

STATEMENT OF ENVIRONMENTAL EFFECTS

P r o p o s e d

Alterations & Additions to existing dwelling including:

**- Ground Floor Additions; New Upper Floor Addition; New Double Carport:
Internal and External modifications; Rectifications and Improvements;
External Storage Solutions; and Landscape Concept**

t o

**2 New Street, East
Balgowlah, NSW 2093**

January 2025

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This report has been conducted in relation to the Manly Local Environment Plan 2013 & Manly Development Control Plan. The following is a list of the relevant controls that apply and have been addressed in this report.

Detailed breakdown of 2. Development Standards: MLEP

Maps

ASS; FSR; FSP; HOB; LZN

Complies

Hazard

Bushfire and Flood Prone Land

Compliant with Conditions

Protection

Acid Sulfate Soils Zone; Scenic Protection

Complies

Part 2

Land Zoning R2

Permissible

Part 4

4.3 Height of Building I: 8.5m
4.4 FSR C: 0.45:1

Complies

Complies

Part 5

5.21 Flood Planning medium – low risk
5.22 Special Flood Considerations

Compliant with Conditions

Compliant with Conditions

Part 6

6.1 Acid Sulfate Soils Zone Class 5
6.2 Earthworks
6.4 Stormwater Management
6.9 Foreshore Scenic Protection Area

Does not require consent

Complies

Complies

Complies

Detailed breakdown of 3. Development Standards: MDCP

Part 1

1.7 Aims and Objectives **Generally Consistent**

Part 3

3.1 Streetscape and Townscapes **Complies**

3.1.1 Streetscape (Residential areas)

3.3 Landscaping **Complies**

3.3.1 Landscaping Design

3.3.2 Preservation of Trees or Bushland Vegetation

3.4 Amenity **Complies**

3.4.1 Sunlight Access and Overshadowing

3.4.2 Privacy and Security

3.4.3 Maintenance of Views

3.5 Sustainability **Complies**

3.5.1 Solar Access

3.5.2 Energy Sources and Systems

3.5.3 Ventilation

3.5.5 Landscaping

3.5.7 Building Construction and Design

3.6 Accessibility **Complies**

3.7 Stormwater Management **Complies**

3.8 Waste Management **Complies**

3.10 Safety and Security **Complies**

Part 4

4.1 Residential Development Controls **Complies**

4.1.1 Residential Density and Dwelling Size

4.1.2 Height of Building (Incorporating Wall Height,
Number of Storeys & Roof Height)

4.1.3 Floor Space Ratio

4.1.4 Setbacks (front, side, and rear) and Building Separation

4.1.5 Open Space and Landscaping

4.1.6 Parking, Vehicular Access and Loading
(Including Bicycle Facilities)

4.1.7 First Floor and Roof Additions

4.1.10 Fencing **Generally complies with the
objectives of this clause**

4.4 Other Development **Complies**

4.4.2 Alterations and Additions

Part 5

5.4 Environmentally Sensitive Lands **Complies**

5.4.1 Foreshore Scenic Protection Area

5.4.3 Flood Prone Land **Complies with conditions**

LIST OF DOCUMENTS

BUILDING DESIGN DRAWINGS, prepared by Hargroves Design Consultants *Issue H*

DA-100. SITE ANALYSIS & COVER SHEET	1:200 @ A2
DA-101. EXISTING GROUND FLOOR PLAN	1:100 @ A2
DA-102. DEMOLITION GROUND FLOOR PLAN	1:100 @ A2
DA-103. PROPOSED GROUND FLOOR PLAN	1:100 @ A2
DA-104. PROPOSED FIRST FLOOR PLAN	1:100 @ A2
DA-105. SCHEDULE OF AREAS and CONCEPT LANDSCAPE PLAN	1:100 @ A2
DA-106. CONCEPT STORMWATER PLAN	1:100 @ A2
DA-107. CONSTRUCTION MANAGEMENT PLAN incl SEDIMENT EROSION CONTROL MEASURES.	1:100 @ A3
DA-110. EXISTING & PROPOSED STREET & REAR ELEVATIONS incl FINISHES SCHEDULE	1:100 @ A2
DA-111. PROPOSED SIDE ELEVATIONS & LONG SECTION	1:100 @ A2
DA-112. PROPOSED SOUTH ELEVATION (DWELLING), CROSS SECTIONS and BASIX COMMITMENTS	1:100 @ A2
DA-113. CONCEPT LANDSCAPE PLAN	1:100 @ A2
DA-120. 9am SHADOW DIAGRAM (EXISTING & PROPOSED)	1:200 @ A2
DA-121. 12pm SHADOW DIAGRAM (EXISTING & PROPOSED)	1:200 @ A2
DA-122. 3pm SHADOW DIAGRAM (EXISTING & PROPOSED)	1:200 @ A2

Issue A

DA-130. NOTIFICATION SITE PLAN	NTS @ A4
DA-131. NOTIFICATION ELEVATIONS	NTS @ A4

OTHER DOCUMENTS

DETAILED LEVEL SURVEY	Wumara Group
BASIX	RP Design Studio
BUSHFIRE REPORT	Australian Bushfire Consulting
STORMWATER ENGINEERING	Taylor Consulting
WASTE MANAGEMENT PLAN	Hargroves Design Consultants
STATEMENT OF ENVIRONMENTAL EFFECTS	Hargroves Design Consultants

DETAILS SUMMARY

Site and Proposal Details

See also Application Form

Address of Site	2 New Street, East Balgowlah NSW 2093
Survey Reference	Lot 12; DP 12383
Site Area	Total: 550.1m ²
Council	Northern Beaches Council (Manly)
Locality Zone	Zone R2 Low Density Residential
DCP Control	Manly LEP 2013; Manly DCP 2013
Purpose of Proposal under the Planning and Scheme	<p>Alterations & Additions to existing Dwelling</p> <p>Works include Ground Floor Addition; New Upper Floor Addition; New Double Carport to front setback; Internal and External modifications; Rectifications and Improvements; External Storage Solutions; and Landscape Concept</p> <p>External Pavements, Gardens, Solar Panels and Stormwater Drainage incl. Rainwater Tank.</p>
Registered Proprietor	Mathew & Natalie DeGaris

Introduction

The land is administered by Northern Beaches (Manly) Council.

This report aims to:

- Provide the context for the proposal's planning assessment by describing the existing site/local environment and outlining the relevant planning controls.
- Describe the proposed development; and
- Assess all relevant environmental and planning issues under Section 79C (1) of The Environmental Planning and Assessment (Amendment) Act 1979.

Relevant Planning Instruments: Manly Local Environmental Plan 2013, *current version 23 February 2024*.

Relevant Development Control Plan: Manly Development Control plan 2013, *amd.16, 18 Jan 2021*.

The proposed Alterations and Additions to the detached style dwelling is permissible and does not compromise the objectives of the zone, the general residential development controls, or the relevant building codes. The following Statement of Environmental Effects will demonstrate this.

Background

The report aims to:

- Explain how the proposed development adheres to an increased level of local amenity and environmental sustainability; in order to
- Demonstrate how the proposed development will create and maintain a high level of environmental quality for the site within the Manly Local Environmental Plan; by
- Assessing the proposed development against the Objectives of the Manly DCP 2013 by describing the development against Part 3 to Part 5 of the DCP;

1. Overview of Proposal

The proposal seeks approval for Alterations and Additions to the existing single storey detached style dwelling in East Balgowlah. The subject site is No. 2 New Street, East Balgowlah, a standard allotment in a street under transition.

Works include:

- Ground Additions
- New Upper Floor Addition
- New Double Carport
- Internal and External modifications
- Rectifications and Improvements
 - External Storage Solutions
 - Landscape Concept
 - External Pavements
 - Solar Panels
 - Stormwater Drainage

This proposal will maintain the existing character of the area and the character of the existing site itself. The style of housing is maintained by retaining the detached nature with interspersed landscaping features. Works will enhance the existing landscaping and vegetation, improve access, and amenity by providing a moderate resolution to the housing and services that meet the day to day needs of the residents within the constraints of the site's orientation and the development controls. This has been achieved through the guidance of the objectives outlined in the Manly Local Environmental Plan as follows:

- To provide for the **housing needs of the community**.
- To provide for a **variety of housing types** and densities.
- To enable other land uses that provide **facilities** or services **to meet the day to day needs of residents**.

Continuing from the DCP:

Assessment of the impacts in relation to Streetscape and Townscapes, Landscaping, Amenity, Sustainability, Accessibility, Stormwater Management, Waste Management, Safety and Security and the Residential Development Controls have been developed to promote a **high standard of residential development**.

The character of the immediate area, New Street East, and the Balgowlah locality where No. 2 is situated, generally has an inconsistency in built form and visual pattern. The immediate Streetscape would be described as under transition with existing original dwellings of the mid-late century era, and some more recent developments or renovations that have revitalised the Streetscape. A mixture of mature Trees, tropical vegetation, and a scattering a larger, mature native and non-native Vegetation is present to private properties and the street. Single Dwelling properties are present within the street and are a mixture of 1 and 2 storey scale. Carports to the front setback are present within the street. The street has varying Front Fence heights, with no commonality in scale or materials.

The immediate area is predominantly detached style 1 and 2 storey dwellings with a mixture of roof forms, materials and fencing types. Predominantly pitched roofs and masonry rendered walls. The immediate area has typical subdivision pattern and scale. The proposal reflects upon those critical qualities of visual character, scale and building siting and the understanding that the area has a dedicated pitched roof form.

The higher, eastern end of New Street East is Wellings Reserve. North of this is access to Juling Cove and North Harbour. The setting of the site has natural surrounds. Views in and out of the site are not significant nor are there direct site lines to the Foreshore.

Throughout the design process, consideration has been given to the essential environmental and contextual issues such as achieving above the targeted Basix, cross ventilation, sunlight penetration, maintainability, durability, outlook and the amenity of the property and its surroundings. The essence of the design is to provide a comfortable family orientated home with spaces and functions for a family. It is considered that the composition of the interior and the exterior addresses these issues as best as the site, budget and local context could permit, and being consistent with the controls and objectives of the DCP.

The proposed works are moderate, and they will revitalise the property and provide a very effectively utilised property. At all times the proprietor, along with each design and technical consultant has made every effort to minimise any sort of impact upon any adjoining vulnerable properties, the streetscape, the land fall, access, and heights.

The style, materials and finishes selected are a consistent style of the home that will sit nicely within the existing Streetscape and the Balgowlah Locality. A light and bright colour scheme with natural, warm highlights of timber and stone is proposed. This is consistent with the controls and objectives of the DCP. The selections have also been made to maximise durability and interest. In turn, this will enhance the presentation to the street, whilst maintaining a sense of the current streetscape and existing roof form without compromising the bulk and scale.

Proposed Works

The new works comprises of the following base construction:

- **Roof: Framed with Metal Sheeting, fitted with Solar Panels.**
- **New Double Carport: Light weight steel structure with Metal Roof Sheeting**
- **New Auto Vehicle gate: Light weight steel structure**
- **New Entry Portico: Masonry Wall and reclaimed hardwood Timber Portico and Metal Gate**
- **New Walls: Lightweight framing with external weatherboard (FC), cladding.**
- **Infill and Existing Walls: Brick veneer, weatherboard (FC) external finish for consistent aesthetic.**
- **Decking: Sealed external grade tiles – natural stone.**
- **Fascia & Barge Boards: Timber or Metal, painted white or prefinished in white.**
- **Roof Plumbing: Pre-finished metal to match roof sheeting.**

The site

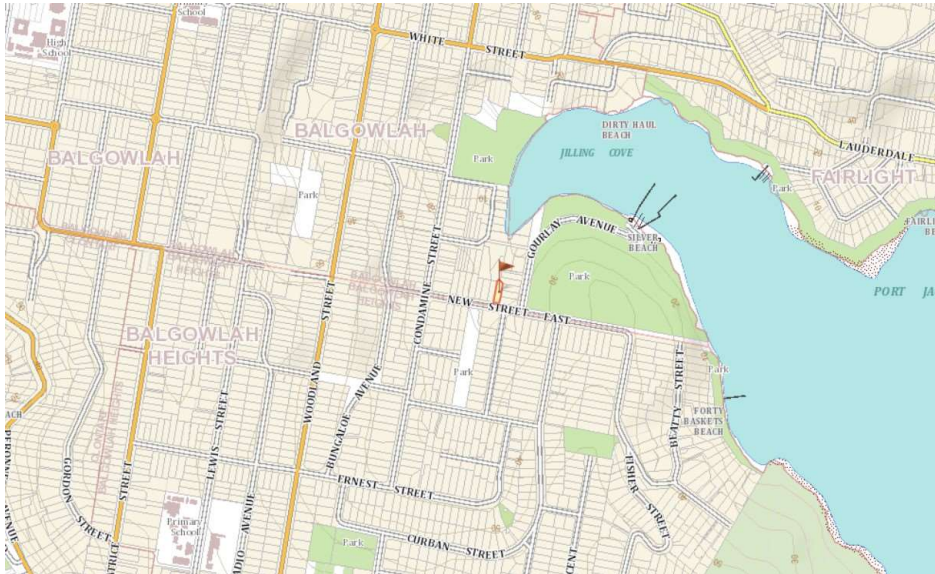


Image 1. Six Maps satellite image – site in context

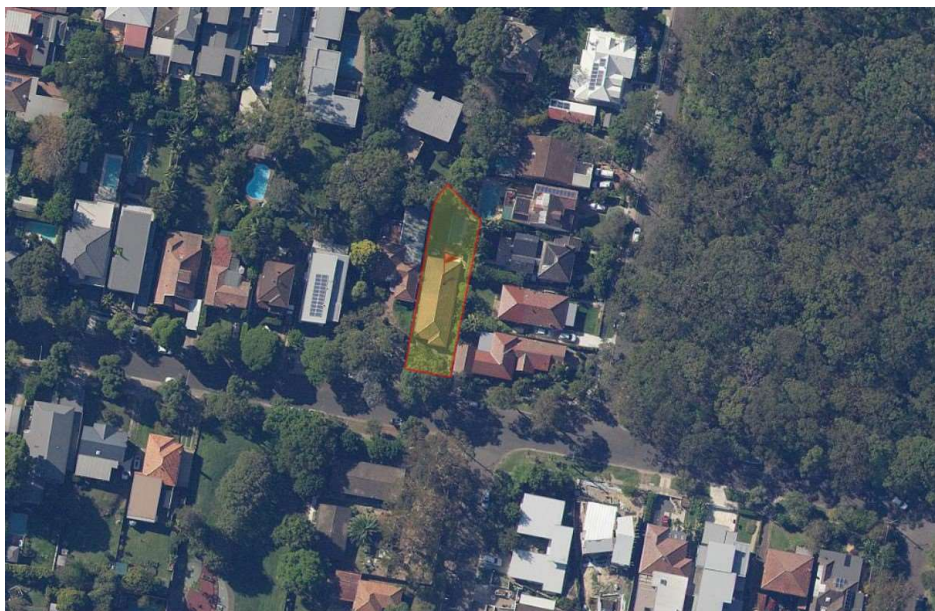


Image 2. Six Maps satellite image – site



Image 3. Site Photo New Street East – showing neighbouring site No.1 Gourlay Avenue and the adjoining carport

1.1. Site suitability and context

Site Constraints: Such as Slope, Flooding, Geotechnical and Groundwater issues

The subject site has a fall from South to North along the length of the site, falling away from street level (New Street). The site also has a fall from East to West across the width of the site. It is likely that an existing stormwater discharge point is located to New Street on the Western side. A Concept Stormwater Design has been prepared to depict that the new roof runoff will tap into the existing Stormwater system operational on site in accordance with Council's Water Management and AS3500. A new 2,000L rainwater tank is also proposed to collect water from new roof areas. Any overflow will discharge to the existing Stormwater system. Surface water is likely to runoff towards to North. Absorption Trenches are likely to be incorporated within the design and landscaping to assist with mitigating water between properties and allowing the system to discharge the existing system in a slow-release manner.

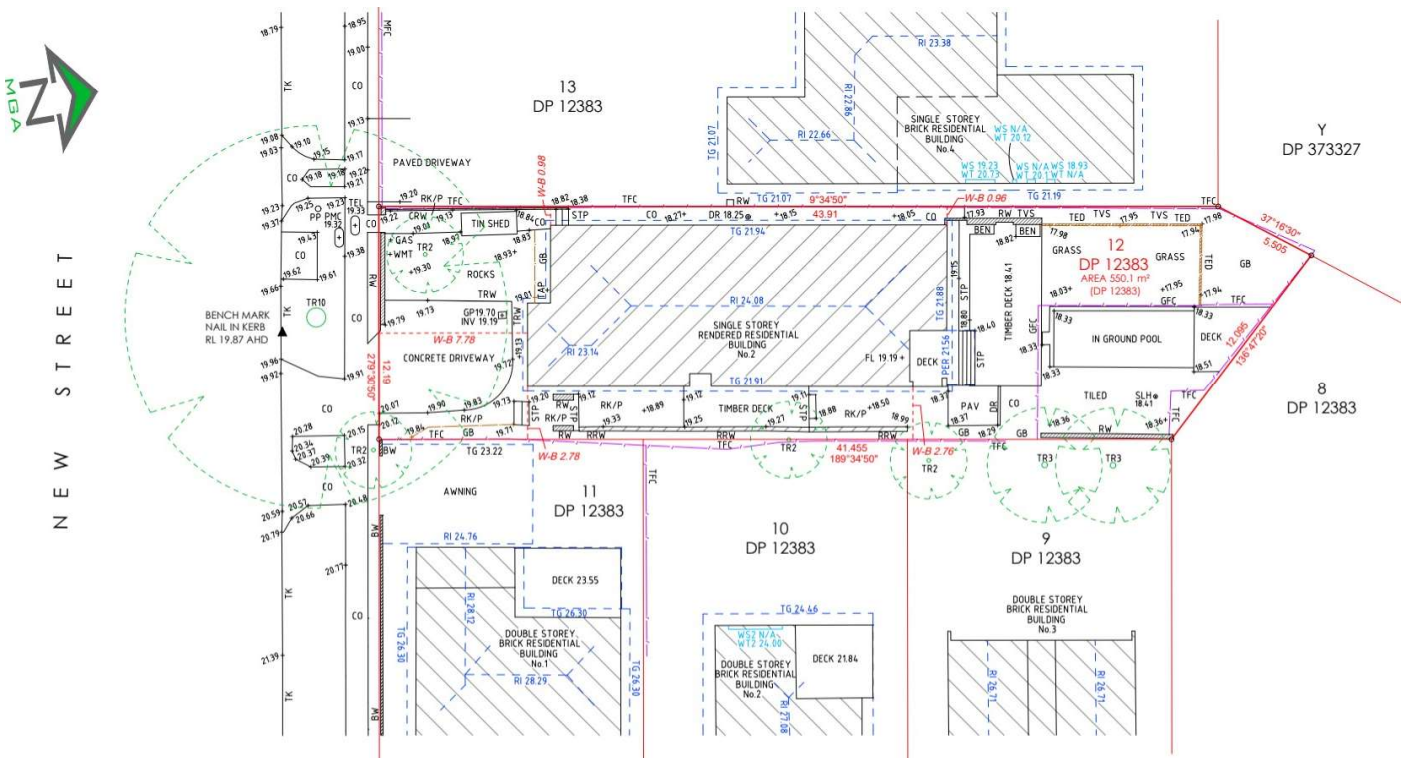


Image 4. Survey Plan

Appropriate ag line and landscaping is to be included to mitigate the effects of the site's topography and the natural water flow over the site. Where possible deep soil planting is positioned to absorb enough water to assist in reducing the level of pooling in the lower parts of the site and between dwellings.

Riparian Lands and Watercourses

The site is not within a designated Riparian Land or Watercourse.

Terrestrial Biodiversity

The site is not within a designated Biodiversity area.

Acid Sulfate soils

The subject site is within an Acid Sulfate Soil Zone, Class 5.

Landslip Risk

The site is not within a designated Landslip Risk area.

Bushfire Prone Land

The site is within a designated Bushfire Prone Zone. A bushfire report accompanies the proposal.

Flood Prone Land

The site is within Flood Risk zones. Medium and Low Risk.

Scenic Protection Land

The site is within the designated Scenic Protection Land.

Proximity to transport services, shops, community, recreational and infrastructure facilities

The subject site is surrounded by existing easily accessible natural features, public reserves and recreational facilities and environments. Beaches and shops are all within walking distance to the site, making it a highly desirable and convenient locality. Essential community facilities are immediate to the site's surroundings via car or bus. Balgowlah and Manly Vale Shopping Facilities all in close range.

Compatibility to adjoining development

Adjacent sites are residential use sites or community facilities. The continued use for this site is compatible.

Compatibility with land zoning

The site is zoned R2-Low Density Residential. Therefore, our proposed use is permissible.

Size and shape of the allotment

The site is an irregular in shape with an area surveyed at 550.m¹² by Survey. A site width surveyed at 12.19m, and the overall length of the site is 43.91m with an additional triangulation towards the rear of the site.

New Street binds the site to the South. 6 neighbouring properties bind the site to the North, West and East.

Age and condition of existing buildings on-site

The subject building is a mid - late 20th century house in sound condition with recent modifications including a pool and external works. The proposed will be done in accordance with an Engineer's adequacy report.

1.2. Previous, present and proposed uses of the site

Present use of the site: House

Date the present use commenced: When built, mid - late 20th century.

Previous use of the site: Not known.

Uses of adjoining land: All adjacent sites are residential use sites.

Whether the present or previous use of the site is a potentially contaminating activity (e.g. workshop, service station, land filling, lead paint removal, termite treatment): Previous use not known.

Whether the client is aware that the site is or is not contaminated: Not known-unlikely.

Whether there has been any testing or assessment of the site for land contamination: No.

2. Development Standards: Northern Beaches Council (Manly) Local Environmental Plan 2013

Maps:

ASS_004: The site is within an Acid Sulphate Soils Zone, Class 5

ASF_004: Not Applicable

APU_004: Not Applicable

BIO_004: Not Applicable

CL1_004: Not within a Landslip Risk Area

CL2_004: Not Applicable

OHZ_004: Not Applicable

FBL_004: Not Applicable

FSR_004: Area C, 0.45:1

FSP_004: The site is within the Foreshore Scenic Protection Area

GTH_004: Not Applicable

HER_004: Not a Heritage Item; Not within a Heritage Conservation Area; Not in the Vicinity of a Heritage Item; No known Aboriginal Significance or Archaeological Site.

HOB_004: Area I, 8.5m

KYS_004: Not mapped

LRA_004: Not mapped

LZN_004: R2 Low Density Residential. Surrounding areas also R2

LSZ_004: Not applicable

URA_004: Not mapped

Hazard:

Bushfire Prone Land: Yes, Vegetation Buffer Zone – BAL12.5 Rated

Flood Prone Land: Yes, Low Risk and Medium Risk

Landslip Risk: No

Protection:

Acid Sulphate Soils: Yes

Airport Noise: No

Drinking Water Catchment: No

Ground Water Vulnerability: No

Mineral: No

Obstacle: No

Riparian Land: No

Salinity: No

<u>Scenic Protection:</u>	<u>Yes</u>
Biodiversity:	No
Wetlands:	No
Environmentally Sensitive:	No
Mine Subsidence:	No
Wildlife Corridor:	No
Threatened and High Conservation Habitat:	No
Native Vegetation:	No
Coastal Zone:	No

Part 2 MLEP 2013

Zone R2 Low Density Residential

Land Zoning Map sheet LZN_004

1 Objectives of zone

- To provide for the **housing needs of the community** within a low-density residential environment.
- To enable other land uses that provide **facilities** or services **to meet the day to day needs of residents**.

2 Permitted without consent

Home-based child care; Home occupations

3 Permitted with consent

Attached dwellings; Bed and breakfast accommodation; Boat launching ramps; Boat sheds; Centre-based child care facilities; Community facilities; Dual occupancies; Dwelling houses; Emergency services facilities; Environmental protection works; Flood mitigation works; Group homes; Health consulting rooms; Home businesses; Home industries; Hostels; Information and education facilities; Jetties; Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Recreation facilities (indoor); Respite day care centres; Roads; Secondary dwellings; Semi-detached dwellings; Shop top housing; Signage; Tank-based aquaculture; Water recreation structures; Water recycling facilities; Water supply systems.

4 Prohibited

Advertising structures; Water treatment facilities; Any other development not specified in item 2 or 3



Image 5. Zoning Map

The proposed Alterations and Additions to a detached style dwelling are permissible and do not compromise the objectives of the zone. The use is therefore **compliant**.

Part 4 MLEP 2013

4.3 Height of Building

(1) The objectives of this clause are as follows—

- (a) to provide for building heights and roof forms that are consistent with the topographic landscape, prevailing building height and desired future streetscape character in the locality,
- (b) to control the bulk and scale of buildings,
- (c) to minimise disruption to the following—
 - (i) views to nearby residential development from public spaces (including the harbour and foreshores),
 - (ii) views from nearby residential development to public spaces (including the harbour and foreshores),
 - (iii) views between public spaces (including the harbour and foreshores),
- (d) to provide solar access to public and private open spaces and maintain adequate sunlight access to private open spaces and to habitable rooms of adjacent dwellings,
- (e) to ensure the height and bulk of any proposed building or structure in a recreation or conservation zone has regard to existing vegetation and topography and any other aspect that might conflict with bushland and surrounding land uses.

(2) The height of a building on any land is not to exceed the maximum height shown for the land on the [Height of Buildings Map](#).

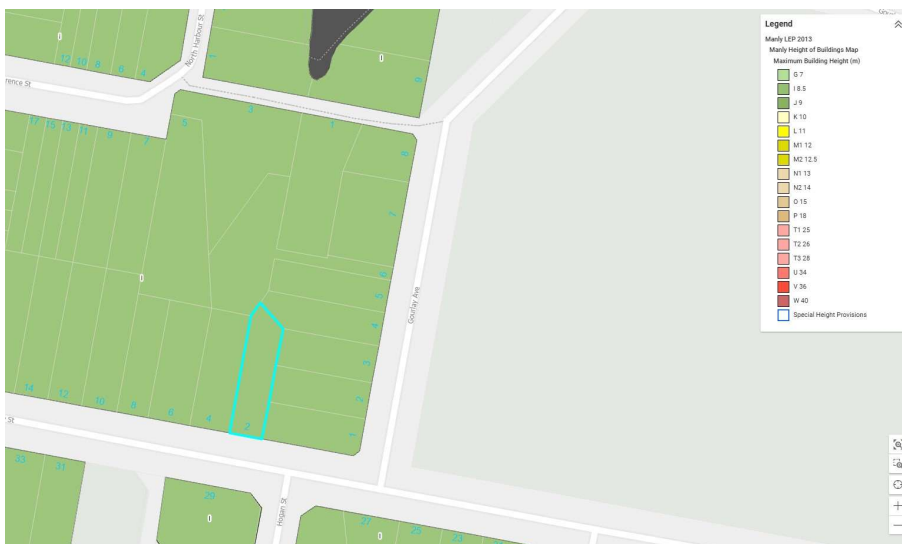


Image 6. HOB Map

The subject site is mapped with an overall building height restriction of 8.5m (Area I Green).

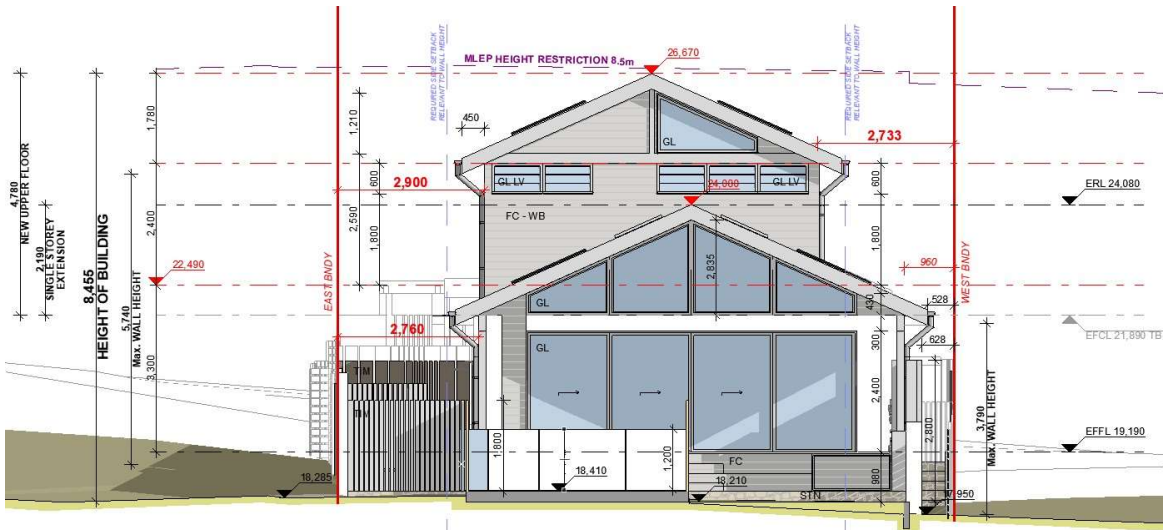


Image 7. Rear North Elevation – extract of DA-110 – Height and Wall Height and Side Setbacks diagram

The proposed Alterations and Additions comply with this control with an overall building height measured at **8.455m** at its highest point measured above Existing Natural Ground Level to the proposed new ridge of the First Floor, as surveyed. The Building Height is therefore **compliant**.

4.4 Floor space ratio

(1) The objectives of this clause are as follows—

- to ensure the bulk and scale of development is consistent with the existing and desired streetscape character,
- to control building density and bulk in relation to a site area to ensure that development does not obscure important landscape and townscape features,
- to maintain an appropriate visual relationship between new development and the existing character and landscape of the area,
- to minimise adverse environmental impacts on the use or enjoyment of adjoining land and the public domain,
- to provide for the viability of business zones and encourage the development, expansion and diversity of business activities that will contribute to economic growth, the retention of local services and employment opportunities in local centres.

(2) The maximum floor space ratio for a building on any land is not to exceed the floor space ratio shown for the land on the [Floor Space Ratio Map](#).

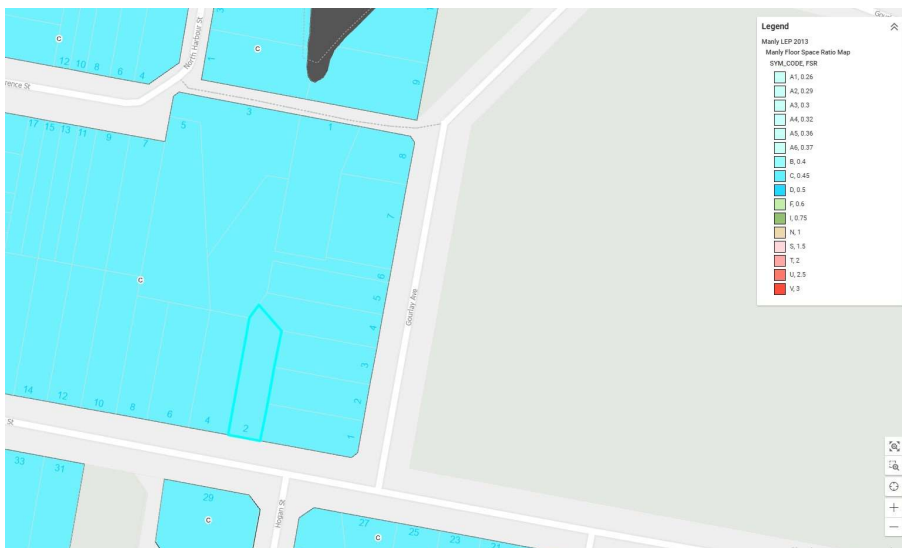


Image 8. FSR Map

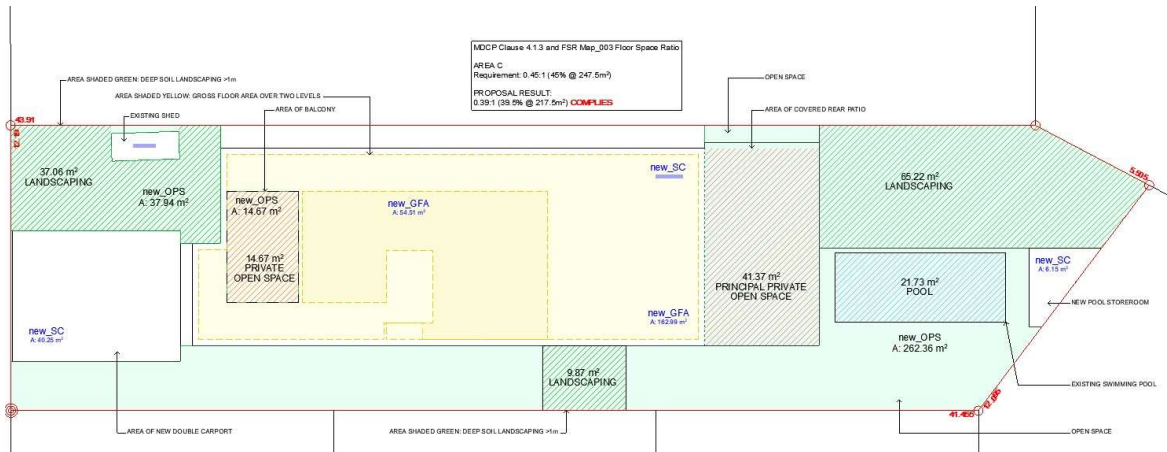


Image 9. Schedule of Areas Plan – Extract of DA-105 – Compliance with all area controls.

Over 2 levels, the Gross Floor Area, measured to the internal face of the external walls, is calculated at 217.5m². This measures the ground floor area of the new internal stair, and not the void of the stair well on the new upper floor.

MDCP Clause 4.1.3 and FSR Map_003 Floor Space Ratio
AREA C
Requirement: 0.45:1 (45% @ 247.5m ²)
PROPOSAL RESULT:
0.39:1 (39.5% @ 217.5m ²) COMPLIES

Image 10. Table of Schedule of Areas Plan – Extract of DA-105 – Compliance with FSR controls.

The FSR is mapped at a maximum of 0.45:1. The proposed Alterations and Additions is proposing 0.39:1 FSR, under a GFA Calculation. The development application therefore **compliant**.

Part 5 MLEP 2013

5.21 Flood planning & 5.22 Special Flood Considerations – refer also to Flood Management Report

(1) The objectives of this clause are as follows—

- to minimise the flood risk to life and property associated with the use of land,
- to allow development on land that is compatible with the flood function and behaviour on the land, taking into account projected changes as a result of climate change,
- to avoid adverse or cumulative impacts on flood behaviour and the environment,
- to enable the safe occupation and efficient evacuation of people in the event of a flood.

(2) Development consent must not be granted to development on land the consent authority considers to be within the flood planning area unless the consent authority is satisfied the development—

- is compatible with the flood function and behaviour on the land, and
- will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and
- will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and
- incorporates appropriate measures to manage risk to life in the event of a flood, and
- will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses.

- (3) In deciding whether to grant development consent on land to which this clause applies, the consent authority must consider the following matters—
- (a) the impact of the development on projected changes to flood behaviour as a result of climate change,
 - (b) the intended design and scale of buildings resulting from the development,
 - (c) whether the development incorporates measures to minimise the risk to life and ensure the safe evacuation of people in the event of a flood,
 - (d) the potential to modify, relocate or remove buildings resulting from development if the surrounding area is impacted by flooding or coastal erosion.



MLEP Low Risk

Image 11. Flood Risk Map - Low



MLEP Medium Risk

Image 12. Flood Risk Map – Medium

Extract from the Cardno Flood Study:

Manly to Seaforth Flood Study Flood Study Report NA49913018

6.3.2 Balgowlah and Balgowlah Heights

- A prominent flow path is present between New Street and Lower Beach Street. This flow path travels primarily through properties until it reaches North Harbour Reserve where it then discharges into Jilling Cove. This flow path is present due to the underground drainage network having insufficient capacity to cater for the 20% AEP event. This flow path affects several properties but in the majority of cases it is through the back of properties and does not affect many buildings. In the 1% AEP event the flow path width increases resulting in more properties being affected.

The subject site is mapped with a Medium (Blue) and Low (Green) Risk zone. The bulk of the overland flow relates to the coastal inlet approximately 100m North of the site (beyond the rear). There are existing low lying permeable zones on site. The proposed Alterations and Additions **do not** impact these existing areas.

All ground floor Additions, the Carport, the rear roof structure, the Side rear infill walls and the pool storeroom, will be compatible with Flood Prone Land Planning requirements using steel and masonry elements capable of withstanding flood waters and overland flow paths during heavy downpours.

Both Carport and Rear Deck Rooves are open structures that will retain overland flow paths.

The existing ground floor level is to be retained at EFL 19.19

The New Upper Floor level proposed will assist with refuse and storage of items during a major event. The New Upper Floor level is proposed at FFL 22.49 (3.3m above the existing floor level).

The bulk of the overland flow path is to the existing lower front yard and the very rear lawn/garden spaces beyond the pool. The new rear Pool Storeroom aligns to the existing In-Ground Swimming Pool and will direct flow paths to the low lying permeable Lawn / Garden zone at the rear of the site. This structure is proposed as masonry to ensure stability and reduce any debris in a major flooding event that would otherwise come from any lightweight metal shed enclosures.

The selection of all materials for the proposed development are consistent with the guidelines of MDCP Flood Planning requirements.

Structural elements will be designed accordingly for Flood Prone Land and done so by a Suitably Qualified Structural Engineer.

Side access paths are retained and not to be built upon. The Drainage along both sides of the house (East and West) will be upgraded as part of the works to ensure water is not pooling but being diverted away from existing structural elements.

Refer also to Section 3 MDCP, 5.4.3 of this report for the Planning Matrix on Flood Prone Land.

The proposed Alterations and Additions to a detached style dwelling **will not** alter the ground floor footprint significantly in any way that would adversely alter the overland flow paths of flood waters during major events. In the most part, the proposal relies on the existing built upon area of the site. The proposed development is therefore consistent with the objectives of this part. **Compliant with conditions.**

Part 6 MLEP 2013

6.1 Acid sulfate soils

- (1) The objective of this clause is to ensure that development does not disturb, expose or drain acid sulfate soils and cause environmental damage.
- (2) Development consent is required for the carrying out of works described in the Table to this subclause on land shown on the [Acid Sulfate Soils Map](#) as being of the class specified for those works.

Class of land Works

- 5 Works within 500 metres of adjacent Class 1, 2, 3 or 4 land that is below 5 metres Australian Height Datum and by which the watertable is likely to be lowered below 1 metre Australian Height Datum on adjacent Class 1, 2, 3 or 4 land.
- (6) Despite subclause (2), development consent is not required under this clause to carry out any works if—
- (a) the works involve the disturbance of less than 1 tonne of soil, and
 - (b) the works are not likely to lower the watertable.

The subject site is mapped with a Class 5 Acid Sulfate Soils zone, with adjoining land also classified as Class 5.

The proposed Alterations and Additions will not disturb more than 1 tonne of soil, nor will the works lower the watertable. **Development Consent is not required under this clause.**

6.2 Earthworks

- (1) The objectives of this clause are as follows:
- (a) to ensure that earthworks and associated groundwater dewatering for which development consent is required will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land,
- (3) Before granting development consent for earthworks (or for development involving ancillary earthworks), the consent authority must consider the following matters—
- (a) the likely disruption of, or any detrimental effect on, drainage patterns and soil stability in the locality of the development,
 - (b) the effect of the development on the likely future use or redevelopment of the land,
 - (c) the quality of the fill or the soil to be excavated, or both,
 - (d) the effect of the development on the existing and likely amenity of adjoining properties,
 - (e) the source of any fill material and the destination of any excavated material,
 - (f) the likelihood of disturbing relics,
 - (g) the proximity to, and potential for adverse impacts on, any waterway, drinking water catchment or environmentally sensitive area,
 - (h) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.

The proposed development will require earthworks associated with the footings and trenches for new structures and stormwater / drainage layouts.

The proposed Alterations and Additions will have minimal impact to the soil stability, drainage patterns, soil quality or watertable given the design is making use of the existing site configuration of hardscape and softscape surfaces, where in the most part these areas are to remain as existing composition. Any works near or along the boundary lines will require conditions to ensure works are undertaken with care and management to protect neighbouring properties. **Compliant with conditions.**

6.4 Stormwater management

- (1) The objective of this clause is to minimise the impacts of urban stormwater on land to which this clause applies and on adjoining properties, native bushland and receiving waters.
- (2) This clause applies to all land in residential, business, industrial and environmental protection zones.
- (3) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that the development—
 - (a) is designed to maximise the use of water permeable surfaces on the land having regard to the soil characteristics affecting on-site infiltration of water, and
 - (b) includes, if practicable, on-site stormwater retention for use as an alternative supply to mains water, groundwater, or river water, and
 - (c) avoids any significant adverse impacts of stormwater runoff on adjoining properties, native bushland and receiving waters, or if that impact cannot be reasonably avoided, minimises, and mitigates the impact.

The proposed Alterations and Additions are requesting approval to connect new roof runoff into a new 2,000L rainwater tank and overflow to connect to the existing stormwater system that exists on site and discharges to New Street. All to the Stormwater Engineer's detailed design and specification. The proposed development has been designed to comply with the requirements of this part and to an Engineers specification. **Compliant with conditions.**

6.9 Foreshore scenic protection area

- (1) The objective of this clause is to protect visual aesthetic amenity and views to and from Sydney Harbour, the Pacific Ocean and the foreshore in Manly.
- (2) This clause applies to land that is shown as "Foreshore Scenic Protection Area" on the [Foreshore Scenic Protection Area Map](#).
- (3) Development consent must not be granted to development on land to which this clause applies unless the consent authority has considered the following matters—
 - (a) impacts that are of detriment to the visual amenity of harbour or coastal foreshore, including overshadowing of the foreshore and any loss of views from a public place to the foreshore,
 - (b) measures to protect and improve scenic qualities of the coastline,
 - (c) suitability of development given its type, location and design and its relationship with and impact on the foreshore,
 - (d) measures to reduce the potential for conflict between land-based and water-based coastal activities.

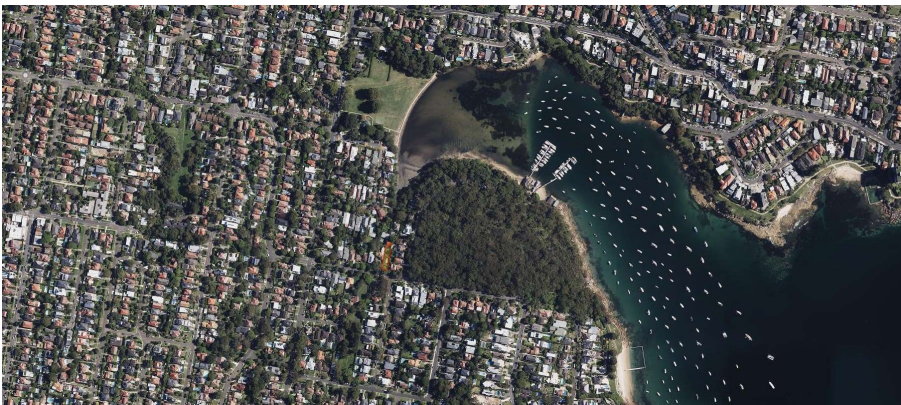


Image 13. Aerial View of site and context.

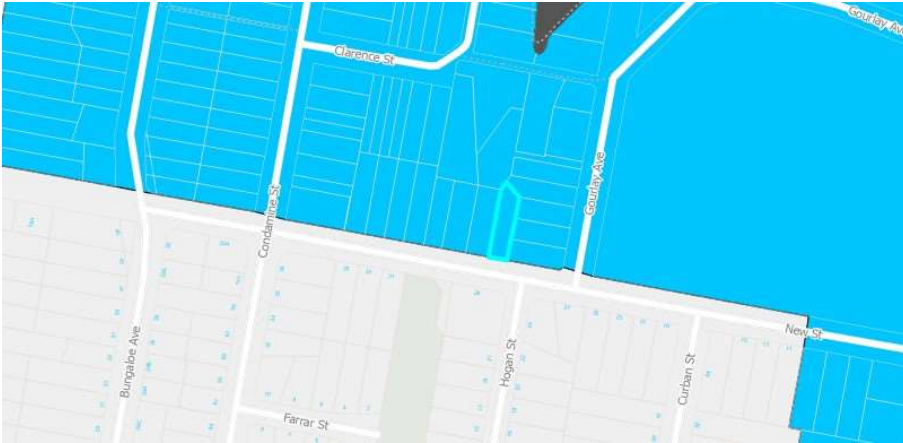


Image 14. Foreshore Scenic Protection Area Map

The subject site is located within the Foreshore scenic protection area of North Harbour. To the Southeast, on the higher side of New Street is a Wellings Reserve which links to North Harbour Marina and Sailing Club. The Foreshore is within 100m of the site, with 4 properties between the subject site at the rear, to the coastal edge. Any views in and out of the site are not significant due to the topography and tree lined streets.

The development proposed **does not** alter any use or relationship to the foreshore and any activities associated with a coastal context. The proposed Alterations and Additions are proposing a front setback carport and balcony, new upper floor addition, replacement roof cover to back deck, and a concept landscape plan that has no impact on any significant views or amenity of the harbour or foreshore. **Compliant.**

3. Development Standards: Northern Beaches Council (Manly) Development Control Plan 2013

Part 3

3.1	Streetscape and Townscapes
3.1.1	Streetscape (Residential areas)
3.3	Landscaping
3.3.1	Landscaping Design
3.3.2	Preservation of Trees or Bushland Vegetation
3.3.3	Footpath Tree Planting
3.4	Amenity
3.4.1	Sunlight Access and Overshadowing
3.4.2	Privacy and Security
3.4.3	Maintenance of Views
3.5	Sustainability
3.5.1	Solar Access
3.5.2	Energy Sources and Systems
3.5.3	Ventilation
3.5.5	Landscaping
3.5.7	Building Construction and Design
3.6	Accessibility
3.7	Stormwater Management
3.8	Waste Management
3.10	Safety and Security

The proposed development is consistent with the controls and objectives of **3.1 Streetscape and Townscape, 3.1.1 Residential**. Considering the inter-relationship between buildings, landscape and open spaces within the street scene, the new First Floor, Roof modifications and the new Carport reacts to the predominant features of the street in relation to scale, pattern, materials, and colours. The First Floor addition takes cues from the building envelope guidelines, the forms and scale of other properties in the street, and locality. The Carport design is subdued to those main architectural features of the neighbouring sites, allowing those features to remain the predominant feature.

The proposed development is consistent with the controls and objectives of **3.3 Landscaping, 3.3.1 Landscaping Design and 3.3.2 Preservation of Trees and Bushland Vegetation and 3.3.3 Footpath Tree Planting**. The proposal looks to increase the level of permeability and ability to provide more plantings within the front, side, and rear open space areas. Eastern side Trees are proposed to assist with softening the fence line and provide natural shading. There is no proposal to remove any existing trees or vegetation. The Carport and modifications proposed to the crossover will retain all existing street trees. The clearances around these trees will be at a minimum 1m of the outer face of the tree trunk.

The proposed development is consistent with the controls and objectives of **3.4 Amenity, 3.4.1 Sunlight Access and Overshadowing**. A detailed shadow analysis has been conducted to assess the impact of the proposed new Ground Floor and First Floor additions. The new First Floor has been designed to minimise the impact upon the more vulnerable side neighbours. The design has considered and adequately allows for sunlight and solar access in accordance with the controls and to offer separation between side walls in order to facilitate natural light to be retained as much as possible to the Eastern rear yards of the properties that line Gourlay Avenue. The Shadow Diagrams and the Solar Analysis DA-120 – DA-122 show that the proposed development is compliant.

The proposed development is consistent with the controls and objectives of **3.4 Amenity, 3.4.2 Privacy and Security**.

Existing glazed openings from a bedroom currently face the street. This window is to be retained and is clear of the proposed new Carport.

A new side facing windows are proposed (W.3 & W.4). These windows will be screened by the existing boundary fencing and will not pose a privacy concern to the Eastern Neighbours. The existing rear deck area will be screened by new timber slat style boundary fencing or rendered masonry boundary walls (existing), these are at least 1.8m above the finished surface level. The external fireplace/western side wall to the rear deck will be increased in height in order to screen the view from the new rear glazed doors to the neighbouring site, No. 4. 3 new First Floor Windows are designed to be at high level and will not pose a privacy issue between properties. The windows proposed to the new stair well will be street facing and side facing. The side facing window will be fitted with Opaque Glass Louvres. All other proposed side windows with a sill lower than 1.6m above the internal finished floor level are to be split, with opaque glazing to the lower part to ensure privacy for all neighbours. The front Balcony will be fitted with hardwood timber privacy screens to prevent direct site lines into neighbouring properties; however, these screens will be angled to afford natural light to filter into the Balcony space and retain some visual to the street. The Balcony front facing doors do not pose any privacy issues. The rear glazed sliding doors proposed off the existing Living areas are set well back from the Northern neighbour's house and Principal Private Open Space that they do not pose any privacy concerns. All these measures will ensure adequate protection of privacy and therefore the design is compliant with this clause.

The proposed development is consistent with the controls and objectives of **3.4 Amenity, 3.4.3 Maintenance of Views**. The site and the immediate area do not possess any direct protected views to the Foreshore or Nature reserve to the North and East. The Street falls from East to West and does permit each side neighbour a Northern Aspect view given the dwellings are stepped in height. The new heights of each proposed attached and detached development will not impact upon these views and offers ample separation between properties to allow tree line and sky vistas to be retained.

The proposed development is consistent with the controls and objectives of **3.5 Sustainability, 3.5.1 Solar Access**. A detailed shadow and contextual analysis have been conducted to assess the level of solar access into the dwelling and the site's open space. The proposal is consistent with the objectives of this standard.

The proposed development is consistent with the controls and objectives of **3.5 Sustainability, 3.5.2 Energy Sources and Systems**. As part of the proposed development, the proprietor will be installing Photovoltaic Solar Cells to the roof, as many as possible to suit the roof form. LED lights and ceiling fans are all incorporated within the design. The existing air conditioning will remain. All requirements under the BASIX Certificate have been incorporated into the design.

The proposed development is consistent with the controls and objectives of **3.5 Sustainability, 3.5.3 Ventilation**. The proposed ground floor addition incorporates cross openings to maximise the flow within the house, to allow it to breathe, moderating the temperature naturally as much as possible. A new skylight over the existing ensuite will increase levels of natural light.

The proposed development is consistent with the controls and objectives of **3.5 Sustainability, 3.5.5 Landscaping**. The proposed screen plantings along the Eastern Fence line are to be evergreens to assist with shading and softening in these areas.

The proposed development is consistent with the controls and objectives of **3.5 Sustainability, 3.5.7 Building Construction and Design**. The proposal has an above target BASIX certificate. The base construction is to be lightweight with increased performance insulation and condensation control. The roof colour is to be Medium (Shale Grey) and all glazing where possible will be appropriately fitted with adjustable shading such as curtains or blinds. Performance glazing is proposed for the new servery window.

The proposed development is consistent with the controls and objectives of **3.6 Accessibility**. The proposed works incorporate a new side access path that permits greater access and control of services, bins and drying areas around the site. Currently the elevated nature of the existing dwelling does not permit level access between outside and inside. The design does meet compliance with the BCA for new stairs and external steps.

The proposed development is consistent with the controls and objectives of **3.7 Stormwater Management**. A concept Stormwater Plan has been provided to depict that the new work will utilise the existing Stormwater System that exists on the site and looks to discharge to the current discharge point via a new rainwater tank. Refer to Engineers detailed design. All new roof areas will be fitted with metal half round gutters that can take installation of leaf guards, and the runoff collected will be diverted to underground UPVC pipes to a 2,000L slimline tank and the overflow will link in with the existing system that discharges to the street. The open space areas will be fitted with absorption trenches where feasible to mitigate water away from neighbouring properties.

The proposed development is consistent with the controls and objectives of **3.8 Waste Management**. The proposed development looks to retain in most part the existing dwelling. A waste management plan and demolition plan have been provided to depict and estimate the level of waste, recycling and reuse the proposal will make. The intent is to reduce the amount of waste as much as possible. Ongoing waste management will be consistent with the current situation, all bins will be stored to side of the house, and collection of these managed by the occupants and Council's Weekly Collection service.

The proposed development is consistent with the controls and objectives of **3.10 Safety and Security**. The development can be assessed against the casual surveillance requirements of this standard. The front entry door remains to the Eastern Side.

Front facing door and new Entry Portico.

The current front door is located off a side entry path and does not address the street.

To define an Entry Point and Site Access the new front fencing incorporates a gated entry portico. This gives a definitive pedestrian access point, and elements to build in site facilities such as house number, letter box and bin storage. The front fencing in most part is existing. The new elements that are being proposed are to provide secure site access, and secure car storage, along with bike storage and bin storage that is screened from the street.

Part 4

- 4.1 Residential Development Controls
 - 4.1.1 Residential Density and Dwelling Size
 - 4.1.2 Height of Building (Incorporating Wall Height, Number of Storeys & Roof Height)
 - 4.1.3 Floor Space Ratio
 - 4.1.4 Setbacks (front, side, and rear) and Building Separation
 - 4.1.5 Open Space and Landscaping
 - 4.1.6 Parking, Vehicular Access and Loading (Including Bicycle Facilities)
 - 4.1.7 First Floor and Roof Additions
 - 4.1.10 Fencing
- 4.4 Other Development
 - 4.4.2 Alterations and Additions

The proposed development is consistent with the controls and objectives of **4.1.1 Residential Density and Dwelling Size**. The site is located within the Density D3 area of Schedule 1, Map A. The density of the site will remain as single dwelling, with the proposal being a 4-bedroom home, greater than the 90m² as required under this standard.

The proposed development is consistent with the controls and objectives of **4.1.2 Height of Building, Height of Building**. The Building Height is compliant and is set below the maximum 8.5m above the natural ground level. The proposed Carport has allowed for a minimum 2.2m height clearance for a standard vehicle to access the site. A deep fascia board is proposed to square off the roof line to work to the Architectural intent. The intent being vertical lines and simplified horizontal bookends. The deck roof will be framed and horizontal in nature, low lying against the existing house. The Carport will do the same to the front of the house. The fencing and screening are to all to be clean lines both vertical and horizontal. A 3D analysis of the site and the proposed new Carport set with the context of the immediate area illustrates the subdued nature of the carport and front fencing.



Image 14. Building Height Analysis. Carport has a subdued nature, integrated to the fence line, rather than building form. Carport is lower than main roof profile and lower than neighbouring site. New Upper Floor has significant front setback and centralised to the site width, reducing bulk and scale to streetscape.

The proposed development is consistent with the controls and objectives of **4.1.2 Height of Building, Wall Height**. The Wall Height is measured above natural ground level to the underside of the eaves. The requirement under this clause is 6.5m. The new First Floor addition results in a 5.74m wall, at its greatest height above the existing natural ground level. This is measured to the underside of the eaves, from the Eastern Side, where the wall extends from ground level to underside of new First Floor Eaves. The documented Elevation diagrams the requirements to the LEP and DCP for overall building height, wall heights and side setbacks (Building Envelope). The design complies with all controls under the clause.

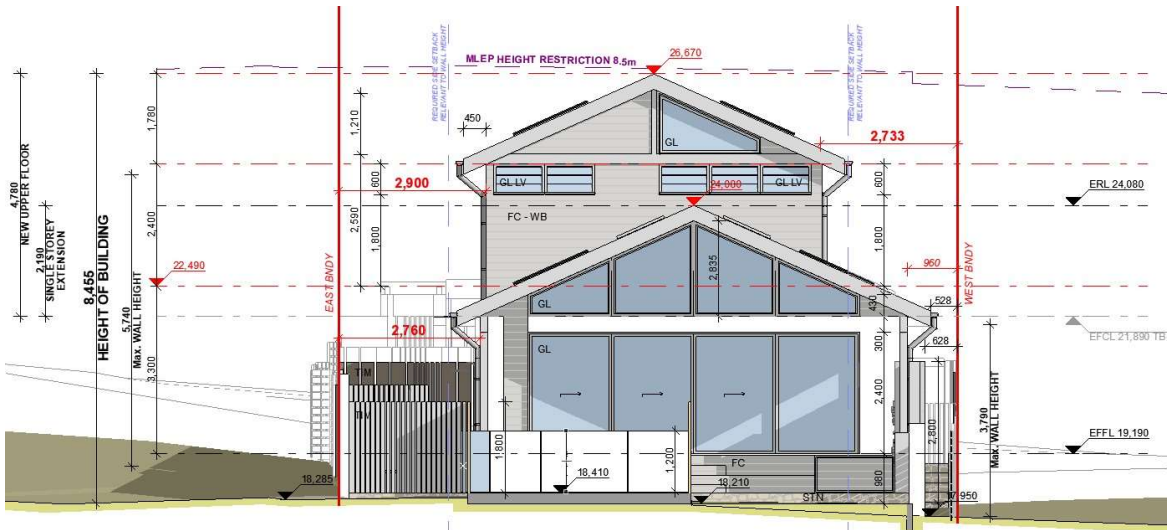


Image 15. Building Height Analysis. North Elevation – Extract of DA-110.

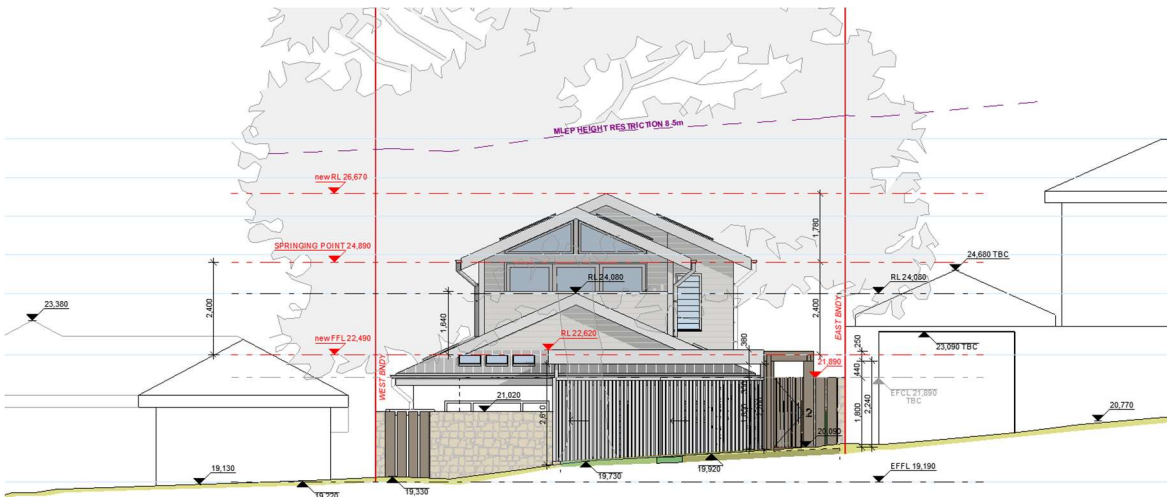


Image 16. Building Height Analysis South (Street) Elevation – Extract of DA-110.

The proposed development is consistent with the controls and objectives of **4.1.2 Height of Building, Number of Storeys**. The proposed development is to be two storeys and is compliant.

The proposed development is consistent with the controls and objectives of **4.1.2 Height of Building, Roof Height**. The proposed Carport development is to be 1-2degrees or lower to allow for the existing guttering to be retained and no penetrations required to the existing roof. The proposed Upper Floor and roof replacement will use the existing roof pitch, calculated at approximately 24degrees.

The proposed development is consistent with the controls and objectives of **4.1.3 Floor Space Ratio**. The proposed development is seeking an increased GFA. Under this Standard and the FSR Map_004. The Requirement: 0.45:1 (45% @ 247.5m²)

Over 2 levels, the Gross Floor Area, measured to the internal face of the external walls, is calculated at 217.5m². This measures the ground floor area of the new internal stair, and not the void of the stair well on the new upper floor.

The proposed development is consistent with the controls and objectives of **4.1.6 Parking, Vehicular Access, and Loading (Including Bicycle Facilities)**. The proposal will allow for 2 x covered car spaces on site to the existing front setback hardstand with an extension to the pavement and crossover to allow for safe exit and entry. The proposal seeks approval for a secure side Entry Portico and screening that allows for bikes, boards, garden tools/appliances and a charging station for an electric vehicle to be affixed to, along with bins. The site coverage has minor modification given the area at the moment is designated as parking hardstand. The design is seeking approval to extend the width of the existing layback and crossover to allow for safe entry and exit of the site. The crossover is to be clear of the existing council tree by 1m of the trunk. The gradients of the crossover are to align to the existing and not to change the footpath levels without prior consent.

The proposed development is consistent with the controls and objectives of **4.1.7 First Floor and Roof Additions**. The proposed First Floor addition complements the architectural style of the ground floor were deemed suitable. Currently the frontage has little to no streetscape presence being very subdued, no descript in its character value. The streetscape is currently under transition with a combination of newly built or renovated dwellings. The cues to navigate successful first floor addition have derived from good design measures and addressing critical needs around current site configuration, height restrictions and open space requirements. The upper floor is stepped in off the side walls of the existing ground floor to allow separation between properties, overshadowing and maximise solar and natural light access into the existing ground floor.

The proposed development is generally consistent with the objectives of **4.1.10 Fencing**. The height of the modified front fence will require assessment under 4.1.10.1 Exceptions to maximum height of Fences, albeit the height will still be over the recommended 1m – 1.5m height. The site is sloped, and the introduction of a carport is the driving factor of the fence/gate heights. The height is proposed at 1.8m to each side boundary (1.712m for the Western Boundary, as existing). Centrally to the carport gate, the fencing will become 2.2m and 2.26m following the line of the Eastern fence height. The fence will then step down to its existing height, at 1.39m and finishing at 1.712m keeping just two levels. It is considered that any greater step in level or staggered nature of a whole new fence will result in an inconsistent fence style to the area. The fence style is compatible to the recommended fence styles of figure 38. The two levels follow the sloped nature of the site, falling from East to West, and retaining the existing fence height at the Western end.

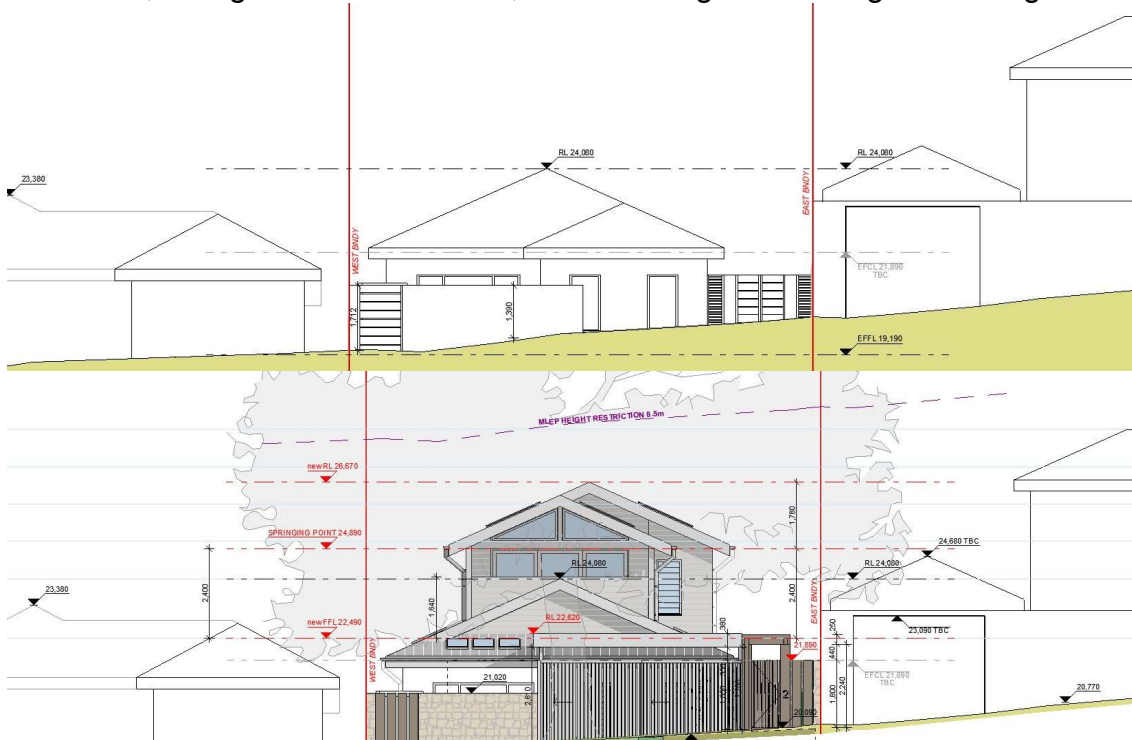


Image 21. Existing and Proposed Fence and Gates. The extent of fencing is modified by the carport and gate, but the character of the fence is compatible and relative to the neighbouring site, No.1 to the East.

The proposed development is consistent with the controls and objectives of **4.4.2 Alterations and Additions**. The extent of external demolition is not greater than half of the building. The bulk of the work will be modifications to the roof form to allow for a new upper floor and replacement of existing unsuitable tiled roofing. All external walls at the ground floor level will remain. Internal demolition work is proposed to enable greater use of the existing footprint and to work with the new internal stair well to provide access to the new First Floor Addition.

Part 5

5.4

Environmentally Sensitive Lands

5.4.1 Foreshore Scenic Protection Area

5.4.3 Flood Prone Land

The proposed development is consistent with the controls and objectives of **5.4.1 Foreshore Scenic Protection Area**. Refer to page 22-23 of this report for MLEP Clause 6.9, and the developments compliance with the objectives.

Further:

5.4.1.1 Additional matters for consideration

LEP clause 6.9(3)(a) to (d) lists certain matters to be taken into account in relation to all development within the Foreshore Scenic Protection Area.

- a) *Further to matters prescribed in the LEP, the development in the Foreshore Scenic Protection Area must also:*
- i) *minimise the contrast between the built environment and the natural environment;*
 - ii) *maintain the visual dominance of the natural environment;*
 - iii) *maximise the retention of existing vegetation including [tree](#) canopies, street trees, wildlife corridors and habitat;*
 - iv) *not cause any change, visually, structurally or otherwise, to the existing natural rocky harbour foreshore areas;*
 - v) *locate rooflines below the [tree](#) canopy;*
 - vi) *consider any effect of the proposal when viewed from the harbour / ocean to ridgelines, [tree](#) lines and other natural features; and*
 - vii) *use building materials of a non-reflective quality and be of colours and textures that blend with the prevailing natural environment in the locality.*
- b) *Setbacks in the Foreshore Scenic Protection Area should be maximised to enable open space to dominate buildings, especially when viewed to and from Sydney Harbour, the Ocean and the foreshores in Manly.*

The proposed development generally is consistent with the Additional Matters for Consideration clause of MDCP 2013. Despite a contrasting colour scheme, the natural environment will effectively remain the dominant feature against a white/light colour backdrop. The light colour scheme will afford efficiency for the occupants during the hotter months of the year and is important to consider the effects of darker colour schemes and heat absorption as a result. The proposed colour scheme (refer to DA-110 and page 35 of this report) is reflective of buildings in the locality and not dissimilar to houses in the immediate vicinity.

All existing vegetation of site and surrounding the site will be retained and protected.

The subject site is approximately 100m from the Foreshore of Juling Cove. There is no impact to any coastal environment as a result of the proposed development. Nor will there be any visual impact from that Foreshore due to the new additions.

The predominant tree canopy is the front and the Eastern Wellings Reserve. The proposed development is well below the prevalent height of those tree canopies. There is no direct visual from the site to the Foreshore vegetation.

The proposed rear setback is beyond 8m and therefore is consistent with 5.4.1.1 b).

The proposed development is consistent with the controls and objectives of **5.4.3 Flood Prone Land**. Refer to page 18-20 of this report for MLEP Clause 5.21, and the developments compliance with the objectives.

1 Objectives

- *Protection of people.*
- *Protection of the natural environment.*
- *Protection of private and public infrastructure and assets.*

2 Requirements

1. *Matrix*
2. *Flood Management Report*

MATRIX:

Low Flood Risk Precinct

Residential Use

A. Flood Effects caused by Development	N/A
B. Building Components & Structural	N/A
C. Floor Levels	N/A
D. Car Parking	N/A
E. Emergency Response	N/A
F. Fencing	N/A
G. Storage of Goods	N/A
H. Pools	N/A

Medium Flood Risk Precinct – Refer to conditions table below.

Residential Use

A. Flood Effects caused by Development	A1 & A2
B. Building Components & Structural	B1, B2 & B3
C. Floor Levels	C1, C3, C4, C6 & C7
D. Car Parking	D1, D2, D3, D4, D5 & D6
E. Emergency Response	E1
F. Fencing	F1
G. Storage of Goods	G1
H. Pools	H1

A. FLOOD EFFECTS CAUSED BY DEVELOPMENT

A1	A Flood Management Report has been prepared.
A2	A Flood Management Report has been prepared and demonstrates that there is no net loss of flood storage.

B. BUILDING COMPONENTS AND STRUCTURAL SOUNDNESS

B1	All buildings shall be designed and constructed with flood compatible materials in accordance with “Reducing Vulnerability of Buildings to Flood Damage: Guidance on Building in Flood Prone Areas”, Hawkesbury-Nepean Floodplain Management Steering Committee (2006).
B2	All new development must be designed and constructed to ensure structural integrity up to the Flood Planning Level, taking into account the forces of floodwater, wave action, flowing water with debris, buoyancy and immersion. Where shelter-in-place refuge is required, the structural integrity for the refuge is to be up to the Probable Maximum Flood level. Structural certification shall be provided confirming the above. To future engineers’ details.
B3	All new electrical equipment, power points, wiring, fuel lines, sewerage systems or any other service pipes and connections must be waterproofed and/or located above the Flood Planning Level. All existing electrical equipment and power points located below the Flood Planning Level within the subject structure must have residual current devices installed that turn off all electricity supply to the property when flood waters are detected.

C. FLOOR LEVELS

C1	The proposed new floor levels within the development are designed above the Flood Planning Level. FFL 22.49
C3	<p>All new development must be designed and constructed so as not to impede the floodway or flood conveyance on the site, as well as ensuring no net loss of flood storage in all events up to the 1% AEP event.</p> <p>For suspended pier/pile footings:</p> <p>(a) The underfloor area of the dwelling below the 1% AEP flood level is to be designed and constructed to allow clear passage of floodwaters, taking into account the potential for small openings to block; and</p> <p>(b) At least 50% of the perimeter of the underfloor area is of an open design from the natural ground level up to the 1% AEP flood level; and</p> <p>(c) No solid areas of the perimeter of the underfloor area would be permitted in a floodway</p>
C4	FFL 19.19 – FOR SMALL GROUND FLOOR EXTENSION.
C6	<p>Consideration may be given to the retention of an existing floor level below the Flood Planning Level when undertaking a first floor addition provided that:</p> <p>(a) it is not located within a floodway; and</p> <p>(b) the original foundations are sufficient to support the proposed final structure above them.</p> <p>(c) none of the structural supports/framing of existing external walls of are to be removed unless the building is to be extended in that location; and</p> <p>(d) the ground floor is floodproofed.</p>

D. CAR PARKING

D1	The Carport is positioned at the higher level of the site and is not within the mapped floodway.
D2	The level of the Carport is not lower than the natural ground levels
D3	Carports must be of open design, with at least 2 sides completely open such that flow is not obstructed up to the 1% AEP flood level.
D4	The nature of the Carport design and the Front Setback will prevent cars leaving the site in a major flooding event

E. EMERGENCY RESPONSE

E1	<p>A preliminary Flood Emergency Assessment must be included in the Flood Management Report. The new First Floor Level will offer place of refuge. Note that in the event of a flood, occupants would be required to evacuate if ordered by Emergency Services personnel regardless of the availability of a shelter-in-place refuge.</p> <p>Class 10 classified buildings and structures (as defined in the Building Codes of Australia) are excluded from this control.</p>
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F. FENCING

F1	Fencing, (including pool fencing, boundary fencing, balcony balustrades and accessway balustrades) in its most part is an existing configuration on site and new more suitable materials are proposed.
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G. STORAGE OF GOODS

G1	The New First Floor will allow for high level storage in the event of a major flood. The use of the site does not see the storage of hazardous goods beyond residential use.
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H. POOLS

H1	<p>The pool is existing and is in-ground.</p> <p>All electrical equipment associated with the pool (including pool pumps) is to be waterproofed and/or located at or above the Flood Planning Level. To the new Pool Storeroom.</p> <p>All chemicals associated with the pool are to be stored at or above the Flood Planning Level. To the new Pool Storeroom.</p>
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4. Additional Design Considerations:

Colours and Materials:

In keeping with the existing house and to be consistent with the locality, the proposed colour scheme and material selection is as follows:

FINISHES:

ROOF: SHALE GREY (LIGHT - MATT LOW GLARE) - BCA MEDIUM CLASSIFICATION

WALLS: LEXICON or SNOW SEASON (WHITE) PAINTED RENDER

SHED WALLS: PAINTED RENDER

FASCIA: PAINTED WHITE ON WHITE or SURFMIST

CARPORT: SATIN WHITE POWDERCOAT

ROOF PLUMBING: SHALE GREY

DECKING: JAMES HARDIE PLANK IN WHITE

PAVING: NATURAL STONE, SEALED or CRUSHED GRAVEL WITH PAVERS



3.4.1.5 Excessive Glare or Reflectivity Nuisance:

All external material and finishes incorporated into the development must consider and mitigate any excessive glare or reflectivity nuisance.

SHALE GREY (LIGHT - MATT LOW GLARE) - BCA MEDIUM CLASSIFICATION

Image 22. Finishes and Materials Schedule

The colour choices are to comply with Northern Beaches regulations to install Medium – Dark classified roof colours

5. Conclusion

The proposed Alterations & Additions to the detached style house at, No. 2 New Street, East Balgowlah are consistent with the objectives, the controls, and the future desired character as outlined in the Manly *Local Environmental Plan* and *Development Control Plans*.

The proposed Alterations and Additions to the detached style dwelling is permissible and does not compromise the objectives of the zone, the general residential controls, the Bushfire and Flood Prone Land requirements, or the relevant building codes.

The architectural style, form and materials complement the original features of the existing house, and the extent of works aim to bring the property more in line with the DCP objectives and making consideration to the building to unify its exterior.

Critical limitations to the site have all been satisfactorily addressed, with an emphasis on minimising any environmental impacts or adverse effect on amenity to the surrounding neighbours.

The proposal will generate a revitalised property and provide a more effectively utilised property, and hence it is anticipated that it will be given appropriate consideration.

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