

DEVELOPMENT APPLICATION FOR PROPOSED SHOP-TOP HOUSING DEVELOPMENT 1010 - 1014 PITTWATER ROAD COLLARROY NSW 2097



- THERMAL COMFORT COMMITMENTS**
- METAL ROOF (MEDIUM COLOUR) WITH 70MM FOIL LINED BLANKET.
 - R3.0 INSULATION TO ALL CEILING ADJACENT TO METAL ROOF.
 - REFLECTIVE SARKING + 50MM EXTRUDED POLYSTYRENE INSULATION TO CEILING ADJACENT TO CONCRETE ROOF.
 - ALL EXTERNAL WALLS TO INCLUDE R2.5 INSULATION.
 - 200MM CONCRETE SLAB FLOORS ALL LEVELS.
 - UNITS 1 & 7-12 TO INCLUDE R1.5 INSULATION TO FLOOR ADJACENT TO CARPARK.
 - W7.02, W10.02, W12.02, W12.03, W14.01, W14.06, W15.01, W15.03, W17.01, W19.01, W19.02, W20.01, W20.02, W21.01, W21.02 & ALL GLASS BLOCKS DG U=4.8 SHGC=0.59 +/-10%.
 - ALL OTHER WINDOWS AL/SG U=6.7 SHGC=0.57 +/-10% (AWNING) SHGC=0.7 +/-10% (SLIDING/FIXED).
 - ALL SKYLIGHTS VELUX FIXED U=2.7 SHGC=0.24 +/-5%.
 - ALL EXHAUST FANS SEALED.
 - ALL RECESSED DOWNLIGHTS SEALED AND TO ALLOW FOR UNINTERRUPTED CEILING INSULATION.
 - CEILING FANS TO LIVING & BEDROOMS FOR ALL LEVEL 2 & 3 UNITS (MINIMUM 1200MM DIAMETER).

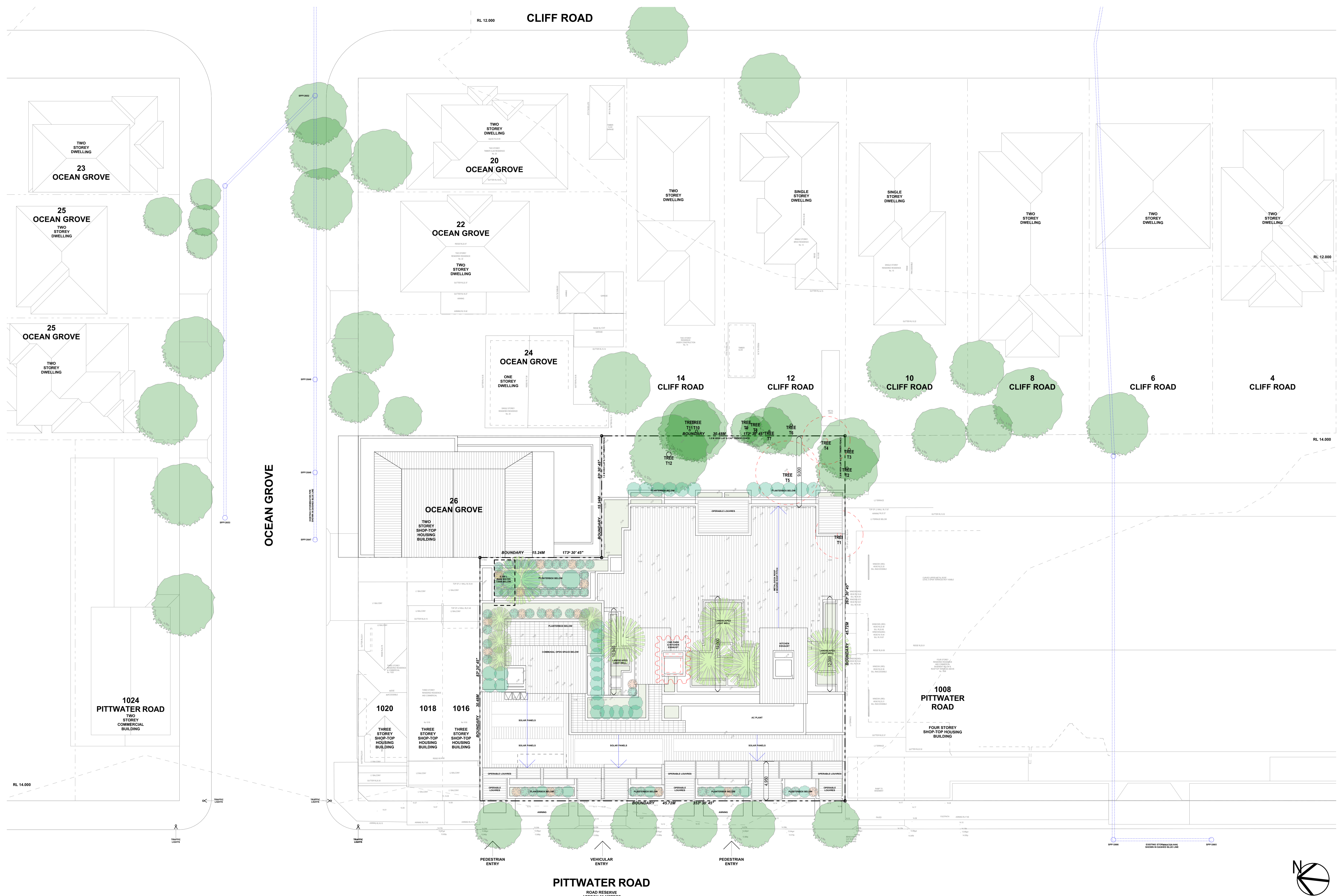
- WALL TYPES LEGEND**
- A1 - LIGHT-WEIGHT EXTERNAL WALL**
- FIBRE CEMENT WEATHERBOARD CLADDING
 - 50 MM BATTEN
 - VAPOUR PERMEABLE SARKING
 - 16 MM THICK FIRE AND WATER-RESISTANT PLASTERBOARD
 - 92 MM STEEL STUD
 - GLASS WOOL INSULATION R = 2.5
 - 16 MM THICK FIRE-RESISTANT PLASTERBOARD
- A2 - STRUCTURAL EXTERNAL WALL WITH FRL**
- FIBRE CEMENT CLADDING
 - 50 MM BATTEN
 - VAPOUR PERMEABLE SARKING
 - 150 MM THICK AFS CONCRETE WALL
 - 20 MM AIR GAP
 - 64 MM STEEL STUD
 - GLASS WOOL INSULATION R = 2.5
 - 13 MM THICK PLASTERBOARD
- A3 - STRUCTURAL WALL WITH FRL**
- FIBRE CEMENT CLADDING
 - 50 MM BATTEN
 - VAPOUR PERMEABLE SARKING
 - 150 MM THICK AFS CONCRETE WALL
 - VAPOUR PERMEABLE SARKING
 - 50 MM BATTEN
 - FIBRE CEMENT CLADDING
- B1 - INTERTENANCY WALL - NON-LOAD BEARING**
- 13 MM PLASTERBOARD
 - 35 MM CHANNEL
 - 50 MM BRADFORD ACOUSTIGARD 11 ACOUSTIC INSULATION
 - 75 MM HEBEL POWER PANEL
 - 20 MM MINIMUM AIR GAP
 - 64 MM STEEL STUD
 - 75 MM BRADFORD ACOUSTIGARD 11 ACOUSTIC INSULATION
 - 13 MM PLASTERBOARD
- B2 - INTERTENANCY WALL - LOAD BEARING**
- 13 MM PLASTERBOARD
 - 35 MM CHANNEL
 - 50 MM BRADFORD ACOUSTIGARD 11 ACOUSTIC INSULATION
 - 150 MM MINIMUM AFS CONCRETE WALL
 - 20 MM MINIMUM AIR GAP
 - 64 MM STEEL STUD
 - 75 MM BRADFORD ACOUSTIGARD 11 ACOUSTIC INSULATION
 - 13 MM PLASTERBOARD
- C1 - INTERNAL PARTITION WALL**
- 13 MM PLASTERBOARD
 - 64 MM STEEL STUD
 - 75 MM BRADFORD ACOUSTIGARD 11 ACOUSTIC INSULATION
 - 13 MM PLASTERBOARD

UNIT SCHEDULE					
UNIT No.	UNIT TYPE	UNIT AREA	SOLAR ACCESS	NATURAL VENTILATION	ADAPTABLE / SILVER LEVEL UNIT
01	2 BED	82.41	SOLAR = NO	VENT = YES	
02	2 BED	82.16	SOLAR = NO	VENT = YES	SILVER LEVEL
03	2 BED	85.08	SOLAR = NO	VENT = YES	SILVER LEVEL
04	2 BED	76.30	SOLAR = YES	VENT = YES	
05	1 BED + S	73.98	SOLAR = NO	VENT = NO	
06	1 BED	75.01	SOLAR = NO	VENT = NO	ADAPTABLE UNIT
07	1 BED	52.27	SOLAR = NO	VENT = NO	
08	1 BED	67.32	SOLAR = YES	VENT = NO	
09	2 BED	79.00	SOLAR = YES	VENT = YES	
10	3 BED	89.11	SOLAR = YES	VENT = YES	SILVER LEVEL
11	3 BED	87.29	SOLAR = YES	VENT = YES	SILVER LEVEL
12	3 BED	87.69	SOLAR = YES	VENT = YES	SILVER LEVEL
13	3 BED	96.45	SOLAR = YES	VENT = YES	
14	2 BED	88.62	SOLAR = YES	VENT = YES	
15	1 BED	59.05	SOLAR = YES	VENT = YES	
16	3 BED + S	128.64	SOLAR = YES	VENT = YES	ADAPTABLE UNIT
17	3 BED + S	123.58	SOLAR = YES	VENT = YES	ADAPTABLE UNIT
18	2 BED	79.00	SOLAR = YES	VENT = YES	
19	2 BED	87.17	SOLAR = YES	VENT = YES	
20	2 BED	85.33	SOLAR = YES	VENT = YES	
21	2 BED	85.74	SOLAR = YES	VENT = YES	
		1,771.20 m ²			

RETAIL AREA	
RETAIL TENANCY	AREA
RETAIL 01	87.47
RETAIL 02	95.11
RETAIL 03	88.88
	271.46 m ²

DRAWING No:	DRAWING TITLE	REVISION
DA-00	COVER SHEET	G
DA-01	SITE ANALYSIS PLAN	A
DA-02	SITE PLAN	F
DA-03	BASEMENT PLAN	K
DA-04	GROUND FLOOR PLAN	K
DA-05	LEVEL 1 PLAN	G
DA-06	LEVEL 2 PLAN	F
DA-07	LEVEL 3 PLAN	G
DA-08	ROOF PLAN	F
DA-09	SECTION A	F
DA-10	SECTION B	F
DA-11	SECTION C	F
DA-12	SECTION D	F
DA-13	SECTION E	F
DA-14	SECTION 2	F
DA-15	SECTION 3	F
DA-16	NORTH & EAST ELEVATIONS	F
DA-17	SOUTH & WEST ELEVATIONS	F
DA-18	SHADOW DIAGRAMS	D
DA-19	SCHEDULE OF EXTERIOR FINISHES & MATERIALS	E
DA-20	HEIGHT CONTROL DIAGRAM - OVERVIEW	E
DA-21	HEIGHT CONTROL DIAGRAM - VIEW FROM WEST	E
DA-22	HEIGHT CONTROL DIAGRAM - VIEW FROM NORTH	E
DA-23	HEIGHT CONTROL DIAGRAM - VIEW FROM EAST	E
DA-24	HEIGHT CONTROL DIAGRAM - VIEW FROM SOUTH	E
DA-25	VIEW 1	E
DA-26	VIEW 2	E
DA-27	VIEW 3	E
DA-28	VIEW 4	E
DA-29	VIEW 5	E
DA-30	VIEW 6	E
DA-31	VIEW 7	E
DA-32	VIEW 8	E

DEVELOPMENT SUMMARY					
UNIT MIX & TOTAL	CAR PARKING	BICYCLE PARKING	SOLAR ACCESS & NATURAL VENTILATION	ACCESSIBILITY	
1 BED = 5 (24%) 2 BED = 10 (48%) 3 BED = 6 (28%) TOTAL = 22 (100%)	RESIDENTIAL = 26 SPACES VISITORS = 5 SPACES RETAIL = 19 SPACES TOTAL CAR SPACES = 50 SPACES	RESIDENTIAL = 21 SPACES VISITORS = 2 SPACES RETAIL (STAFF) = 2 SPACES RETAIL (SHOPPERS) = 1 SPACE TOTAL BICYCLES = 26 SPACES	SOLAR ACCESS = 15 / 21 (71%) X-VENTILATION = 17 / 21 (81%)	"SILVER LEVEL" UNITS = 5 UNITS (24%) ADAPTABLE UNITS = 3 UNITS (14%)	



CLIFF ROAD

OCEAN GROVE

PITTWATER ROAD

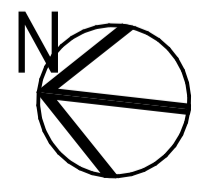
GARTNEROVATO
 10/100 Pittwater Road, Collaroy NSW 2097
 Phone: 02 9979 4422
 Email: info@gartnerovato.com.au

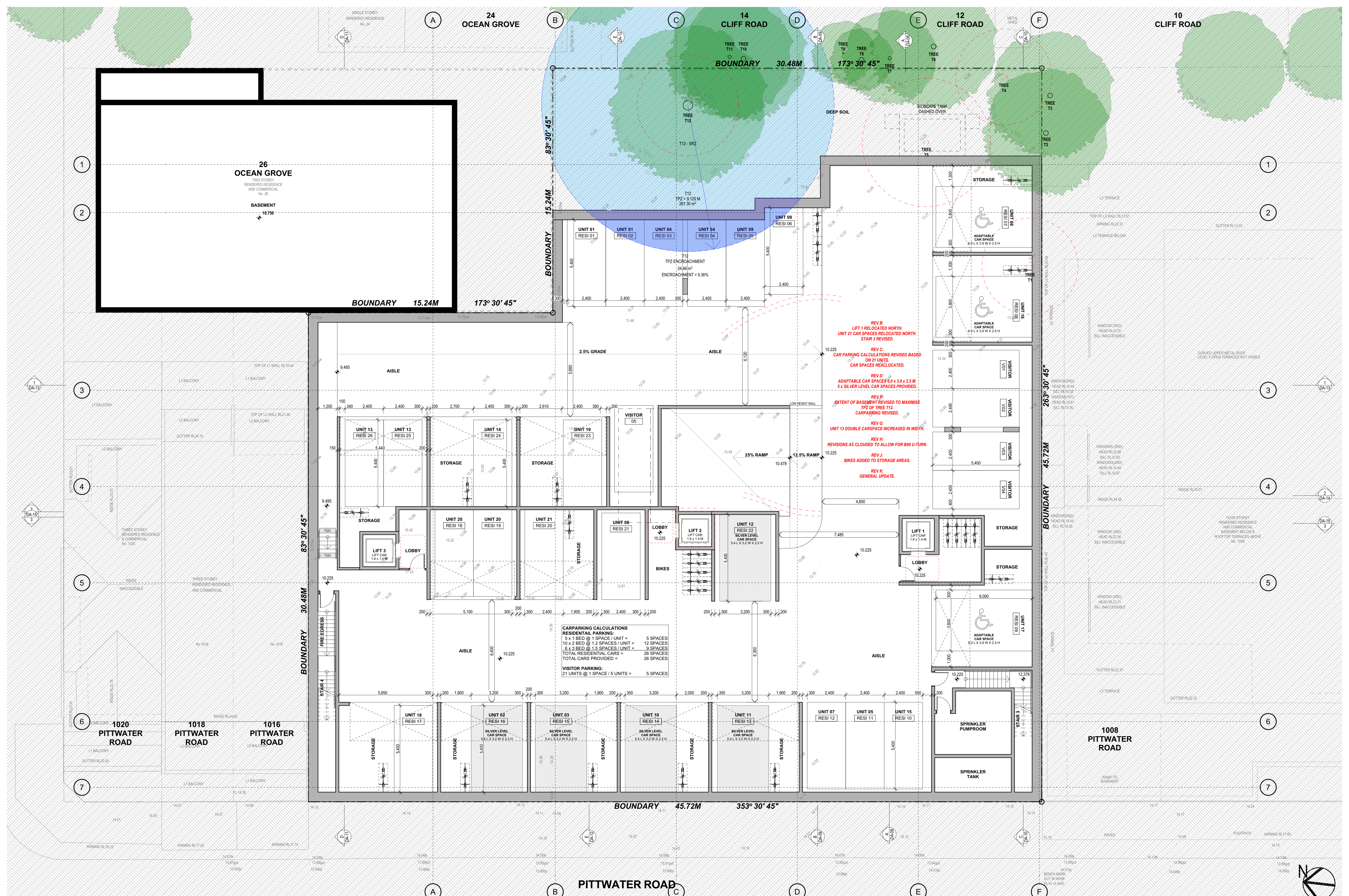
Rev	Change Name
A	DEVELOPMENT APPLICATION
B	REVISIONS TO DA DRAWINGS AS CLOUDED
C	REVISIONS TO DA DRAWINGS AS CLOUDED
D	REVISIONS TO DA DRAWINGS AS CLOUDED
E	REVISIONS TO DA DRAWINGS AS CLOUDED
F	GENERAL REVISIONS TO DRAWINGS TO ADDRESS ISSUES RAISED BY NBLPP

PROJECT: LONG REEF MIXED-USE
 1010 - 1014 PITTWATER ROAD
 COLLARROY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645

SCALE: 1:200 @ A1
 PROJECT NO: 2101
 DRAWING NO: DA-02

DATE: 28/10/2024





REV B:
LIFT 1 RELOCATED NORTH.
UNIT 21 CAR SPACES RELOCATED NORTH.
STAIR 3 REVISED.

REV C:
CAR PARKING CALCULATIONS REVISED BASED
ON 21 UNITS.
CAR SPACES REALLOCATED.

REV D:
ADAPTABLE CAR SPACES 6.0 x 3.8 x 2.5 M.
5 x SILVER LEVEL CAR SPACES PROVIDED.

REV E:
EXTENT OF BASEMENT REVISED TO MAXIMISE
TPZ OF TREE T12.
CARPARKING REVISED.

REV G:
UNIT 13 DOUBLE CARSPACE INCREASED IN WIDTH.

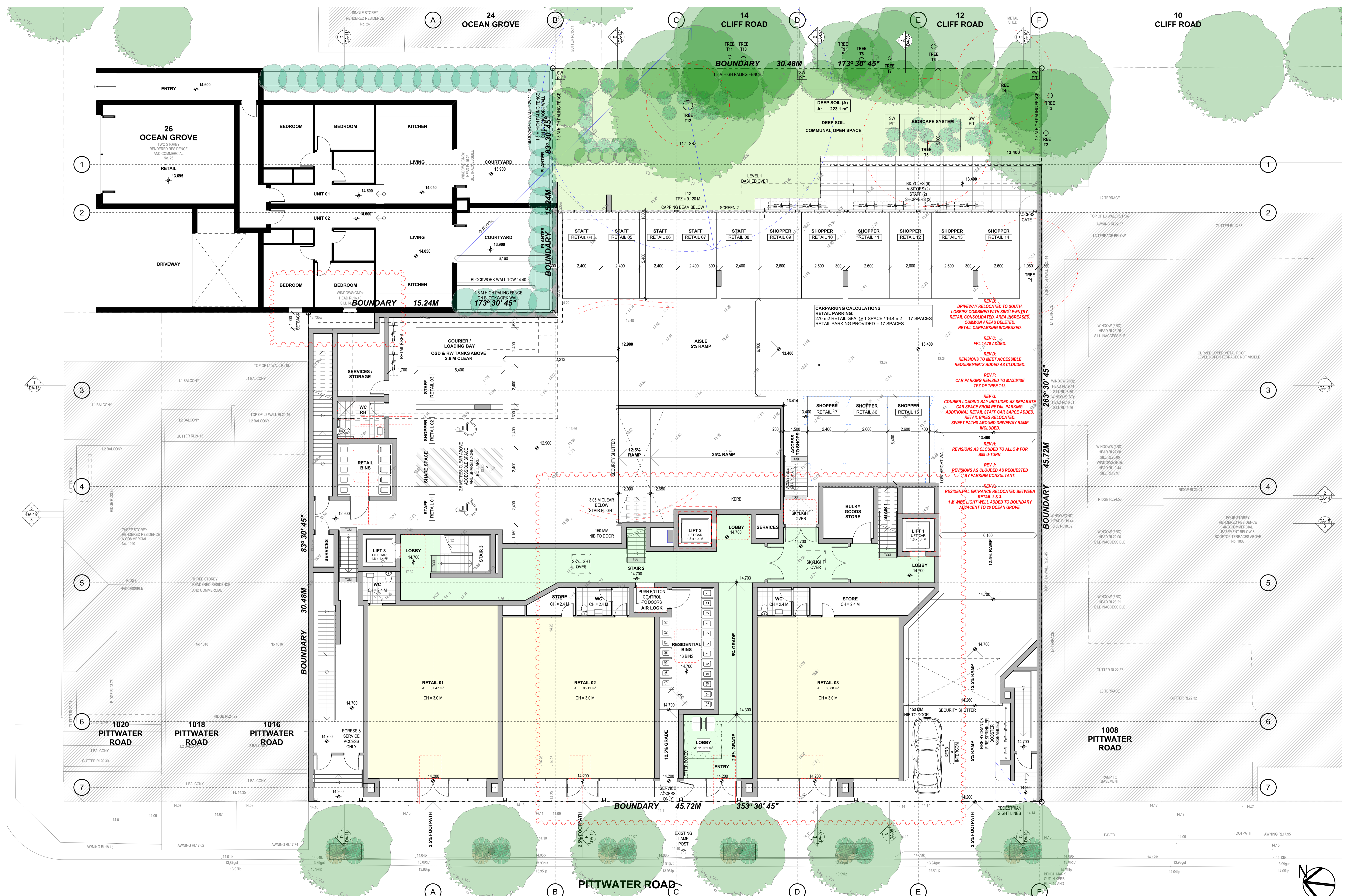
REV H:
REVISIONS AS CLOUDED TO ALLOW FOR B99 U-TURN.

REV J:
BIKES ADDED TO STORAGE AREAS.

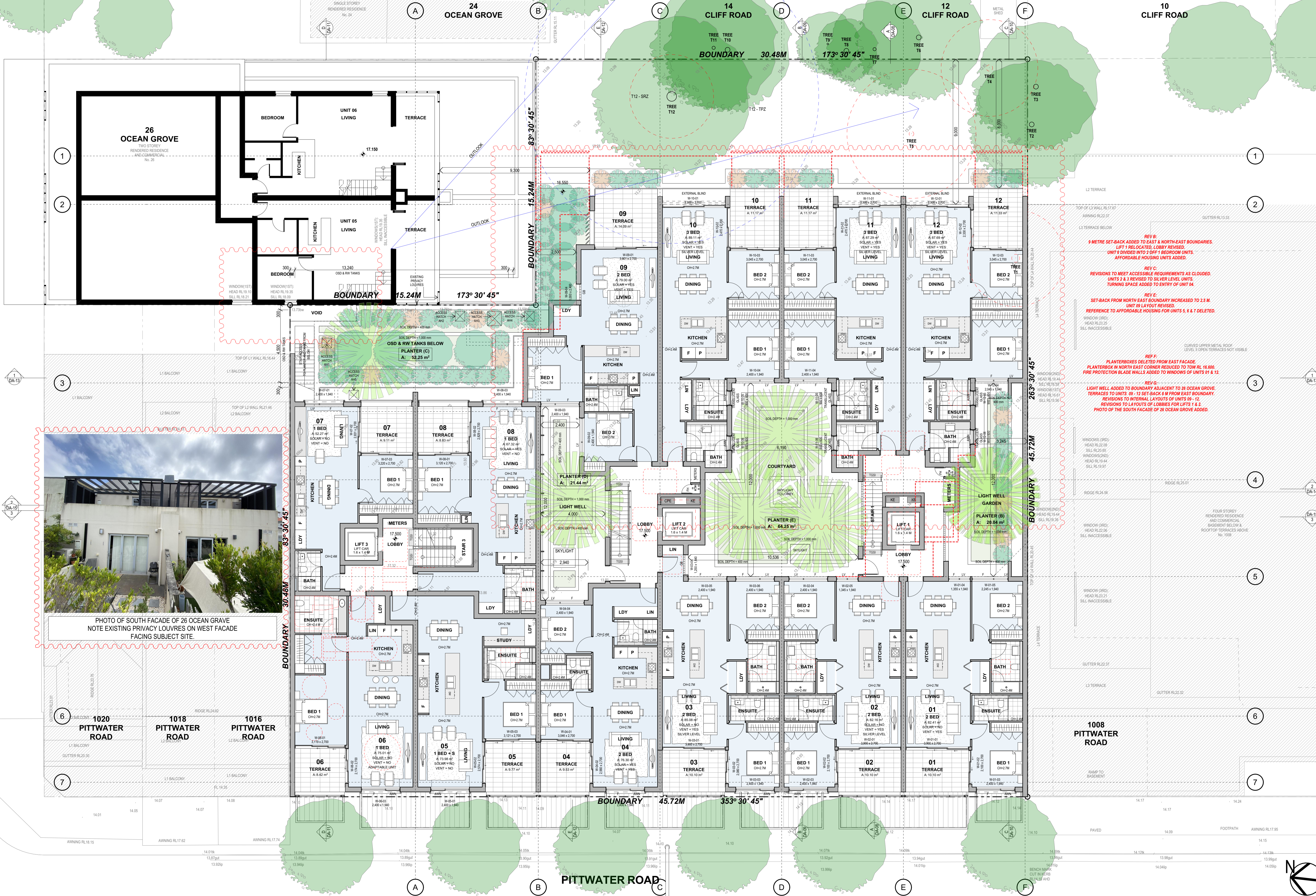
REV K:
GENERAL UPDATE.

CARPARKING CALCULATIONS
RESIDENTIAL PARKING:
5 x 1 BED @ 1 SPACE / UNIT = 5 SPACES
10 x 2 BED @ 1.2 SPACES / UNIT = 12 SPACES
6 x 3 BED @ 1.5 SPACES / UNIT = 9 SPACES
TOTAL RESIDENTIAL CARS = 26 SPACES
TOTAL CARS PROVIDED = 26 SPACES

VISITOR PARKING:
21 UNITS @ 1 SPACE / 5 UNITS = 5 SPACES



GARTNER/ROVATO HEAD BATHUR 8072 SUITE 10/10/10 11/13 13 MARK STREET HINDS VALE, NSW 2103 P 61 5 9975 4411 F 61 5 9975 4422 WWW.GARTNERROVATO.COM.AU	PROJECT LONG REEF MIXED-USE 1010 - 1014 PITTWATER ROAD COLLARROY NSW 2097 LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645	DRAWING NO. GROUND FLOOR PLAN
	SCALE 1:100 @ A1	DRAWN BY SG / AW
	PROJECT NO. 2101	DATE 28/10/2024
	PROJECT NO. 2101	DATE 28/10/2024



REV B:
9 METRE SET-BACK ADDED TO EAST & NORTH-EAST BOUNDARIES.
LIFT 1 RELOCATED, LOBBY REVISED.
UNITS DIVIDED INTO 2 CHFF BEDROOM UNITS.
AFFORDABLE HOUSING UNITS ADDED.

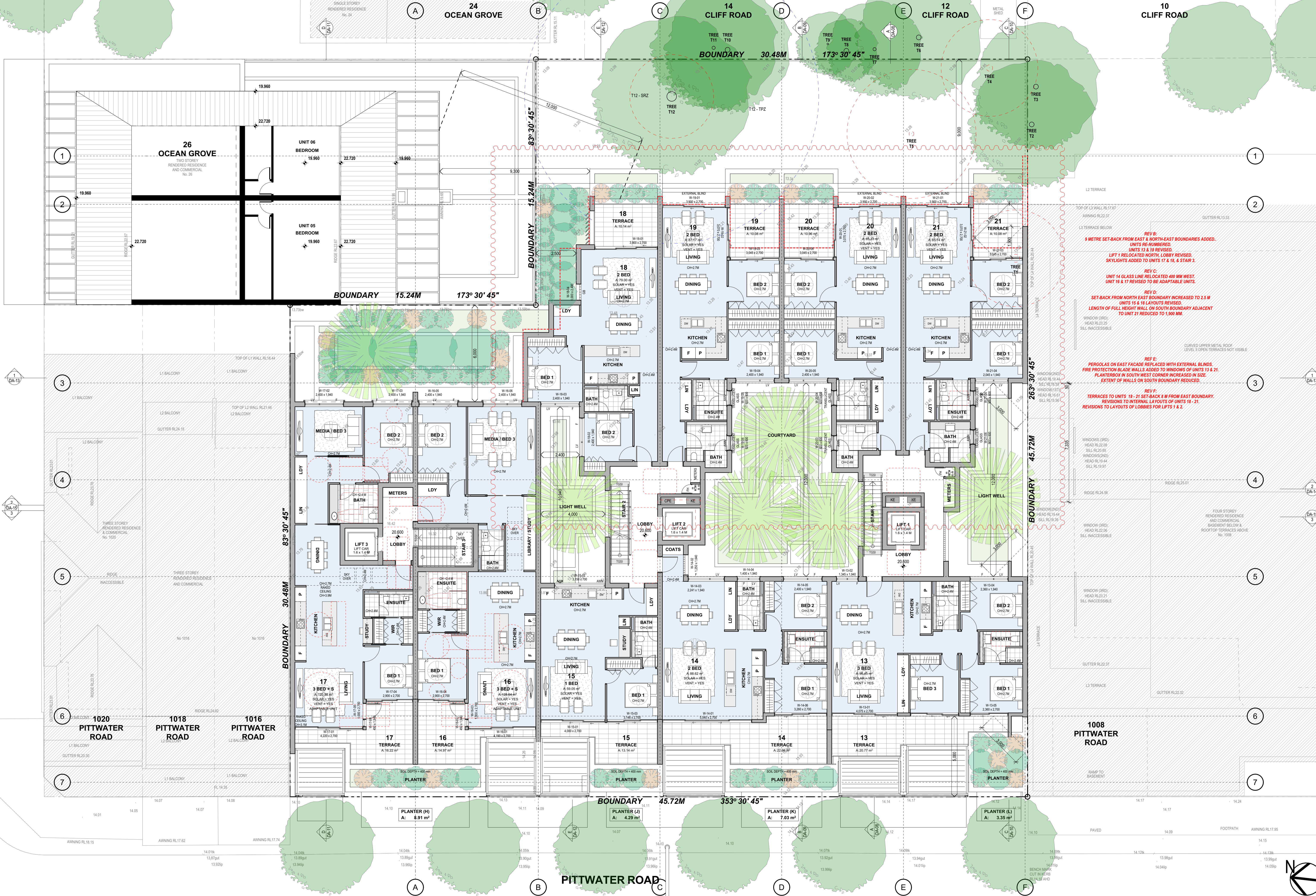
REV C:
REVISIONS TO MEET ACCESSIBLE REQUIREMENTS AS CLOUDED.
UNITS 2 & 3 REVISED TO SILVER LEVEL UNITS.
TURNING SPACE ADDED TO ENTRY OF UNIT 04.

REV E:
SET-BACK FROM NORTH EAST BOUNDARY INCREASED TO 2.5 M.
UNIT 09 LAYOUT REVISED.
REFERENCE TO AFFORDABLE HOUSING FOR UNITS 5, 8 & 7 DELETED.

REF F:
PLANTERBOXES DELETED FROM EAST FACADE.
PLANTERBOX IN NORTH EAST CORNER REDUCED TO 10 M. 6.00 M.
FIRE PROTECTION BLADE WALLS ADDED TO WINDOWS OF UNITS 01 & 12.

REV S:
LIGHT WELL ADDED TO BOUNDARY ADJACENT TO 26 OCEAN GROVE.
TERRACES TO UNITS 09 - 12 SET-BACK 8 M FROM EAST BOUNDARY.
REVISIONS TO LAYOUTS OF LOBBIES FOR LIFTS 1 & 2.
PHOTO OF THE SOUTH FACADE OF 26 OCEAN GROVE ADDED.

PHOTO OF SOUTH FACADE OF 26 OCEAN GROVE
NOTE EXISTING PRIVACY LOUVRES ON WEST FACADE
FACING SUBJECT SITE.



REV B:
9 METRE SET-BACK FROM EAST & NORTH-EAST BOUNDARIES ADDED.
UNITS RE-NUMBERED.
UNITS 13 & 19 REVISED.
LIFT 1 RELOCATED NORTH, LOBBY REVISED.
SKYLIGHTS ADDED TO UNITS 17, 18, & STAIR 3.

REV C:
UNIT 14 GLASS LINE RELOCATED 400 MM WEST.
UNIT 16 & 17 REVISED TO BE ADAPTABLE UNITS.

REV D:
SET-BACK FROM NORTH EAST BOUNDARY INCREASED TO 2.5 M
UNITS 15 & 16 LAYOUTS REVISED.
LENGTH OF FULL HEIGHT WALL ON SOUTH BOUNDARY ADJACENT
TO UNIT 21 REDUCED TO 1,900 MM.

REV E:
PERGOLAS ON EAST FACADE REPLACED WITH EXTERNAL BLINDS.
FIRE PROTECTION BLADE WALLS ADDED TO WINDOWS OF UNITS 13 & 21.
PLANTERBOX IN SOUTH WEST CORNER INCREASED IN SIZE.
EXTENT OF WALLS ON SOUTH BOUNDARY REDUCED.

REV F:
TERRACES TO UNITS 18 - 21 SET-BACK 8 M FROM EAST BOUNDARY.
REVISIONS TO INTERNAL LAYOUTS OF UNITS 18 - 21.
REVISIONS TO LAYOUTS OF LOBBIES FOR LIFTS 1 & 2.



REV B:
 LEVEL 3 UNITS DELETED.
 UNITS RE-NUMBERED.
 LIFT 1 RELOCATED NORTH, LOBBY REVISED.
 SKYLIGHTS ADDED TO UNITS 17 & 16 & STAIR 3.
 COMMUNAL OPEN SPACE ADDED.
 LIFT ACCESS TO COMMUNAL OPEN SPACE ADDED.

REV C:
 REVISIONS TO MEET ACCESSIBLE REQUIREMENTS AS CLOUDED.

REV E:
 COMMUNAL OPEN SPACE SET BACK FROM NORTH EAST BOUNDARY
 INCREASED TO 8,000 MM.
 WIDTH OF PLANTER SEPARATING COMMUNAL OPEN SPACE
 FROM NORTH EAST BOUNDARY INCREASED TO 2,500 MM.
 SET BACK OF MAIN ROOF FROM NORTH EAST BOUNDARY INCREASED.

REV F:
 PARAPET WALLS REDUCED IN HEIGHT & RELOCATED
 AWAY FROM BOUNDARY.

REV G:
 LIFT 1 LOBBY ADDED TO LEVEL 3.
 ACCESS PATH ADDED FROM LIFT 1 LOBBY TO COMMUNAL OPEN SPACE.

Rev	Change Name
1	ISSUED FOR PERMIT
2	REVISIONS TO DA DRAWINGS AS CLOUDED.
3	REVISIONS TO DA DRAWINGS AS CLOUDED.
4	REVISIONS TO DA DRAWINGS AS CLOUDED.
5	REVISIONS TO DA DRAWINGS AS CLOUDED.
6	REVISIONS TO DA DRAWINGS AS CLOUDED.
7	REVISIONS TO DA DRAWINGS AS CLOUDED.
8	GENERAL REVISIONS TO DRAWINGS TO ADDRESS ISSUES RAISED BY NLRPP.

GARTNER/ROVATO

HEAD BATHING 8072 | LAKE TRUROU | 7094
 L1/13 | 10 PARK STREET
 HINDS VILLE, NSW 2103
 P.O. BOX 9974 | 4422
 02 9333 0000

LONG REEF MIXED-USE
 1010 - 1014 PITTWATER ROAD
 COLLARARY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 &
 LOT 2 IN D.P. 314645

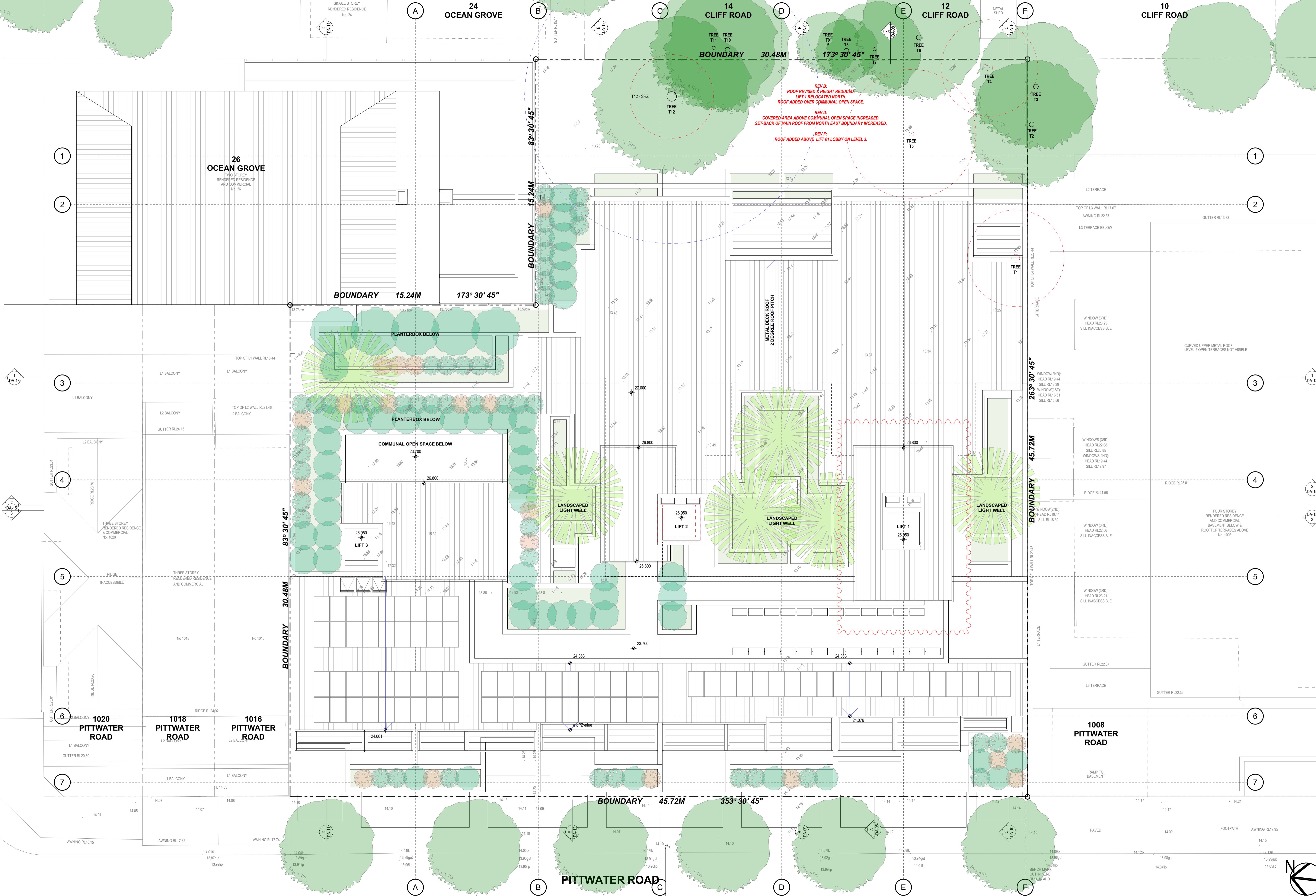
LEVEL 3 PLAN

SCALE: 1:100 @ A1

PROJECT NO: 2101

DATE: 28/10/2024

FOR COLLARARY PROJECTS PTY LTD



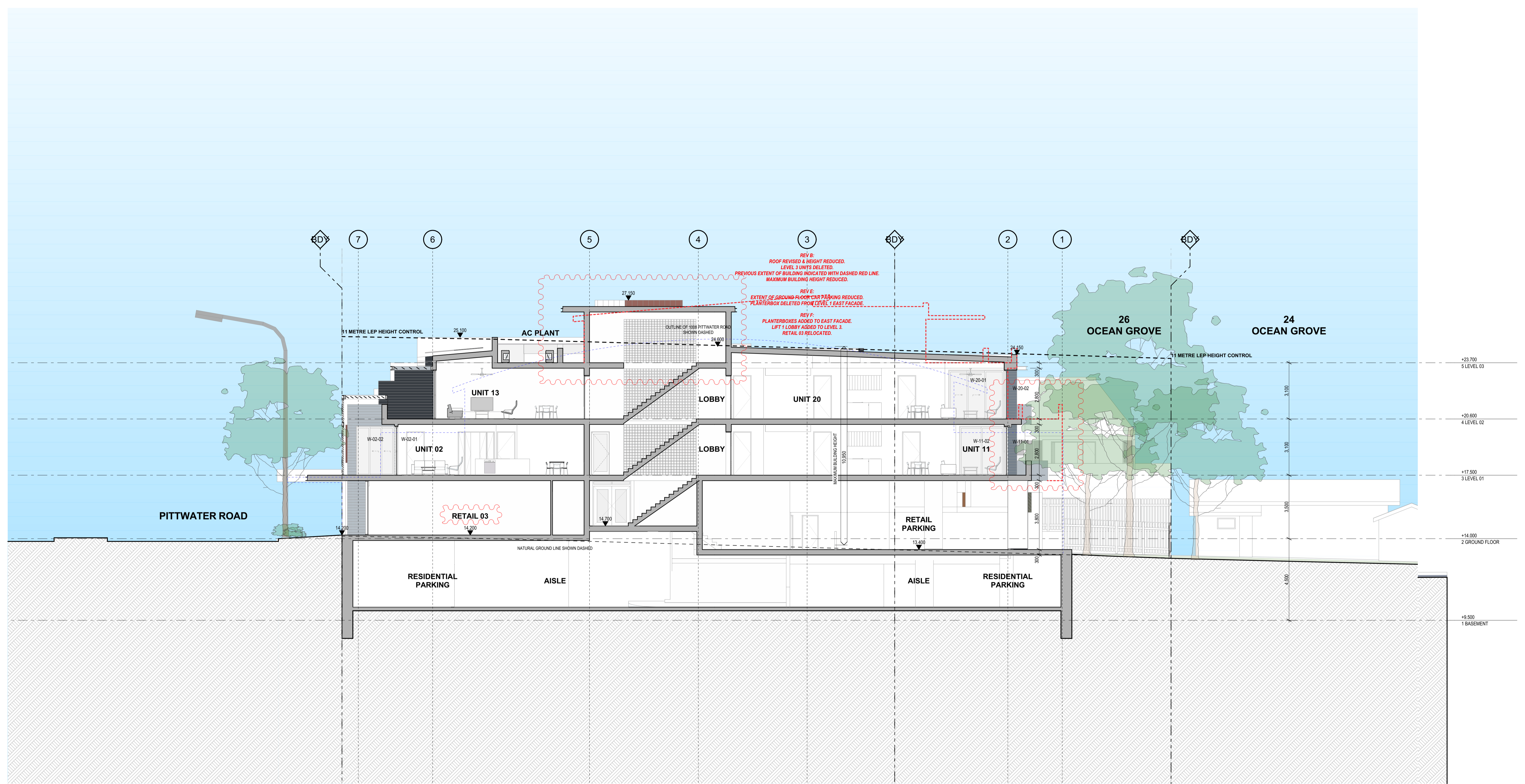
REV B: ROOF REVISED & HEIGHT REDUCED. LIFT 1 RELOCATED NORTH. ROOF ADDED OVER COMMUNAL OPEN SPACE.

REV D: COVERED AREA ABOVE COMMUNAL OPEN SPACE INCREASED. SET-BACK OF MAIN ROOF FROM NORTH EAST BOUNDARY INCREASED.

REV F: ROOF ADDED ABOVE. LIFT 01 LOBBY ON LEVEL 3.

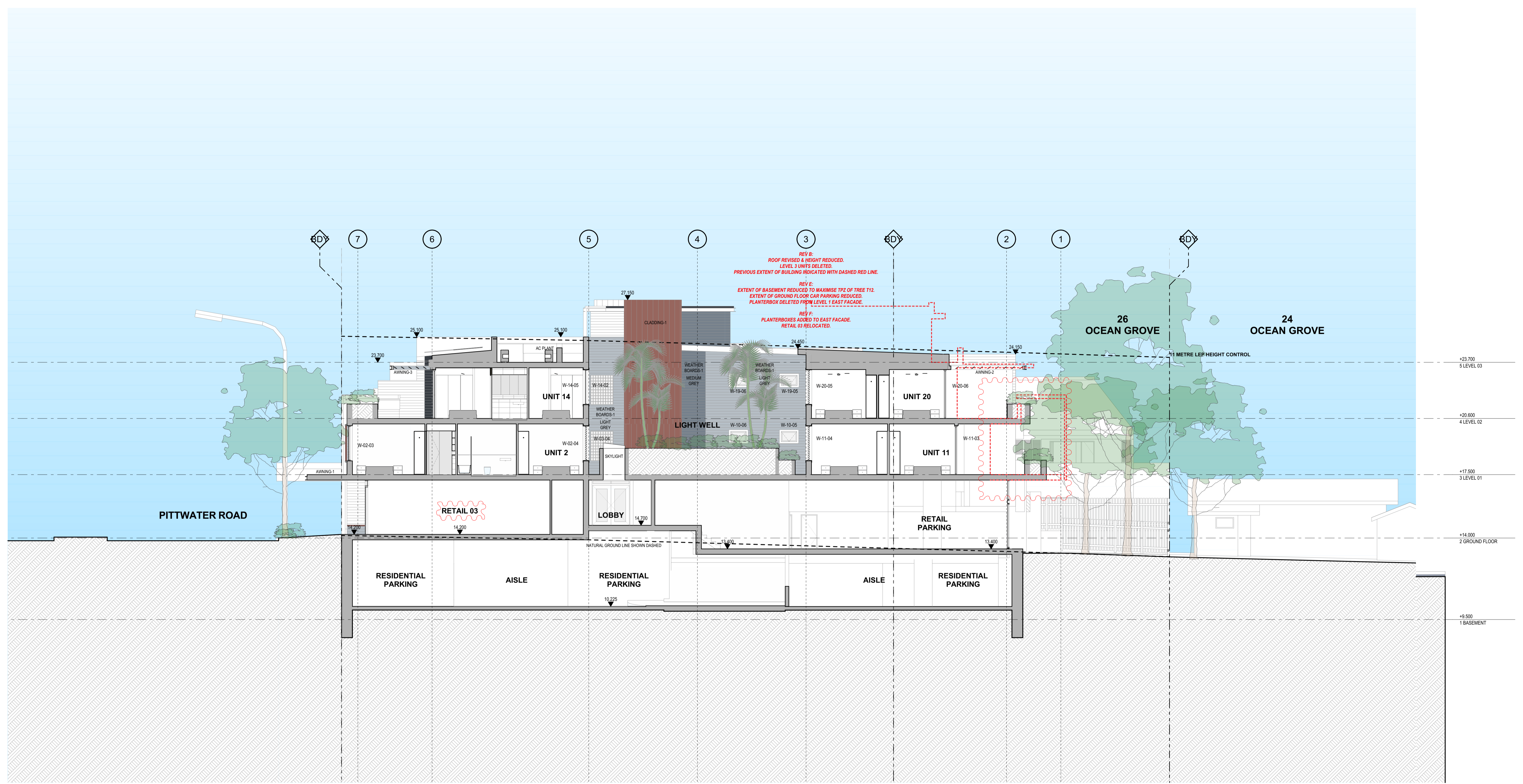
METAL DECK ROOF
2 DEGREE ROOF PITCH





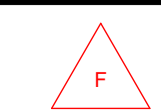
SECTION A

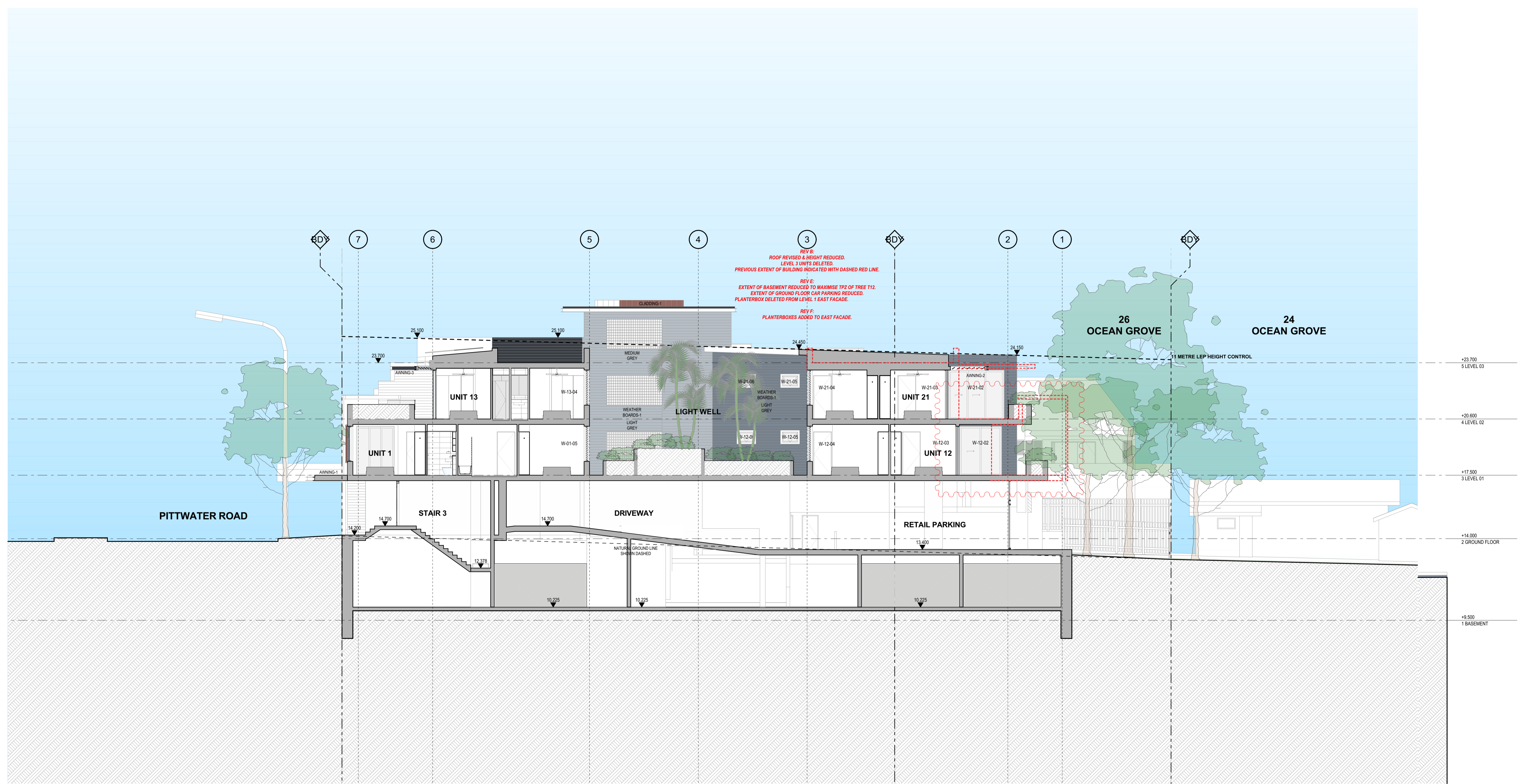
1:100



SECTION B

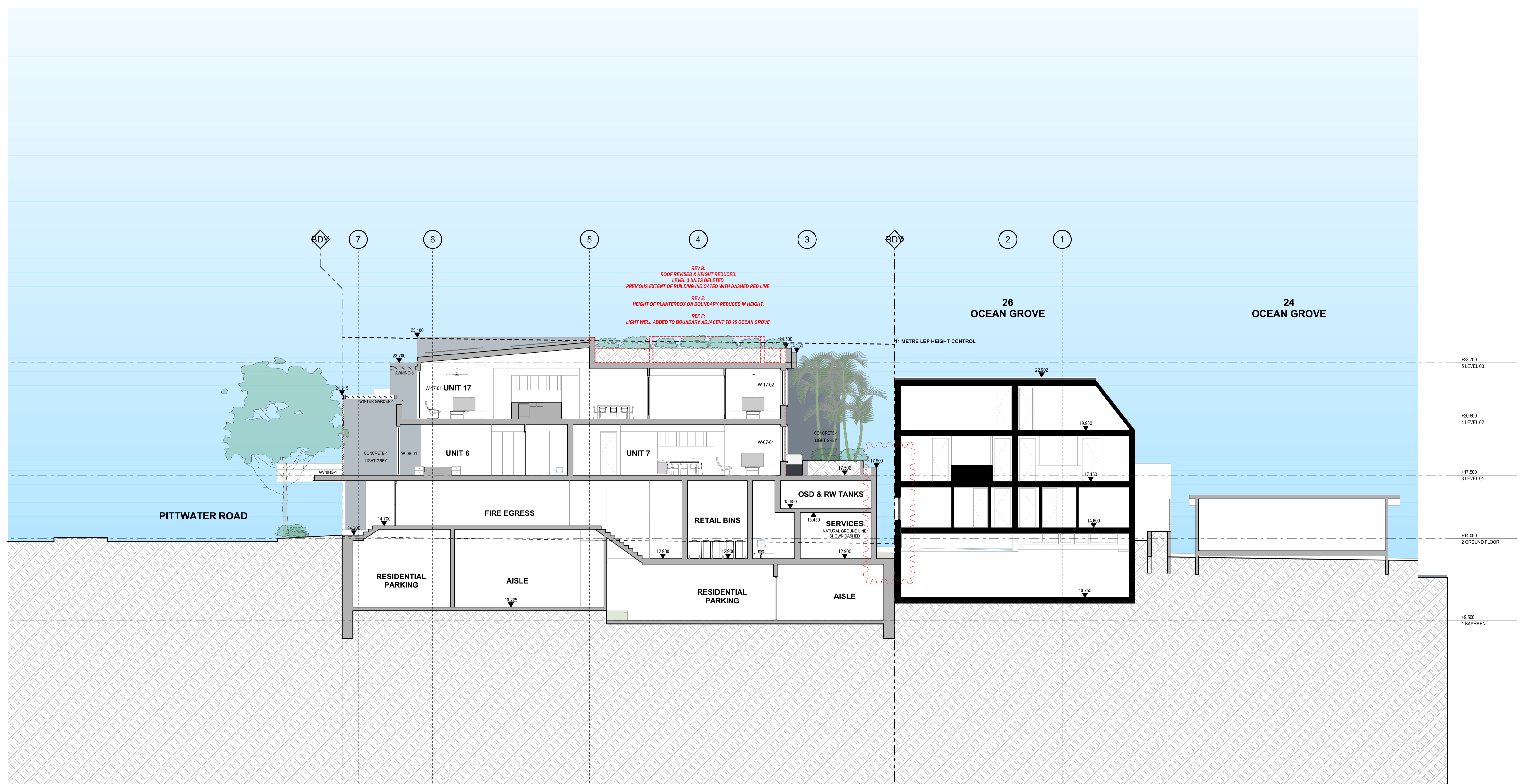
1:100





SECTION C

1:100



SECTION D

1:100

PITTWATER ROAD

26 OCEAN GROVE

24 OCEAN GROVE

11 METRE LEP HEIGHT CONTROL

7 6 5 4 3 2 1

BD

BD

BD

REV B: ROOF REVISED & HEIGHT REDUCED. LEVEL 3 UNITS DELETED. PREVIOUS EXTENT OF BUILDING INDICATED WITH DASHED RED LINE. COMMUNAL OPEN SPACE ADDED.

REV F: PLANTERBOXES ADDED TO EAST FACADE.

REV D: UNIT 04, 09, 15 & 18 REVISED. LIGHTWELL REVISED. AWNING ABOVE COMMUNAL OPEN SPACE REVISED.

REV E: EXTENT OF BASEMENT REDUCED TO MAXIMISE TPZ OF TREE T12. EXTENT OF GROUND FLOOR CAR PARKING REDUCED. PLANTERBOX DELETED FROM LEVEL 1 EAST FACADE.

UNIT 15

UNIT 4

LIGHT WELL

UNIT 18

UNIT 09

RETAIL 2

LOBBY

RETAIL PARKING

RESIDENTIAL PARKING

RESIDENTIAL PARKING

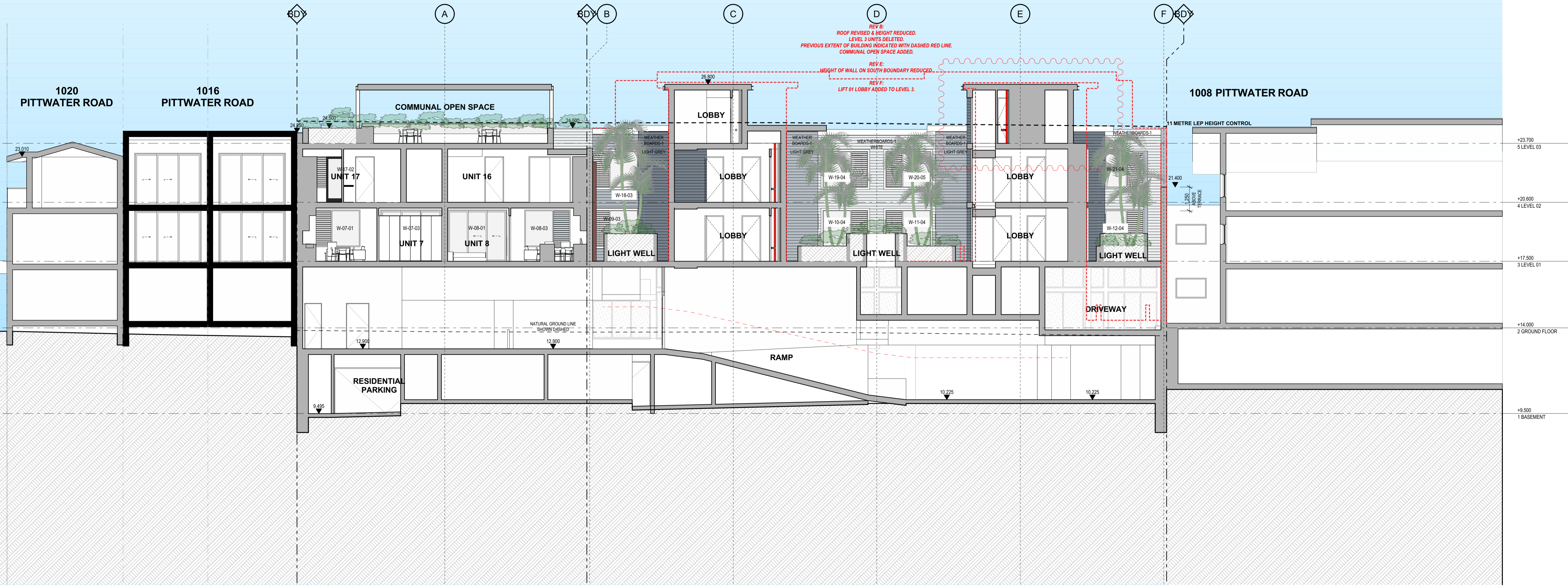
RESIDENTIAL PARKING

RESIDENTIAL PARKING

+23.700 5 LEVEL 03
+20.600 4 LEVEL 02
+17.500 3 LEVEL 01
+14.000 2 GROUND FLOOR
+9.500 1 BASEMENT

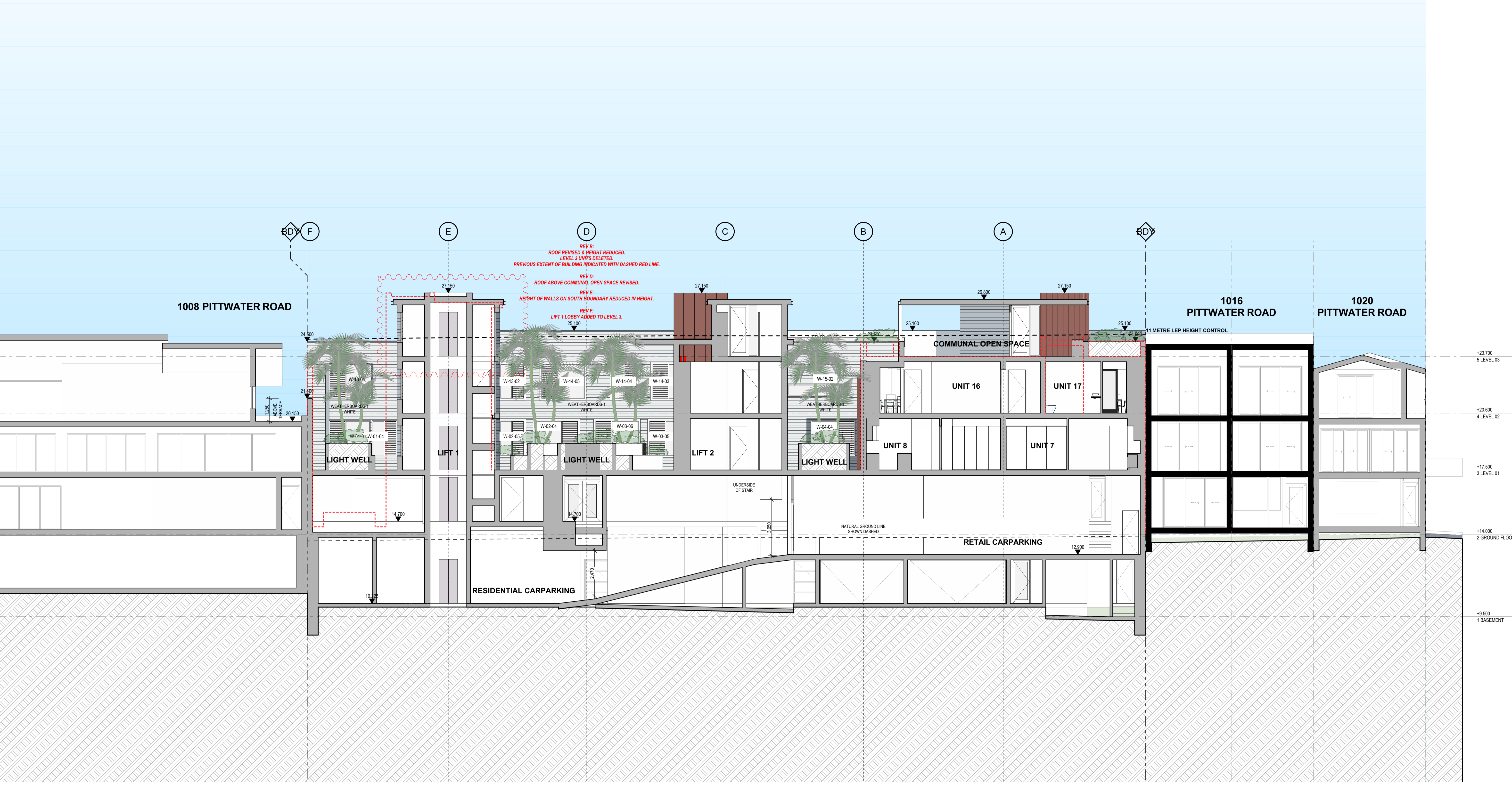
SECTION E

1:100



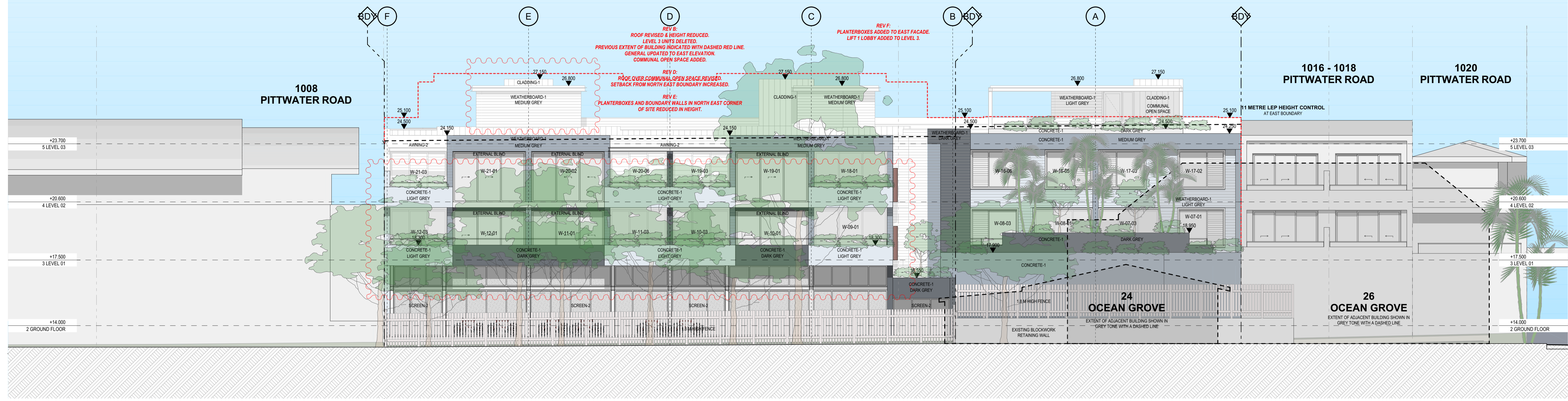
SECTION 2

1:100



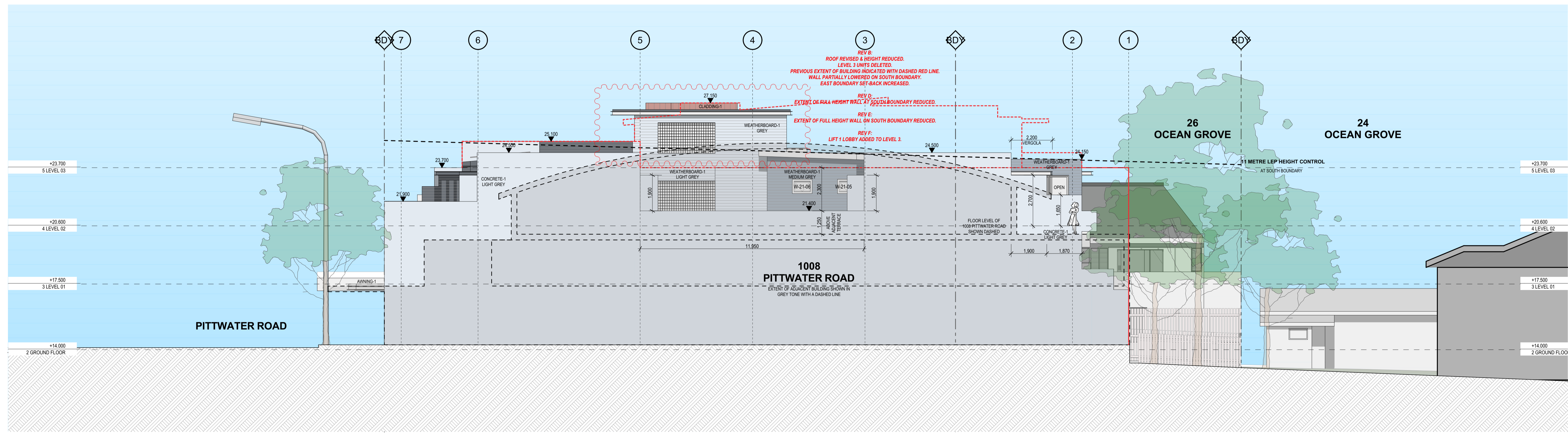
SECTION 3

1:100



EAST ELEVATION

1:100



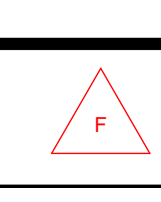
SOUTH ELEVATION

1:100

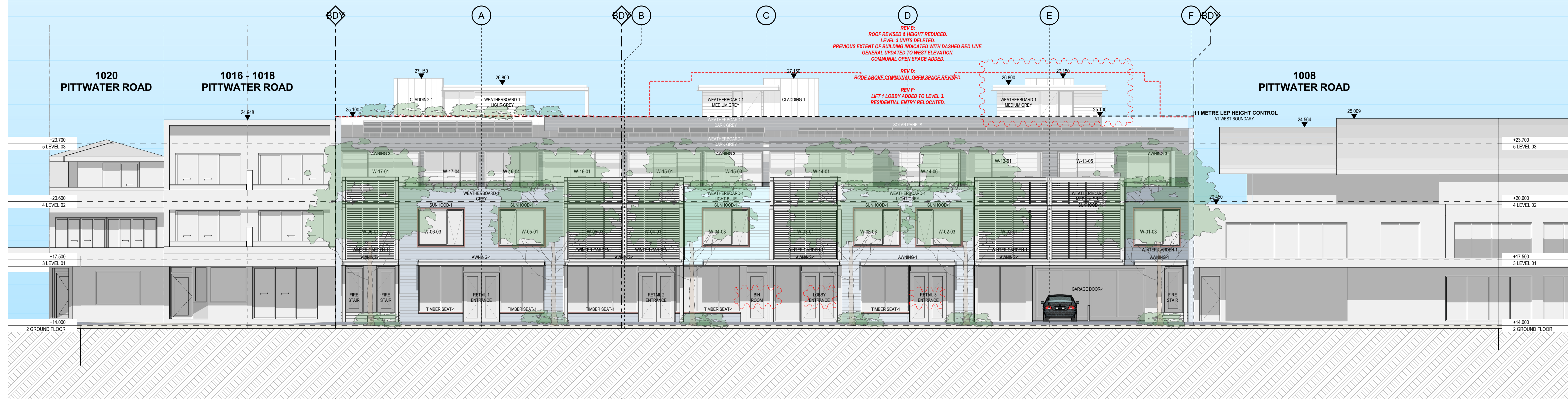
EXTERIOR FINISHES LEGEND		LOUVRES-1		CLEAR GLASS LOUVRES TO WINTER GARDENS, ALUMINIUM FRAMING WITH POWDERCOAT FINISH, COLOUR "WHITE".		TIMBER SEAT-1		TIMBER SEAT TO RETAIL ENTRANCES.	
AWNING-1	STEEL FRAMED AWNING WITH METAL DECK ROOF AND PFC FACIA (TOES OUT). PAINT FINISH, COLOUR "WHITE".	METAL ROOF DECK-1	METAL ROOF DECK, COLORBOND "MONUMENT".	PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "WHITE".	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDERCOAT FINISH, COLOUR "AGED COPPER".	WEATHERBOARD-1	HORIZONTAL FIBRE CEMENT WEATHERBOARD CLADDING, PAINT FINISH, COLOUR AS NOTED.	STEEL PFC FRAMED WINTER GARDEN. CLEAR GLASS LOUVRE SCREEN WITH ADJUSTABLE LOUVRE PERGOLA ABOVE. ALL STEEL PAINT FINISH "WHITE".	
AWNING-2	STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "WHITE".	SCREEN-1	HORIZONTAL LOUVRE (PLANTATION SHUTTERS) SCREEN, POWDERCOAT FINISH, COLOUR "WHITE".	PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "LIGHT GREY".	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDER COAT FINISH, COLOUR "WHITE".	WEATHERBOARD-1			
AWNING-3	STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "DARK GREY".	SCREEN-2	PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "LIGHT GREY".			WEATHERBOARD-1			
BALUSTRADE-1	CLEAR GLASS BALUSTRADE WITH METAL HANDRAIL @ 1,050 MM ABOVE FFL. FIXED TO WALL WITH STAINLESS STEEL PATCH FITTINGS.	SUNHOOD-1	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDERCOAT FINISH, COLOUR "AGED COPPER".			WEATHERBOARD-1			
CONCRETE-1	CONCRETE WALL / SLAB EDGE / PLANTER BOX WITH RENDER & PAINT FINISH, COLOUR AS NOTED ON ELEVATIONS.	SUNHOOD-2	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDER COAT FINISH, COLOUR "WHITE".			WEATHERBOARD-1			
CLADDING-1	METAL CLADDING PANEL, STANDING SEAM, AGED COPPER FINISH.					WEATHERBOARD-1			

COLOUR LEGEND		LONG REEF MIXED-USE		NORTH & EAST ELEVATIONS	
WHITE	"WHITE" PAINT FINISH EQUAL TO DULUX "WHITE ON WHITE" SW1E2.	1010 - 1014 PITTWATER ROAD		DATE	28/10/2024
LIGHT BLUE	"LIGHT BLUE" PAINT FINISH EQUAL TO DULUX "TEMPLATE QUARTER" S36H1Q.	COLLAROY NSW 2097		SCALE	1:100 @ A1
LIGHT GREY	"LIGHT GREY" PAINT FINISH EQUAL TO DULUX "MILLER MOOD" S66D1.	LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645		DRAWING NO.	DA-16
GREY	"GREY" PAINT FINISH EQUAL TO DULUX "CHANNON" S66D2.			REVISION	
MEDIUM GREY	"MEDIUM GREY" PAINT FINISH EQUAL TO DULUX "TINKER" S66D4.				
DARK GREY	"DARK GREY" PAINT FINISH EQUAL TO DULUX "OOLONG" S66D8.				
AGED COPPER	DULUX ELECTRO "BURNISHED COPPER FLAT".				

GARTNEROVATO
 BRUCE GARTNER 8078 | LAKE THURGOOD 7094
 1/1/3 10 MARK STREET
 HINDS VALE, NSW 2103
 P: 02 9879 4411
 F: 02 9879 4422
 G: 02 9879 4423

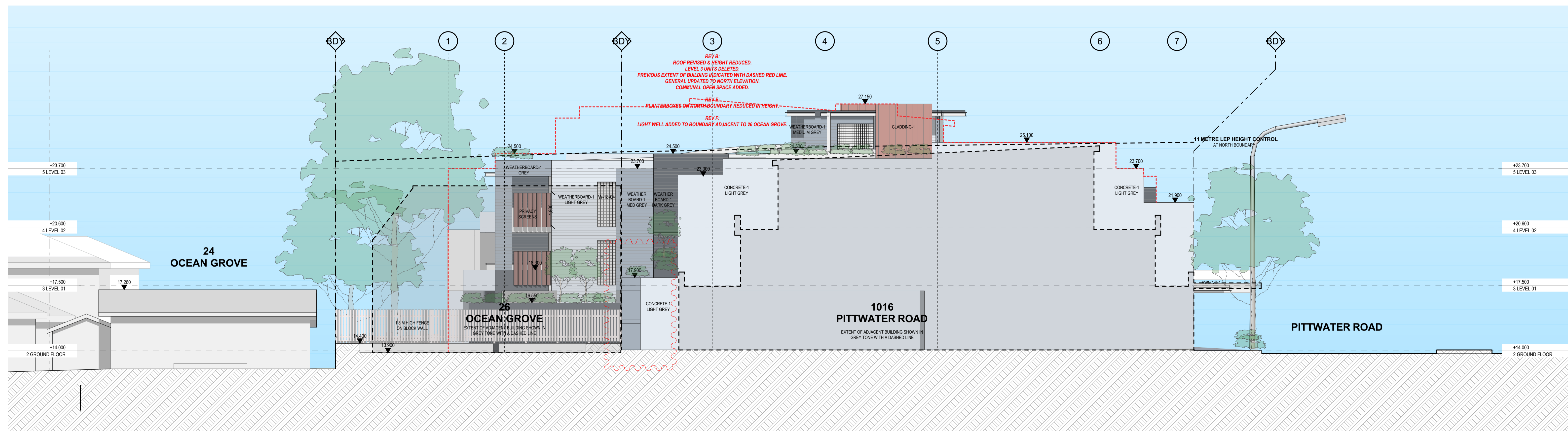


Rev	Change Name
22/02/2024	B1 REVISIONS TO DA DRAWINGS AS CLOUDED.
20/03/2024	B REVISIONS TO DA DRAWINGS AS CLOUDED.
12/04/2024	C REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	D REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	E REVISIONS TO DA DRAWINGS AS CLOUDED.
28/10/2024	F GENERAL REVISIONS TO DRAWINGS TO ADDRESS ISSUES RAISED BY NLRPP.



WEST ELEVATION

1:100



NORTH ELEVATION

1:100

EXTERIOR FINISHES LEGEND

AWNING-1	STEEL FRAMED AWNING WITH METAL DECK ROOF AND PFC FACIA (DOES OUT). PAINT FINISH, COLOUR "WHITE".
AWNING-2	STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "WHITE".
AWNING-3	STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "DARK GREY".
BALUSTRADE-1	CLEAR GLASS BALUSTRADE WITH METAL HANDRAIL @ 1,050 MM ABOVE FFL. FIXED TO WALL WITH STAINLESS STEEL PATCH FITTINGS.
CONCRETE-1	CONCRETE WALL / SLAB EDGE / PLANTER BOX WITH RENDER & PAINT FINISH, COLOUR AS NOTED ON ELEVATIONS.
CLADDING-1	METAL CLADDING PANEL, STANDING SEAM, AGED COPPER FINISH.

LOUVRES-1	CLEAR GLASS LOUVRES TO WINTER GARDENS. ALUMINIUM FRAMING WITH POWDERCOAT FINISH, COLOUR "WHITE".
METAL ROOF DECK-1	METAL ROOF DECK, COLORBOND "MONUMENT".
SCREEN-1	HORIZONTAL LOUVRE (PLANTATION SHUTTER) SCREEN, POWDERCOAT FINISH, COLOUR "WHITE".
SCREEN-2	PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "LIGHT GREY".
SUNHOOD-1	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDERCOAT FINISH, COLOUR "AGED COPPER".
SUNHOOD-2	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDER COAT FINISH, COLOUR "WHITE".

TIMBER SEAT-1	TIMBER SEAT TO RETAIL ENTRANCES.
WEATHERBOARD-1	HORIZONTAL FIBRE CEMENT WEATHERBOARD CLADDING, PAINT FINISH, COLOUR AS NOTED.
WINTER GARDEN-1	STEEL PFC FRAMED WINTER GARDEN. CLEAR GLASS LOUVRE SCREEN WITH ADJUSTABLE LOUVRE PERGOLA ABOVE. ALL STEEL PAINT FINISH "WHITE".

ALL WINDOWS CLEAR GLAZING WITH POWDERCOAT ALUMINIUM FRAMING, "WHITE" COLOUR.

COLOUR LEGEND

WHITE	"WHITE" PAINT FINISH EQUAL TO DULUX "WHITE ON WHITE" SW1E2.
LIGHT BLUE	"LIGHT BLUE" PAINT FINISH EQUAL TO DULUX "TEMPLATE QUARTER" S36H1Q.
LIGHT GREY	"LIGHT GREY" PAINT FINISH EQUAL TO DULUX "MILLER MOOD" S66D1.
GREY	"GREY" PAINT FINISH EQUAL TO DULUX "CHANSON" S66D2.
MEDIUM GREY	"MEDIUM GREY" PAINT FINISH EQUAL TO DULUX "TINKER" S66D4.
DARK GREY	"DARK GREY" PAINT FINISH EQUAL TO DULUX "OOLONG" S66D8.
AGED COPPER	DULUX ELECTRO "BURNISHED COPPER FLAT".

GARTNEROVATO

BRAND BATHING ARTS | LAKE TRAVEL | YOGA

1/1/3 10 MARK STREET

HEALTH VALE, NSW 2103

PH: 0 2 9979 4411

FB: 0 2 9979 4422

WWW.GARTNEROVATO.COM

Rev	Change Name
22/02/2024	B1 REVISIONS TO DA DRAWINGS AS CLOUDED.
20/03/2024	B REVISIONS TO DA DRAWINGS AS CLOUDED.
12/04/2024	C REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	D REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	E REVISIONS TO DA DRAWINGS AS CLOUDED.
28/10/2024	F GENERAL REVISIONS TO DRAWINGS TO ADDRESS ISSUES RAISED BY NBLPP.

LONG REEF MIXED-USE

1010 - 1014 PITTWATER ROAD

COLLARROY NSW 2097

LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645

FOR COLLARROY PROJECTS PTY LTD

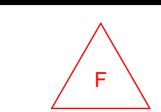
SOUTH & WEST ELEVATIONS

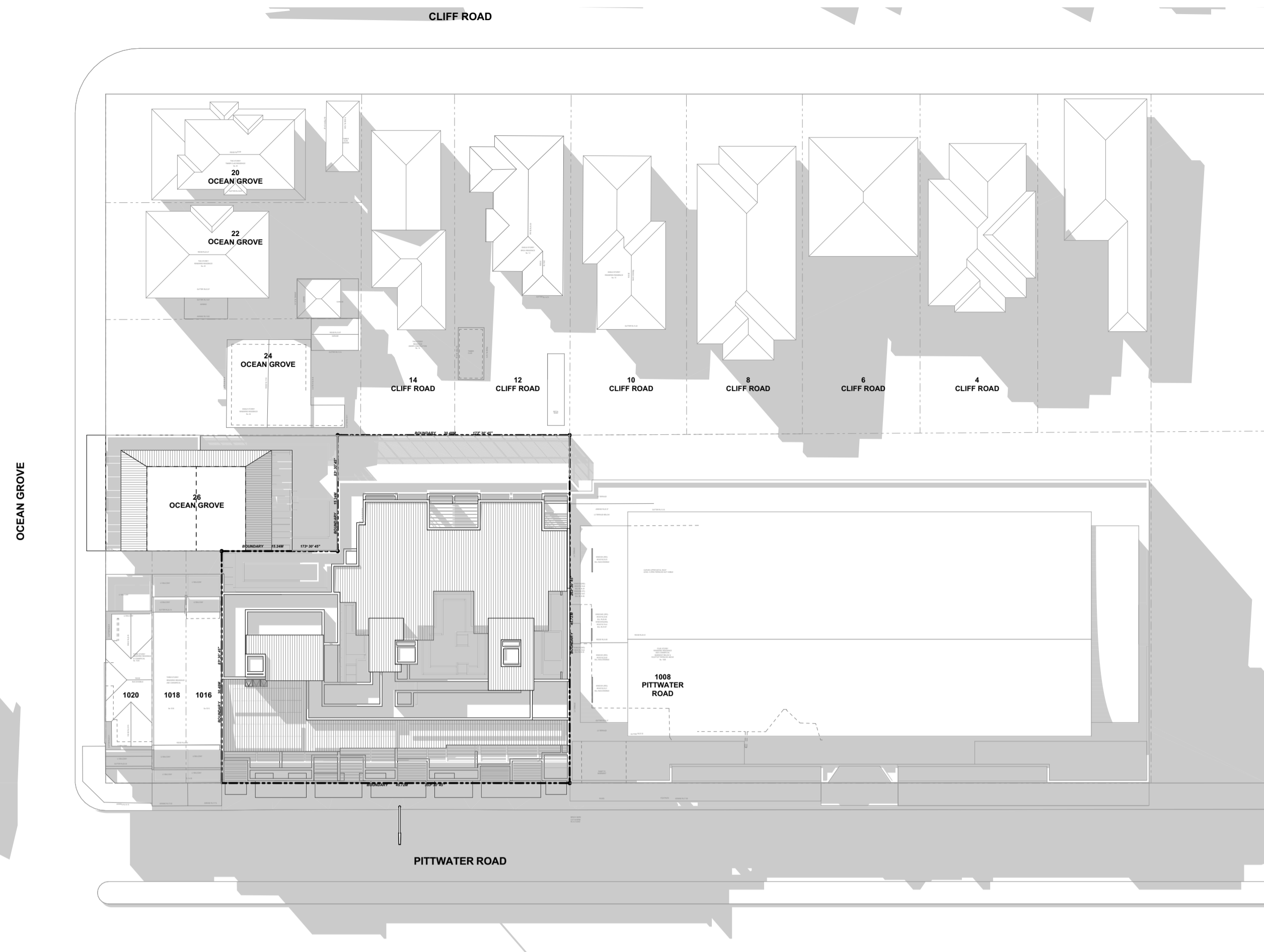
SCALE: 1:100 @ A1

DATE: 28/10/2024

DRAWING NO: DA-17

REVISION:

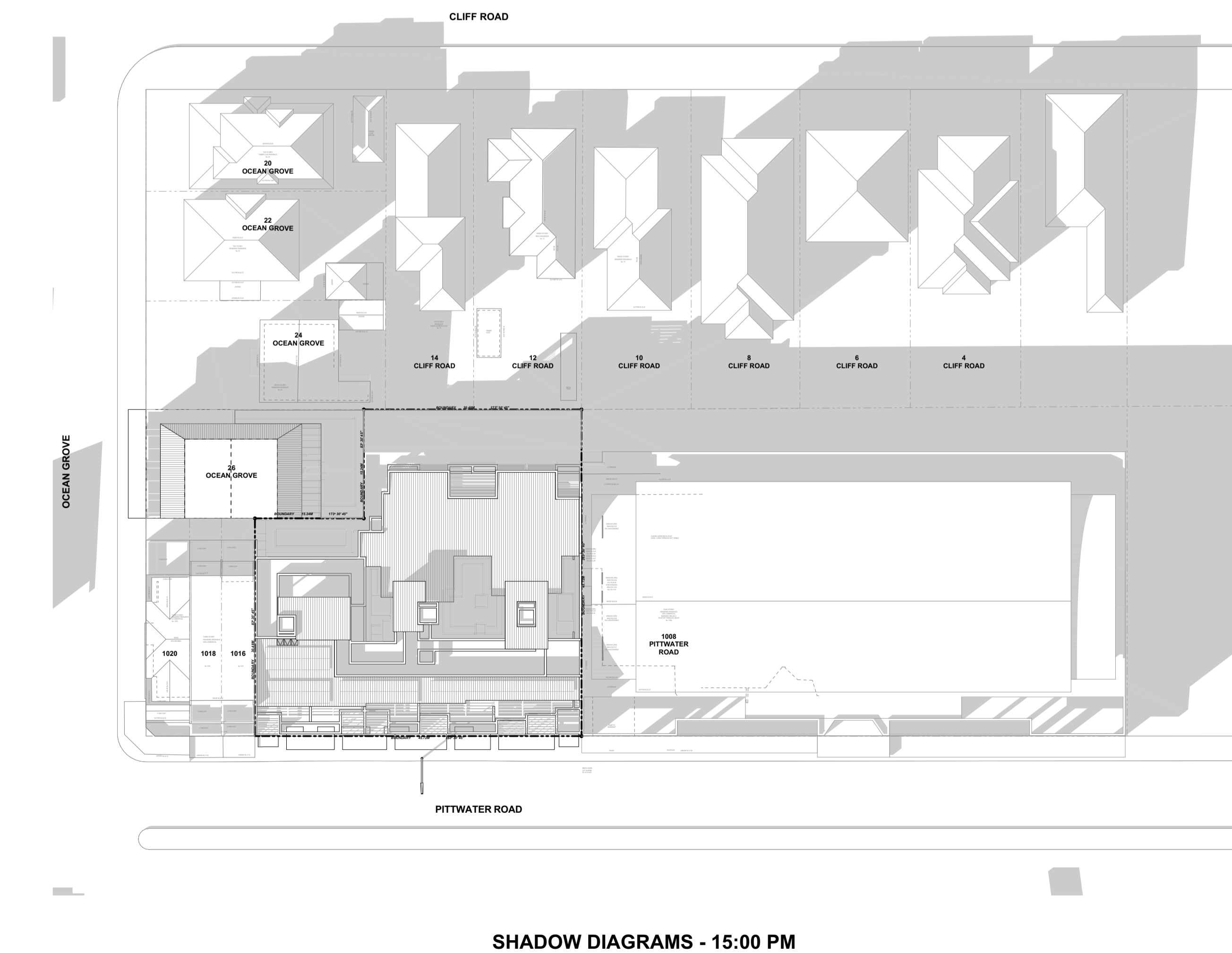




SHADOWS DIAGRAMS - 9:00 AM



SHADOW DIAGRAMS - 12:00 NOON



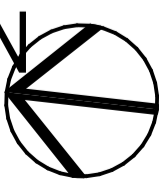
SHADOW DIAGRAMS - 15:00 PM

PROPOSED SHADOW
 EXISTING SHADOW

Certification of Shadow Diagrams

I hereby certify that the shadow diagrams submitted with the proposal
 a) are in accordance with the survey
 b) indicate shadows cast at 9 am, 12 noon and 3 pm on 21 June
 c) indicate shadows cast by existing structures

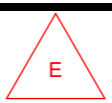
Sean Gartner
 (Registered Architect #6072 NSW)



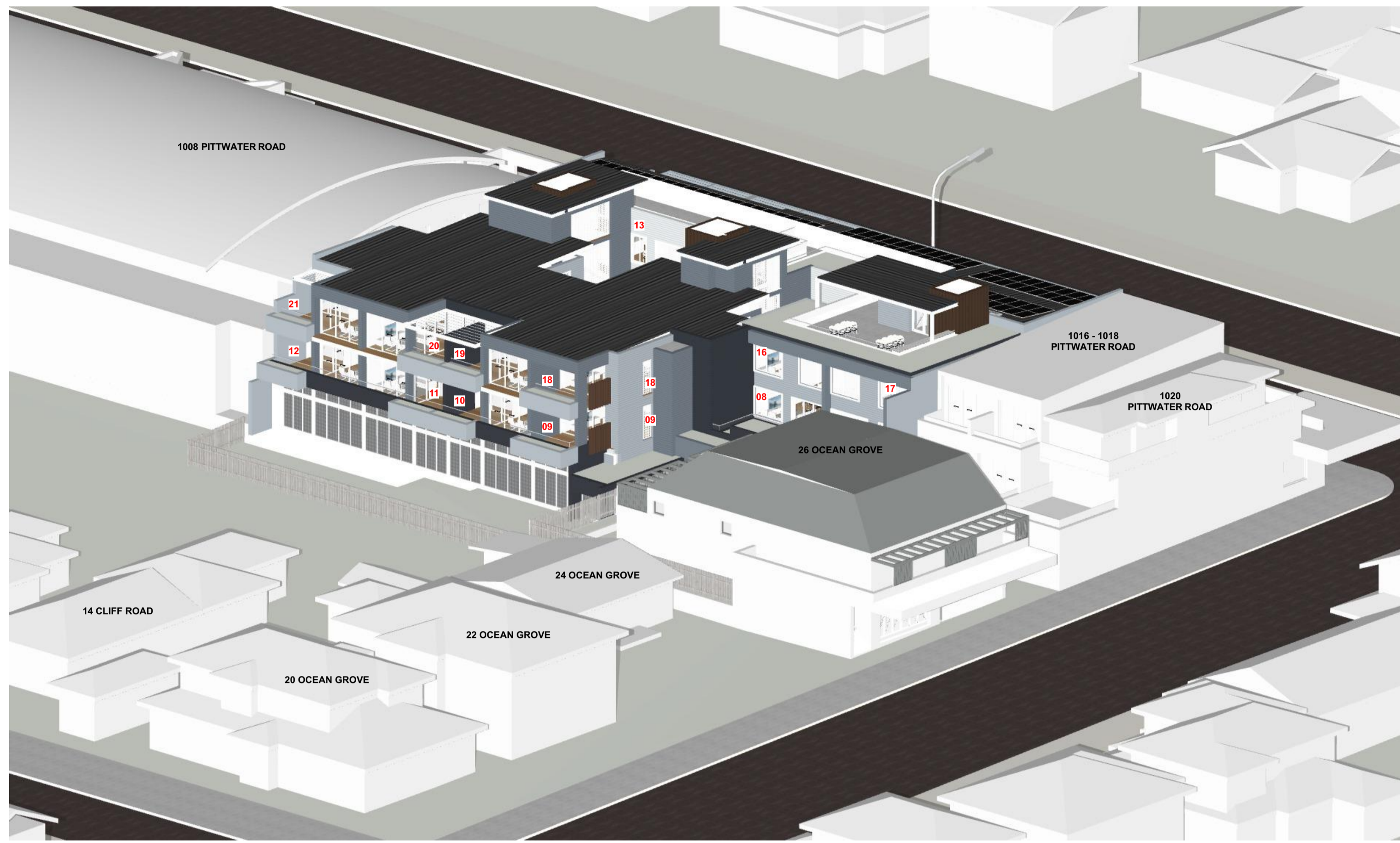


Dulux White on White™ SW1E2		Dulux Template Quarter A311 E3611Q	
"WHITE"		"LIGHT BLUE"	
	Dulux Miller Mood S66D2		
	"LIGHT GREY"		
Dulux Chanson S66D2			
"GREY"		"AGED COPPER"	
	Dulux Tinker S66D4		Dulux Colorbond® Monument® C24
	"MEDIUM GREY"		"MONUMENT"
Dulux Chasing S66D8			
"DARK GREY"			

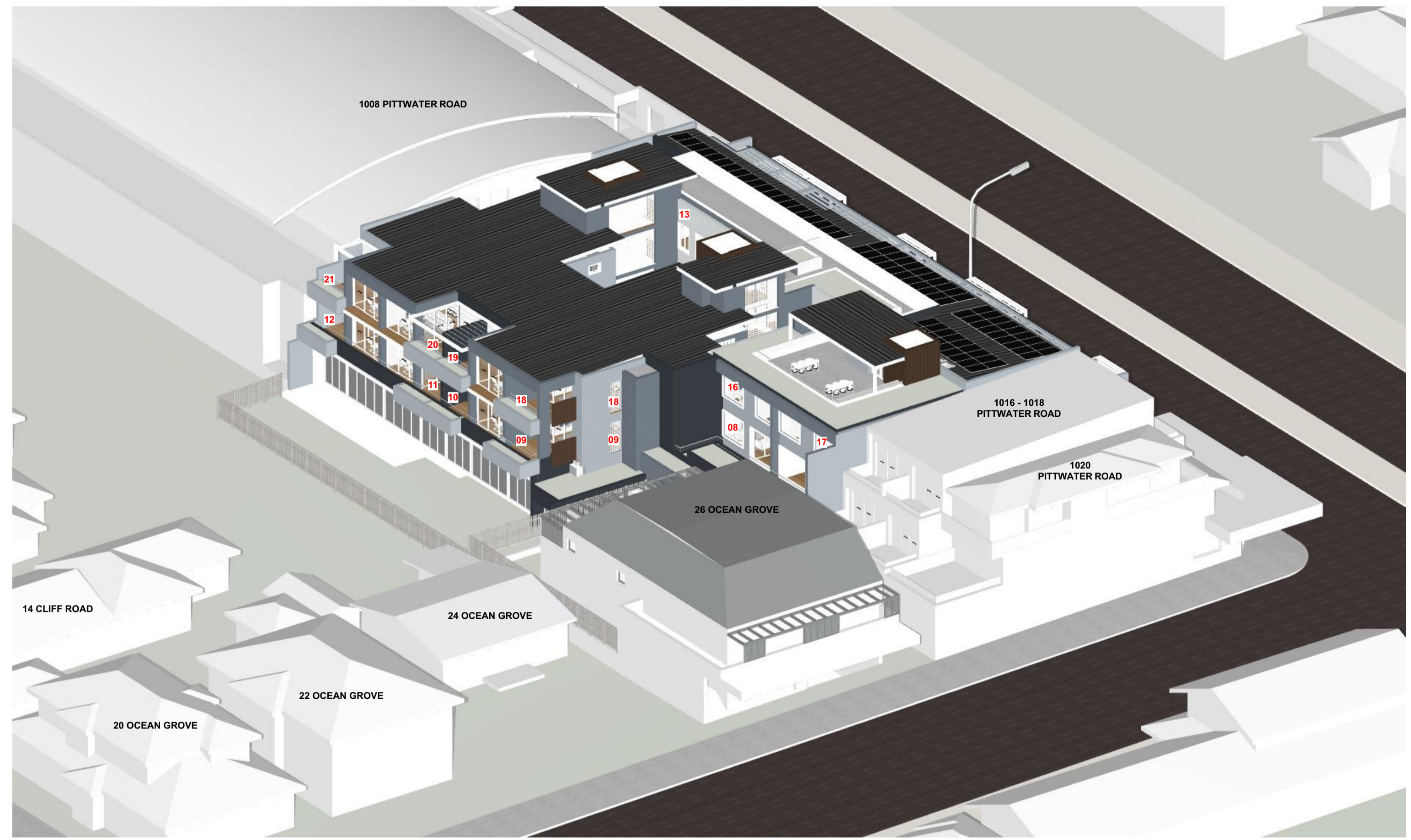
EXTERIOR FINISHES LEGEND		COLOUR LEGEND	
AWNING-1 AWNING-2 AWNING-3 BALUSTRADE-1 CONCRETE-1 CLADDING-1	STEEL FRAMED AWNING WITH METAL DECK ROOF AND PFC FACIA (TOES OUT). PAINT FINISH, COLOUR "WHITE". STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "WHITE". STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "DARK GREY". CLEAR GLASS BALUSTRADE WITH METAL HANDRAIL @ 1,050 MM ABOVE FFL. FIXED TO WALL WITH STAINLESS STEEL PATCH FITTINGS. CONCRETE WALL / SLAB EDGE / PLANTER BOX WITH RENDER & PAINT FINISH, COLOUR AS NOTED ON ELEVATIONS. METAL CLADDING PANEL, STANDING SEAM, AGED COPPER FINISH.	LOUVRES-1 METAL ROOF DECK-1 SCREEN-1 SCREEN-2 SUNHOOD-1 SUNHOOD-2	CLEAR GLASS LOUVRES TO WINTER GARDENS. ALUMINIUM FRAMING WITH POWDERCOAT FINISH, COLOUR "WHITE". METAL ROOF DECK, COLORBOND "MONUMENT". HORIZONTAL LOUVRE (PLANTATION SHUTTER) SCREEN, POWDERCOAT FINISH, COLOUR "WHITE". PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "LIGHT GREY". 300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDERCOAT FINISH, COLOUR "AGED COPPER". 300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDER COAT FINISH, COLOUR "WHITE".
		TIMBER SEAT-1 WEATHERBOARD-1 WINTER GARDEN-1	TIMBER SEAT TO RETAIL ENTRANCES. HORIZONTAL FIBRE CEMENT WEATHERBOARD CLADDING, PAINT FINISH, COLOUR AS NOTED. STEEL PFC FRAMED WINTER GARDEN. CLEAR GLASS LOUVRE SCREEN WITH ADJUSTABLE LOUVRE PERGOLA ABOVE. ALL STEEL PAINT FINISH "WHITE".
			ALL WINDOWS CLEAR GLAZING WITH POWDERCOAT ALUMINIUM FRAMING, "WHITE" COLOUR.
			WHITE LIGHT BLUE LIGHT GREY GREY MEDIUM GREY DARK GREY AGED COPPER
			"WHITE" PAINT FINISH EQUAL TO DULUX "WHITE ON WHITE" SW1E2. "LIGHT BLUE" PAINT FINISH EQUAL TO DULUX "TEMPLATE QUARTER" S36H1Q. "LIGHT GREY" PAINT FINISH EQUAL TO DULUX "MILLER MOOD" S66D1. "GREY" PAINT FINISH EQUAL TO DULUX "CHANSON" S66D2. "MEDIUM GREY" PAINT FINISH EQUAL TO DULUX "TINKER" S66D4. "DARK GREY" PAINT FINISH EQUAL TO DULUX "OOLONG" S66D8. DULUX ELECTRO "BURNISHED COPPER FLAT".



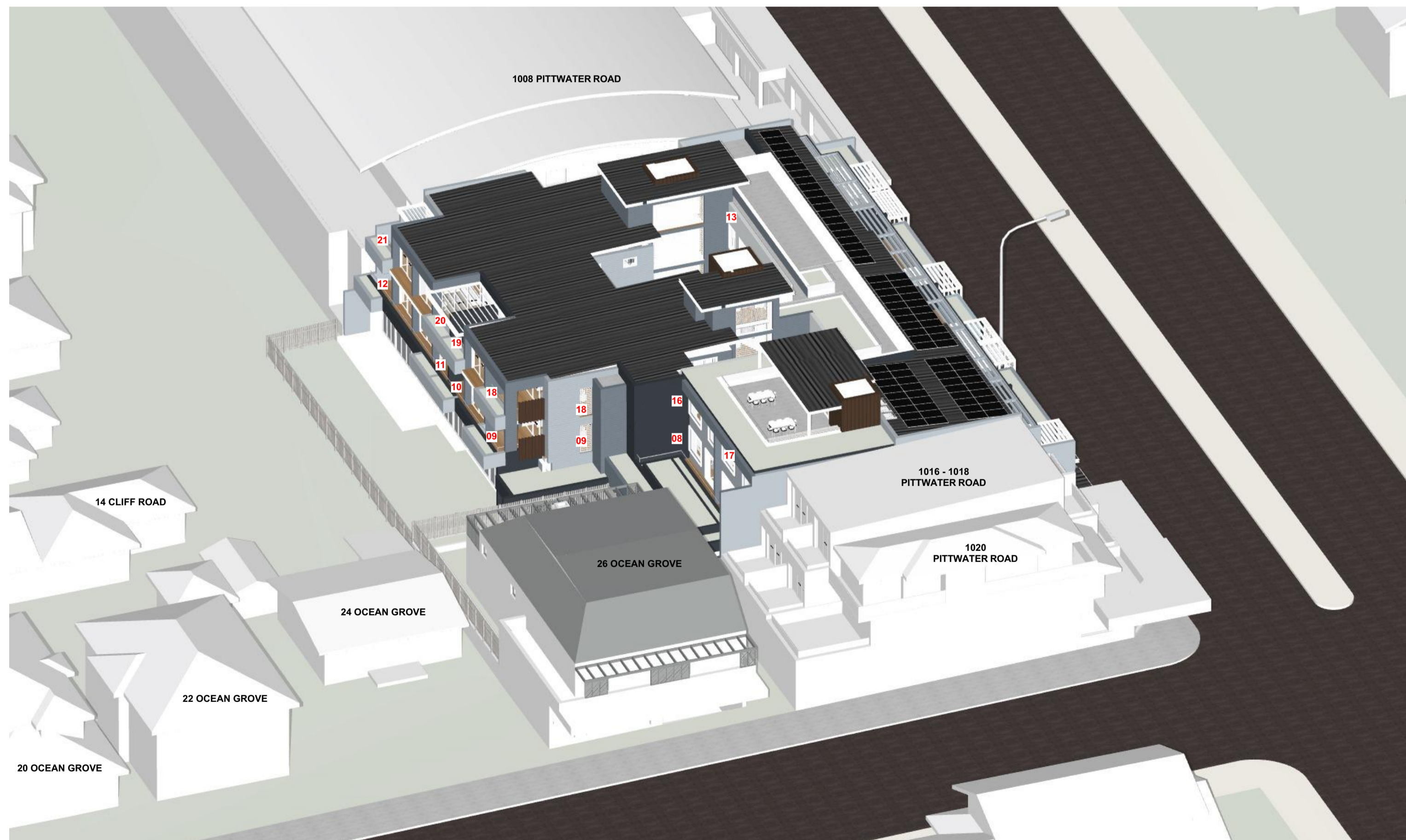
Transmittal Set Date	Rev	Description
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.
28/10/2024	E	REVISIONS TO DRAWINGS AS CLOUDED.



9 AM - 21 JUNE



10 AM - 21 JUNE



11 AM - 21 JUNE

Certification of View from the Sun Diagrams
 I hereby certify that the view from the sun diagrams submitted with the proposal
 a) are in accordance with the survey
 b) indicate views from the sun at hourly intervals from 9 am to 3 pm on 21 June

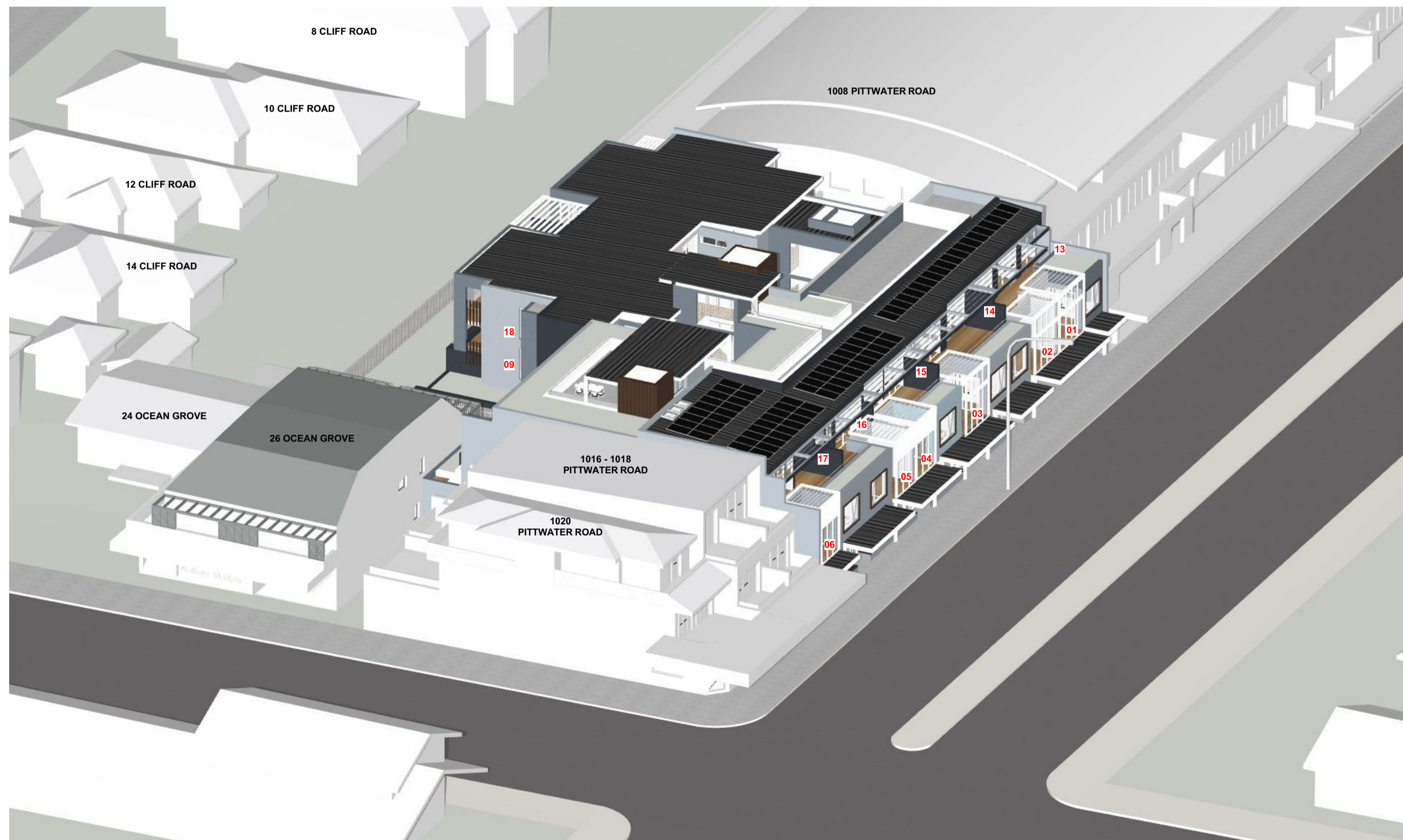
Sean Gartner
 (Registered Architect #6072 NSW)



12 NOON - 21 JUNE



1 PM - 21 JUNE



2 PM - 21 JUNE

Certification of View from the Sun Diagrams

I hereby certify that the view from the sun diagrams submitted with the proposal
a) are in accordance with the survey
b) indicate views from the sun at hourly intervals from 9 am to 3 pm on 21 June

Sean Gartner
(Registered Architect #6072 NSW)

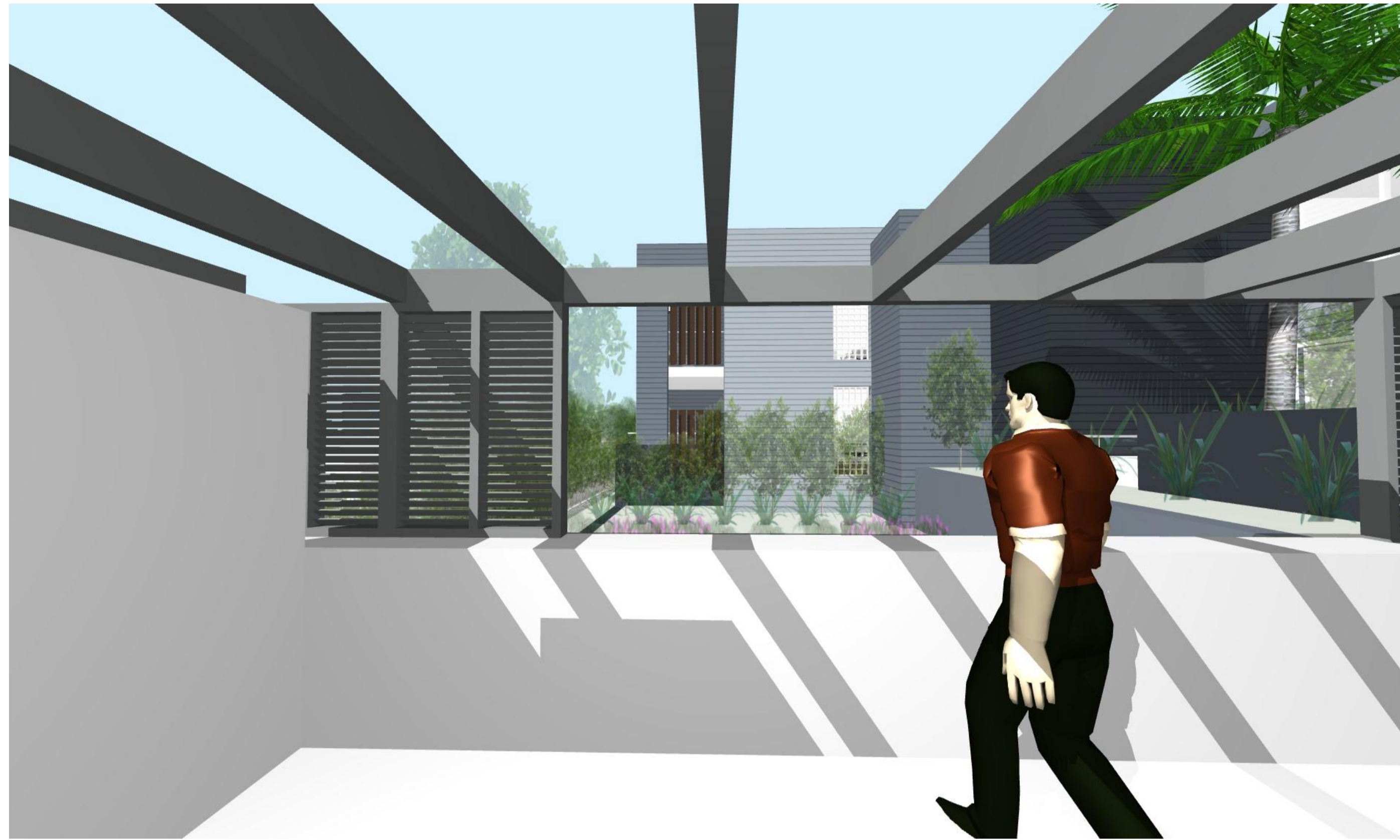


3 PM - 21 JUNE

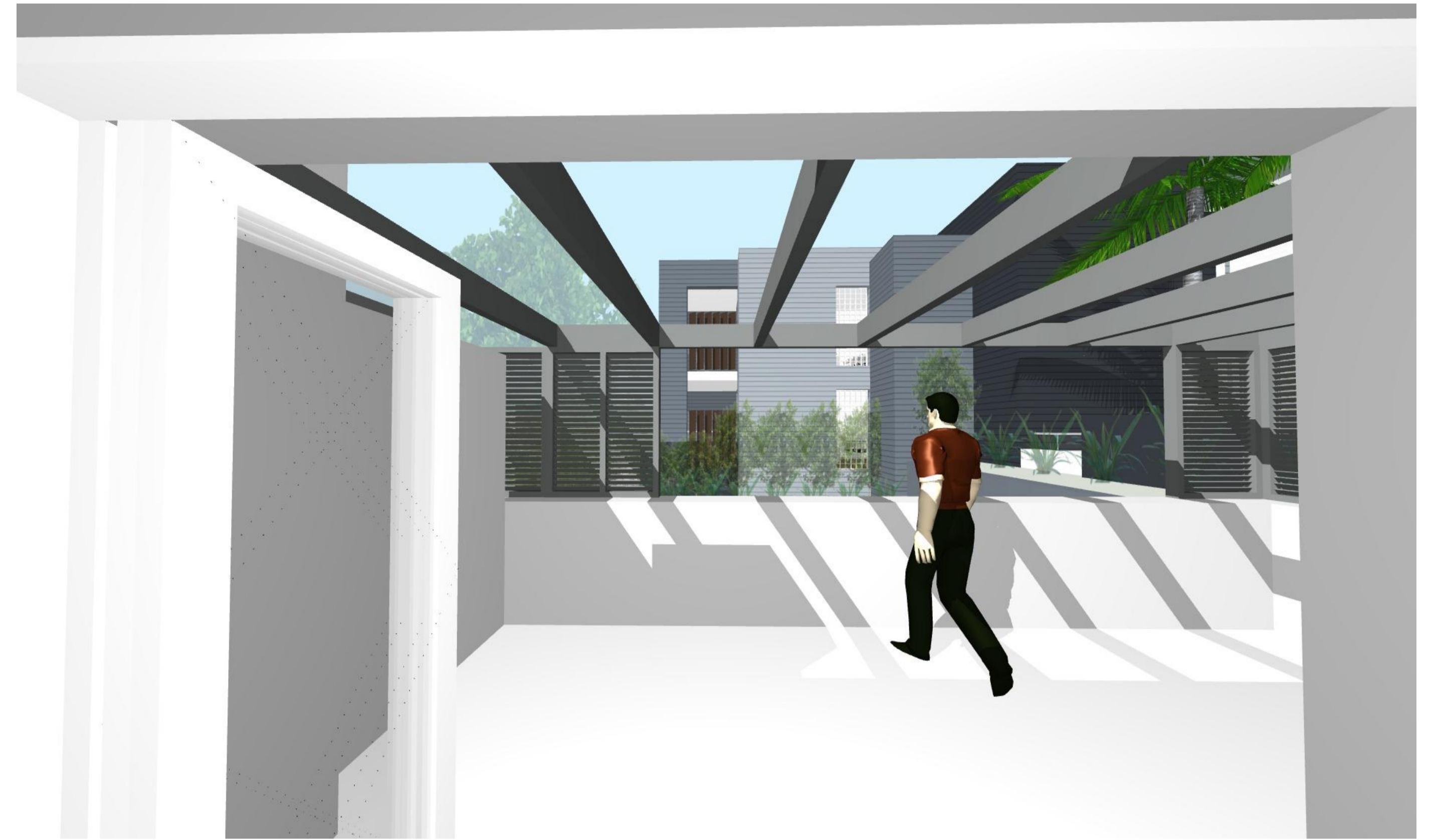
Certification of View from the Sun Diagrams

I hereby certify that the view from the sun diagrams submitted with the proposal
a) are in accordance with the survey
b) indicate views from the sun at hourly intervals from 9 am to 3 pm on 21 June

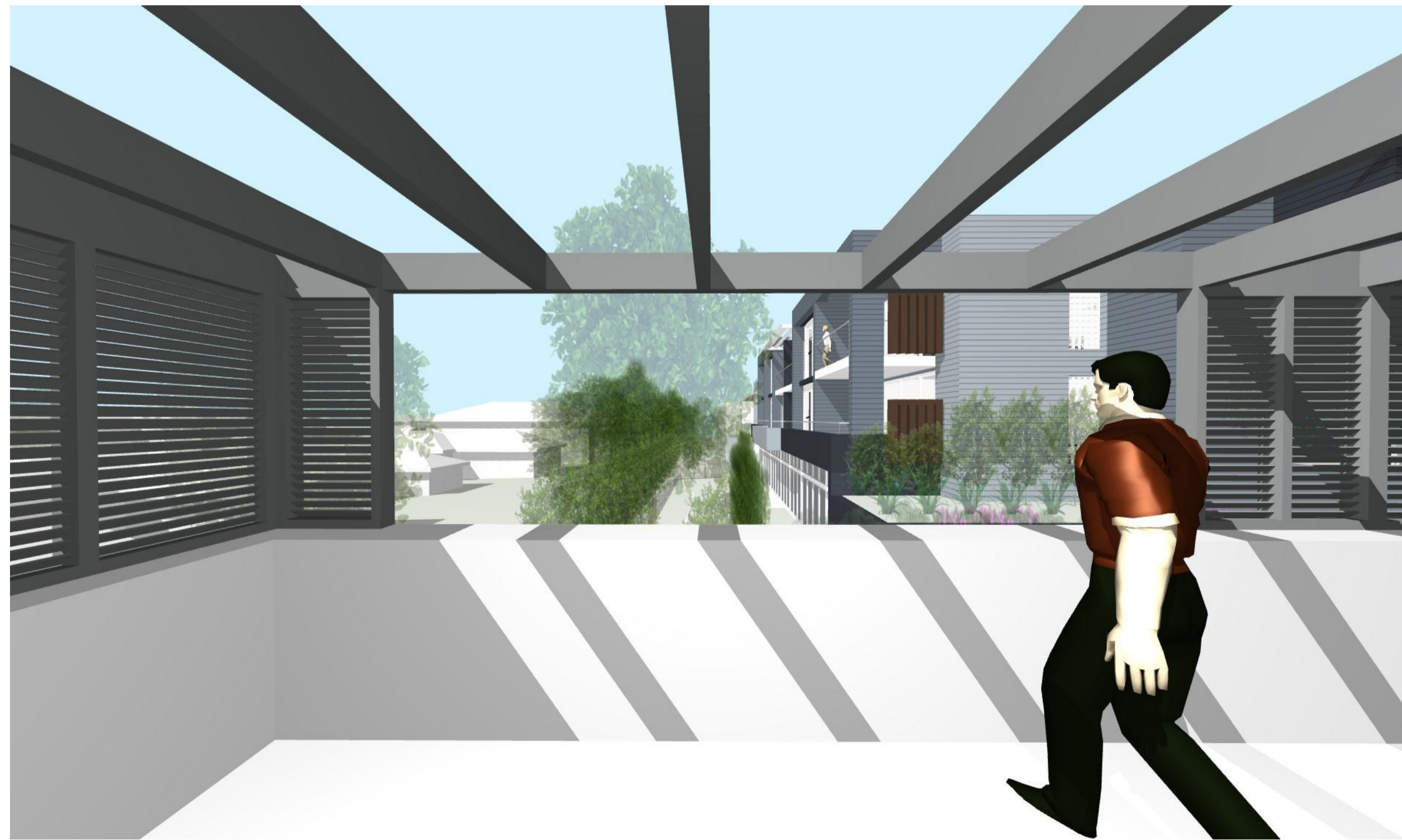
Sean Gartner
(Registered Architect #6072 NSW)



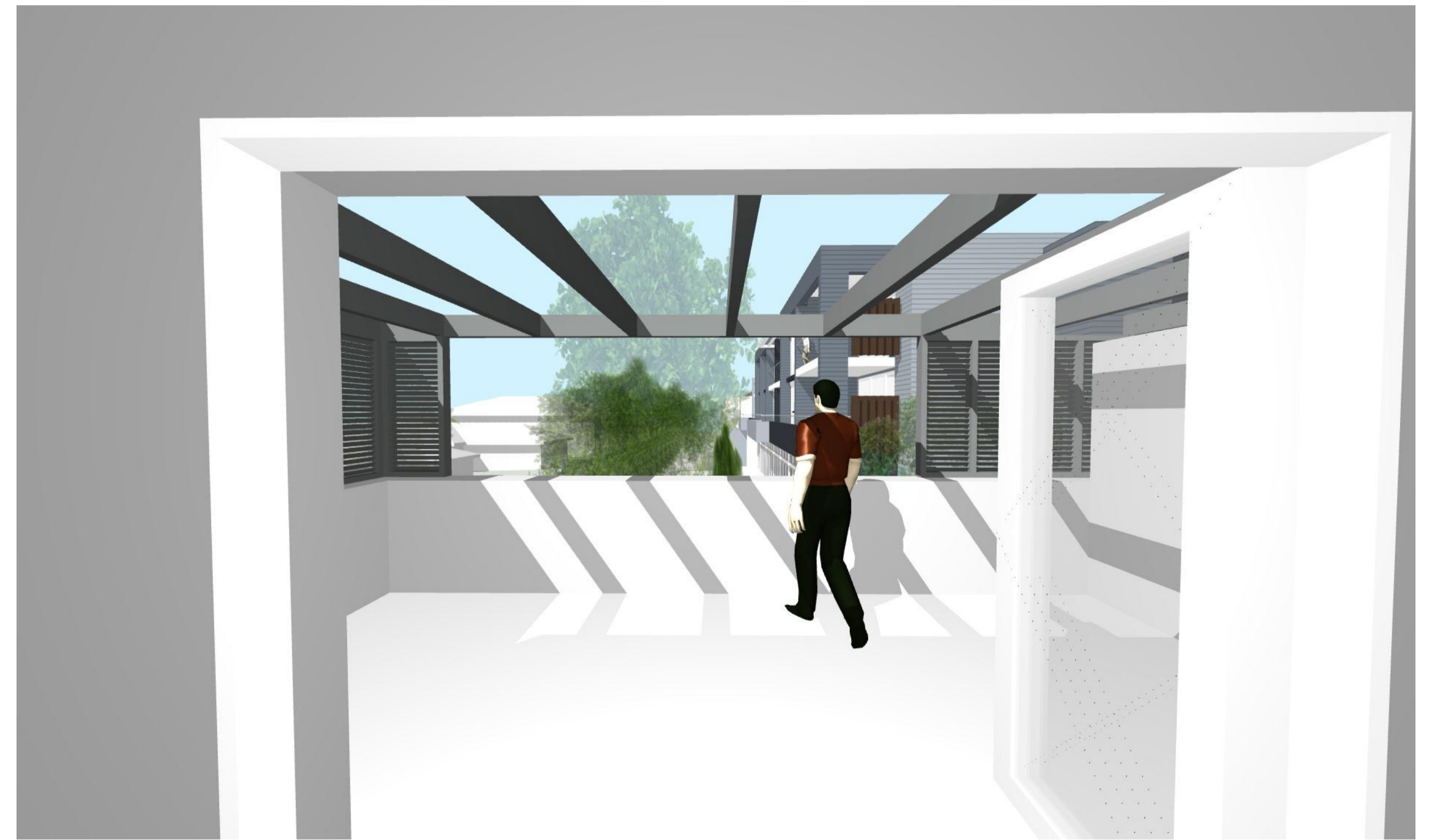
26 OCEAN GROVE - UNIT 5 (LEVEL 1 WEST) - VIEW FROM TERRACE



26 OCEAN GROVE - UNIT 5 (LEVEL 1 WEST) - VIEW FROM LIVING AREA

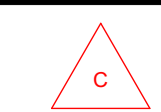


26 OCEAN GROVE - UNIT 6 (LEVEL 1 EAST) - VIEW FROM TERRACE



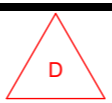
26 OCEAN GROVE - UNIT 6 (LEVEL 1 EAST) - VIEW FROM LIVING AREA

Rev	Change Name
A	REVISIONS TO DA DRAWINGS AS CLOUDED.
B	REVISIONS TO DA DRAWINGS AS CLOUDED.
C	REVISIONS TO DA DRAWINGS AS CLOUDED.





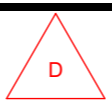
HEIGHT CONTROL DIAGRAM - OVERVIEW



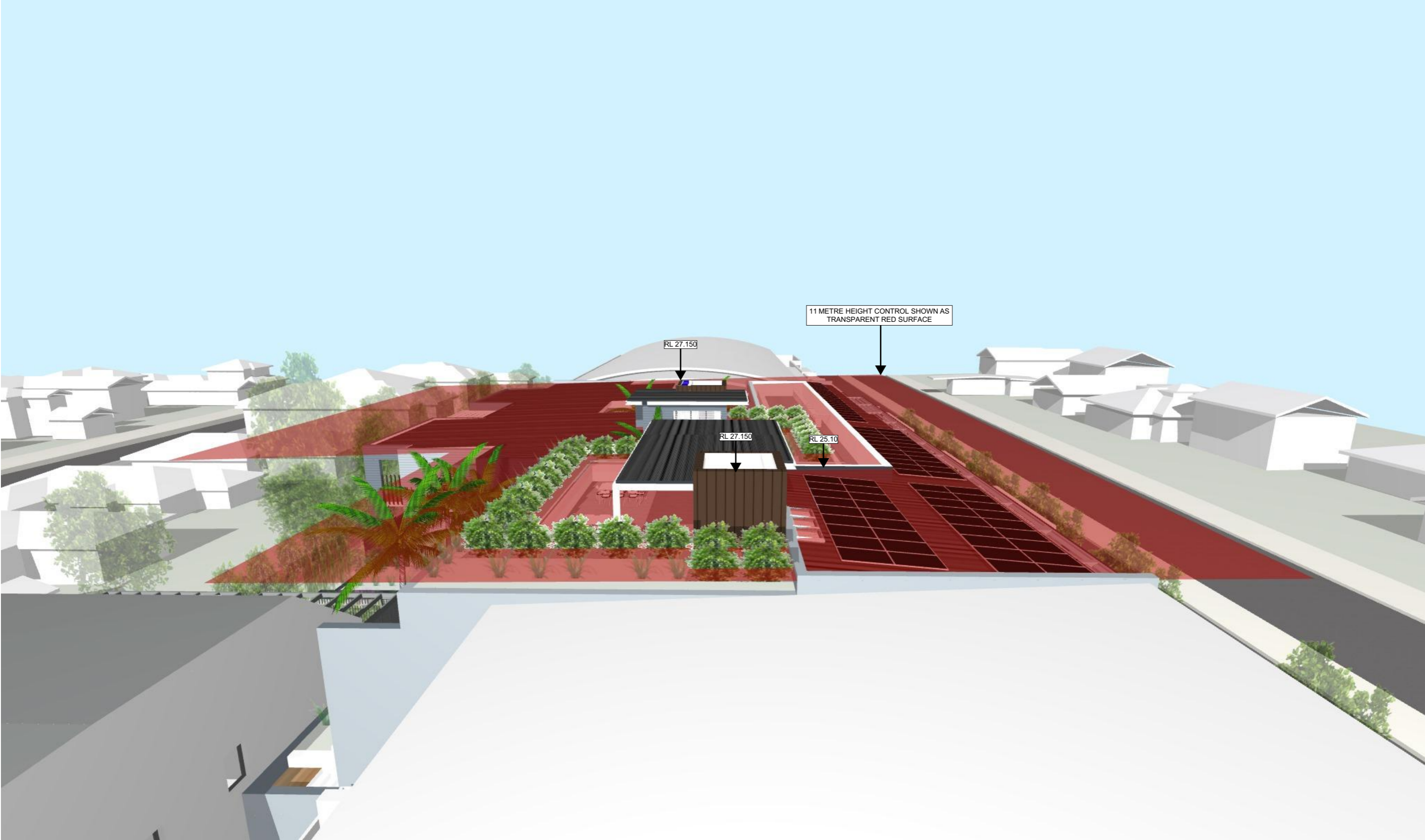
Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUED.



HEIGHT CONTROL DIAGRAM - VIEW FROM WEST



Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.



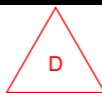
11 METRE HEIGHT CONTROL SHOWN AS
TRANSPARENT RED SURFACE

RL 27.150

RL 27.150

RL 25.10

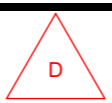
HEIGHT CONTROL DIAGRAM - VIEW FROM NORTH



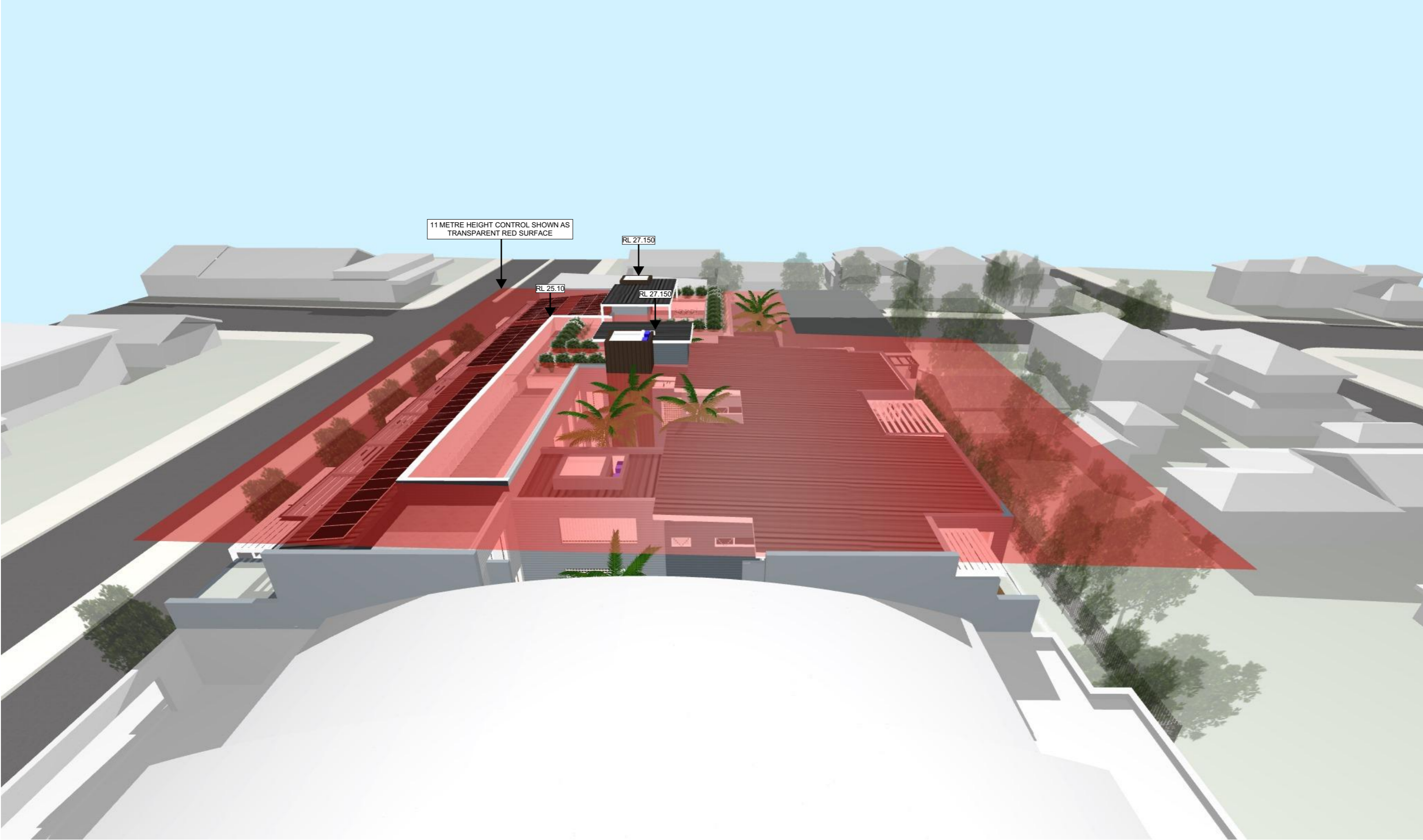
Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.



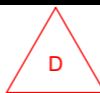
HEIGHT CONTROL DIAGRAM - VIEW FROM EAST



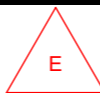
Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUED.



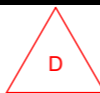
HEIGHT CONTROL DIAGRAM - VIEW FROM SOUTH



Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.



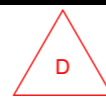
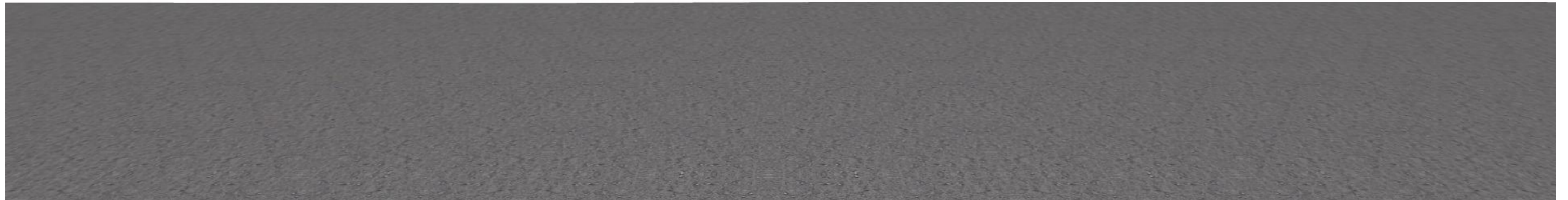
Transmittal Set Date	Rev	Description
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.
28/10/2024	E	REVISIONS TO DRAWINGS AS CLOUDED.



Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.

PROJECT
LONG REEF
 1010 - 1014 PITWATER ROAD, COLLAROY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645
 FOR COLLAROY PROJECTS PTY LTD

DRAWING TITLE
VIEW 2
 SCALE
 NTS
 PROJECT NO.
2101
 DRAWN BY
 SG / AW
 DRAWING NO.
DA-26
 PLOT DATE
 05/08/2024
 REVISION
D



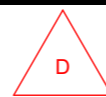
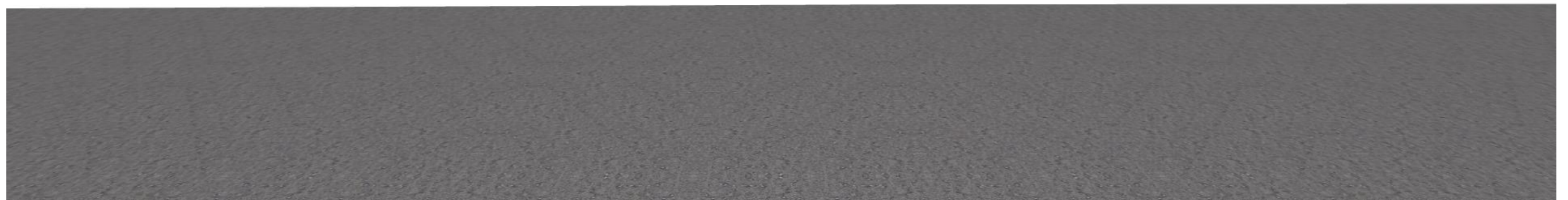
Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.

PROJECT
LONG REEF
 1010 - 1014 PITWATER ROAD, COLLAROY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645
 SCALE
 NTS
 PROJECT NO.
 2101

DRAWING TITLE
VIEW 3
 DRAWN BY
 SG / AW
 DRAWING NO.
 DA-27

PLOT DATE
 05/08/2024
 REVISION
 D

FOR COLLAROY PROJECTS PTY LTD

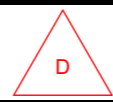


Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.



GARTNERTROVATO

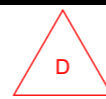
ARCHITECTS
 BEAN GARTNER 6072 | LUKE TROVATO 7004
 A 1014 PITTWATER ROAD
 L1/13 10 PARK STREET RD BOX 1122
 MONA VALE, NSW 2103
 P +61 2 9079 4411
 F +61 2 9079 4422
 E STA@G.T.AU



Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUED.

PROJECT
LONG REEF
 1010 - 1014 PITTWATER ROAD, COLLAROY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645
 FOR COLLAROY PROJECTS PTY LTD

DRAWING TITLE
VIEW 5
 SCALE
 NTS
 PROJECT NO.
 2101
 DRAWN BY
 SG / AW
 DRAWING NO.
 DA-29
 PLOT DATE
 05/08/2024
 REVISION
 D

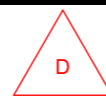


Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.

PROJECT
LONG REEF
 1010 - 1014 PITWATER ROAD, COLLAROY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645

DRAWING TITLE
VIEW 6
 SCALE NTS
 PROJECT NO. 2101
 DRAWING NO. DA-30
 DRAWN BY SG / AW
 PLOT DATE 05/08/2024
 REVISION D

FOR COLLAROY PROJECTS PTY LTD

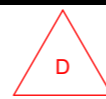
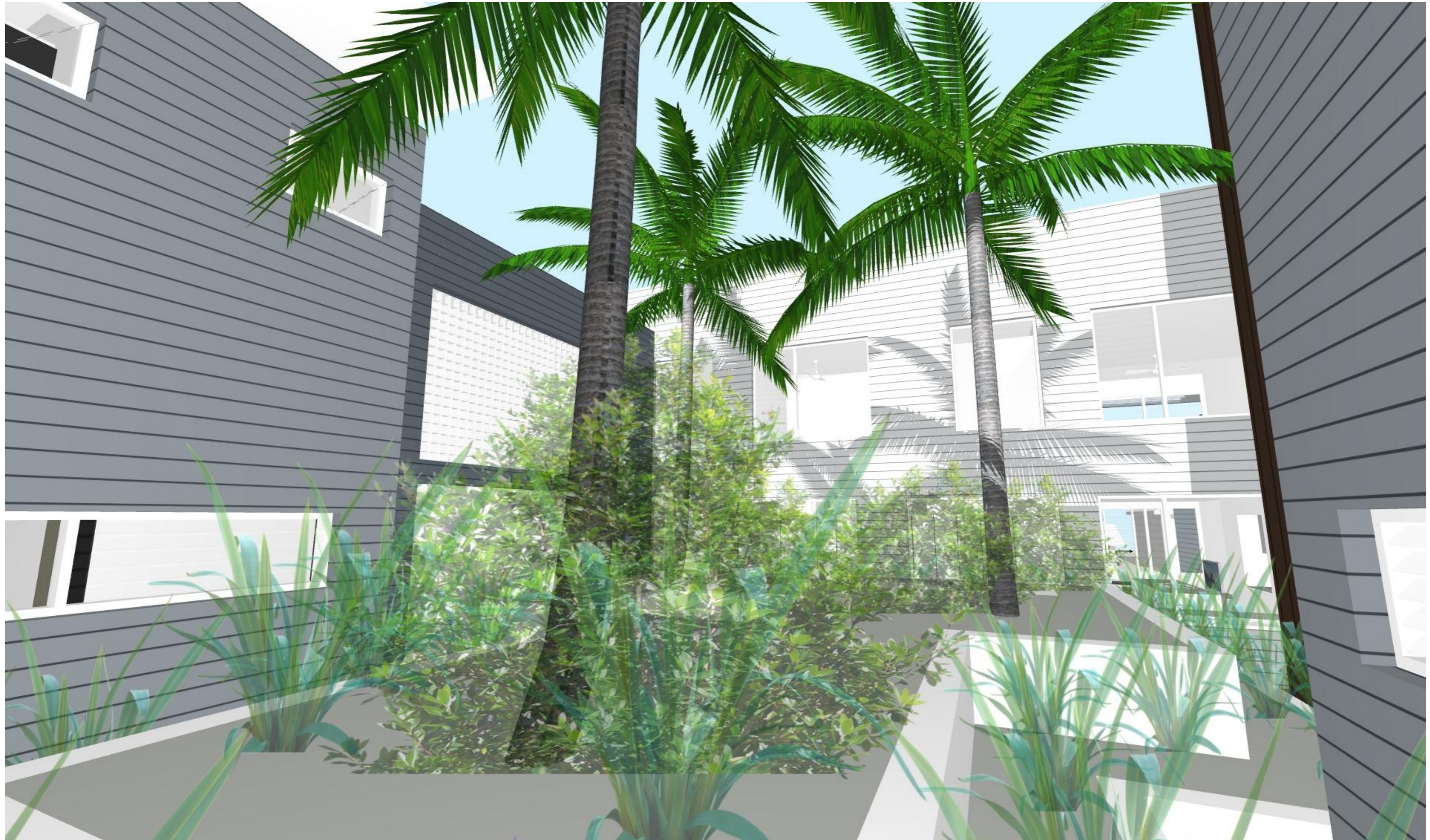


Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.

PROJECT
LONG REEF
 1010 - 1014 PITTWATER ROAD, COLLAROY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645

DRAWING TITLE
VIEW 7
 SCALE NTS
 PROJECT NO. 2101
 DRAWING NO. DA-31
 DRAWN BY SG / AW
 PLOT DATE 05/08/2024
 REVISION D

FOR COLLAROY PROJECTS PTY LTD



Transmittal Set Date	Rev	Description
18/09/2023	A	DEVELOPMENT APPLICATION.
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.

PROJECT
LONG REEF
 1010 - 1014 PITTWATER ROAD, COLLAROY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645
FOR COLLAROY PROJECTS PTY LTD

DRAWING TITLE
VIEW 8
SCALE
 NTS
PROJECT NO.
 2101
DRAWN BY
 SG / AW
DRAWING NO.
 DA-32
PLOT DATE
 05/08/2024
REVISION
 D