

4 February 2021

Manly Civic Club
C/O Kimmo Pitkanen
PBDT Project Services

Dear Kimmo,

**RE: Manly Club on Gilbert, 2 West Promenade, Manly
Proposed External Awnings – Statement of Heritage Impact**

This concise letter Statement of Heritage Impact has been prepared in accordance with the standard guidelines of the NSW Heritage Division to accompany an application for proposed new external awnings to the heritage item known as the former Auckland Garage.

The heritage item has been adapted as part of a larger development on the site and is currently used as a communal facility known as *Manly Club on Gilbert*. The works are limited to a series of external awnings and their support structure.

A *Conservation Management Plan for the Former Auckland Garage, 2 West Promenade, Manly* (CMP) was prepared by NBRS + Partners in March 2017.

This report is limited to the assessment of potential impacts on the European cultural heritage values of the site and does not include Aboriginal and Archaeological assessment. This report only addresses the relevant planning provisions that relate to heritage.

1.1 SITE LOCATION

Located on the south-east corner of the site is the small brick and stucco, former garage structure which is listed as a local heritage item. The building is located on a diagonal across the corner of the site fronting Eustace Street and West Promenade.

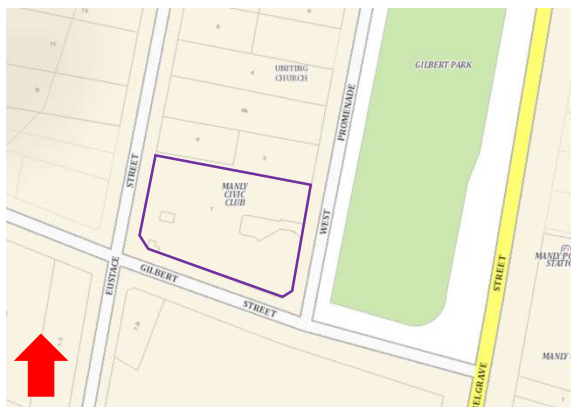


Figure 1: Street map of the subject site, outlined in purple. (Source: Sixmaps)



Figure 2: Aerial view of the subject site, outlined in purple. That portion of the adapted heritage item that is affected by the current proposal is circled in red. (Source: Source: Sixmaps)

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1.2 HERITAGE LISTINGS AND SIGNIFICANCE

The site is identified as a heritage item on Schedule 5 of the *Manly Local Environmental Plan 2013* where it is identified as 'Auckland Garage building (former service station)' item no. I156. It is also located in the vicinity of the following listed items:

- Residential flat buildings, 3, 5, 7 and 8 West Promenade, Manly, Item I252.

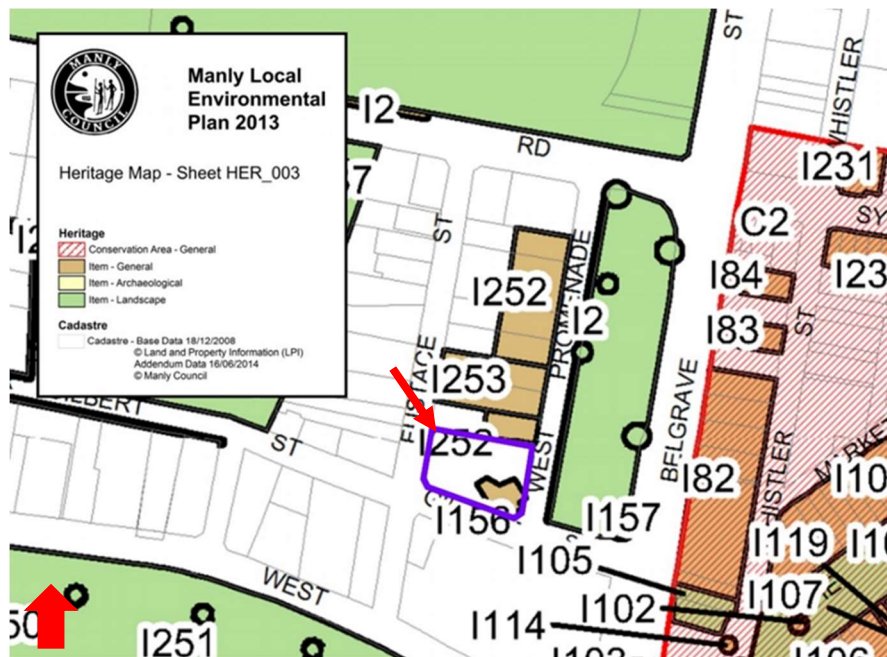


Figure 3: Extract of Heritage Map of Manly Local Environmental Plan 2013 with the heritage item identified as item I156.

Notwithstanding that the map indicates only the building as the item, Schedule 5 includes the whole of the lot as the listed item (Source Manly LEP 2013).

The NSW Heritage Database contains the following Statement of Significance for the 'Auckland Garage Building (Former Service Station)', at Gilbert Street cnr West Promenade, Manly, database entry number 2020196:

A well preserved and rare example of a petrol service station in the Inter War Spanish Mission style dating from the 1930s.

The heritage item has undergone extensive adaptation and reconstruction in relation to its approved adaptive reuse. The proposed awnings will support this current use.

1.2.1 SIGNIFICANCE OF ITEMS IN THE VICINITY

The NSW Heritage Database contains the following Statement of Significance for the 'Residential flat buildings,' at 3, 5, 7 and 8 West Promenade, Manly database entry number 2020521:

Significance in terms of building mass and scale but major significance as a backdrop to Gilbert Park.

1.3 HISTORY OF THE BUILDING

For historical information pertaining to the building, refer to Section 3.0 of the CMP, which contains a detailed historical summary for the site, the development of the building and the surrounding area.

1.4 SITE DESCRIPTION

The NSW Heritage Database contains the following physical description of the 'Auckland Garage Building (Former Service Station)', at Gilbert St cnr West Promenade, Manly, database entry number 2020196:

Single storey rectangular building in Inter War Spanish Mission style with roofed forecourt and garage attached at the rear. Gabled tiled roof with slightly off centre gabled bay to the façade., brick walls with white painted stucco. The building is set at a diagonal to the two streets, the forecourt forming a triangle at the street corner. The gabled bay to the façade and the end walls feature stepping brickwork, windows and doors have semi-circular fanlights, and windows are 12-paned timber framed. double hung.



Figure 4: Front view of former garage prior to the approved works being undertaken.



Figure 5: – View of the eastern side of former garage prior to the approved works being undertaken.



Figure 6 - Front view of the former garage during the construction process.

1.5 THE PROPOSAL

The proposal is to install PVC sails to the southern, western and eastern elevations of the heritage building. The building has been adapted as part of the wider development and is known as the *Manly Club on Gilbert*. The proposed outdoor awnings will support this approved use.

The PVC awnings will be white/cream in colour and supported by a series of poles and wall fixings. The poles will be black, with the wall anchors finished to match the painted wall behind.

The wall fixings have been designed to require the minimum number of connections to the wall. These anchor points are identified on the plan below.



Figure 7 - Images of similar installations to describe the style of awning and manner of fixing proposed. (Source: Client)

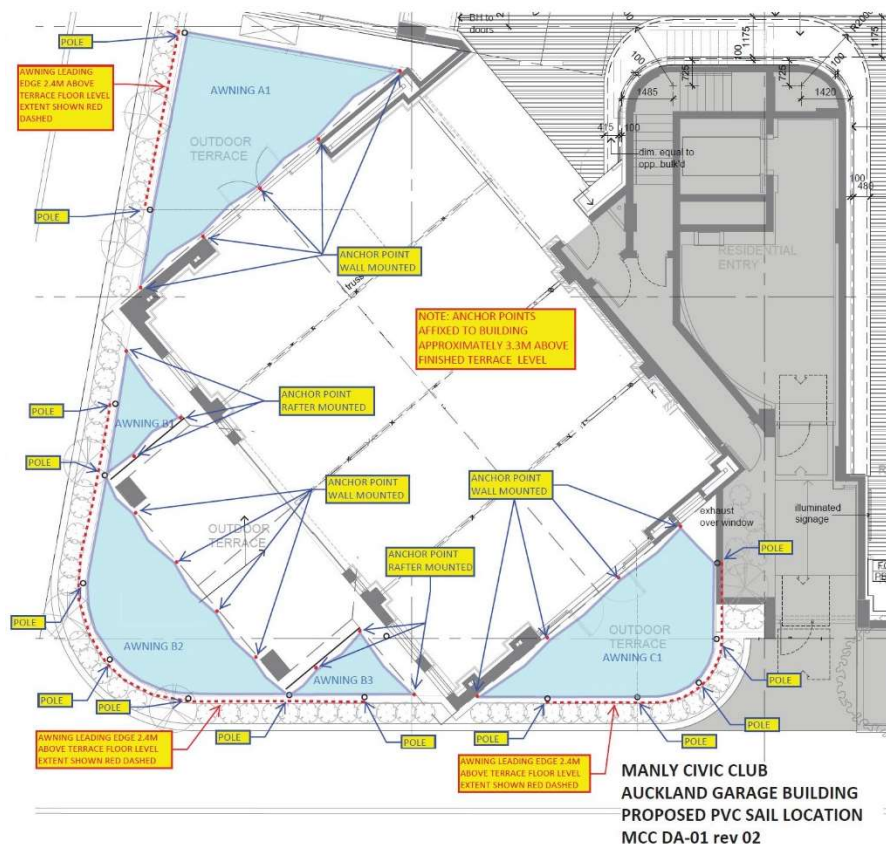


Figure 8 - Plan showing the location of the awnings around the heritage items and the location of the support poles and fixings anchors.

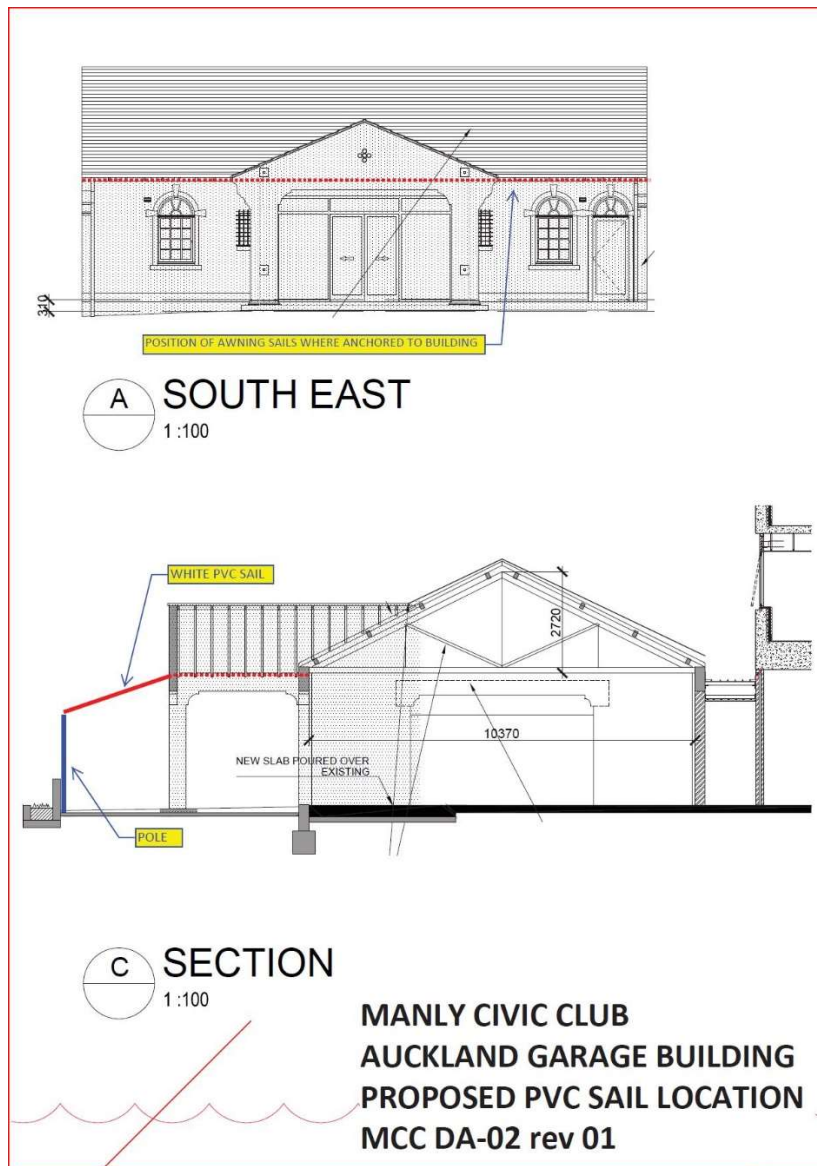


Figure 9 - The above elevation and section show the typical set out points for the awnings. (Source: Client)



Figure 10 - Typical anchor point plates. The plates will be painted to match the painted and rendered brick wall behind so as to diminish any visual impacts. (Source: Client)

1.6 ASSESSMENT OF HERITAGE IMPACT

This concise Heritage Impact Statement has been prepared in relation to the following impact assessment criteria: the *Manly Local Environmental Plan (LEP) 2013*, the *Manly Development Control Plan (DCP) 2013* and the New South Wales Heritage Office (now NSW Heritage Division) guidelines, *Altering Heritage Assets and Statements of Heritage Impact*, contained within the NSW Heritage Manual. This report also assesses the proposal against the policies established in the Conservation Management Plan (CMP) for the site, prepared by NBRS + Partners, dated 2017.

1.6.1 EVALUATION OF THE GUIDELINES OF THE NSW HERITAGE DIVISION

The following assessment is based on the assessment criteria set out in the NSW Heritage Office (now Heritage Division) publication 'Statements of Heritage Impact', contained within the NSW Heritage Manual. The standard format has been adapted to suit the circumstances of this application.

The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:

- The former garage building has been adapted for a new communal use; the proposed awnings will support the ongoing operations of the approved new use. This will allow the retained building to be appreciated and cared for by a wider audience.
- The proposed external awnings are reversible, with the anchor point fixings to the existing building brickwork able to be removed and repaired if required.
- Views of the building will include the new awnings, however they will not alter an understanding of the architectural character of the building, nor will they obscure the reconstructed details in and around the building.

The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the measures to be taken to minimise impacts:

- There are no aspects of the proposal which have an adverse physical or visual impact on the nearby heritage items as views of the items facing onto Gilbert Park are separated by the new development.

1.6.2 MINOR ADDITIONS (OF THE FABRIC AWNINGS AND ASSOCIATED STRUCTURE)

- *How is the impact of the addition on the heritage significance of the item to be minimised?*
- *Can the additional area be located within an existing structure? If not, why not?*
- *Will the additions visually dominate the heritage item?*
- *Is the addition sited on any known, or potentially significant archaeological deposits? If so, have alternative positions for the additions been considered?*
- *Are the additions sympathetic to the heritage item? In what way (eg form, proportions, design)?*

Comment:

The proposed new PVC fabric awnings and associated structure will be an addition to views of the building; however, they will be understood as new elements and will not diminish an appreciation of the original scale and form of the former garage building. The reconstructed details of the building, in particular the twisted columns, light fittings and joinery will still be clearly appreciated. The additions will not visually dominate the building as they will be understood as external awnings, and so a later addition.

The proposed structural poles will be constructed in area of the ground that have already been extensive excavated, and so the likely hood of discovering any unexpected archaeological finds is low.

The additions are sympathetic to the existing character of the former garage building as they are clearly contemporary, support the ongoing use of the place and are reversible.

1.6.3 EVALUATION AGAINST CMP POLICIES

The proposal is assessed below against the relevant policy set out in the Conservation Management Plan (CMP) for the site, prepared by NBRSARCHITECTURE, dated March 2017, and included in italics below:

Recommendation 1

Views to the front and side of the buildings along Gilbert Street and West Promenade should be retained and reinforced.

Comment:

The proposed new external awnings are an addition to exterior views of the building; they don't however obscure views of the facades, nor do they diminish the appreciation or understanding of the heritage character of the building. The proposed awnings are understood as contemporary elements associated with the operations of the adapted heritage item, and so support the future care and protection of the retained heritage fabric.

It is therefore consistent with the overall intent of the CMP of conserving the heritage significance of 2 West Promenade, Manly.

1.6.4 HERITAGE OBJECTIVES OF THE MANLY LEP 2013 AND MANLY DCP 2013

For the reasons discussed above, the proposal is acceptable from a heritage perspective and is therefore consistent with the relevant heritage objectives of the *Manly LEP 2013*, which are:

5.10 Heritage conservation

(1) Objectives

The objectives of this clause are as follows -

(a) to conserve the environmental heritage of Manly,

(b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views.

The proposed development is also generally consistent with the objectives of the *Manly DCP 2013* that relate to heritage and are set out in the following DCP Sections;

3.0 General Principles of Development

3.2 Heritage Considerations

1.7 CONCLUSION

The subject property is listed as an item of local heritage significance on Schedule 5 of the *Manly Local Environmental Plan (LEP) 2013* as 'Auckland Garage building (former service station),' 2 West Promenade, Manly, item no. I156. The site is also in the vicinity of Residential flat buildings, 3, 5, 7 and 8 West Promenade, Manly, Item I252.

The proposed external awnings are minor in scope and limited to the exterior of the heritage item.

The overall external form of the building, its aesthetic significance and legibility, will not be altered or obscured.

The established cultural significance of the subject heritage item and the heritage item in its vicinity will be retained.

The proposed addition of the external PVC fabric awning and associated support structure is consistent with the heritage objectives of the *Manly LEP 2013* and the *Manly DCP 2013*.

In our view, the consent authority should have no hesitation in approving this application from a heritage perspective.

Yours faithfully,

NBRSARCHITECTURE.



Samantha Polkinghorne
Director