

General Information:

Subject Parcel Address : 35 Beaconsfield Street, Newport, NSW, 2106  
Subject Lot/Sec/DP : L 1 DP 158869  
Approx Area m² : 603.88 m²

LEP Zoning Info:

Council - Description  
Northern Beaches Council LEP2014

LEP 2014 Zoning Info:

Info table Code Description  
Zoning E4 - Environmental Living

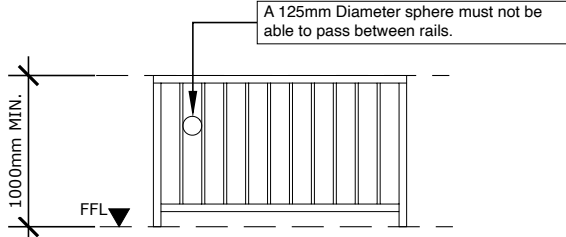
DA - Development Application

**BALUSTRADES AND HANDRAILS**

A continuous Balustrade must be provided along the side of any roof to which access is provided or any stairway or ramp, any floor, corridor, hallway, balcony, veranda, mezzanine, access bridge or the like and along the side of any path of access to a building if it is not bounded by a wall and any level is more than 1.0 metre (1000mm) above the adjoining floor or finished ground level.

Handrails where installed must be a minimum of 1.0 metre (1000mm) above a floor or landing and a minimum of 865mm above the nosing of a stair or ramp.

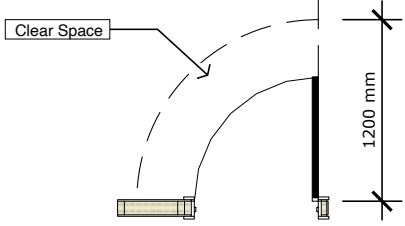
A Handrail MUST BE located along at least one side of the stairway flight or ramp and be located along the full length of the flight or ramp except in the case of a winder and a newel post is provided and/or where the handrail is associated with a Balustrade. A Handrail would NOT BE required where the flight consist's of 5 riser's or less as the change in elevation is less than 1.0 metre (1000mm) in height.



A 125mm Diameter sphere must not be able to pass between rails.

**SANITARY COMPARTMENTS**

NCCS - BCA 3.8.3.3  
CONSTRUCTION OF SANITARY COMPARTMENTS  
The door to a fully enclosed sanitary compartment must-  
(A) Open outwards; or  
(B) Slide; or  
(C) Be readily removable from the outside of the compartment, unless there is a clear space of at least 1.2 metres (1200mm), measured in accordance with Figure 3.8.3.3. between the closet pan within the sanitary compartment and the doorway.



Clear Space

1200 mm

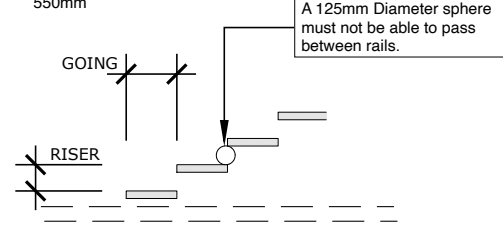
Note: Toilet doors to be provided with lift-off/removable hinges on all WC's with an internal length of 1.9 metre's (1900mm) or less.

**STAIRS**

Riser  
Max 190mm  
Min 115mm

Going  
Max 355mm  
Min 240mm

Slope Relationship  
2 x Riser + Going  
Max 700mm  
Min 550mm



GOING

RISER

A 125mm Diameter sphere must not be able to pass between rails.

Pages List	
P-01	Cover Page
P-02	Site Plan
P-03	Waste Management Plan
P-04	Proposed Deck Plan Level 1
P-05	Proposed Deck Plan Level 2
P-06	Section AA
P-07	South Elevation
P-08	East and West Elevations
P-09	Building Codes and Australian Standards

Area Schedule	
Site Survey DP Area	603.88 m²
Existing Dwelling Footprint	224.20 m²
Existing Concrete Driveway	38.20 m²
Existing Rear Awning (Demolish)	42.80 m²
Existing In ground Swimming Pool	12.50 m²
Existing Swimming Pool Pave	21.72 m²
Existing Site Cover	54.10% 326.92 m²
Existing Landscape/Soft/Pervious	45.90% 276.96 m²
Proposed Concrete Steps	4.50 m²
Proposed Concrete Slab (extended existing slab)	8.57 m²
Proposed Deck Area	35.89 m²
Proposed Stairs	3.98 m²
Proposed Landing (stair)	1.21 m²
Proposed Site Cover	56.30% 339.99 m²
Proposed Landscape/Soft/Pervious	43.70% 263.89 m²

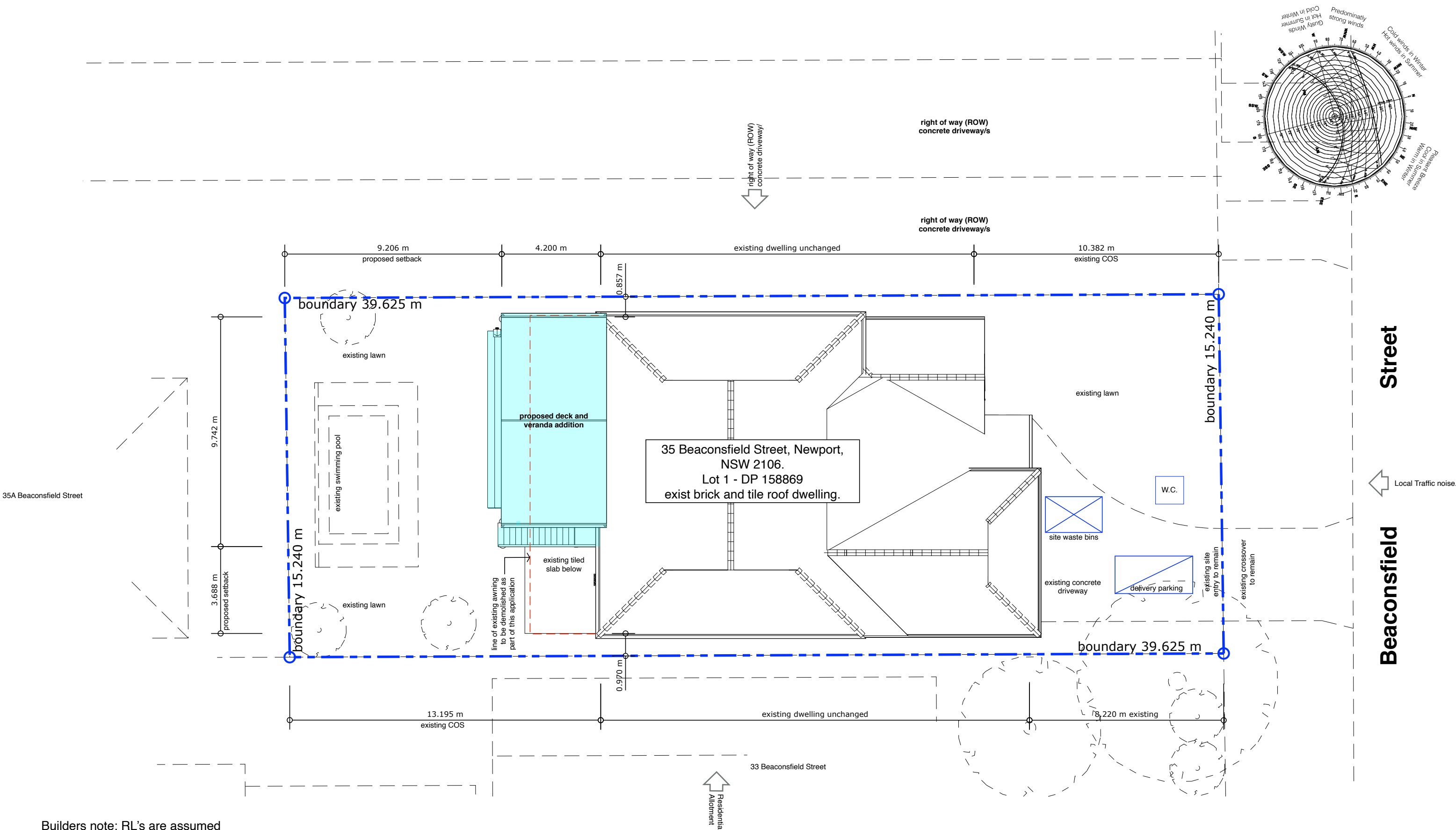
builders note:  
check **suitability, sizes and colours** of window and external door frames before ordering from manufacturer.  
check **suitability, sizes and performance requirements** of glazing before ordering from manufacturer.  
check **suitability of proposed building materials and products** before commencement of any works.  
**any variations to plans requested by builder or owner must be verified with MB Design & Drafting before commencement of any works.**  
**If in doubt, ASK!**



Client		Power		Cover Page		Contact:  MB Design & Drafting M J Bantick Faulconbridge NSW 0421 759 088 mbdetaildrafting@gmail.com	Drawn by  MJB  Scale: 1:100 @ A3 Unless otherwise noted	Date of Issue  June 30, 2021  Amendments  DA CC Release	Project Number  2021-14  Description  Alterations & Additions	P-01	
Site	35 Beaconsfield Street, Newport, NSW, 2106										General information, Area Schedule, 3D image of proposed.
Lot	1	D.P.	158869								Illustrations not to scale unless otherwise noted

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




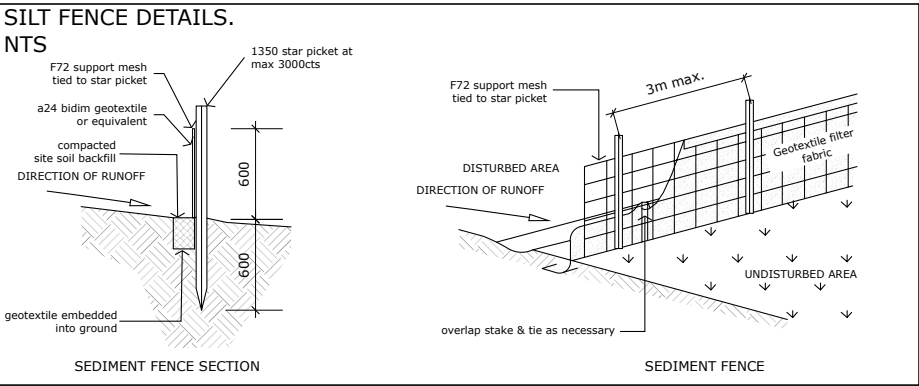
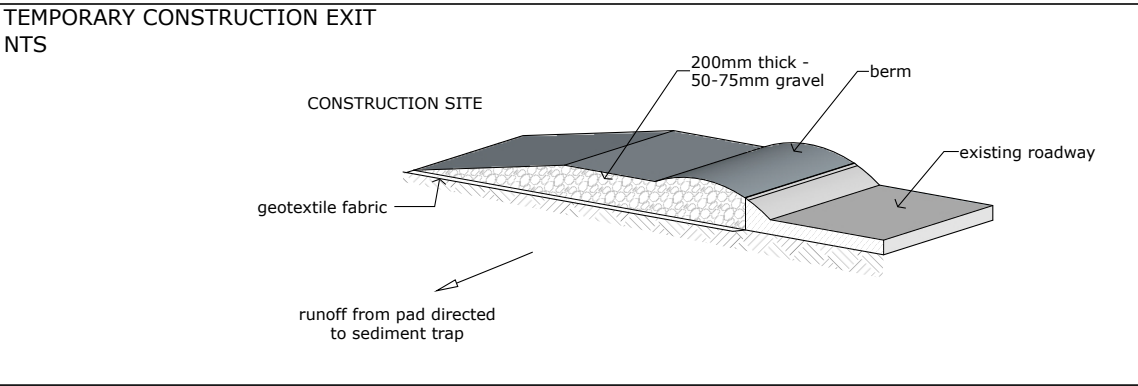
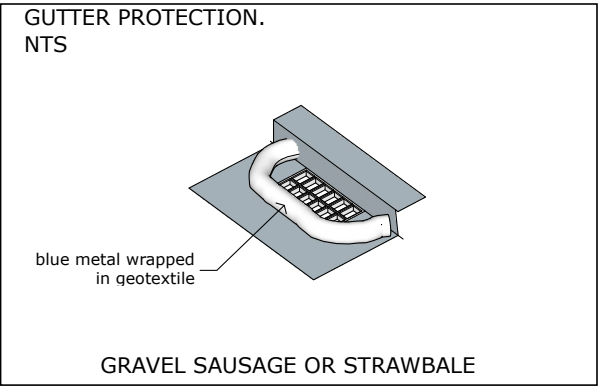
Builders note: RL's are assumed only and should be confirmed on site before commencement of any works.

Client		Power		Site Plan and Analysis			mb design & drafting	Contact:  MB Design & Drafting M J Bantick Faulconbridge NSW 0421 759 088 mbdetaildrafting@gmail.com	Drawn by  MJB  Scale: 1:100 @ A3 Unless otherwise noted	Date of Issue  June 30, 2021  Amendments  DA CC Release	Project Number  2021-14  Description  Alterations & Additions	P-02
Site	35 Beaconsfield Street, Newport, NSW, 2106											
Lot	1	D.P.	158869									

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BUILDING MATERIAL STOCKPILE	
SILT FENCE      -----	RUBBISH BIN 
STOCKPILES 	BRICK PALLETS 
	PORTABLE WC 
GEOTEXTILE FABRIC FILLED WITH GRAVEL 	DELIVERY TRUCK PARKING 



### SILT FENCES

-FILTERS SILT FROM LOW TO MEDIUM FLOWS OF SURFACE WATER ON GENTLY SLOPING OR STEEP UNEVEN TERRAIN  
-CONSIST OF A FILTER FABRIC (GEOTEXTILE FILLER), ATTACHED TO A STEEL MESH OR WIRE CABLE. WHICH IS SUPPORTED ON A STAR PICKETS OR WOODEN POSTS  
AT 2.5-3m CENTRES  
-THE LOWER END OF THE FABRIC IS EMBEDDED INTO THE GROUND AS SHOWN  
-GENERALLY FOLLOW THE CONTOURS OF THE LAND

### SILTATION MANAGEMENT PROCEDURE

1. ERECT SILT FENCE AND GRAVEL DRAIN
2. COMMENCE CONSTRUCTION & EARTH WORKS
3. EXCAVATE BASEMENT AND PLACE TEMPORARY PUMPOUT SEDIMENT PIT (IF REQUIRED)
4. FINISH CONSTRUCTION AND EARTH WORKS
5. SILT FENCE AND GRAVEL DRAIN ARE NOT TO BE REMOVED UNTIL WORKS ARE COMPLETE AND GARDEN HAS BEEN FULLY REVEGETATED

### WASTE & RECYCLING MANAGEMENT PLAN

During construction, waste will be separated on site and contained.  
Hard waste will be removed by appropriate sub contractors for recycling.  
Asbestos materials to be removed by suitably qualified contractors. Removal and disposal to be to relevant laws, OH&S, codes of practice, Australian Standards & Workcover standards. Disposal to be at a licenced landfill site only.  
Soft waste will be disposed of through appropriate waste management facilities.  
All spoil from cut and fill and excavation works shall be either utilised where necessary or evenly spread over the site.  
Landscaping works are to be completed as soon as possible to assist with siltation, erosion and sediment control.

After occupation it is proposed that the domestic household waste will be stored in council provided bins and collected as part of councils rubbish and recycled collection services.  
Pending collection, the bins will be stored on the site away from the public view.

### EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE AND TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
2. STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM
3. TOPSOIL FROM ALL AREAS THAT WILL BE DISTRIBUTED TO BE STRIPPED AND STOCKPILED AND TO BE KEPT CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE
5. ROADS AND FOOTPATH TO BE SWEEPED AT LEAST DAILY
6. ALL SEDIMENT CONTROL MEASURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE

### WARNING: HEAVY FINE

IT IS ILLEGAL TO ALLOW SOIL, CEMENT, SLURRY OR OTHER BUILDING MATERIALS TO BE PUMPED, DRAINED OR ALLOWED TO ENTER THE STORMWATER SYSTEM

### TELSTRA NOTES:

(REFER FILE RWN 2731 - DATED 15.05.06

-DIAL #1100 "DIAL BEFORE YOU DIG"  
-THE PROPOSED DRIVEWAY IS TO BE USED FOR FAMILY CARS AND LIGHT TRUCKS ONLY  
-POTHOLE (HAND EXCAVATION) TO PHYSICALLY LOCATE THE PRESENCE OF TELSTRA  
-CONDUITS TO AVOID ANY DAMAGE WHEN EXCAVATING FOR THE PROPOSED DRIVEWAY  
-TELSTRA MANHOLE MUST HAVE A MINIMUM CLEARANCE OF 800mm FROM THE PROPOSED DRIVEWAY LINE  
LEVELS SURROUNDING THE TELSTRA MANHOLE ON AND WITHIN THE FOOTPATH ARE NOT TO BE ALTERED  
-TELSTRA MANHOLE AND PITS ARE NOT TO BE DAMAGED  
-DUTY OF CARE MUST BE ADHERED TO AT ALL TIMES  
-IF ABOVE REQUIREMENTS CAN NOT BE ACHIEVED CONTACT (02)8851 3732-YOU MUST REFER TO TELSTRA FILE RWN 2731

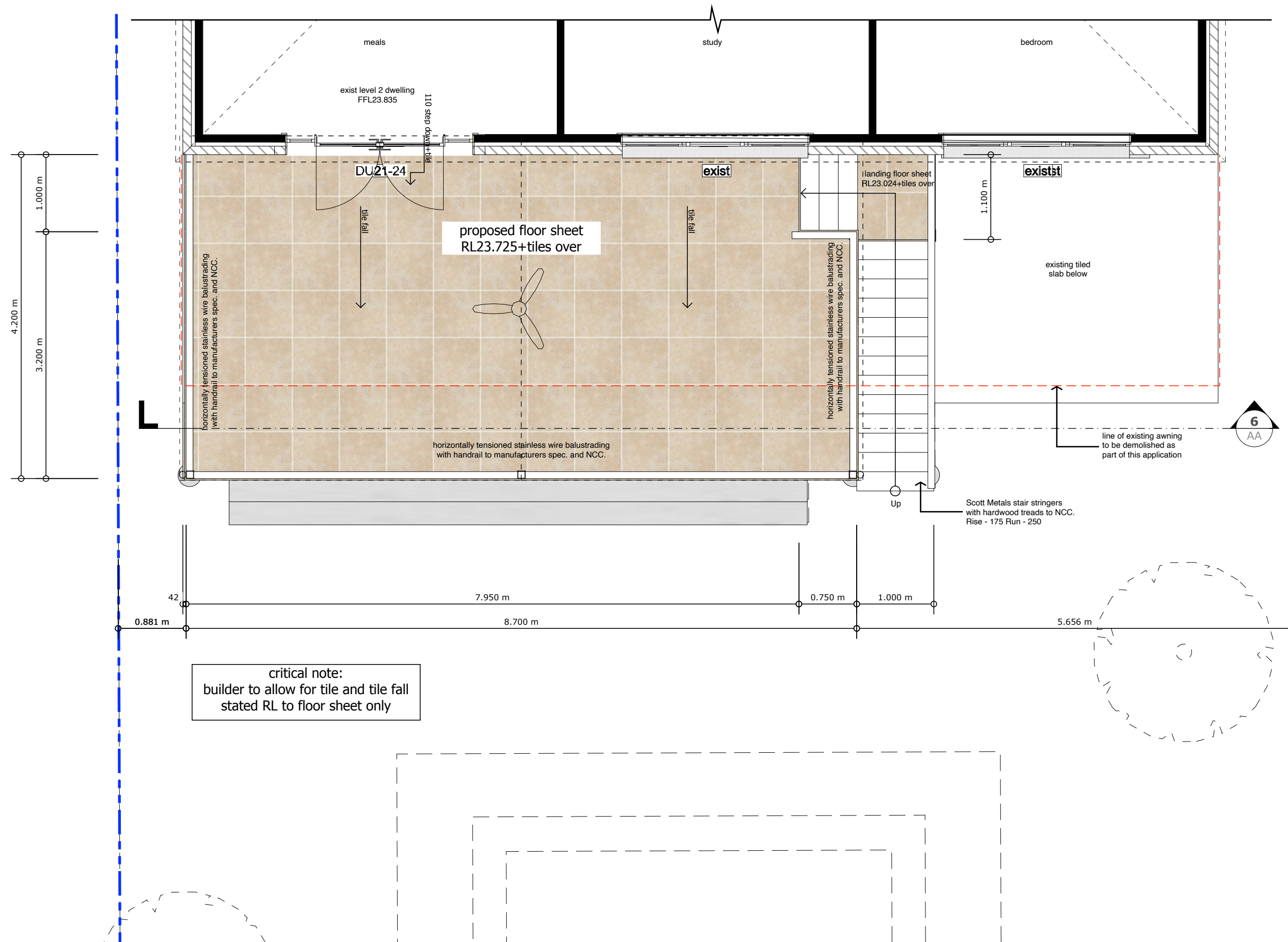
Client		Power		Waste Management Plan			mb design & drafting	Contact:	Drawn by	Date of Issue	Project Number	P-03		
Site	35 Beaconsfield Street, Newport, NSW, 2106							Scale	nts	MB Design & Drafting M J Bantick Faulconbridge NSW 0421 759 088 mbdetaildrafting@gmail.com	MJB		June 30, 2021	2021-14
								Lot	1	D.P.	158869			Scale: 1:100 @ A3 Unless otherwise noted
										DA CC Release	Alterations & Additions			

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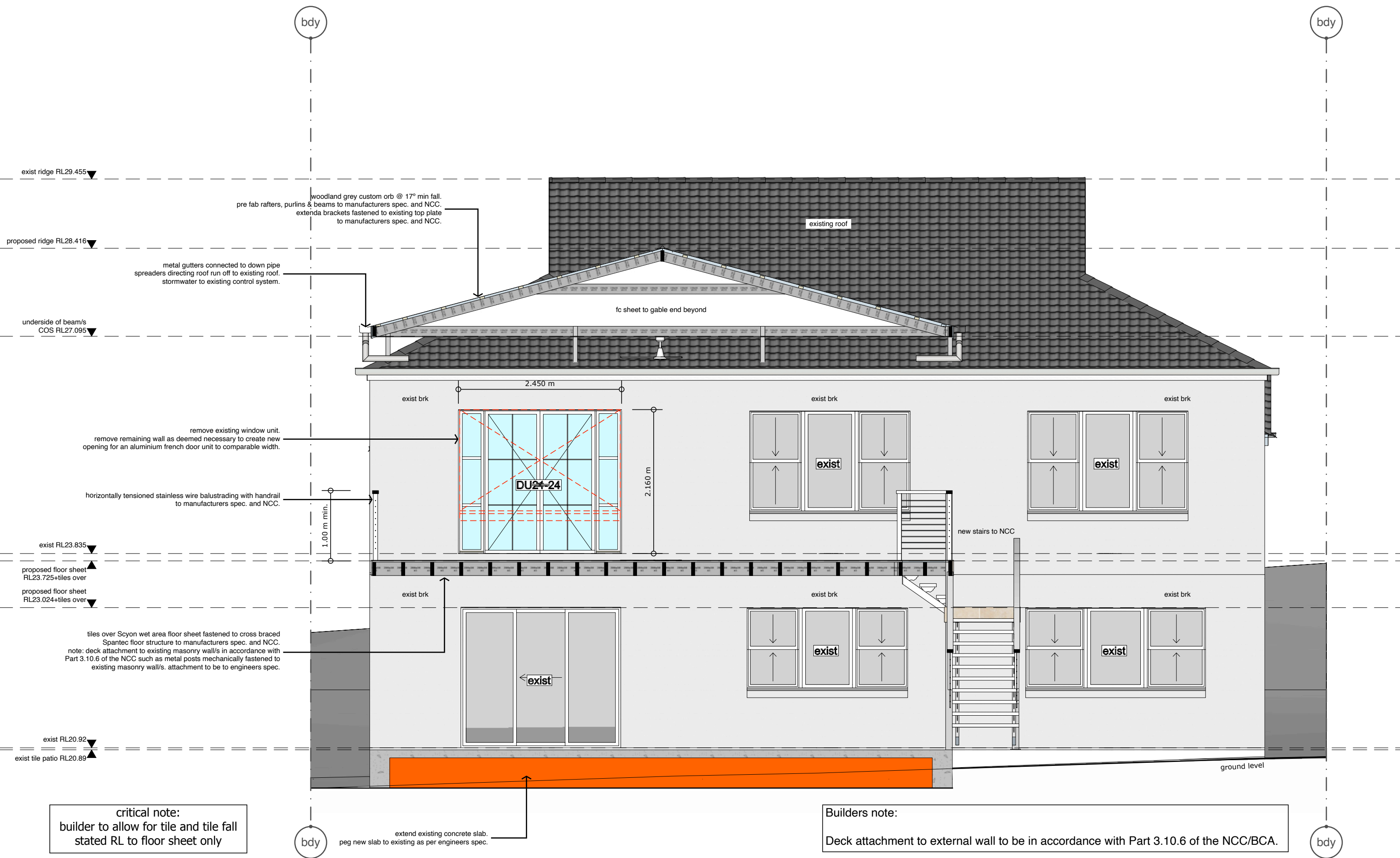




Client	Power			Proposed Deck Plan Level 2		 mb design & drafting	Contact: MB Design & Drafting M J Bantick Faulconbridge NSW 0421 759 088 mbdetaildrafting@gmail.com	Drawn by MJB Scale: 1:100 @ A3 Unless otherwise noted	Date of Issue June 30, 2021 Amendments DA CC Release	Project Number 2021-14 Description Alterations & Additions	P-05
Site	35 Beaconsfield Street, Newport, NSW, 2106										
Lot	1	D.P.	158869	Scale	1:50 @ A3						

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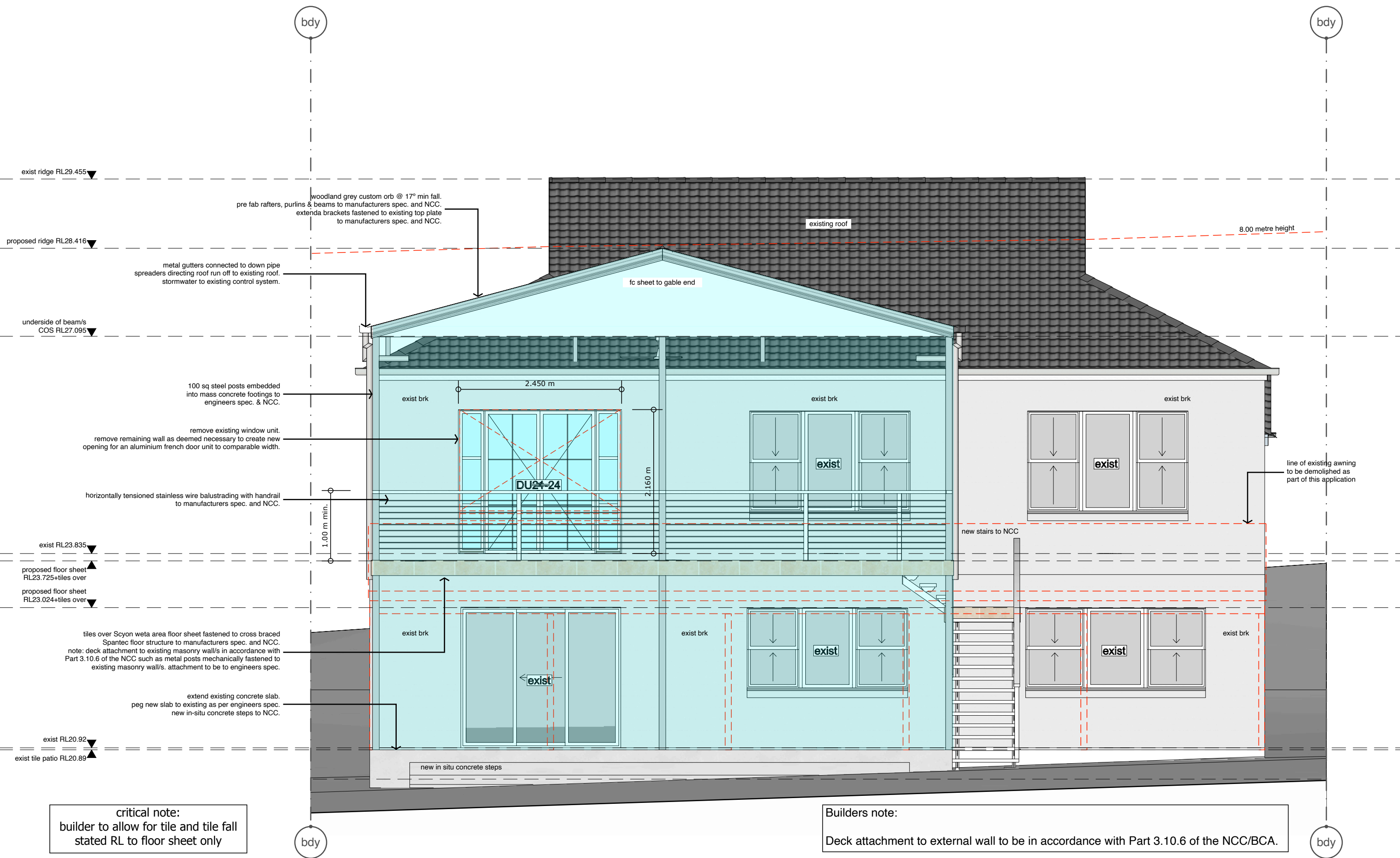




Client		Power		Section AA		 mb design & drafting	Contact: MB Design & Drafting M J Bantick Faulconbridge NSW 0421 759 088 mbdetaildrafting@gmail.com	Drawn by MJB Scale: 1:100 @ A3 Unless otherwise noted	Date of Issue June 30, 2021 Amendments DA CC Release	Project Number 2021-14 Description Alterations & Additions	P-06
Site	35 Beaconsfield Street, Newport, NSW, 2106										
Lot	1	D.P.	158869	Scale	1:50 @ A3						

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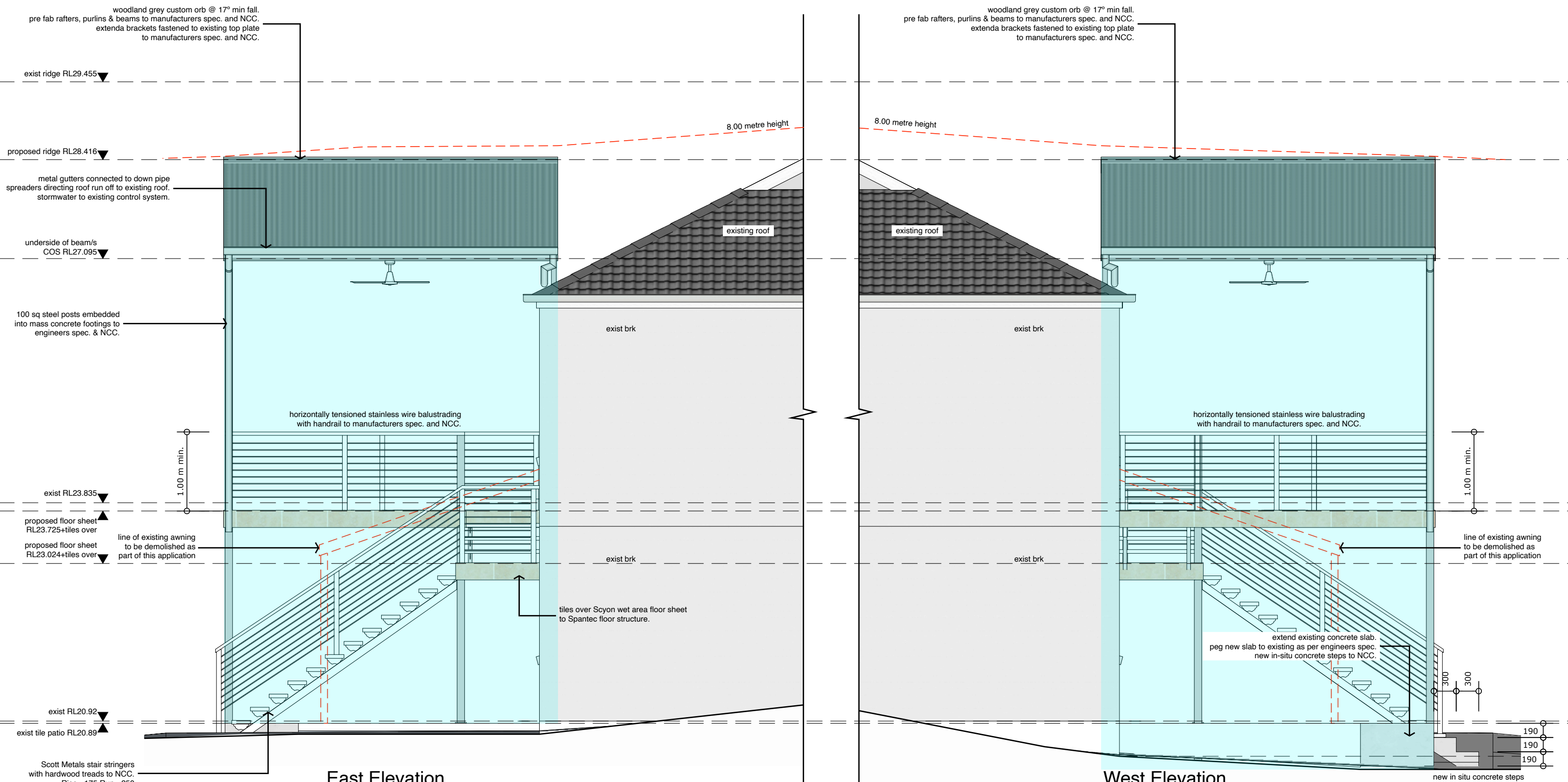




Client		Power		South Elevation			mb design & drafting	Contact: MB Design & Drafting M J Bantick Faulconbridge NSW 0421 759 088 mbdetaildrafting@gmail.com	Drawn by MJB Scale: 1:100 @ A3 Unless otherwise noted	Date of Issue June 30, 2021 Amendments DA CC Release	Project Number 2021-14 Description Alterations & Additions	P-07
Site	35 Beaconsfield Street, Newport, NSW, 2106											
Lot	1	D.P.	158869	Scale	1:50 @ A3							

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**Builders note:**

Deck attachment to external wall to be in accordance with Part 3.10.6 of the NCC/BCA.

**critical note:**

builder to allow for tile and tile fall  
stated RL to floor sheet only

Client		Power		East and West Elevations			Contact:  MB Design & Drafting M J Bantick Faulconbridge NSW 0421 759 088 mbdetaildrafting@gmail.com	Drawn by  MJB  Scale: 1:100 @ A3 Unless otherwise noted	Date of Issue  June 30, 2021  Amendments  DA CC Release	Project Number  2021-14  Description  Alterations & Additions	P-08
Site	35 Beaconsfield Street, Newport, NSW, 2106										
Lot	1	D.P.	158869	Scale	1:50 @ A3						

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# Building Codes

Part 2.0 Application  
Part 2.1 Structure  
Part 2.2 Damp and weatherproofing  
Part 2.3 Fire safety  
Part 2.4 Health and amenity  
Part 2.5 Safe movement and access  
Part 2.6 Energy efficiency  
Part 2.7 Ancillary provisions and additional construction requirements

Section 3 Acceptable Construction  
Part 3.0 Structural provisions

Part 3.1 Site preparation  
Part 3.1.1 Earthworks  
Part 3.1.2 Earth retaining structures  
Part 3.1.3 Drainage  
Part 3.1.4 Termite risk management

Part 3.2 Footings and slabs  
Part 3.2.2 Preparation  
Part 3.2.3 Concrete and reinforcing  
Part 3.2.4 Site classification  
Part 3.2.5 Footing and slab construction

Part 3.3 Masonry  
Part 3.3.1 Unreinforced masonry  
Part 3.3.2 Reinforced masonry  
Part 3.3.3 Masonry accessories  
Part 3.3.4 Weatherproofing of masonry  
Part 3.3.5 Masonry veneer  
Part 3.3.6 Isolated masonry piers

Part 3.4.0 Framing  
Part 3.4.1 Subfloor ventilation  
Part 3.4.2 Steel framing  
Part 3.4.3 Timber framing  
Part 3.4.4 Structural steel members

Part 3.5 Roof cladding, gutters and downpipes and wall cladding  
Part 3.5.1 Sheet roofing  
Part 3.5.2 Roof tiles and shingles  
Part 3.5.3 Gutters and downpipes  
Part 3.5.4 Timber and composite wall cladding  
Part 3.5.5 Metal wall cladding

Part 3.6 Glazing

Part 3.7 Fire Safety  
Part 3.7.1 Fire properties for materials and construction  
Part 3.7.2 Fire separation of external walls  
Part 3.7.3 Fire protection of separating walls and floors  
Part 3.7.4 Fire separation of garage top dwellings  
Part 3.7.5 Smoke alarms and evacuation lighting

Part 3.8 Health and Amenity  
Part 3.8.1 Wet areas and external waterproofing  
Part 3.8.2 Room heights  
Part 3.8.3 Facilities  
Part 3.8.4 Light  
Part 3.8.5 Ventilation  
Part 3.8.6 Sound insulation  
Part 3.8.7 Condensation management

Part 3.9 Safe Movement and Access  
Part 3.9.1 Stairway and ramp construction  
Part 3.9.2 Barriers and handrails

Part 3.10 Ancillary Provisions and Additional Construction Requirements  
Part 3.10.1 Swimming pools  
Part 3.10.2 Earthquake areas  
Part 3.10.3 Flood hazard areas  
Part 3.10.4 Construction in alpine areas  
Part 3.10.5 Construction in bushfire prone areas  
Part 3.10.6 Attachment of decks and balconies to external walls of buildings  
Part 3.10.7 Boilers, pressure vessels, heating appliances, fireplaces, chimneys and flues

Part 3.12 Energy Efficiency  
Part 3.12.1 Building fabric  
Part 3.12.2 External glazing  
Part 3.12.3 Building sealing  
Part 3.12.4 Air movement  
Part 3.12.5 Services

# Australian Standards

AS 2601 - THE DEMOLITION OF STRUCTURES

AS 3660.1 - PROTECTION OF BUILDING FROM SUBTERAINIAN TERMITES  
AS 2870 - RESIDENTIAL SLABS AND FOOTINGS  
AS 3600 - CONCRETE STRUCTURES  
AS 2159 - PILING - DESIGN AND INSTALLATION

AS 3700 AND/OR AS 4773 - MASONRY CODE

AS 1250 - THE USE OF STEEL IN STRUCTURES  
AS 3623 - DOMESTIC STEEL FRAMING  
AS 4100 - STEEL STRUCTURES  
AS 1684 - RESIDENTIAL TIMBER FRAME CONSTRUCTION  
AS 1720.10 - TIMBER STRUCTURES CODE.

AS 2049 - ROOF TILES

AS/NZS 3500 PART 3.2 - STORMWATER DRAINAGE  
AS/NZS 3500 PART 3.2 - DOMESTIC INSTALLATION - SECTION 5 - STORMWATER DRAINAGE

AS1288 - GLASS IN BUILDINGS  
AS 2047 - WINDOWS IN BUILDINGS

AS 3786 - SMOKE ALARMS

AS 2918 - DOMESTIC SOLID FUEL BURNING APPLIANCES - INSTALLATION

AS 3740 - WATERPROOF OF WET AREAS IN RESIDENTIAL BUILDING

AS 1170.1 - DEAD AND LIVE LOADS AND LOAD COMBINATIONS  
AS 1170.2 AND/OR AS 4055 - WIND LOADS

AS 1120.1 - TIMBER STRUCTURE CODES

AS 2327.1 - COMPOSITE CONSTRUCTION IN STEEL AND CONCRETE

TERMITE PROTECTION NOTE:

UPON INSTALLATION OF A TERMITE MANAGEMENT SYSTEM, A DURABLE NOTICE IS TO BE DISPLAYED WITHIN THE METER BOX.

THE NOTICE SHALL INDICATE:

- 1) THE METHOD OF PROTECTION USED.
- 2) DATE OF INSTALLATION.
- 3) LIFE EXPECTANCY OF ANY CHEMICAL SYSTEM USED AS LISTED ON THE NATIONAL REGISTER LABEL, AND
- 4) THE INSTALLATION OF MANUFACTURERS RECOMMENDATION'S FOR THE SCOPE AND FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY.

Client	Power			Building Codes and Australian Standards		 mb design & drafting	Contact: MB Design & Drafting M J Bantick Faulconbridge NSW 0421 759 088 mbdetaildrafting@gmail.com	Drawn by MJB Scale: 1:100 @ A3 Unless otherwise noted	Date of Issue June 30, 2021 Amendments DA CC Release	Project Number 2021-14 Description Alterations & Additions	P-09
Site	35 Beaconsfield Street, Newport, NSW, 2106						Scale	nts			
Lot	1	D.P.	158869								

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