINGS

DRAWN:	DATE:	Rev:
PG.	24.05.19	F
RATIO @ A3:	CHECKED:	
1:100	J.S	
SHEET:	JOB No:	
6	29913475	NSW

NORTH



SUBJECT TO REGISTRATION OF
LAND AND CONFIRMATION FROM
10.7 CERTIFICATE

LOT 15
D.P: UNREGISTERED
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16

(A) EASEMENT FOR SEWER PURPOSES 5 WIDE VIDE 63908113
(H) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE

LOT 15
349.9m²

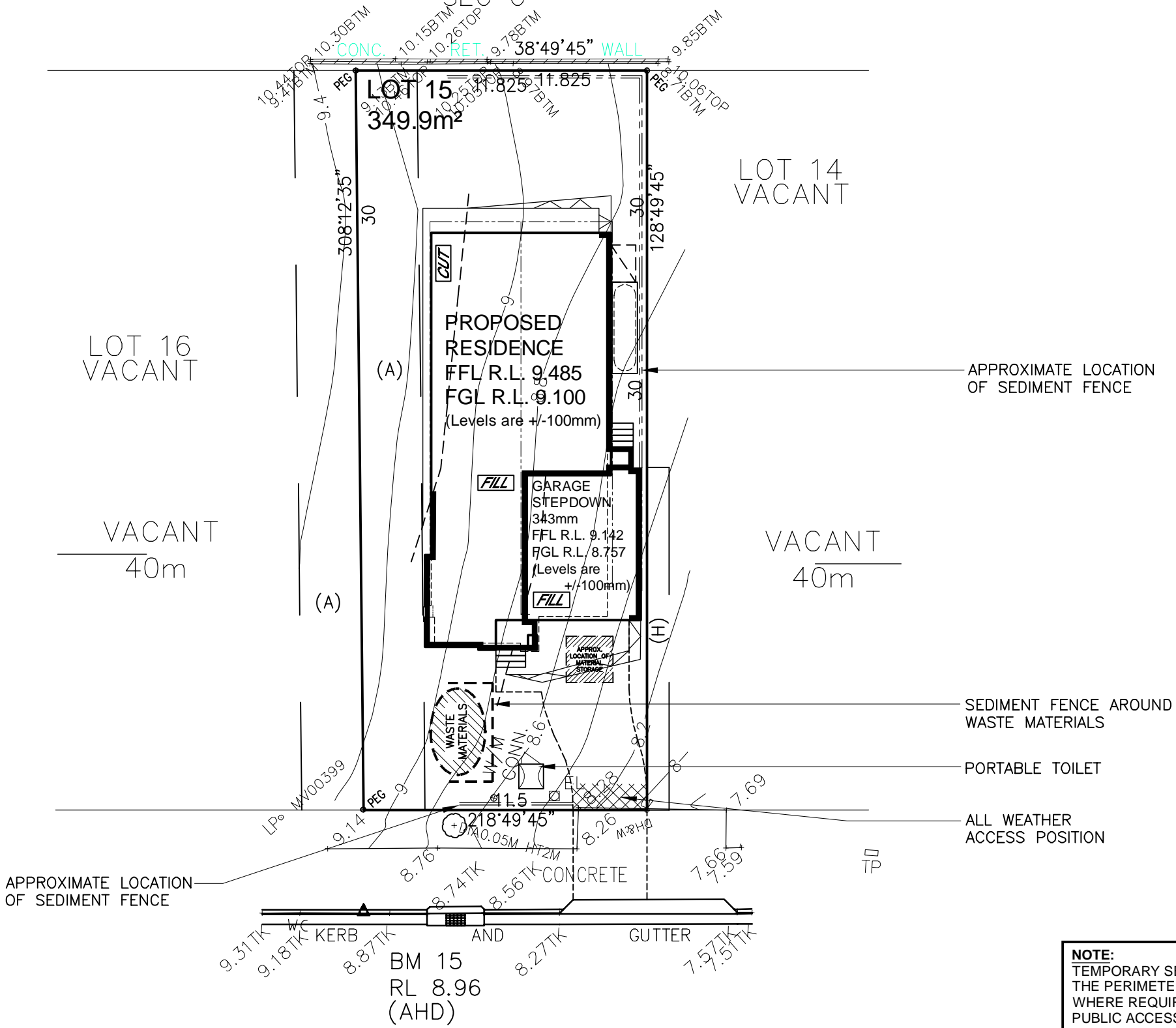
LOT 31
DP 5464
SEC C

LOT 14
VACANT

LOT 16
VACANT

VACANT
40m

VACANT
40m



APPROXIMATE LOCATION
OF SEDIMENT FENCE

SEDIMENT FENCE AROUND
WASTE MATERIALS

PORTABLE TOILET

ALL WEATHER
ACCESS POSITION

APPROXIMATE LOCATION
OF SEDIMENT FENCE

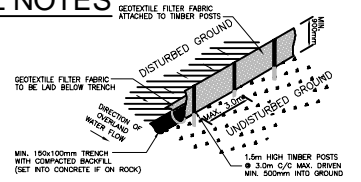
BUBALO STREET

NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

**CONSTRUCTION MANAGEMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN**

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8854 5000

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DIMENSIONS TO BE READ IN
DIRECTION OF DIMENSION LINE

PRODUCT:
PADDINGTON 29 MKII
Malibu
R/H Garage
Sapphire Specification

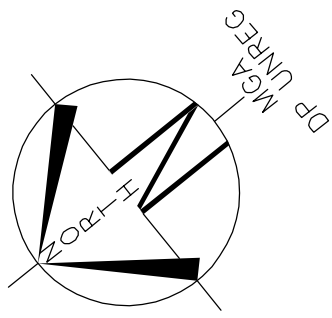
CLIENT:
Ms. LIU

SITE ADDRESS:
Lot 15
Proposed Road
WADDIEWOOD 2100

CONTRACT DRAWINGS

DRAWN: PG.	DATE: 24.05.19	Rev: F
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 21	JOB No: 29913475	NSW

NORTH

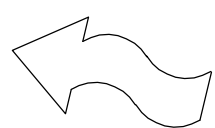
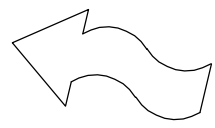
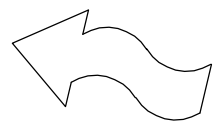
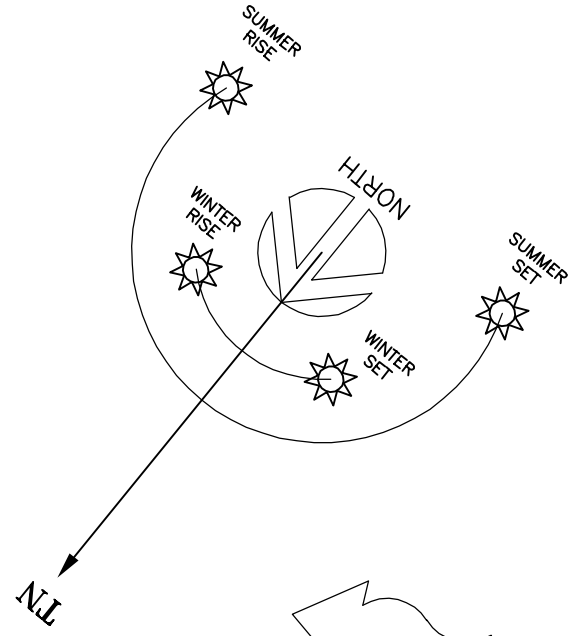
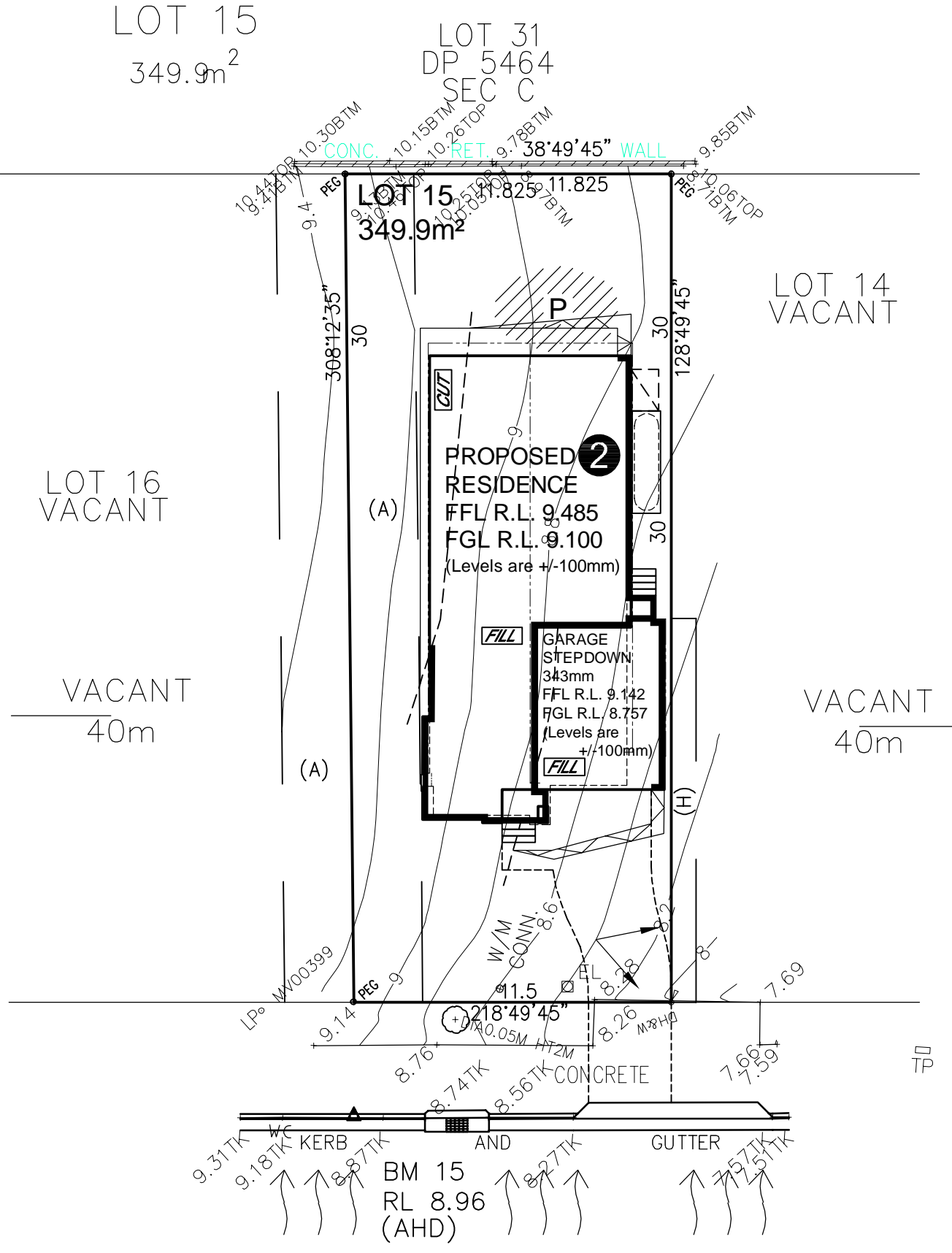


SUBJECT TO REGISTRATION OF LAND AND CONFIRMATION FROM 10.7 CERTIFICATE

LOT 15
D.P: UNREGISTERED
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED IN ACCORDANCE WITH PITTWATER DCP 21 - D16

(A) EASEMENT FOR SEWER PURPOSES 5 WIDE VIDE 63908113
(H) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE



1/2 NUMBER OF STOREYS

P PRINCIPAL PRIVATE OPEN SPACE

MAIN VIEWS

NOISE IMPACT

PREVAILING WINDS

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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T: (02) 9254 5000

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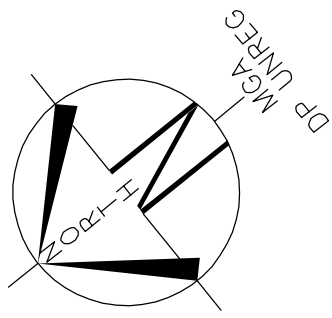
PRODUCT:
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Malibu
R/H Garage
Sapphire Specification

CLIENT:
Ms. LIU

SITE ADDRESS:
Lot 15
Proposed Road
WADDIEWOOD 2100

CONTRACT DRAWINGS		
DRAWN: PG.	DATE: 24.05.19	Rev: F
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 22	JOB No: 29913475	NSW

NORTH

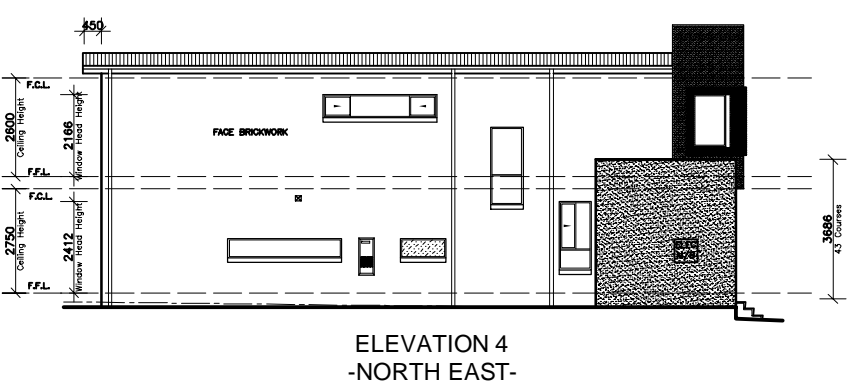
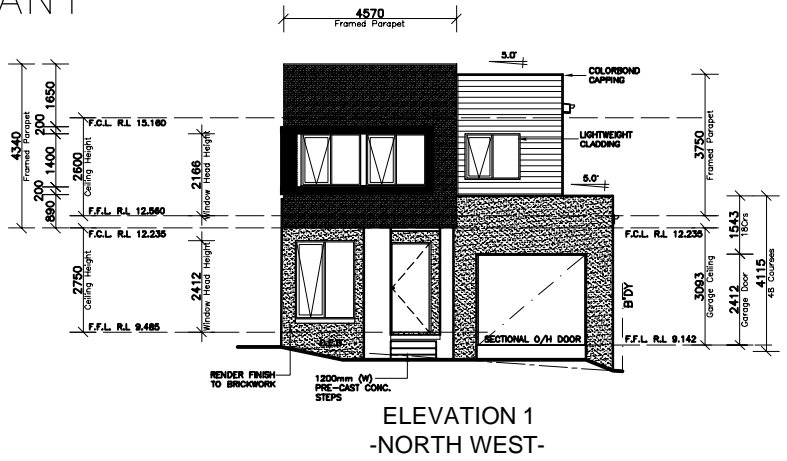
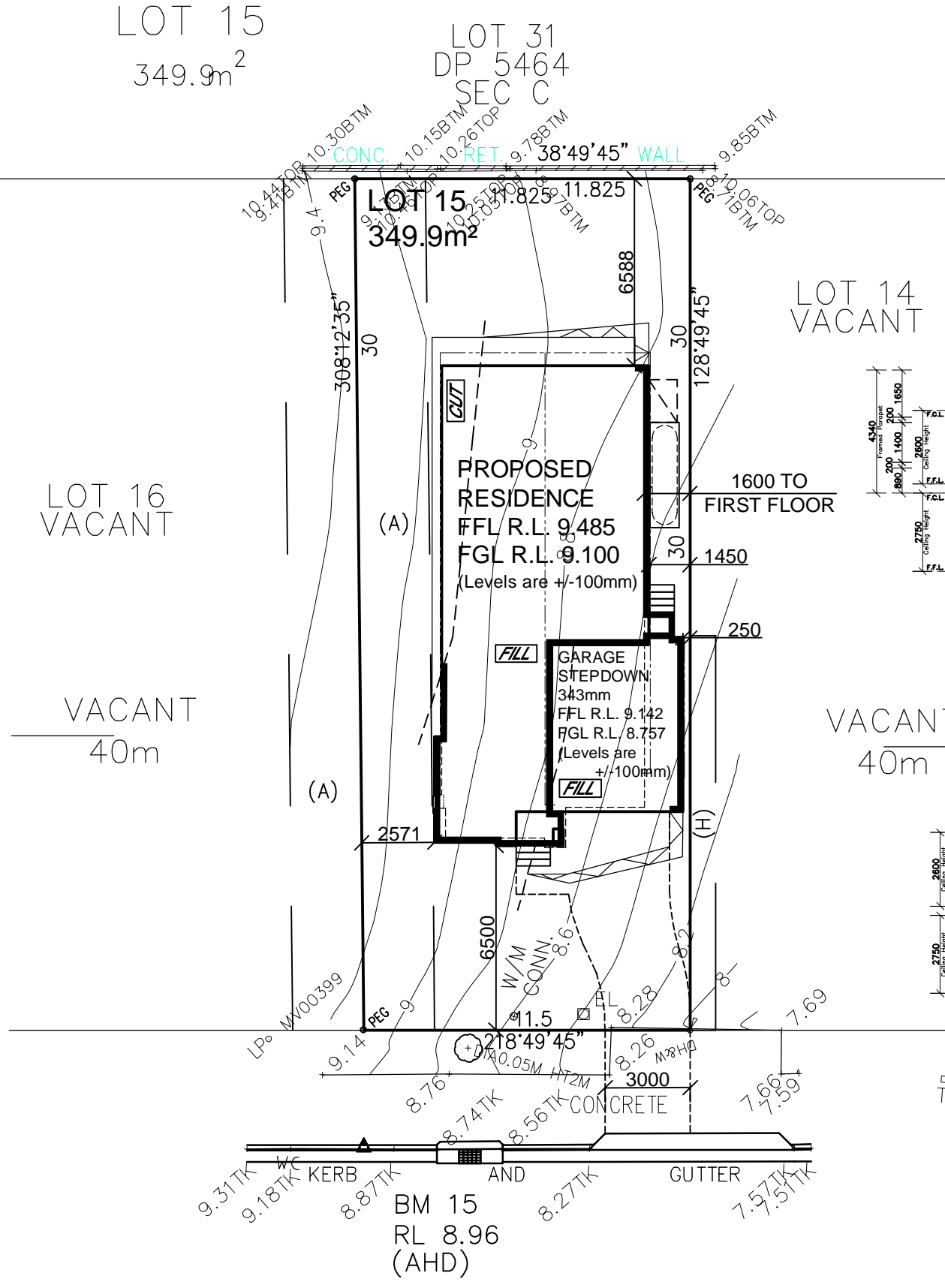


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NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
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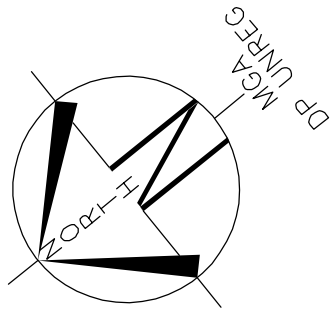
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RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 23	JOB No: 29913475	NSW

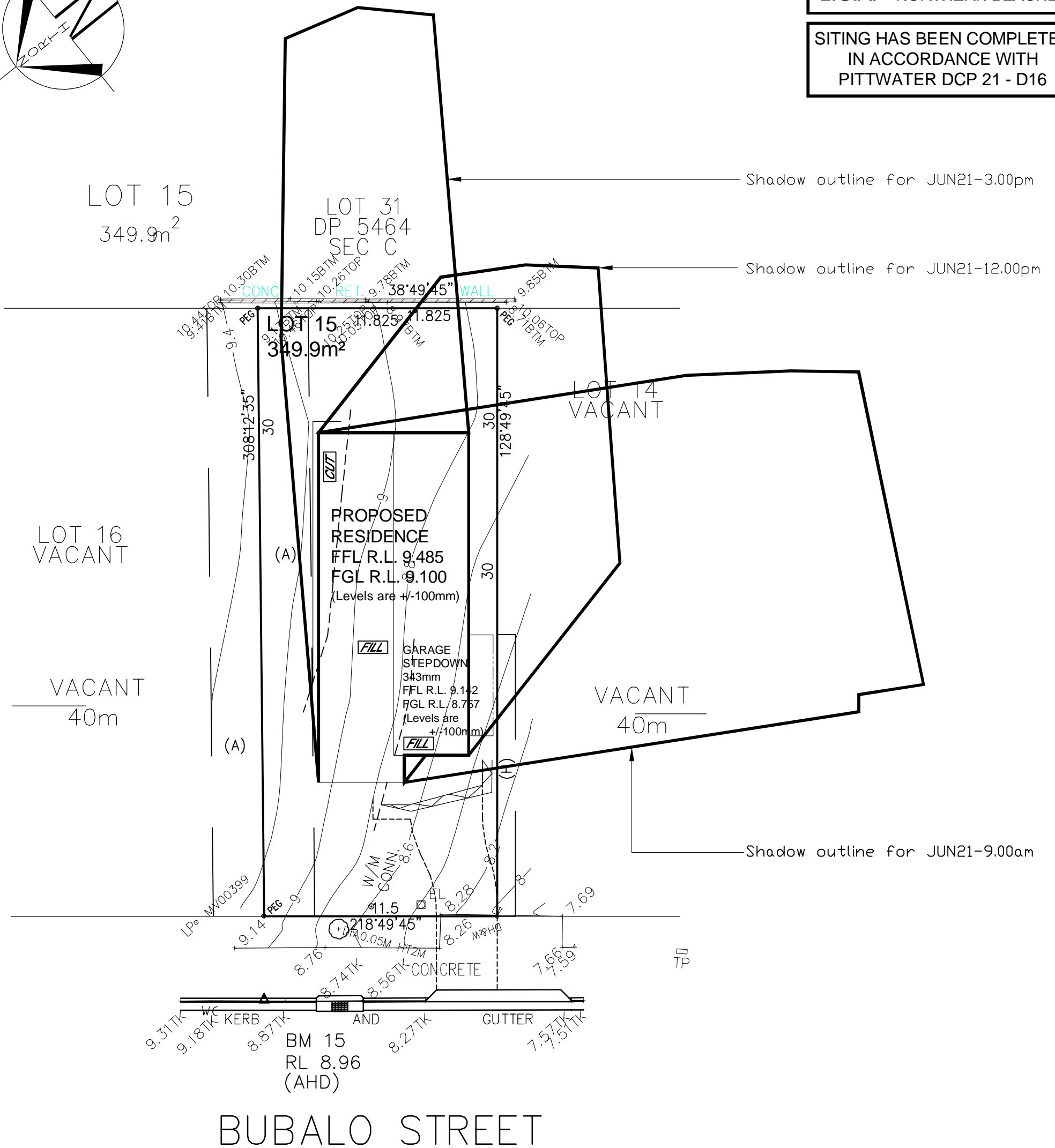
NORTH






(A) EASEMENT FOR SEWER PURPOSES 5 WIDE VIDE 63908113
(H) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE

LOT 15
D.P: UNREGISTERED
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16



SHADOW DIAGRAM @ 21st JUNE

-  SHADOW CAST AT 9.00am ON JUNE 21st
-  SHADOW CAST AT 12.00pm ON JUNE 21st
-  SHADOW CAST AT 3.00pm ON JUNE 21st

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
 BL No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8854 5000

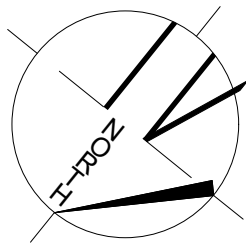
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 permission from
 CLARENDON HOMES (NSW) P/L
 # DIMENSIONS TO BE READ IN
 METRES UNLESS OTHERWISE STATED

PRODUCT:
PADDINGTON 29 MKII
 Malibu
 R/H Garage
 Sapphire Specification

CLIENT:
 Ms. LIU
 SITE ADDRESS:
 Lot 15
 Proposed Road
 WADDIEWOOD 2100

CONTRACT DRAWINGS

DRAWN: PG.	DATE: 24.05.19	Rev: F
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 24	JOB No: 29913475	NSW



LOT 15
349.9m²

LOT 31
DP 5464
SEC C

Legend

- Colour / Stencil Concrete
- Pebbles / Decorative Gravel Areas
- Planting Areas
- Lawn Areas
- 1800mm High Boundary Fencing

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JST	06/03/19
B	Client: Tree	JS	12/03/19
C	Client: Tree	JST	13/03/19
D	Bldr: Contours	JS	27/05/19

Drafted: JS	Scale: 1:200
Sheet: 1 of 3	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

- General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
 2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
 3. All relevant Australian standards are to be adhered to.
 4. Any structural items are to be installed as per the manufacturer/engineers specifications.
 5. This plan is indicative only and not for construction purposes.

SITE CALCULATIONS

LOT AREA	349.9 sq m
LANDSCAPED AREA TOTAL	122.9 sq m 35.122%

[Click Here to View Our Plant Profiles!](#)

Client: **Ms Liu**

Client Signatures:
1.
2.

Job No. **190087**

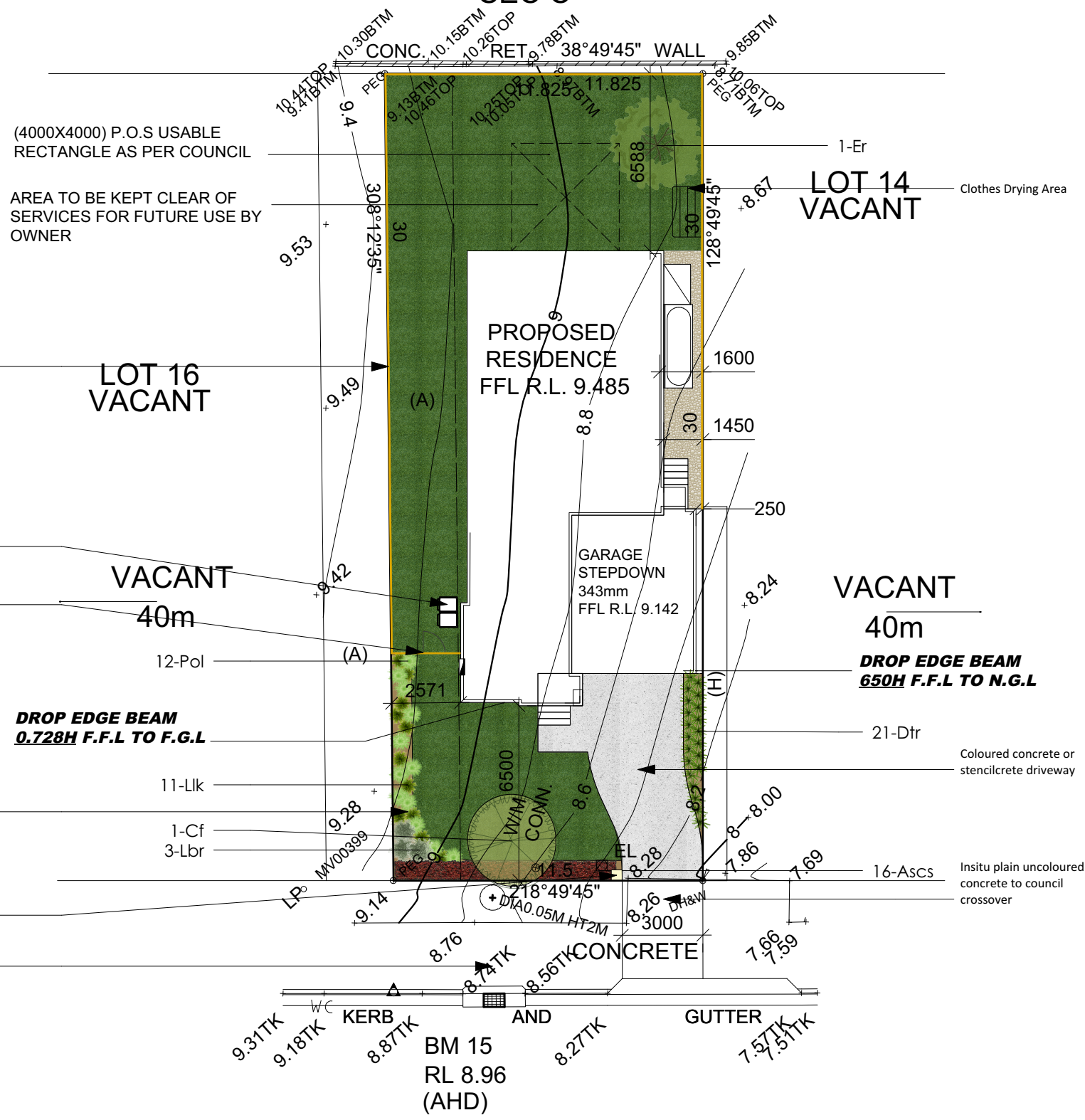
Drawing: **Landscape Plan**

Address: **Lot 15 Proposed Road Warriewood**

Council: **Northern Beaches**

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Ph: 0437 043 112
www.dappledesigns.com.au



1800mm high timber lapped and capped or colourbond fences to side and rear boundaries. Retain existing fences where possible

Bins are to be stored in a location not visible from the street

Side gates are to be set back from front facade and to be flush with the adjoining properties side gate where possible. Side fences are not to extend forward of the side gate

Brick or timber edging to all garden beds

Masonry letterbox

Reinstate lawn to nature strip between front boundary and kerb

Any existing trees are to be protected in accordance with councils Tree Protection Detail

(A) EASEMENT FOR SEWER PURPOSES 5 WIDE VIDE 63908113
(H) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE

[Click Here to View Our Plant Profiles!](#)

LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINED WHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	NATIVE?	QTY	POT SIZE
TREES							
	Cf	CORYMBIA FICIFOLIA	RED FLOWERING GUM	8M X 3M	YES	1	45LTR
	Er	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	9M X 4M	YES	1	45LTR
SHRUBS							
	Lbr	LEUCOPHYTA BROWNII	CUSHION PLANT	1M X 1M	YES	3	200MM
GRASSES & STRAP LEAF PLANTS							
	Dtr	DIANELLA TASMANICA 'TAS RED'	TAS RED DIANELLA	0.45M X 0.45M	YES	21	140MM
	Llk	LOMANDRA LONGIFOLIA 'KATRINUS'	KATRINUS	0.75M X 0.75M	YES	11	140MM
	Pol	POA LABILLARDIERI	TUSSOCK GRASS	0.8M X 0.8M	YES	12	140MM
HEDGES							
	Ascs	ACMENA SMITHII 'CHERRY SURPRISE'	CHERRY SURPRISE LILY PILLY	TRIMMED UP TO 1M	YES	16	200MM

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER '**HAVEN' BRICK EDGING** OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR '**TREATED TIMBER EDGING** SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENANCE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

a) REPLACEMENTS: ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

b) WATERING: REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

c) GARDEN BEDS: GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

d) LAWN AREAS: LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFIED IN THE PLAN.

e) PRUNING: ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

f) FERTILISING: 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JST	06/03/19
B	Client: Tree	JS	12/03/19
C	Client: Tree	JST	13/03/19
D	Bldr: Contours	JS	27/05/19

Drafted: JS	Scale: 1:200 0 0 1 2 3 M 
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Sheet: 2 of 3	Reference: LP 01
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Designed by:

Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
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SITE CALCULATIONS

LOT AREA	349.9 sq m	
LANDSCAPED AREA TOTAL	122.9 sq m	35.122%

[Click Here to View Our Plant Profiles!](#)

Client: **Ms Liu**

Client Signatures:

- 1.
- 2.

Job No. **190087**

Drawing: **Plant List/Specification**

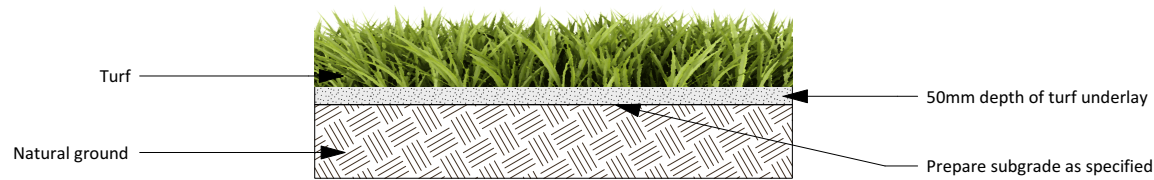
Address: **Lot 15 Proposed Road Warriewood**

Council: **Northern Beaches**

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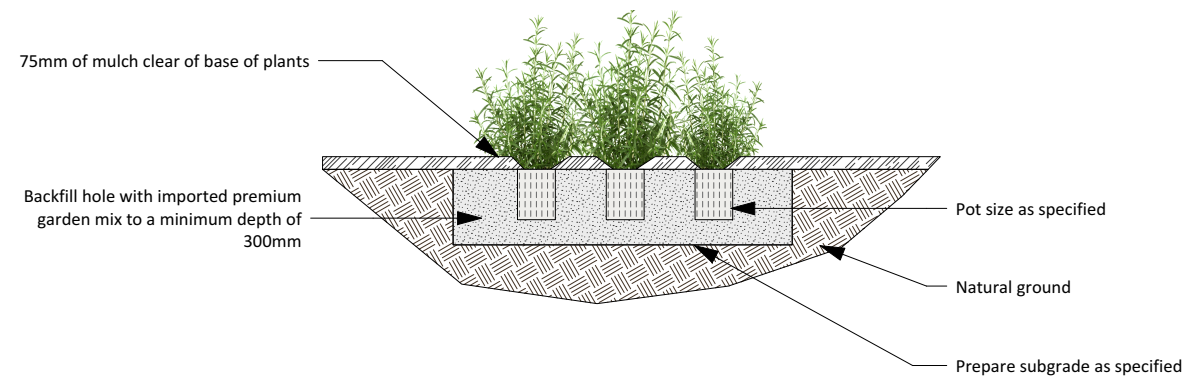


DETAILS

1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

TURF LAYING DETAIL

SCALE 1:20



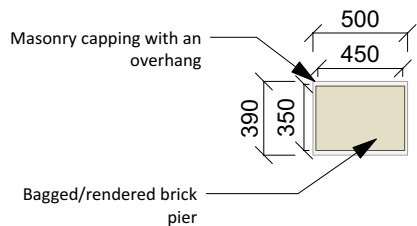
DETAILS

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
3. WATER THOROUGHLY AFTER PLANTING
4. REFER TO PLAN FOR QUANTITIES AND SPACING

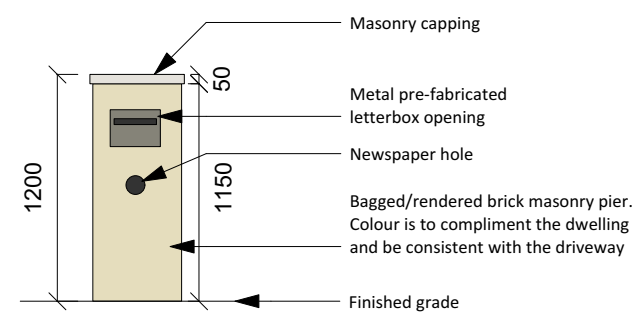
SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30

TOP VIEW



FRONT VIEW

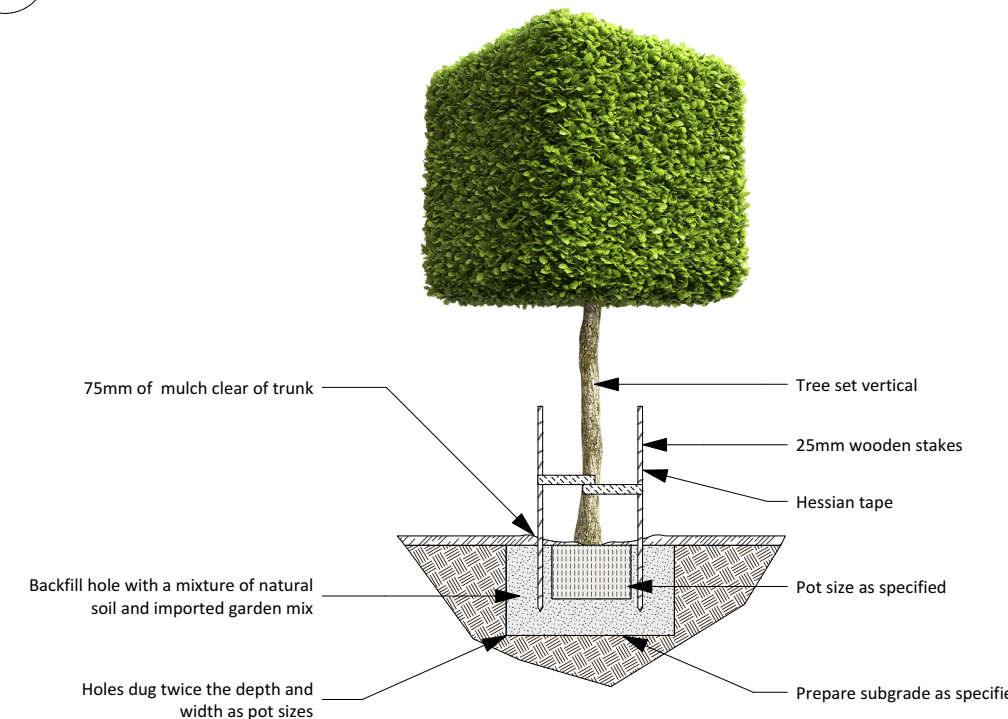


DETAILS

1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
3. BRICK PIER IS TO LEVEL AND STRAIGHT

LETTERBOX DETAIL

SCALE 1:40



DETAILS

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. WATER THOROUGHLY AFTER PLANTING

TREE PLANTING DETAIL

SCALE 1:40

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JST	06/03/19
B	Client: Tree	JS	12/03/19
C	Client: Tree	JST	13/03/19
D	Bldr: Contours	JS	27/05/19

Drafted:	Scale: 1:200
JS	0 0 1 2 3 M

Sheet:	Reference:
3 of 3	LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

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Client: **Ms Liu**

Client Signatures:

- 1.
- 2.

Job No. **190087**

Drawing: **Construction Details**

Address: **Lot 15 Proposed Road Warriewood**

Council: **Northern Beaches**

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 www.dappledesigns.com.au

LIFESTYLE

- STUDIO -

BY CLARENDON HOMES

Client:	Ms Liu		
Site Address:	Lot 15 Bubalo Street Warriewood NSW		
Job Number:	29913475	House Type:	Paddington MK 11 / Malibu
Date Issued:	28/06/2019	Developer:	

u

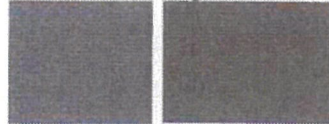
Roof BASIX Rating:	Medium	Wall BASIX Rating:	Dark
---------------------------	--------	---------------------------	------

**Main Brick: Austral
Wilderness Grey Gum**



**Feature: Render
Colour 1 : Viking Grey T10
37-L1**

Colour 2 : Mojo T172-8



**Roof Type/Style: Metal/
Colourbond
Colour: Basalt**



**Window Frame Colour:
Black**



**Gutter: Basalt
Fascia: Basalt**



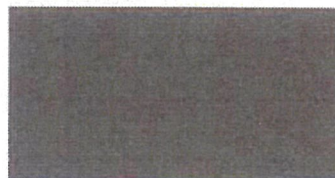
**Downpipes: Basalt
Watertank: Basalt**



**Front Entry Door Colour:
Sikkens Silver Grey**



**Lightweight Cladding:
Mojo T172-8**

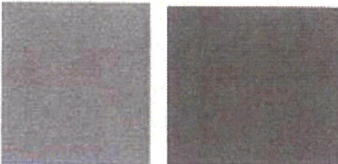


**Garage Door Type &
Colour: Deco Chestnut
Natural**



Chestnut

**Blueboard : Grey Moggy
T10 50K-2 Moulds : Mojo
T172-8**



**Driveway Type: To
compliment facade**

***By client after handover**

**Letterbox: To compliment
facade**

***By client after handover**

NOTE: Colours are indicative only and should not be used as a true representation of the product.

Signature  Date 11/7/19.