

DRAWING LIST

A000Title Sheet

A010Site Analysis Plan

A110Main Level Plan

A111Upper Level Plan

A112Roof Plan

A201East Elevation

A202West Elevation

A203North Elevation

A204South Elevation

A300Perspective

KEY:

BDYBoundary

CTCeramic tile

CWCasement window

DPDownpipe

DPDownpipe

(E)Existing

FCFibre cement (render finish)

FBFace brick (wet bagged finish)

FXFixed window

GGutter

MCMetal cladding

PPost

PBPlasterboard

PLGPaling fence

PTPaint

PPTParapet

RMSMetal sheet roof

SHRShower

SKSkylight

SLSliding window

STStone

SWStormwater

WBDWeatherboard cladding

BASIX:

Works to comply with BASIX certificate A485724

Lighting

A minimum of 40% of (N) or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

Showerheads to have a flow rate <9 litres per minute or a 3 star water rating. Toilets have a flow rate <4 litres per average flush or min. 3 star water rating. Taps have a flow rate <9 litres per minute or minimum 3 star water rating.

Insulation

Construction	Additional insulation (R-value)	Other specifications
Floor above existing dwelling	nil	
External wall: other/undecided	R1.70 (including construction)	
Raked ceiling, pitched/skillion roof: framed	Ceiling: R2.50 (up) Roof: foil/sarking	Medium (solar absorptance 0.475-0.70)

Windows and Glazed Doors

ID	Orientation	Glazed area (m2)	Overshadowing Height	Distance	Shading Device	Frame/Glass Type
W1	N	0.5	0	0	eave/verandah/ pergola/ balcony >=450mm	standard aluminium, single clear (U:7.63, SHGC:0.75)
W2	N	0.75	0	0	eave/verandah/ pergola/ balcony >=450mm	standard aluminium, single pyrolytic low-e (U:5.7, SHGC:0.47)
W3	N	1.87	0	0	eave/verandah/ pergola/ balcony >=450mm	standard aluminium, single pyrolytic low-e (U:5.7, SHGC:0.47)
W4	W	1.87	0	0	eave/verandah/ pergola/ balcony >=450mm	standard aluminium, single pyrolytic low-e (U:5.7, SHGC:0.47)
W5	W	0.75	0	0	eave/verandah/ pergola/ balcony >=450mm	standard aluminium, single pyrolytic low-e (U:5.7, SHGC:0.47)
W6	S	0.75	0	0	none	standard aluminium, single clear (U:7.63, SHGC:0.75)
W7	S	0.75	0	0	none	standard aluminium, single clear (U:7.63, SHGC:0.75)

MATERIALS

MC

Metal cladding to meet Bushfire standards

Colorbond mini orb in 'Dune', matte finish

RMS

Curved metal standing seam roof to match existing, matte finish

WB

Weatherboard cladding to match existing

Fibre cement in 'Dune'

Colorbond 'Dune' paint finish to windows

1 LOCALITY PLAN  
Scale: 1:2000

Howard Tanner

Architect

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BASED ON SURVEY INFORMATION BY

REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL INFORMATION

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STAGE

FOR APPROVAL

ISSUE	DESCRIPTION	DATE	BY
P1	ISSUE FOR REVIEW	23/2/2023	MD
P2	ISSUE FOR REVIEW	28/2/2023	MD
A	ISSUE FOR APPROVAL	4/4/2023	MD

CLIENT

TANNER

PROJECT

ALTERATIONS AND ADDITIONS

LOT 208 / DP 15376

240 WHALE BEACH ROAD

WHALE BEACH 2107

TITLE

TITLE SHEET

PROJECT CODE

2211WB

SHEET

A000

ISSUE

A

0 50 100 M

SCALE

1:1000 @ A3

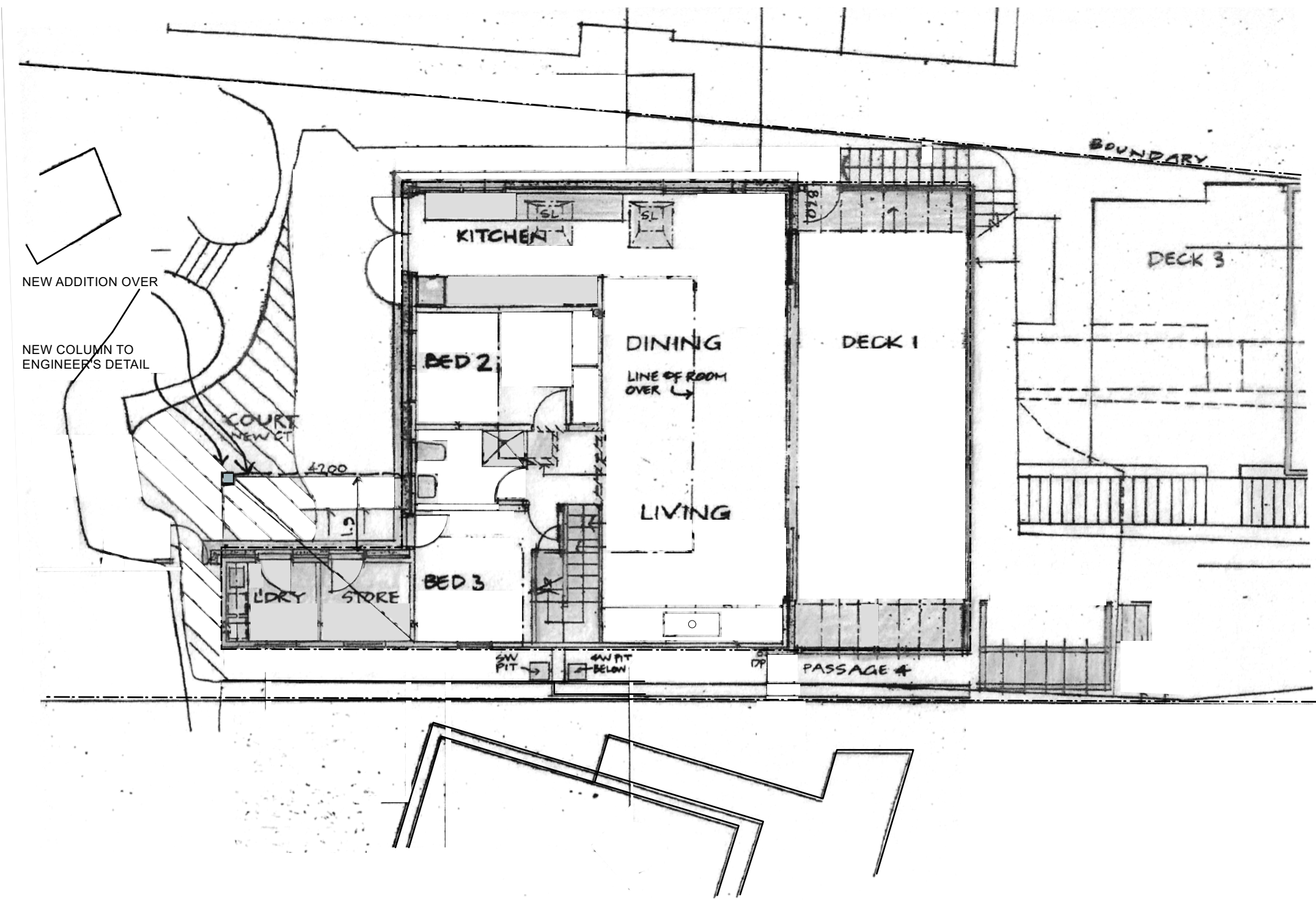
DRAWN

MD

N







MATERIALS KEY	
Section	Elevation

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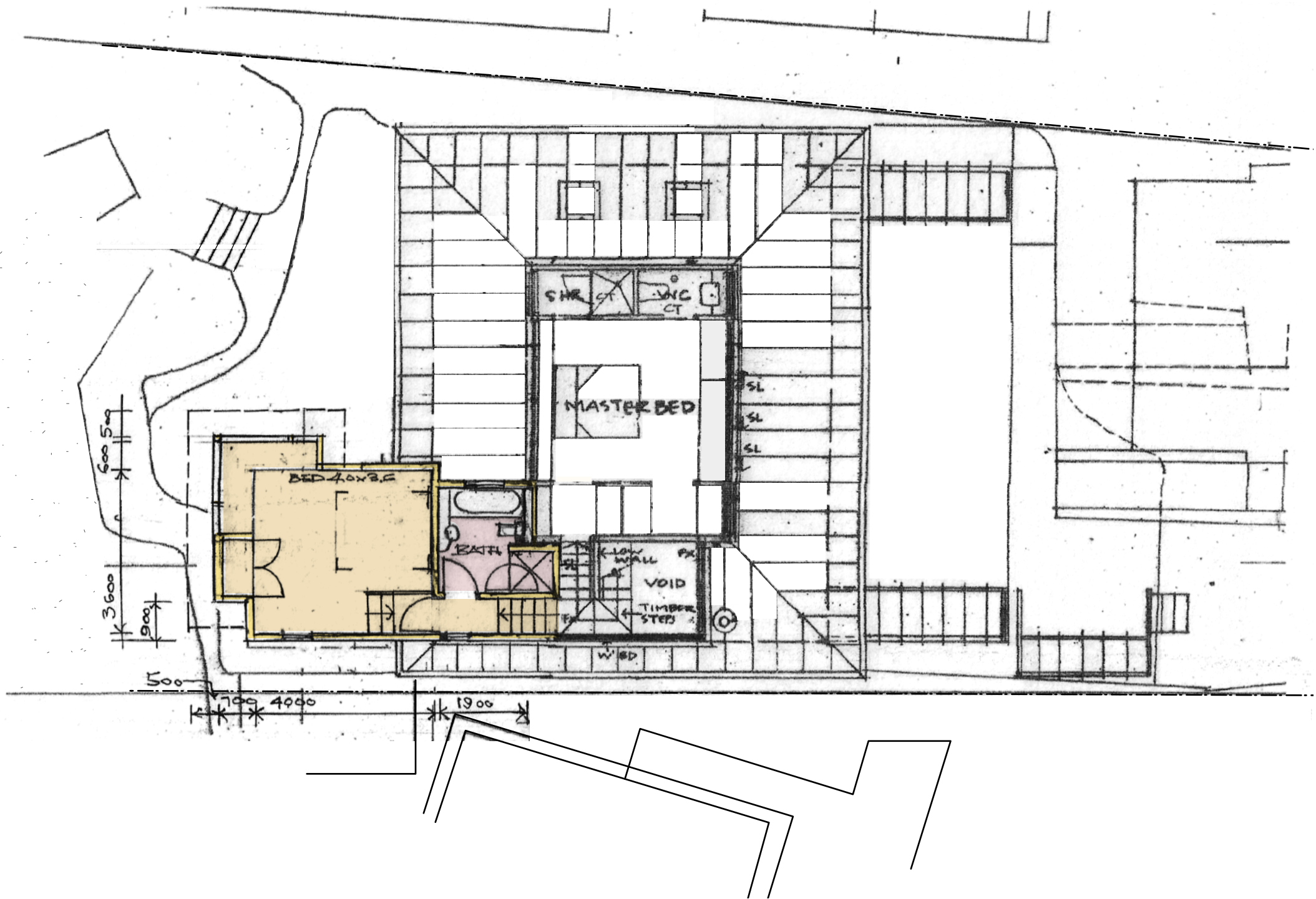
STAGE	FOR APPROVAL
ISSUE DESCRIPTION	DATE
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P2	ISSUE FOR REVIEW
A	ISSUE FOR APPROVAL

CLIENT	TANNER
PROJECT	ALTERATIONS AND ADDITIONS
LOT 208 / DP 15376	
240 WHALE BEACH ROAD	
WHALE BEACH 2107	



TITLE	MAIN LEVEL
PROJECT CODE	2211WB
SHEET	A110
ISSUE	A
SCALE	1:100
A3	DRAWN
MD	





MATERIALS KEY	
Section	Elevation

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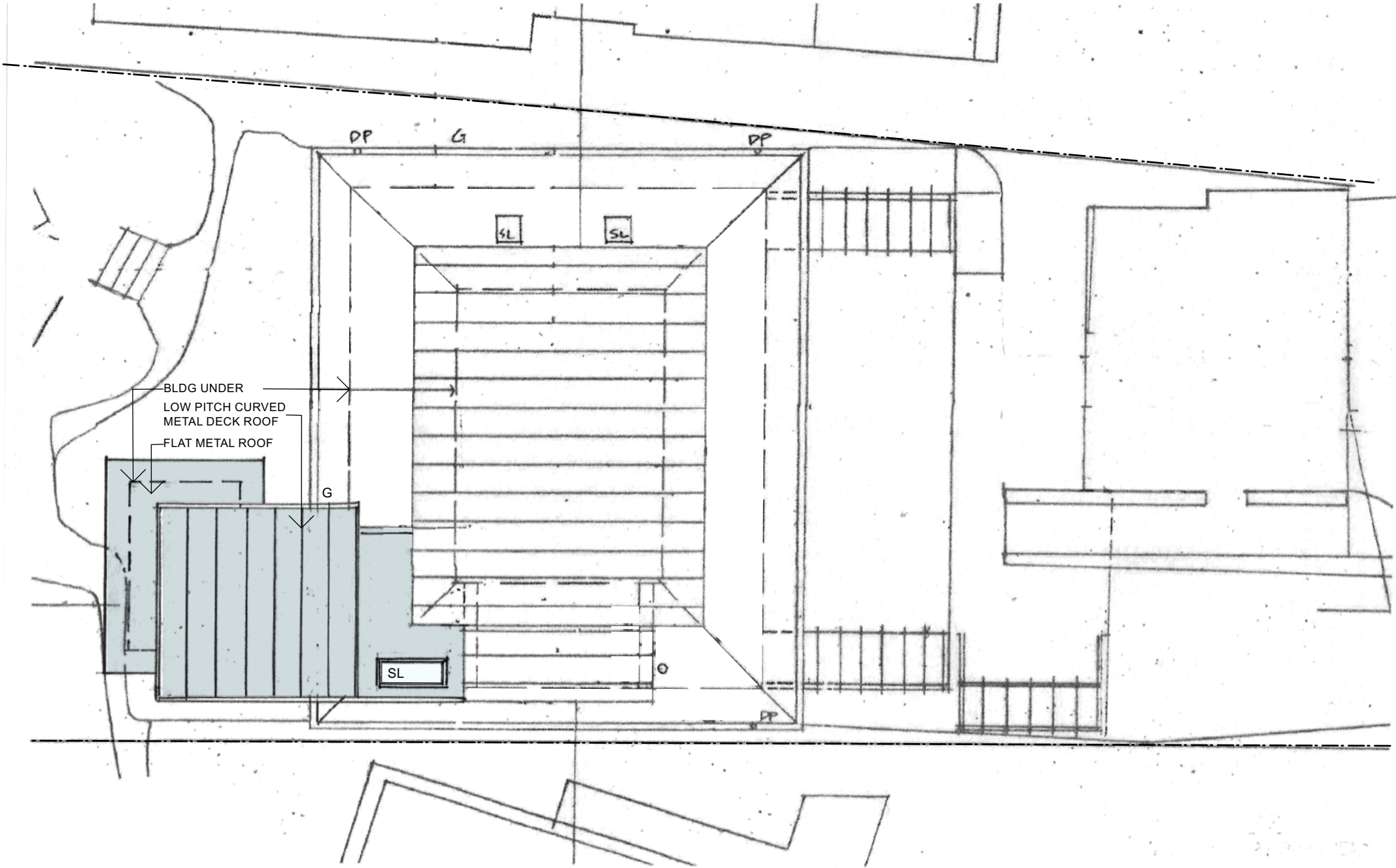
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CLIENT	TANNER
PROJECT	ALTERATIONS AND ADDITIONS
LOT 208 / DP 15376	
240 WHALE BEACH ROAD	
WHALE BEACH 2107	



TITLE	UPPER LEVEL
PROJECT CODE	2211WB
SHEET	A111
ISSUE	A
SCALE	1:100
A3	DRAWN MD





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CLIENT TANNER  
PROJECT ALTERATIONS AND ADDITIONS

LOT 208 / DP 15376  
240 WHALE BEACH ROAD  
WHALE BEACH 2107



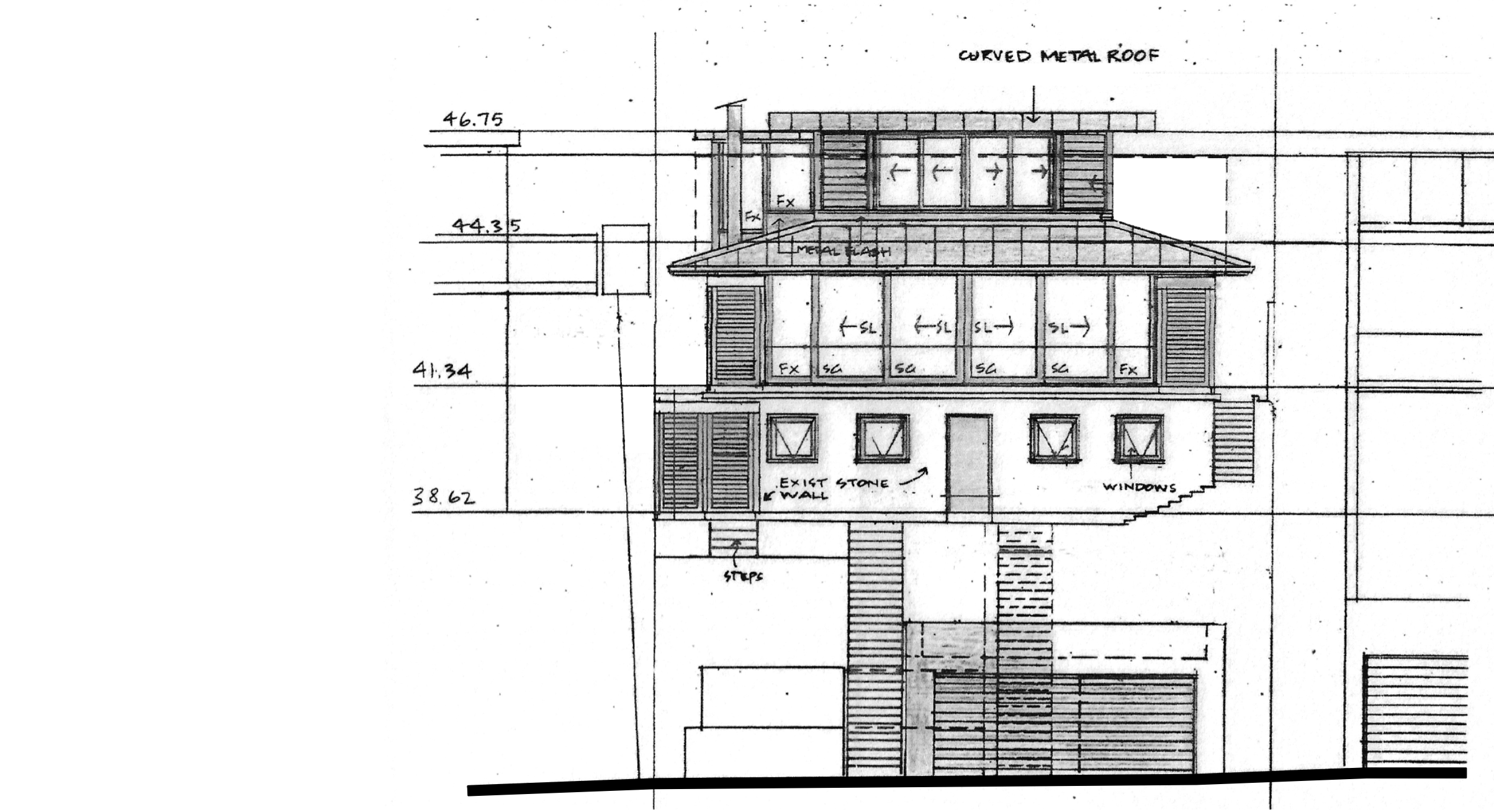
TITLE ROOF PLAN

PROJECT CODE 2211WB

SHEET A112 ISSUE A

0 1.0 2.0 3.0 4.0 5.0 M  
SCALE 1:100 A3 DRAWN MD





\*AS EXISTING. NO PROPOSED CHANGE TO STREET-FACING ELEVATION

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CLIENT	<b>TANNER</b>
PROJECT	<b>ALTERATIONS AND ADDITIONS</b>

LOT 208 / DP 15376  
240 WHALE BEACH ROAD  
WHALE BEACH 2107



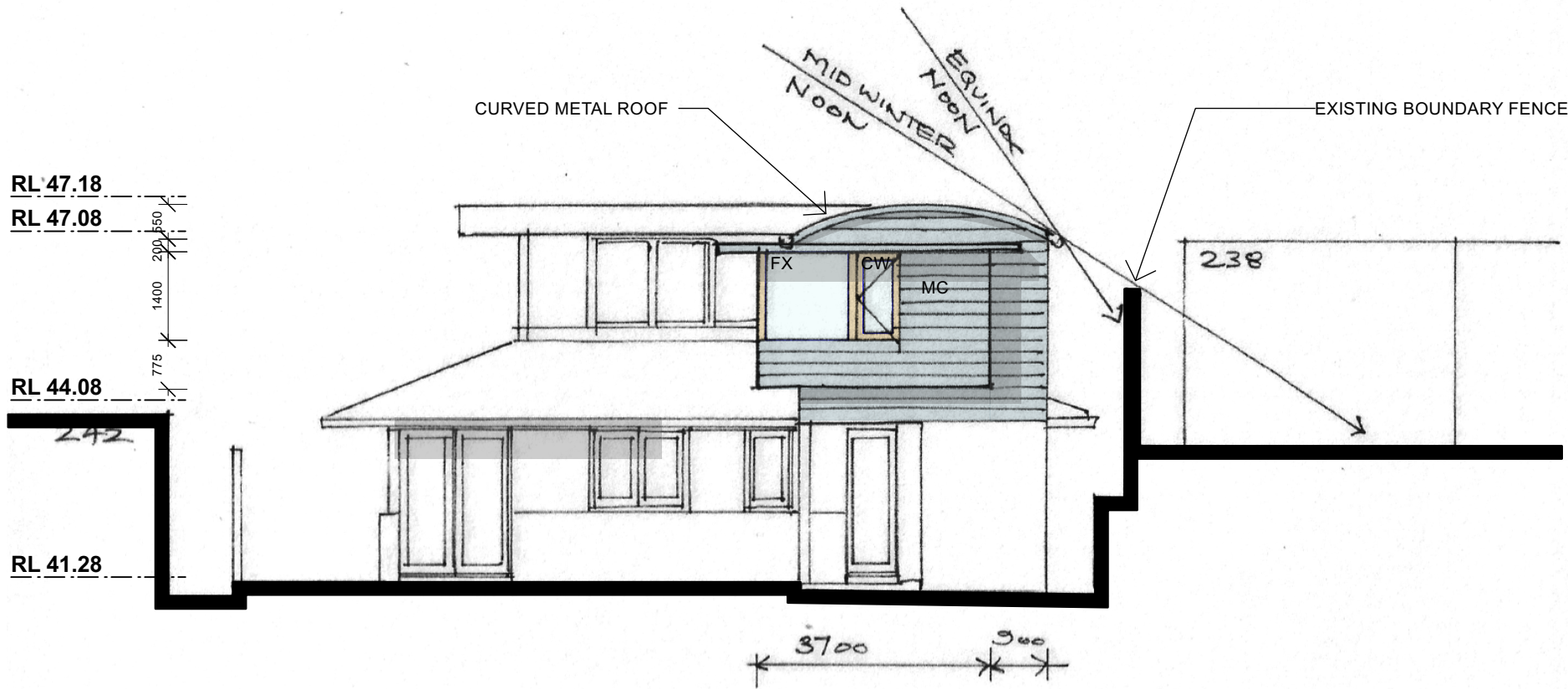
TITLE **EAST ELEVATION**

PROJECT CODE **2211WB**

SHEET **A201** ISSUE **A**

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SCALE **1:100** **A3** DRAWN **MD**





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CLIENT TANNER

PROJECT ALTERATIONS AND ADDITIONS

LOT 208 / DP 15376  
240 WHALE BEACH ROAD  
WHALE BEACH 2107

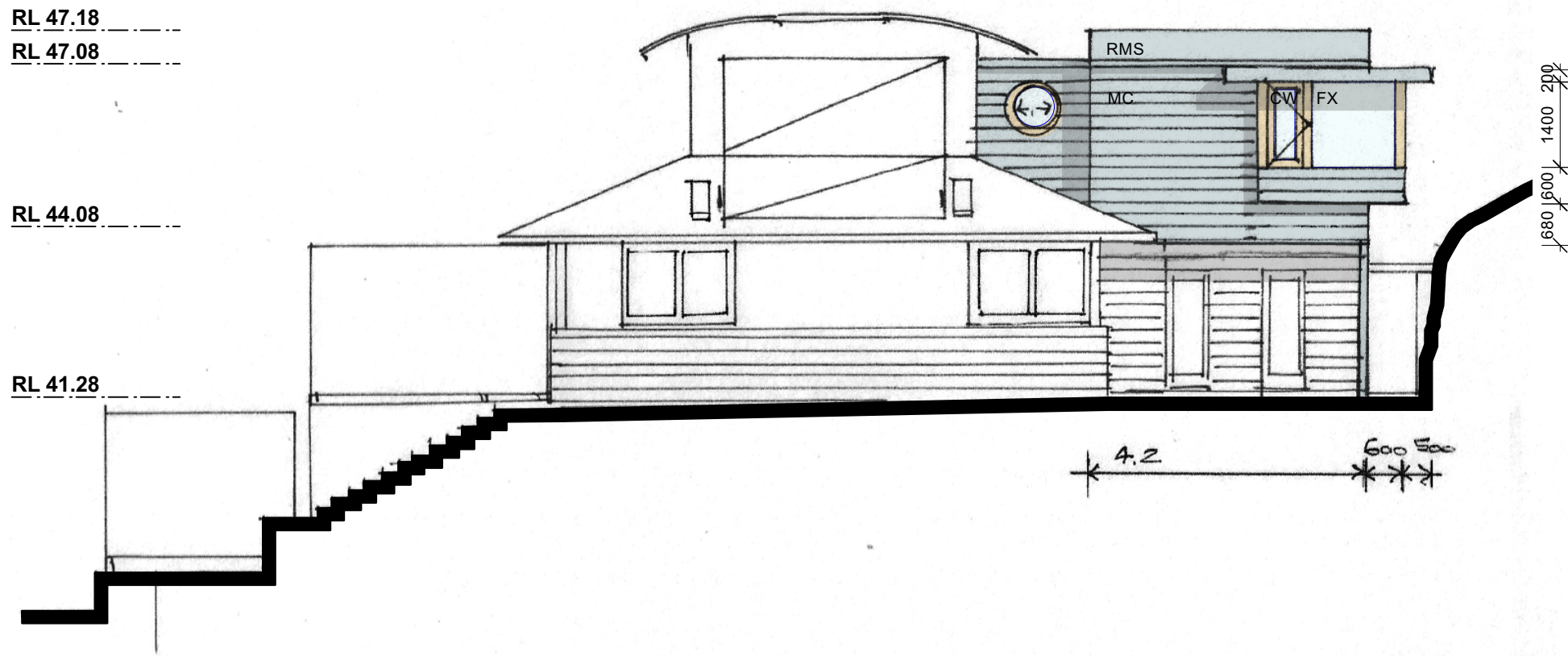
TITLE WEST ELEVATION

PROJECT CODE 2211WB

SHEET A202 ISSUE A

0 1.0 2.0 3.0 4.0 5.0 M  
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CLIENT TANNER

PROJECT ALTERATIONS AND ADDITIONS

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240 WHALE BEACH ROAD  
WHALE BEACH 2107

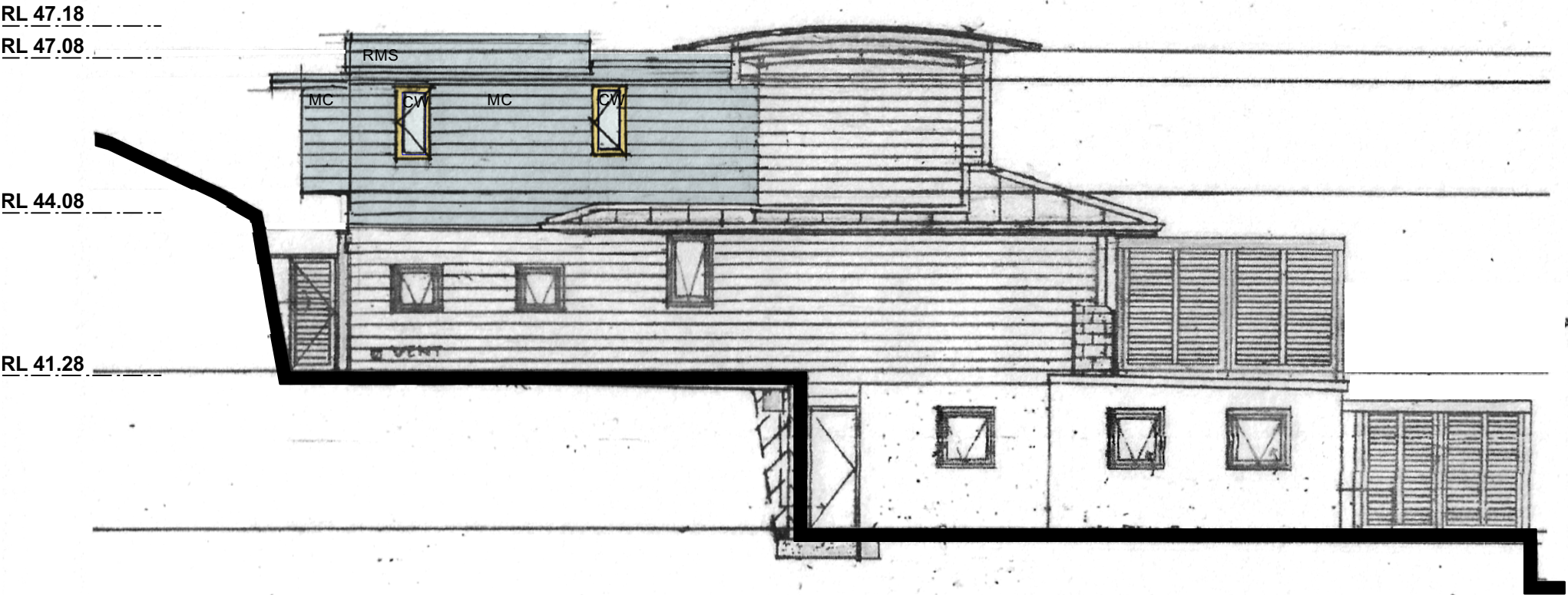
TITLE NORTH ELEVATION

PROJECT CODE 2211WB

SHEET A203 ISSUE A

0 1.0 2.0 3.0 4.0 5.0 M  
SCALE 1:100 A3 DRAWN MD





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PROJECT	ALTERATIONS AND ADDITIONS

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WHALE BEACH 2107

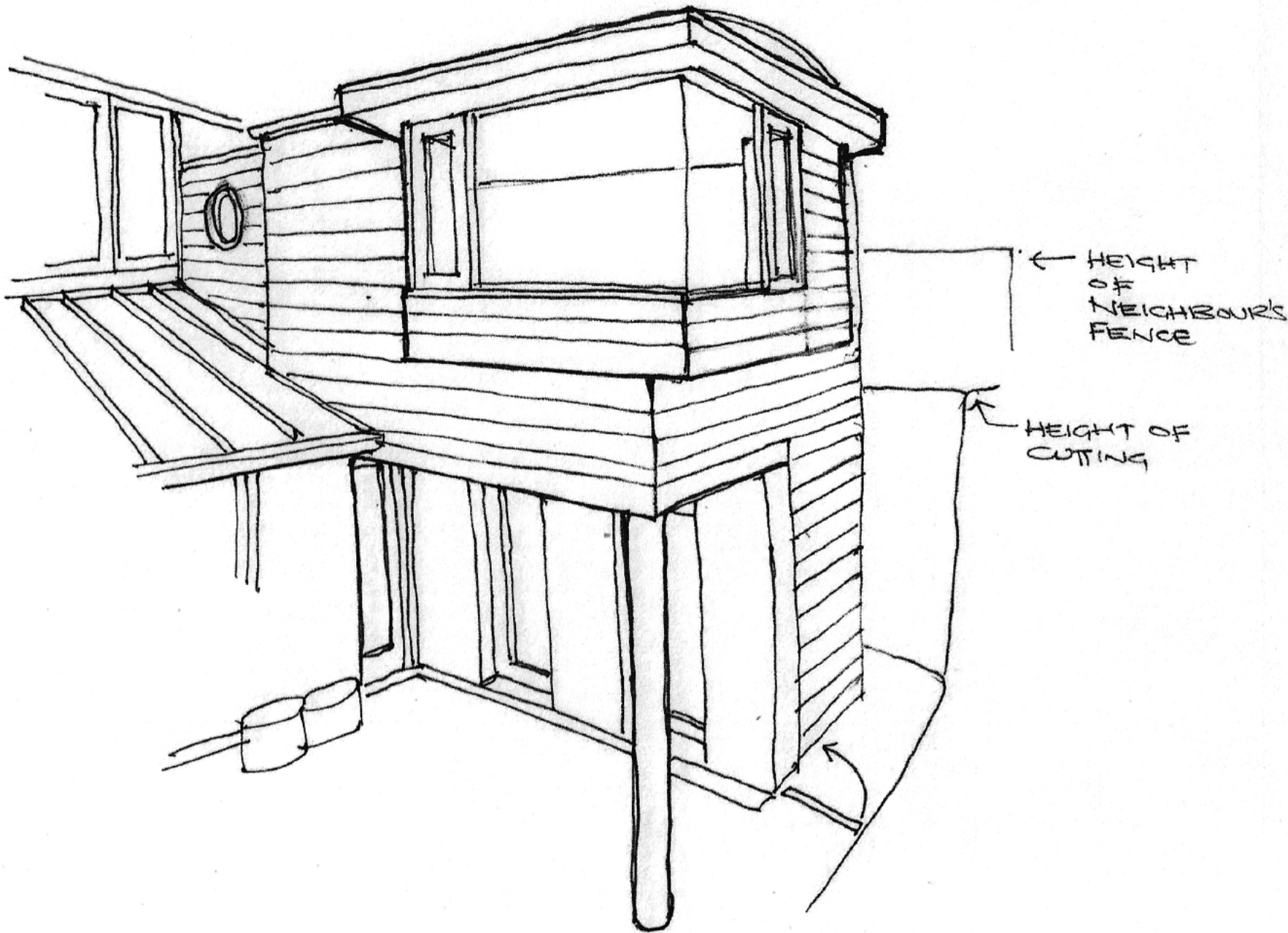


TITLE SOUTH ELEVATION

PROJECT CODE	2211WB
SHEET	A204
ISSUE	A

0 1.0 2.0 3.0 4.0 5.0 M  
SCALE 1:100 A3 DRAWN MD





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CLIENT **TANNER**

PROJECT **ALTERATIONS AND ADDITIONS**

LOT 208 / DP 15376  
240 WHALE BEACH ROAD  
WHALE BEACH 2107



TITLE **PERSPECTIVE**

PROJECT CODE **2211WB**

SHEET **A300** ISSUE **A**

SCALE **NTS** **A3** DRAWN **MD**