



**NORTHERN BEACHES COUNCIL  
AVALON GOLF CLUB**

## DRAWING LIST

DD 000	COVER PAGE	NTS
DD 001	PLAN - SITE PLAN	1:200
DD 020	EXISTING PLAN - GROUND FLOOR	1:100
DD 030	DEMOLITION PLAN - GROUND FLOOR	1:100
DD 100	PLAN - GROUND FLOOR	1:100
DD 101	PLAN - ROOF	1:100
DD 110	PLAN - REFLECTED CEILING PLAN	1:100
DD 500	UNISEX BATHROOM	1:50
DD 501	DELETED	
DD 502	DELETED	
DD 503	DELETED	
DD 504	DOOR & WINDOW SCHEDULE	1:50
DD 505	ARTIST TEACHING SPACE	1:50
DD 800	PERSPECTIVE	NTS

## SCHEDULE

DD 900 MATERIALS, FINISHES, FF&E AND LUMINARIE SCHEDULE

## GENERAL LEGEND

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS,  
SCHEDULE DD-900 AND SPECIFICATION.

REFER TO THE SERVICES ENGINEER'S DRAWINGS AND SPECIFICATIONS FOR ALL ELECTRICAL, FIRE, HYDRAULIC AND MECHANICAL REQUIREMENTS AND DETAILS.

IT IS IMPERATIVE THAT ALL CONSTRUCTION IS CARRIED OUT FROM THE MOST CURRENT PROJECT DOCUMENTS. THE HEAD CONTRACTOR IS TO ENSURE THAT THEY AND ALL SUB-CONTRACTORS ARE WORKING OFF THE MOST CURRENT PROJECTS DRAWINGS, SCHEDULES AND SPECIFICATIONS.

ALL BUILDING WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA (BCA) AND THE RELEVANT AUSTRALIAN STANDARDS.

### LEVEL OF ACCURACY

1. DRAWINGS HAVE BEEN PREPARED FROM ON-SITE MEASUREMENTS AND WITHOUT A REGISTERED SURVEY.

**WHERE ELEMENTS ARE TO BE REMOVED:**

1. CAREFULLY REMOVE ELEMENTS WITHOUT DAMAGING THE SURROUNDING FABRIC. REMOVE ONLY THAT WHICH IS REQUIRED.
2. UPON COMPLETION OF REMOVAL, REPAIR AND RESTORE SURROUNDING FABRIC IF NECESSARY.
3. NO HERITAGE FABRIC/ELEMENTS ARE TO LEAVE SITE WITHOUT APPROVAL
4. PROTECT ALL EXISTING REMAINING HERITAGE FABRIC

## WALL TYPES

WT01	TIMBER STUD WALL, ACOUSTIC INSULATION [INS-1], WATER PROOF MEMBRANE, WITH CFC SHEET [CFC-1] AND PAINT [PA01] TO BOTH SIDES.
WT02	EXISTING RENDERED BLOCKWORK WALL. PROVIDE NEW PAINT [PA01] TO ALL EXISTING WALLS.
WT03	LAMINEX TOILET PARTITION SYSTEM [LM-2]
WT04	EXISTING SANDSTONE WALL

NOTE: ALL WALL TYPES TO BE BUILT IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND BCA.

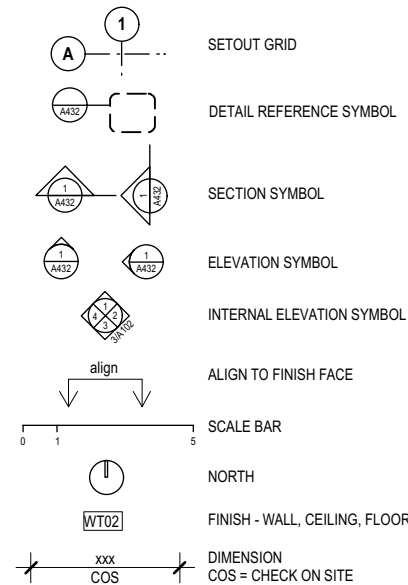
## FLOOR TYPES

FT01	EXISTING STRUCTURAL CONCRETE SLAB. PROVIDE NEW PAINT FINISH [PA03] TO COMPLY WITH SLIP RESISTANCE IN ACCORDANCE WITH AS4587, HB197 AND HB198
FT02	100mm THICK EXTERNAL CONCRETE PATH AS PER NORTHERN BEACHES COUNCIL CIVIL ENGINEERING SPECIFICATIONS. PATHWAY TO COMPLY WITH AS1428.1-2009 WITH APPROPRIATE NON-SLIP FINISH TO MEETING SLIP RESISTANCE COMPLIANCE AND COMPLY WITH AS/NZS 3661.1, AS/NZS 4586 and HB 197

**CEILING TYPE**

CL01	15mm COMPRESSED FIBRE CEMENT SHEET CEILING WITH PAINT FINISH [PA02]. ALL JOINTS TO BE SEALED
CL02	EXISTING ASBESTOS CEILING. CONTRACTOR TO PROVIDE A WHS MANAGEMENT PLAN FOR ASBESTOS AUDIT, ASSESSMENT AND MANAGEMENT IN ACCORDANCE WITH SAFAWORK NSW, WHS GUIDELINES AND APPROPRIATE LEGISLATION. PROVIDE NEW PAINT FINISH [PA02] TO GROUND FLOOR CEILING ONLY

## DRAWING SYMBOLS



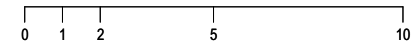
D	03.10.19	ISSUE FOR INFORMATION
C	23.09.19	ISSUE FOR INFORMATION
B	20.06.19	ISSUE FOR INFORMATION
A	19.06.19	ISSUE FOR INFORMATION
REV	DATE	DESCRIPTION

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CLIENT	ARCHITECT	PROJECT
NORTHERN BEACHES COUNCIL Building Assets - Planning Design and Delivery	<b>BREAKSPEAR ARCHITECTS</b> ABN 81 601 670 991    ACN 601 670 991 Level 1, 29-33 The Corso, Manly NSW 2095 P: 0421 661 146    E: toby@brkspr.com	<b>AVALON GOLF CLUB - ARTIST STUDIOS</b>
	This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings; dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects ply ltd.	

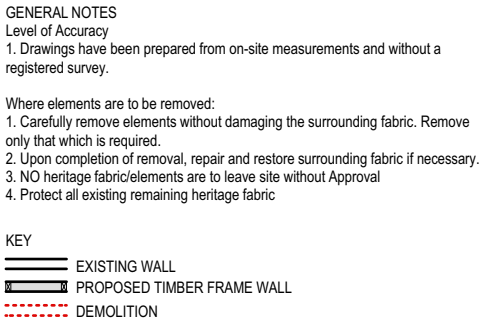
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1908	CA	TB	NTS	A3	DD	000	C

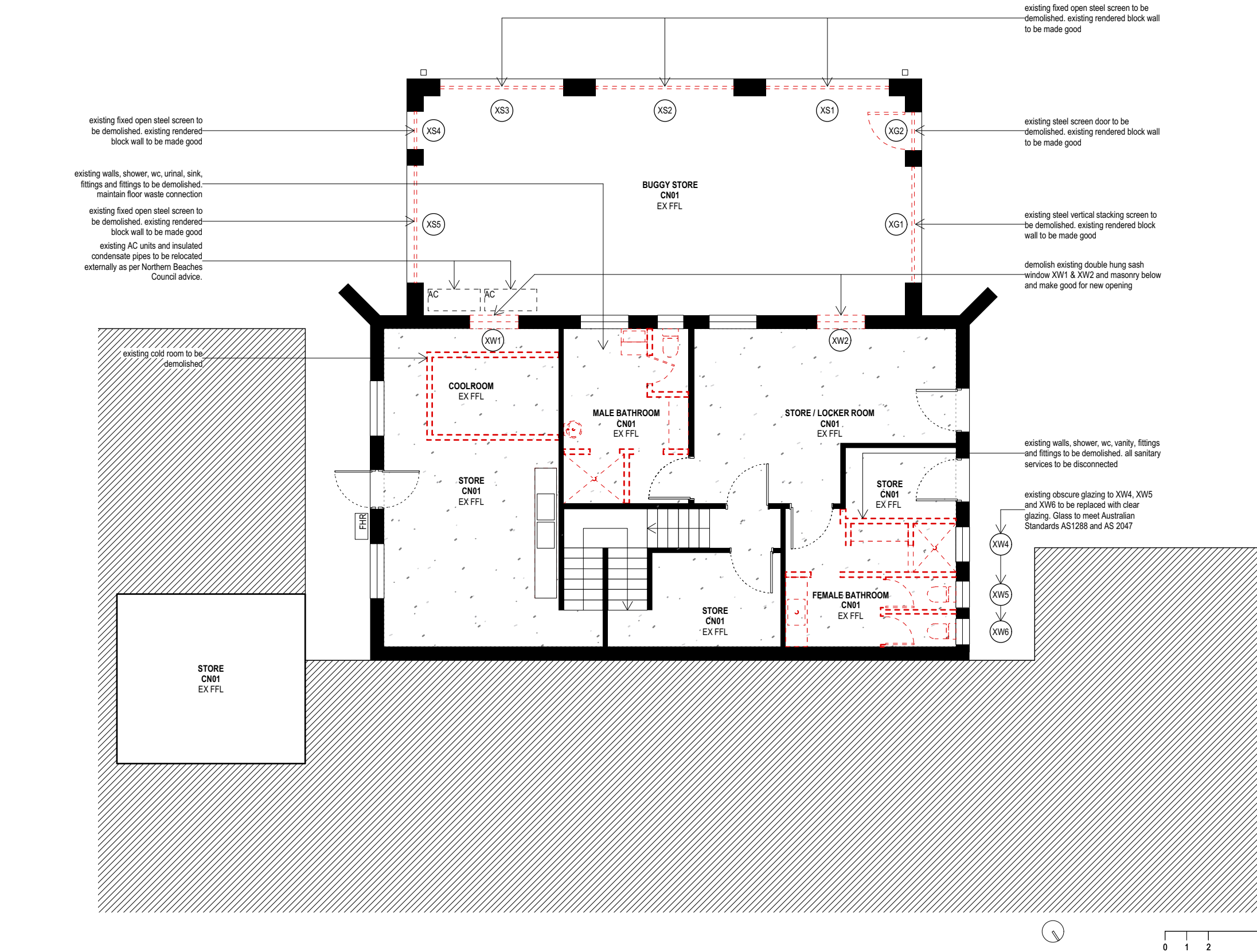




SHEET TITLE		
<b>SITE PLAN</b>		
DOCUMENTATION STAGE	SHEET NUMBER	ISSUE
<b>DD</b>	<b>001</b>	<b>D</b>

<div>D C B A</div>				03.10.19 23.09.19 20.06.19 19.06.19	ISSUE FOR INFORMATION ISSUE FOR INFORMATION ISSUE FOR INFORMATION ISSUE FOR INFORMATION	REV	DATE	DESCRIPTION			CLIENT  NORTHERN BEACHES COUNCIL Building Assets - Planning Design and Delivery	ARCHITECT <b>BREAKSPEAR ARCHITECTS</b> ABN 81 601 670 991    ACN 601 670 991 Level 1, 29-33 The Corso, Manly NSW 2095 P: 0421 661 146    E: toby@brkspr.com	PROJECT <b>AVALON GOLF CLUB - ARTIST STUDIOS</b>					SHEET TITLE <b>SITE PLAN</b>		
												This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects ply ltd.	PROJECT NUMBER <b>1908</b>	DRAWN <b>CA</b>	CHECKED <b>TB</b>	SHEET SCALE <b>1:200</b>	SHEET SIZE <b>A3</b>	DOCUMENTATION STAGE <b>DD</b>	SHEET NUMBER <b>001</b>	ISSUE <b>D</b>

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GENERAL NOTES

Level of Accuracy

1. Drawings have been prepared from on-site measurements and without a registered survey.

Where elements are to be removed:

1. Carefully remove elements without damaging the surrounding fabric. Remove only that which is required.

2. Upon completion of removal, repair and restore surrounding fabric if necessary.

3. NO heritage fabric/elements are to leave site without Approval

4. Protect all existing remaining heritage fabric

KEY

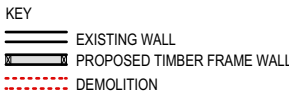
EXISTING WALL

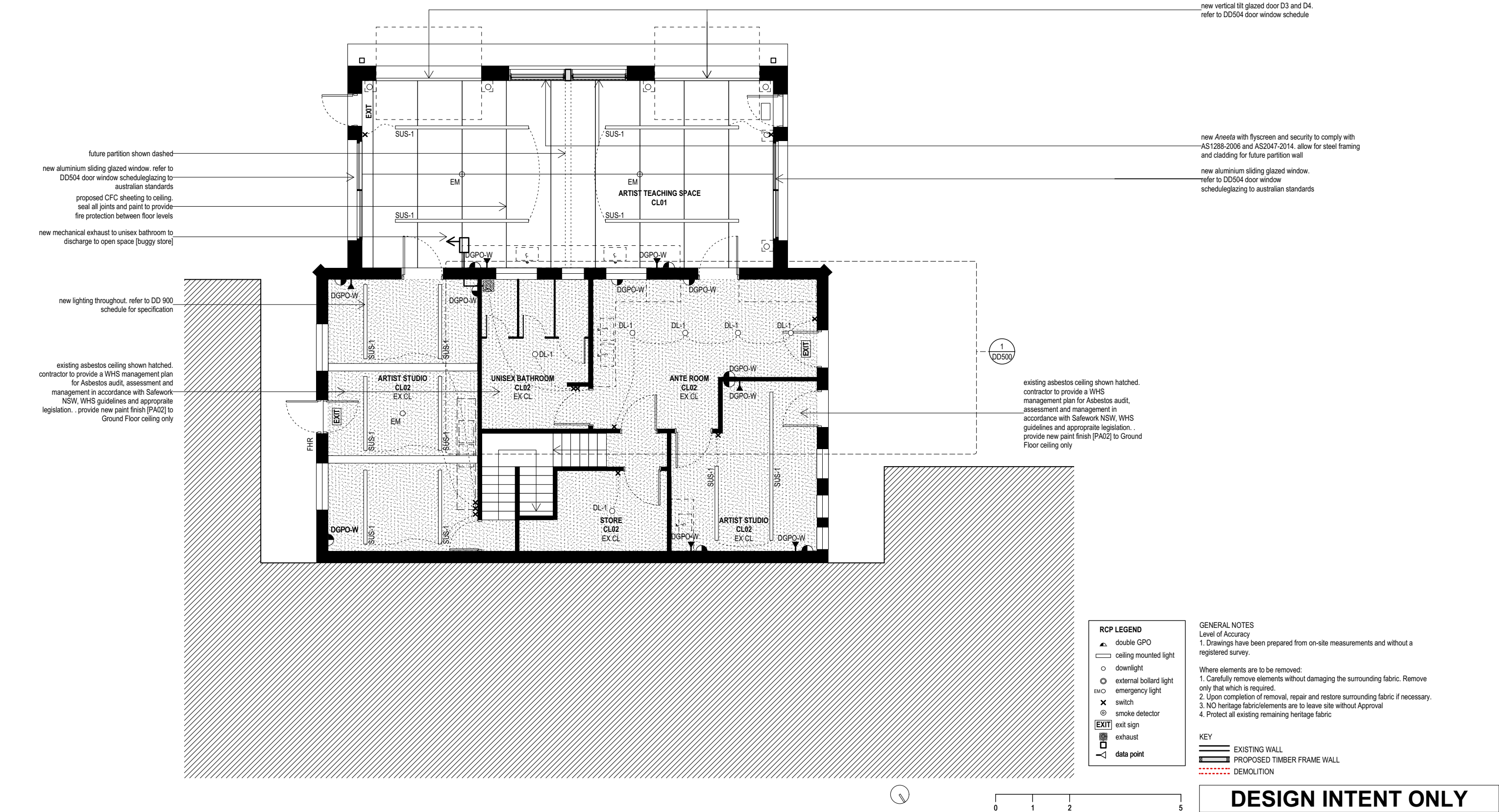
PROPOSED TIMBER FRAME WALL

DEMOLITION

									CLIENT NORTHERN BEACHES COUNCIL Building Assets - Planning Design and Delivery			ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 991    ACN 601 670 991 Level 1, 29-33 The Corso, Manly NSW 2095 P: 0421 661 146    E: toby@brkspr.com			PROJECT AVALON GOLF CLUB - ARTIST STUDIOS					SHEET TITLE DEMOLITION PLAN - GROUND																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
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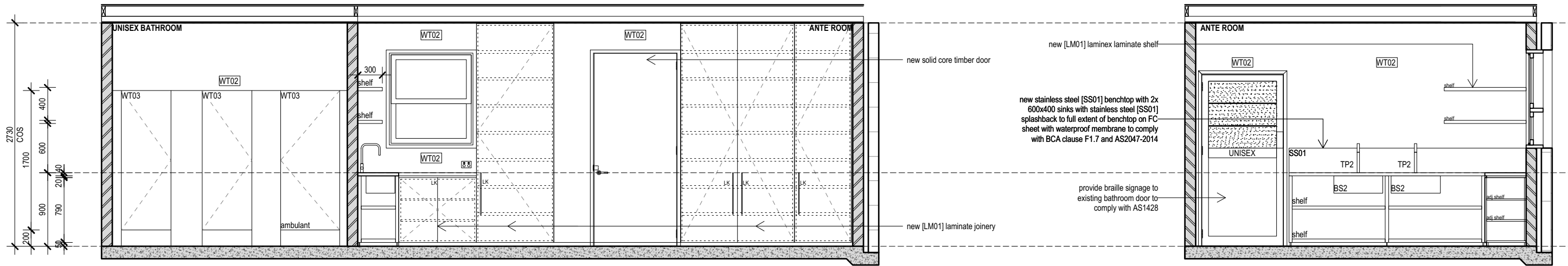


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CLIENT		ARCHITECT		PROJECT		SHEET TITLE	
NORTHERN BEACHES COUNCIL		BREAKSPEAR ARCHITECTS		AVALON GOLF CLUB - ARTIST STUDIOS		PROPOSED RCP PLAN - GROUND	
Building Assets - Planning Design and Delivery		ABN 81 601 670 991 ACN 601 670 991		PROJECT NUMBER		DOCUMENTATION STAGE	
		Level 1, 29-33 The Corso, Manly NSW 2095		DRAWN		SHEET NUMBER	
		P: 0421 661 146 E: toby@brkspr.com		CHECKED		ISSUE	
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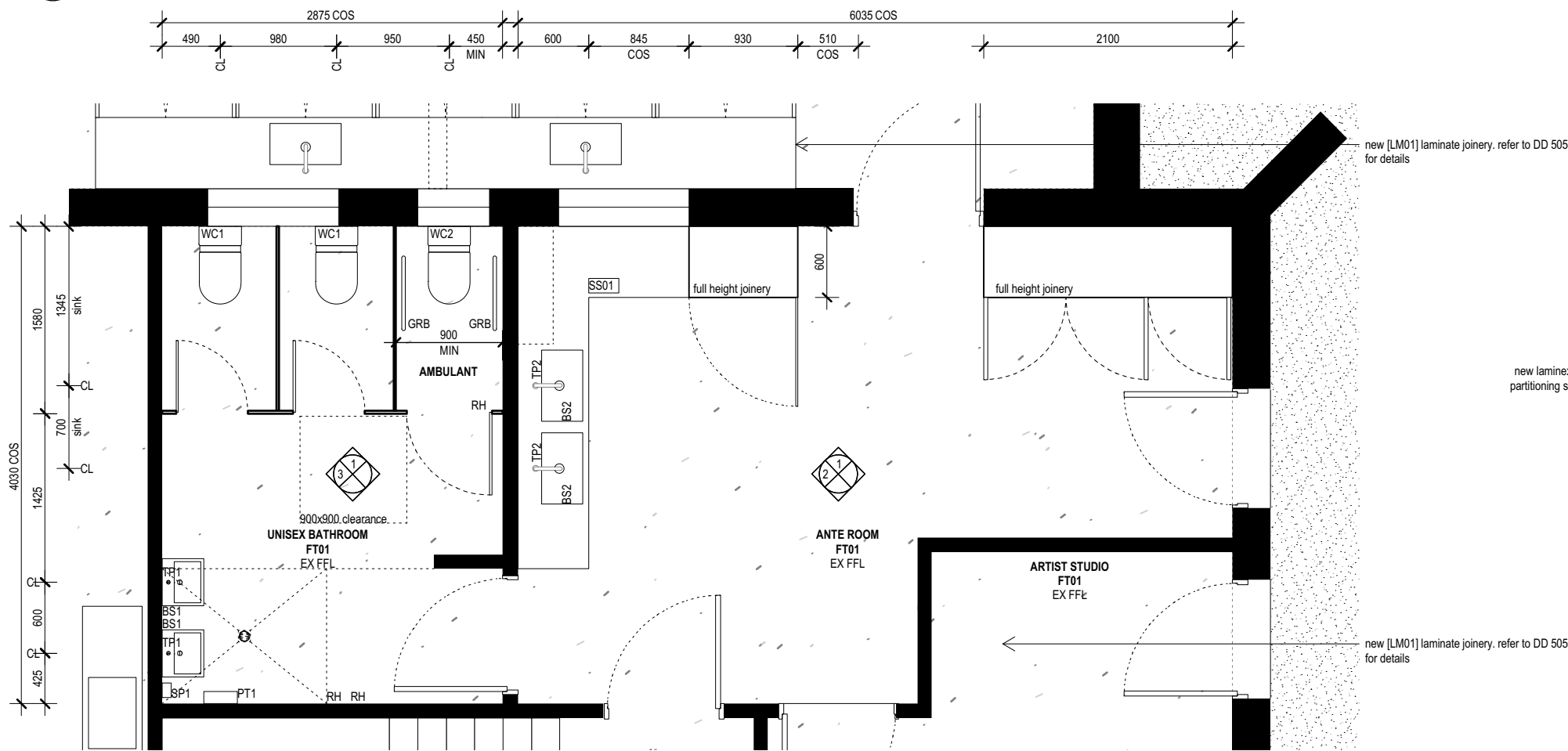
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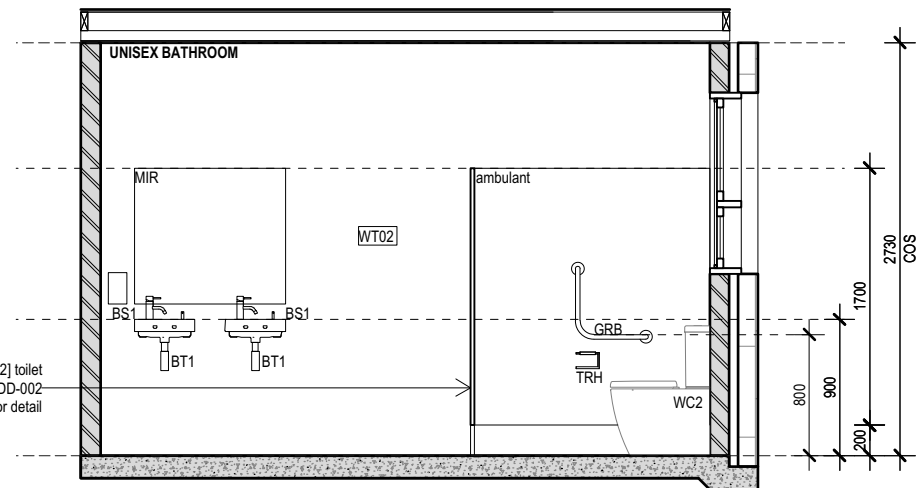


Note: Ambulant toilet to be in accordance with AS1428.1

**2 ELEVATION 01 - BATHROOM & ANTEROOM**  
1:50



**3 ELEVATION 02 - ANTEROOM**  
1:50



Note: Ambulant toilet to be in accordance with AS1428.1. All fittings and fixtures to be installed in accordance with AS1428.1

Note: provide new fittings and fixtures to bathroom. refer to schedule DD-900 for detail

**4 ELEVATION 03 - BATHROOM**  
1:50

Note: Ambulant toilet to be in accordance with AS1428.1  
Note: Locate all existing floor wastes. maintain floor wastes and falls

**1 PLAN - BATHROOM**  
1:50

- GENERAL NOTES FOR JOINERY**
1. read in conjunction with DD900 finishes, FF&E schedule
  2. all non visible construction to be 18mm white melamine
  3. all exposed finishes to cupboard doors to be 18mm oyster grey laminate [LM01]
  4. benchtop to be stainless steel [SS01] on substrate, edge to have drainage lip to leading edge
  5. splashback to be stainless steel [SS01]
  6. 5mm recessed shadow gap between joinery modules in finish to match adjacent joinery
  7. door pull handle to cupboards to be madinoz 'vertical on full height doors mdz 200/800
  8. adjustable shelving strips to be '283.12.013 rebated with matching supports '283.68.005'
  9. all doors to be lockable
  10. all gpos to match paint/laminate finish

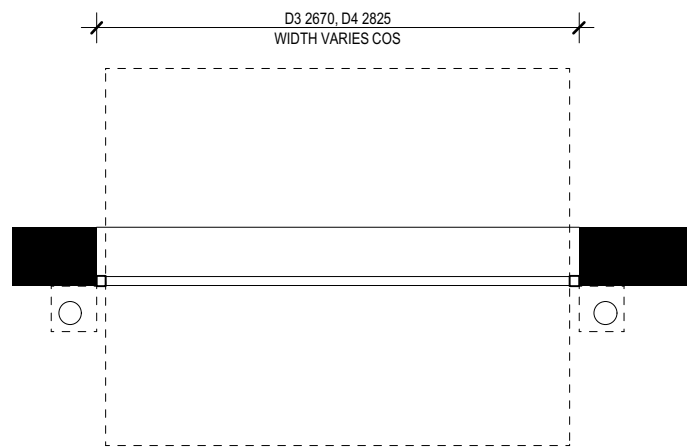
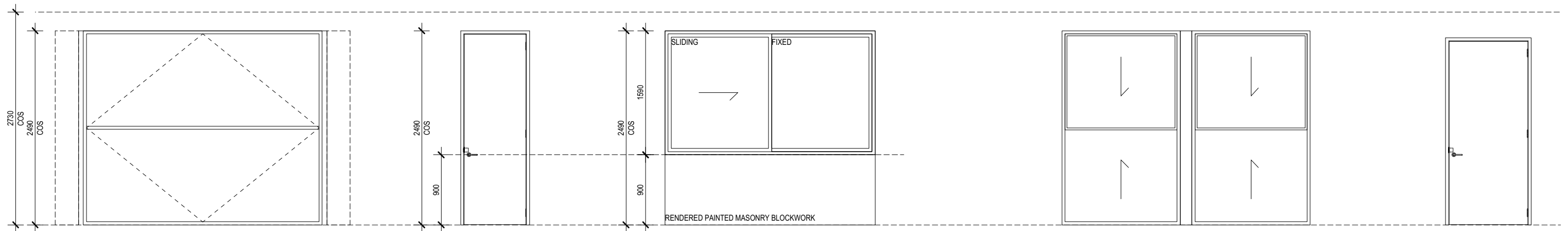
**GENERAL NOTES**  
Level of Accuracy  
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3. NO heritage fabric/elements are to leave site without Approval  
4. Protect all existing remaining heritage fabric

**KEY**  
— EXISTING WALL  
— PROPOSED TIMBER FRAME WALL  
- - - DEMOLITION

**DESIGN INTENT ONLY**

D C B A  REV	03.10.19	ISSUE FOR INFORMATION	REV	DATE	DESCRIPTION			CLIENT  NORTHERN BEACHES COUNCIL Building Assets - Planning Design and Delivery	ARCHITECT <b>BREAKSPEAR ARCHITECTS</b> ABN 81 601 670 991    ACN 601 670 991 Level 1, 29-33 The Corso, Manly NSW 2095 P: 0421 661 146    E: toby@brkspr.com	PROJECT <b>AVALON GOLF CLUB - ARTIST STUDIOS</b>					SHEET TITLE <b>PROPOSED BATHROOM AND JOINERY</b>		
	23.09.19	ISSUE FOR INFORMATION								PROJECT NUMBER	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	DOCUMENTATION STAGE	SHEET NUMBER	ISSUE
	20.06.19	ISSUE FOR INFORMATION								1908	CA	TB	1:50	A3	DD	500	D
	19.06.19	ISSUE FOR INFORMATION															



D3, D4

RENLITA OVERHEAD FLOATAWAY COUNTER BALANCED SINGLE LEAF DOOR  
SERIES S1000

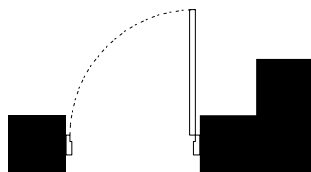
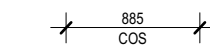
STEEL FRAMED GLASS [GL-1] VERTICAL DOOR DESIGNED IN ACCORDANCE WITH AS1170 AND AS1250 TO BE FIXED WITH WEATHER SEALS. VIRIDIAN TOUGHENED GLASS AUSTRALIAN STANDARDS AS 1288-2006

NOTE: STRUCTURAL INTEGRITY OF OPENING AND RENLITA DOOR SYSTEM TO BE CHECKED BY STRUCTURAL ENGINEER. DOOR TRACK POSITIONED ON INTERNAL FACE OF EXISTING RENDERED BRICKWORK WALL

DOOR FRAME AND CHANNEL TO BE POWDERCOATED TO MATCH EXISTING PAINT COLOUR  
OF RENDERED BLOCK WORK

Contact: Monarch Renlita  
Luke Harden  
e: [luke@monarchdoors.com.au](mailto:luke@monarchdoors.com.au)  
d: 02 9535 8707

w: <https://monarchrenlita.aragroup.com.au/products/renlita-series-1000>



D1, D2

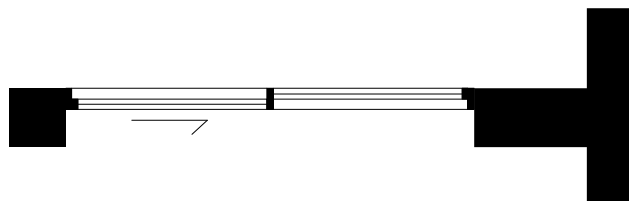
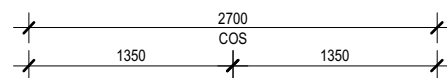
40mm HINGED SOLID CORE TIMBER DOOR  
FINISH: SEMI-GLOSS PAINT TO MATCH  
EXISTING GROUND FLOOR TIMBER DOORS.

DOOR TO COMPLY WITH AS1428.1 AND  
ACHIEVE MINIMUM UNOBSTRUCTED WIDTH OF  
850mm AND HINGE SIDE / LATCH SIDE  
CLEARANCES.

DOORS TO BE FITTED WITH HOLD OPEN  
DEVICE

LOCKWOOD STAINLESS STEEL D SHAPED  
LEVER SINGLE ACTION LEVER HANDLE

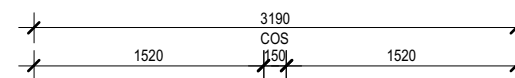
ALL EXTERNAL DOORS TO BE FIXED WITH  
SECURITY KEYPADS



W1, W2

ALUMINIUM FRAMED TOUGHENED SLIDING GLAZED WINDOW WITH FIXED LITE. ALL  
WINDOWS TO BE KEY LOCKED  
FINISH: WINDOW FRAME TO BE POWDERCOATED TO MATCH EXISTING PAINT  
COLOUR OF RENDERED BLOCK WORK WALL

## GLAZING TO COMPLY WITH AS1288:2006



S1

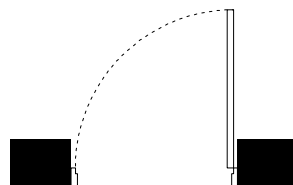
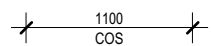
ANEETA GLASS 2 PANE SASHLESS DOUBLE HUNG WINDOW SYSTEM

CAREFULLY REMOVE EXISTING ALUMINIUM SCREEN. REPAIR TIMBER JAMB, CILL AND HEAD AND INCORPORATE NEW 10MM THICK GLASS [GL-1] ANEETA SYSTEM

ALL ANEETA WINDOWS TO INCLUDE REMOVABLE ALUMINIUM MESH FLYSCREEN, LOCKING DEVICE, WEATHERPROOF SEALS AND CONCEALED FIXINGS

ANEETA SYSTEM TO COMPLY WITH AUSTRALIAN STANDARDS AS2047-2014, AS1288-2006 AND AS4055-2012

Contact: ANEETA  
p: 9939 0520  
w: <http://aneetawindows.com.au/index.html>



D5, D6

40mm HINGED SOLID CORE TIMBER DOOR  
FINISH: SEMI-GLOSS PAINT TO MATCH  
EXISTING GROUND FLOOR TIMBER DOORS.

DOOR TO COMPLY WITH AS1428.1 AND  
ACHIEVE MINIMUM UNOBSTRUCTED WIDTH OF  
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DOORS TO BE FITTED WITH HOLD OPEN  
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LEVER SINGLE ACTION LEVER HANDLE

## GENERAL NOTES

Level of Accuracy

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KEY

== EXISTING WALL

EXISTING WALL  
PROPOSED TIMBER FRAME WALL

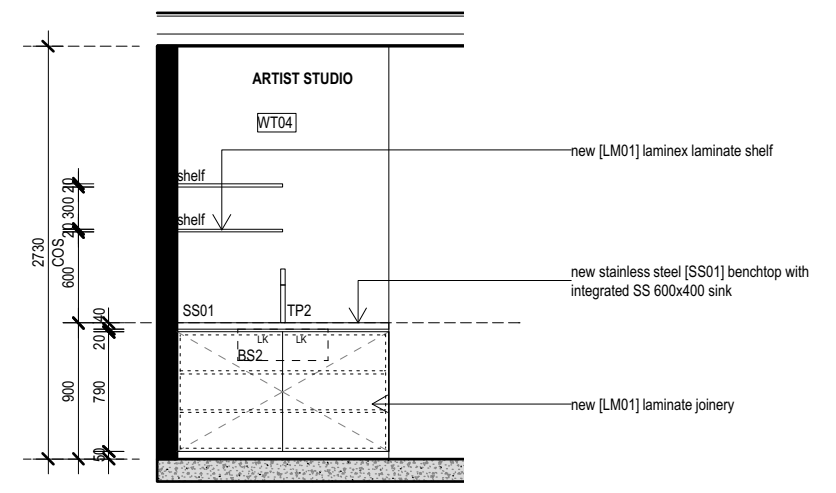
DEMOLITION



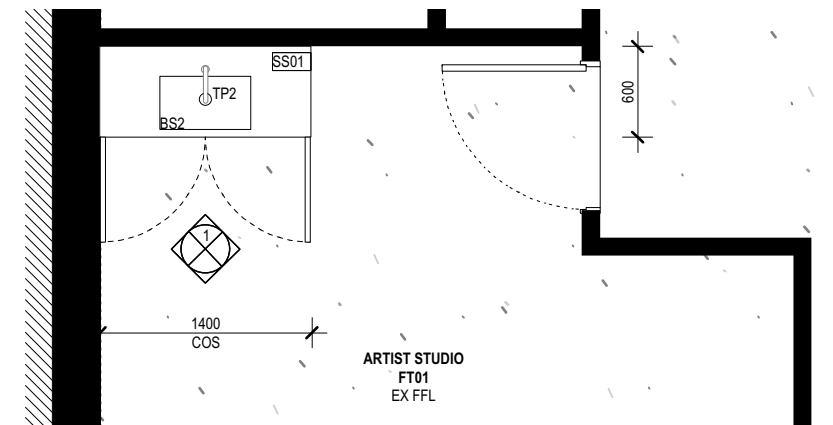
**DESIGN INTENT ONLY**

						CLIENT		ARCHITECT		PROJECT					SHEET TITLE		
						NORTHERN BEACHES COUNCIL Building Assets - Planning Design and Delivery		BREAKSPEAR ARCHITECTS ABN 81 601 670 991    ACN 601 670 991 Level 1, 29-33 The Corso, Manly NSW 2095 P: 0421 661 146    E: lobby@brkspr.com		AVALON GOLF CLUB - ARTIST STUDIOS					PROPOSED DOOR WINDOW SCHEDULE		
								This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects Pty Ltd.		PROJECT NUMBER	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	DOCUMENTATION STAGE	SHEET NUMBER	ISSUE
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REV			DATE			DESCRIPTION											





**3 ELEVATION 01 - ARTIST STUDIO**  
1:50



**GENERAL NOTES FOR JOINERY**

1. read in conjunction with DD900 finishes, FF&E schedule
2. all non visible construction to be 18mm white melamine
3. all exposed finishes to cupboard doors to be 18mm oyster grey laminate [LM01]
4. benchtop to be stainless steel [SS01] on substrate, edge to have drainage lip to leading edge
5. splashback to be stainless steel [SS01]
6. 5mm recessed shadow gap between joinery modules in finish to match adjacent joinery
7. door pull handle to cupboards to be madinoz \*vertical on full height doors mdz 200/800
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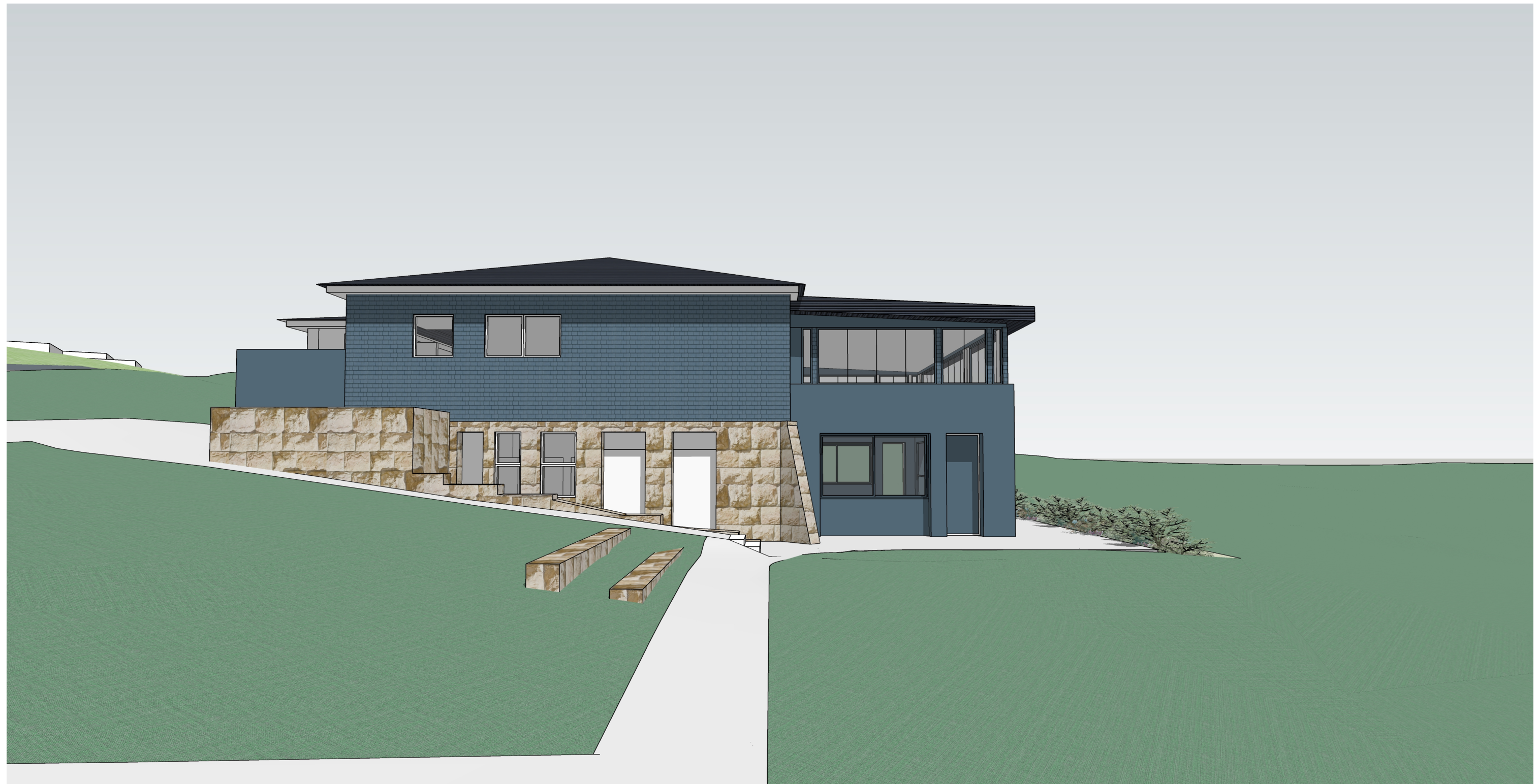
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A horizontal number line with tick marks at 0, 1, 2, and 5. The line is labeled with these numbers below the tick marks.

B A	03.10.19 23.09.19	ISSUE FOR INFORMATION ISSUE FOR INFORMATION	REV	DATE	DESCRIPTION			CLIENT	ARCHITECT	PROJECT	SHEET TITLE						
								NORTHERN BEACHES COUNCIL Building Assets - Planning Design and Delivery	<b>BREAKSPEAR ARCHITECTS</b> ABN 81 601 670 991    ACN 601 670 991 Level 1, 29-33 The Corso, Manly NSW 2095 P: 0421 661 146    E: loby@bkspr.com	<b>AVALON GOLF CLUB - ARTIST STUDIOS</b>	<b>JOINERY</b>						
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										<b>1908</b>	<b>CA</b>	<b>TB</b>	<b>1:50</b>	<b>A3</b>	<b>DD</b>	<b>505</b>	<b>B</b>



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