

Address:	205 Riverview Road, Avalon Beach 2107	
Prepared For:	Simon & Kristen Rooney	
Prepared By:	Ode Architecture Studio	
Reference:	MA.139 08.04.2025 R.1	
Nominated Architect:	Brenton Porter NSW ARB 10032	
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We respectfully acknowledge that the Awabakal and Worimi people on whose country we live, work & create & the Guringai people on whose country this project is located. We recognise their continuing connection to land, waters and culture, and pay respect to the Elders past, present and emerging.

MODIFICATION APPLICATION 4.55(2)

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	TITLE
NUMBER:	A - 1
SHEET:	1 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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SITE INFORMATION

Address:	205 Riverview Road, Avalon Beach, 2107
Lot/ Section/Plan	4/ S / DP18667
Description:	The site is a generally rectangular block of land with a frontage to Riverview Road, Avalon Beach. The site is currently occupied by a multi-level freestanding dwelling constructed of brick with a tiled roof, situated on the upper part of the property. A brick carport with two parking spaces is located at the street boundary. Pathways and landscaped garden areas extend down the slope to the foreshore, where a timber boatshed, boat ramp, jetty, pontoon, and inclinator provide access to the water. The natural setting includes mature trees and landscaped gardens, contributing to the scenic and bushland character of the area.
Indigenous Place:	The site is located on the traditional lands of the Guringai people, the Indigenous custodians of the Northern Beaches region. The area features rock engravings, shell middens, and other archaeological evidence of long-term Aboriginal occupation, reflecting the deep connection of the Guringai people to the coastal environment. Stokes Point, like much of Pittwater, would have been an important site for fishing, foraging, and ceremonial activities, with its elevated position providing strategic vantage points over the waterways. Today, it remains a place of cultural and historical importance, contributing to the rich Indigenous heritage of Avalon Beach.

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
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NUMBER:	A - 2

ODE

SHEET:	2 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
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SITE PHOTOS

Existing Use: The subject site, 205 Riverview Road, Avalon Beach, currently contains a multi-level freestanding dwelling of brick construction with a tiled roof. The property also includes a timber boatshed, a jetty, a pontoon, an inclinator, and a carport with two parking spaces. The existing dwelling is located on the upper part of the site, with pathways and gardens extending down to the foreshore.

Streetscape: Riverview Road in Avalon Beach features a steeply sloping streetscape with residences that adapt to the natural terrain. Carports and garages are commonly positioned at the street boundary. On the lower side of the road, multi-level dwellings cascade down towards Pittwater, often incorporating contemporary architectural elements such as large windows, balconies, and lightweight structures to maximize views and integrate with the landscape. The streetscape is softened by mature trees, landscaping, and natural elements that blend with the coastal and bushland surroundings, preserving the area's scenic character.



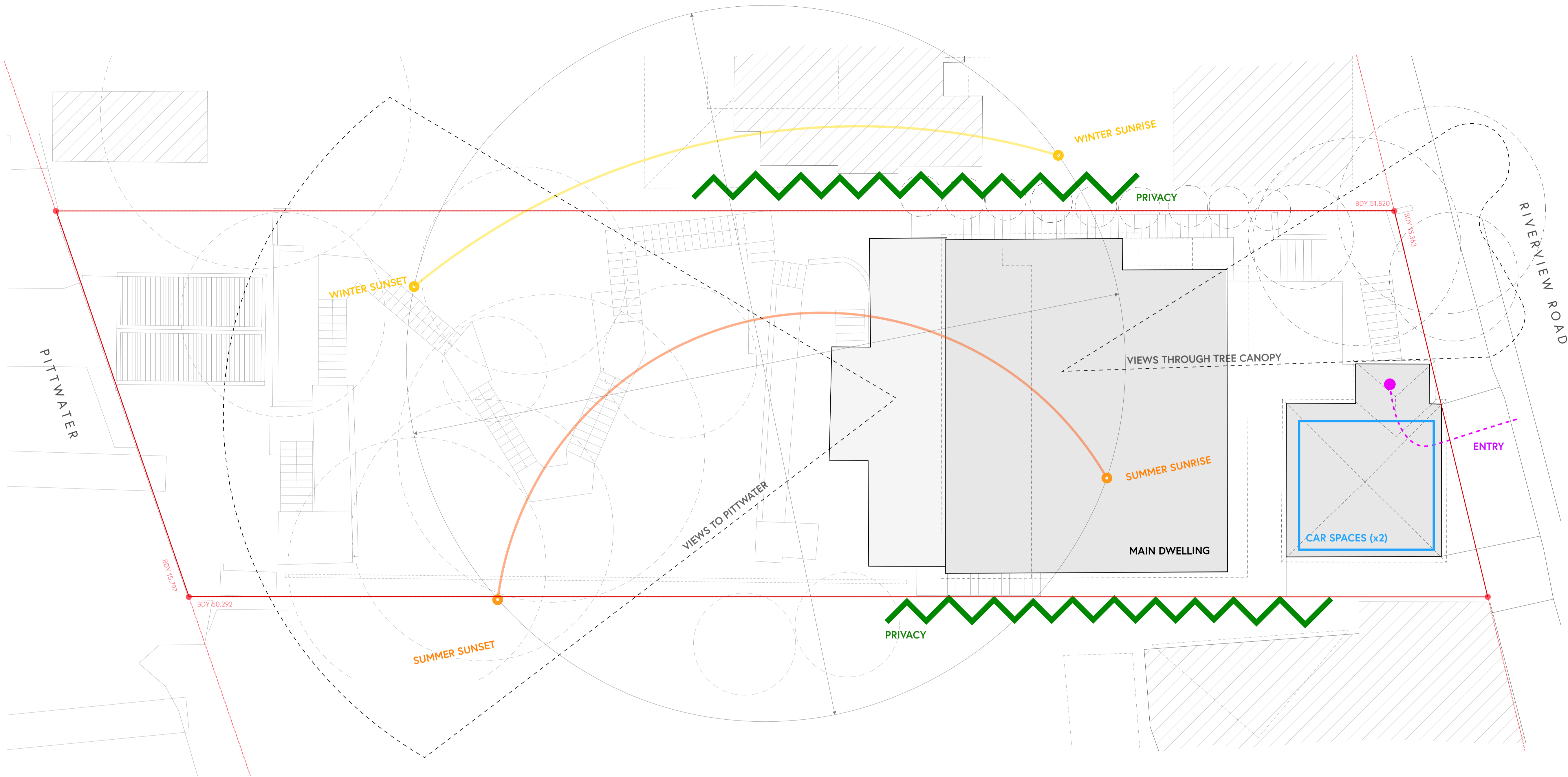
REVISION:	R 1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	SITE PHOTOS
NUMBER:	A - 3



SHEET:	3 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
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SITE PLAN ANALYSIS & APPRECIATION



Address:	205 Riverview Road, Avalon Beach, 2107
Lot/ Section/Plan	4/ S / DP18667
Local Government Area:	Northern Beaches Council
Site Area:	762.4 sqm (approx.)
Site Frontage:	15.36m to Riverview Road (approx.)
Existing Structures	Two Storey Dwelling, Carport & Boat House
Zoning:	C4: Environmental Living
Height:	8.5m

FSR:	N/A
Acid Sulphate Soils	Class 1 & 5
Foreshore Building Line:	Yes
Tree Canopy Cover:	Yes
Biodiversity:	Biodiversity Values
Aboriginal Land Council:	Metropolitan
Bushfire Prone Land:	N/A
Flood:	N/A

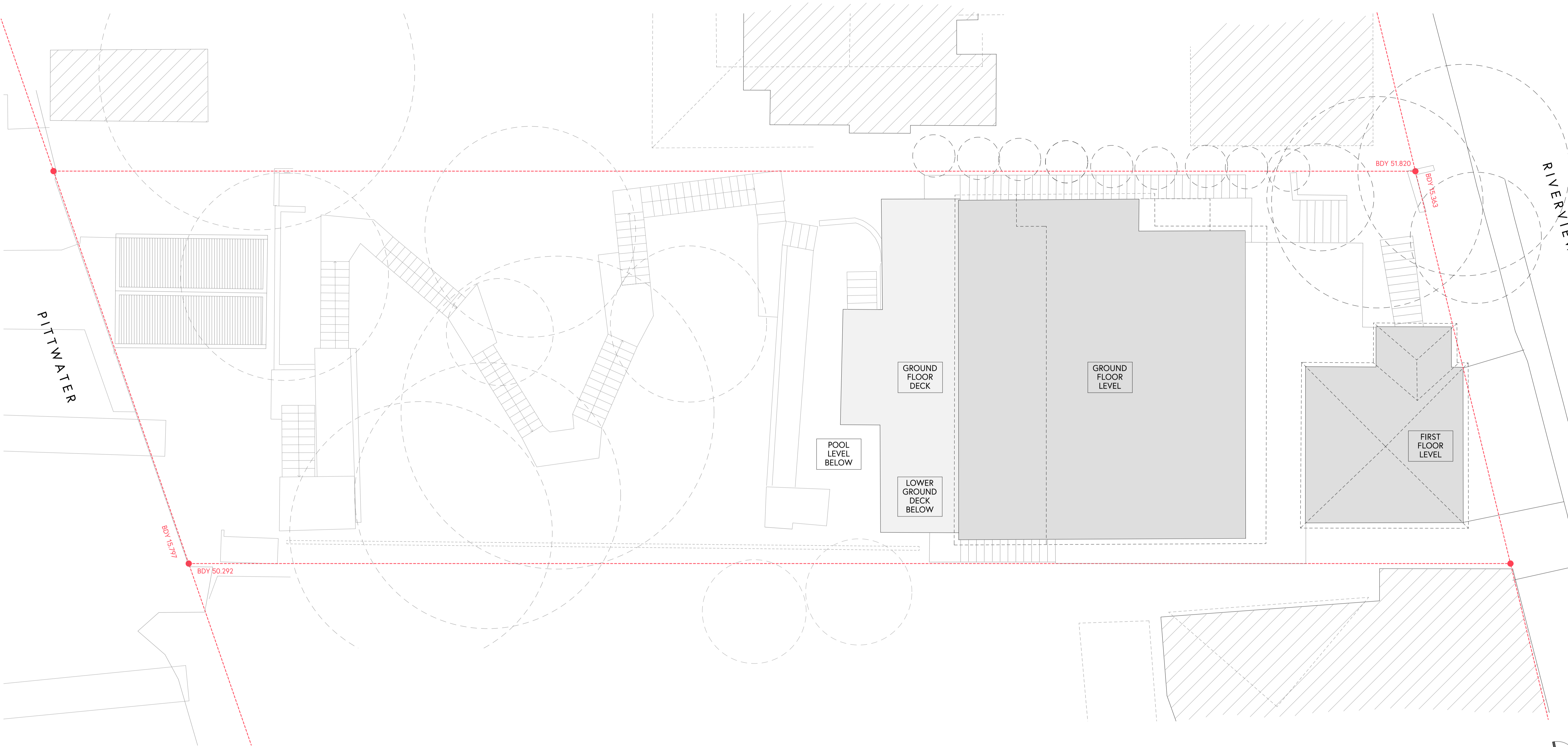
REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	SITE ANALYSIS & APPRECIATION
NUMBER:	A - 4

SHEET:	4 OF 39
SCALE:	-
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LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
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SITE PLAN | EXISTING



KEY - GENERAL	
BOUNDARY	<div></div>
LINE OF ROOF OVER	<div></div>
EXISTING FENCES	<div></div>

KEY - BLOCK	
EXISTING DWELLING	<div></div>
EXISTING DECKS & TERRACES	<div></div>
NEIGHBOURS	<div></div>

NOTES:

SURVEY INFORMATION OBTAINED FROM
DETAIL SURVEY
SURVEYOR: TRUE NORTH SURVEYS
JOB NUMBER: 7204DU
DATE: 23.07.2013

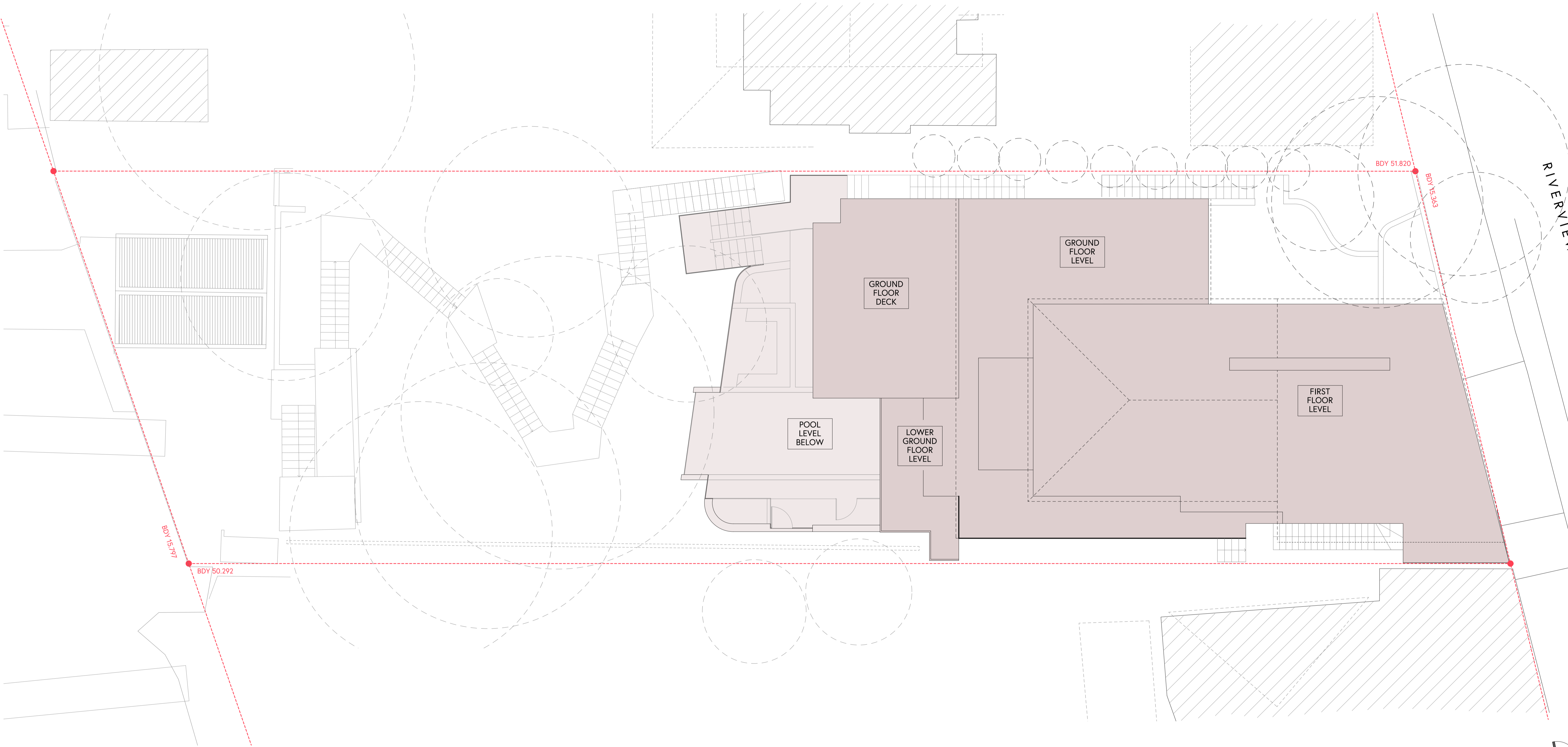
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REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	SITE PLAN EXISTING
NUMBER:	A - 5



SHEET:	5 OF 39
SCALE:	1:75 at A1
PROJECT:	ALTERATIONS & ADDITIONS
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KEY - GENERAL	
BOUNDARY	<div></div>
LINE OF ROOF OVER	<div></div>
EXISTING FENCES	<div></div>

KEY - BLOCK	
APPROVED DWELLING	<div></div>
APPROVED DECKS & TERRACES	<div></div>
NEIGHBOURS	<div></div>

NOTES:

SURVEY INFORMATION OBTAINED FROM
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SURVEYOR: TRUE NORTH SURVEYS
JOB NUMBER: 7204DU
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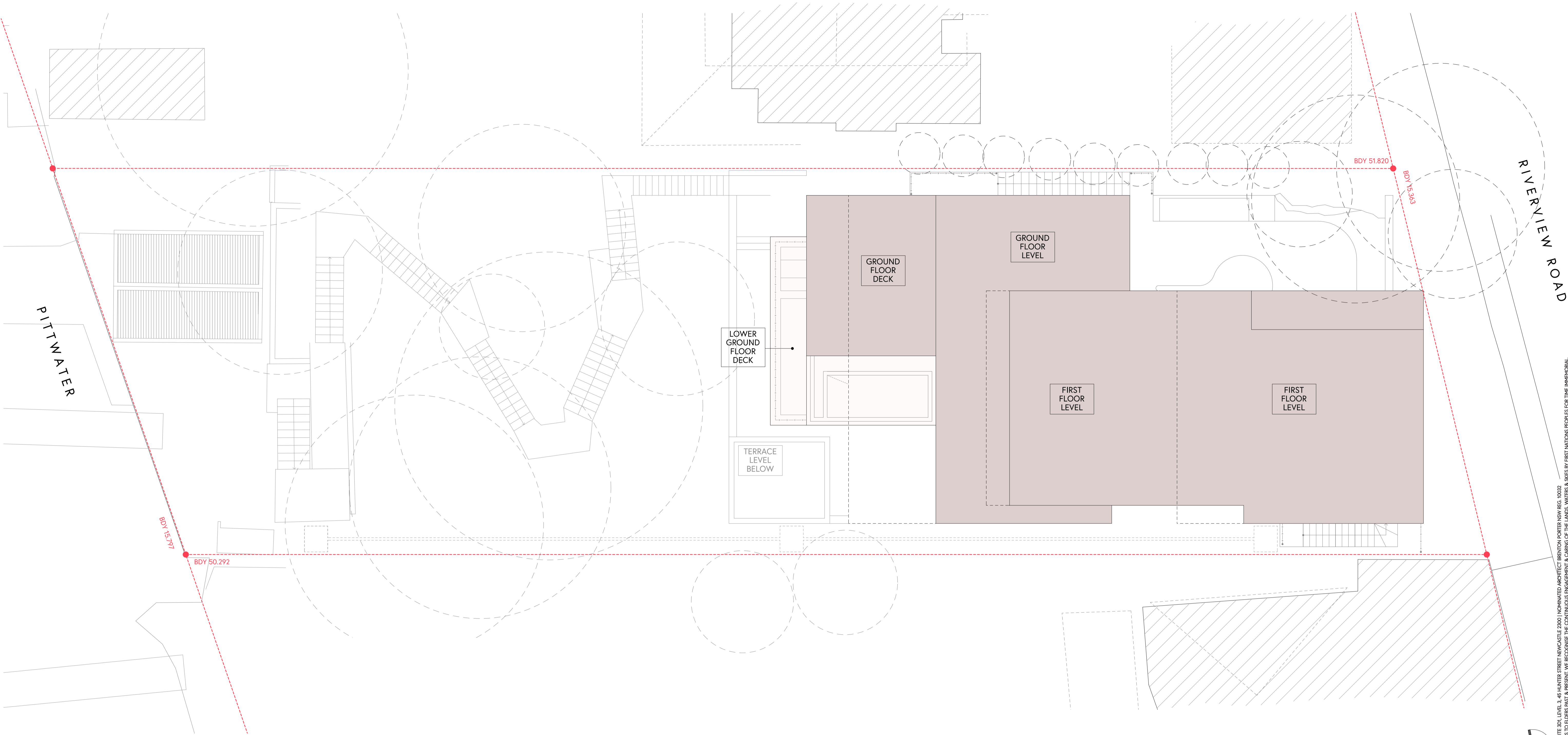
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DRAWING:	SITE PLAN APPROVED
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SHEET:	6 OF 39
SCALE:	1:75 at A1
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
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SITE PLAN | AMENDED



KEY - GENERAL	
BOUNDARY	
LINE OF ROOF OVER	
EXISTING FENCES	

KEY - BLOCK	
AMENDED DWELLING	
AMENDED DECKS & TERRACES	
NEIGHBOURS	

NOTES:

SURVEY INFORMATION OBTAINED FROM
DETAIL SURVEY
SURVEYOR: TRUE NORTH SURVEYS
JOB NUMBER: 7204DU
DATE: 23.07.2013

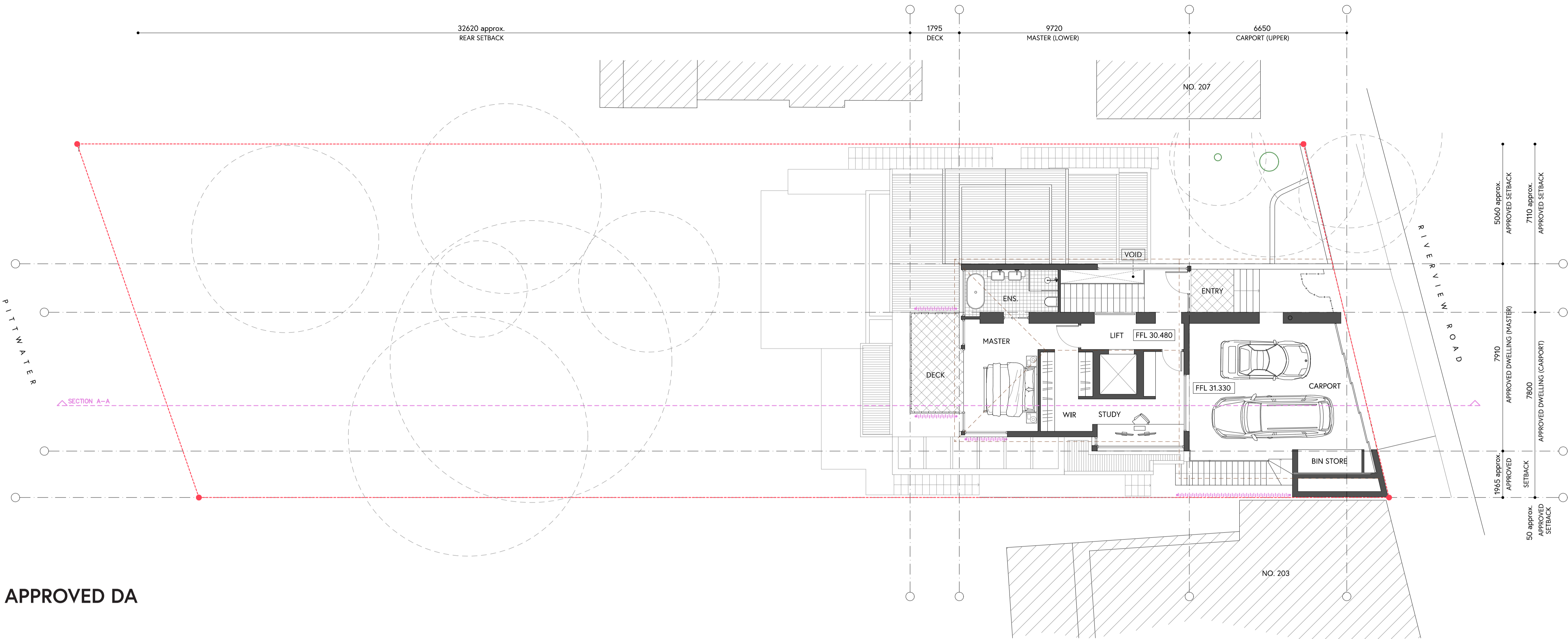
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REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	SITE PLAN AMENDED
NUMBER:	A - 7

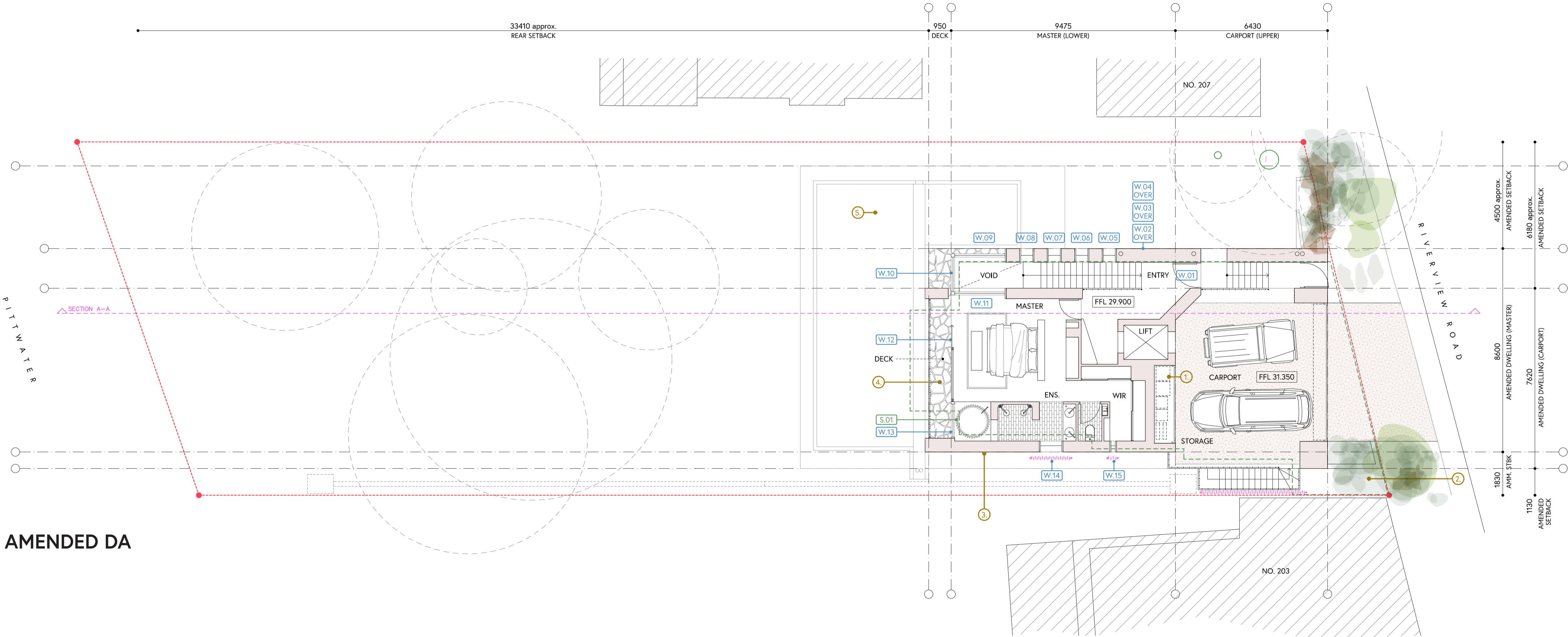


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SCALE:	1:75 at A1
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APPROVED DA



AMENDED DA

UPPER FLOOR PLAN

SITE SUMMARY	
SITE AREA	762.4 sqm
LOT FRONTAGE	15.365m
LOT LENGTH	51m (varies)

KEY - GENERAL	
BOUNDARY	
LINE OF APPROVED DA	
LINE ABOVE	
OBSCURS SCREENING	

KEY - WALLS	
EXISTING WALLS	
APPROVED WALLS	
NEW WALLS	

APPROVED DA - SUMMARY	
NO. OF STOREYS	4
GFA - UPPER FLOOR	58.7 sqm
GFA - TOTAL	427.2 sqm
NO. OF BEDROOMS	4
NO. OF CARPARKS	2
LANDSCAPED AREA	414 sqm (54%)
MAX. HEIGHT (AT EGL)	8.5m (VARIES)

AMENDED DA - SUMMARY	
NO. OF STOREYS	3
GFA - UPPER FLOOR	52 sqm
GFA - TOTAL	318 sqm
NO. OF BEDROOMS	4
NO. OF CARPARKS	2
LANDSCAPED AREA	488 sqm (64%)
MAX. HEIGHT (AT EGL)	9.0m (VARIES)

- IMPORTANT NOTES & EXPLANATIONS
- BIN STORE RELOCATED TO IMPROVE VIEW LINES & TRANSPARENCY FOR PEDESTRIANS AND IMPROVE THE GENERAL STREETSCAPE OUTCOME.
 - ADDITIONAL AREA PROVIDED FOR SIGNIFICANT PLANTING TO IMPROVE STREETSCAPE OUTCOME.
 - EXTENSIVE REDUCTION IN GLAZING TO SOUTHERN NEIGHBOUR FOR IMPROVED PRIVACY OUTCOMES.
 - DECK RECESSED FOR IMPROVED PRIVACY OUTCOMES.
 - ASSORTED ROOF LINES RATIONALISED TO REDUCE VISUAL CLUTTER FROM STREET AND NEIGHBOURS.

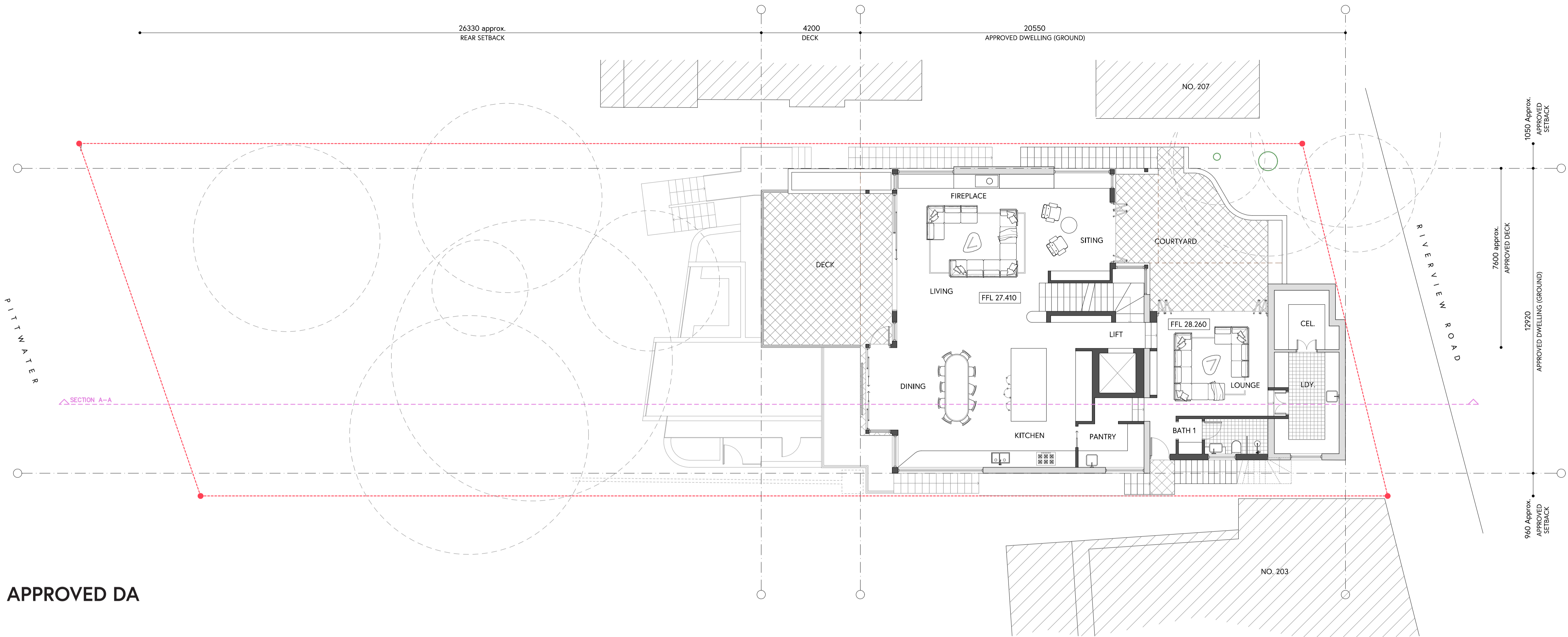
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REVISION: R.1 MODIFICATION APPLICATION 08.04.2025					
DRAWING: FLOOR PLAN UPPER LEVEL					
NUMBER: A - 8					

SHEET:	8 OF 39
SCALE:	1:100 at A1
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
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REFERENCE:	139_25

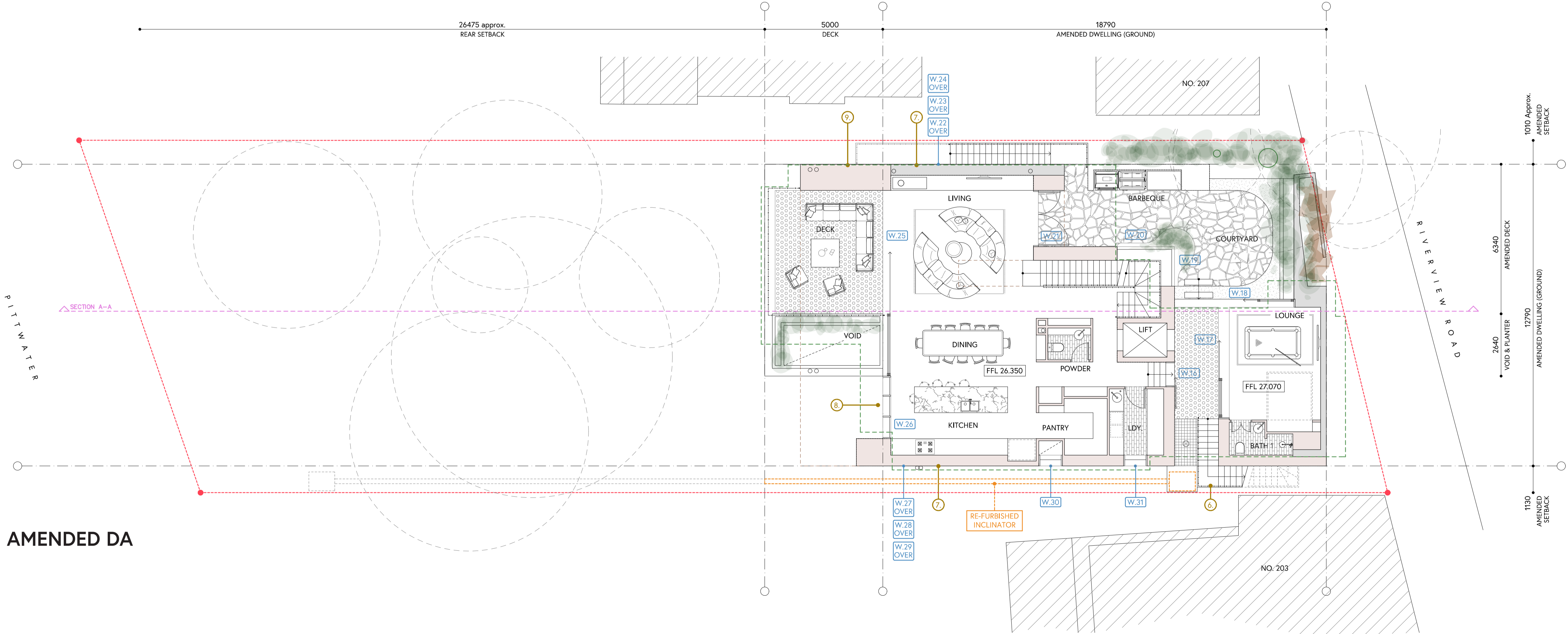
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ODE

GROUND FLOOR PLAN



APPROVED DA



AMENDED DA

SITE SUMMARY	
SITE AREA	762.4 sqm
LOT FRONTAGE	15.365m
LOT LENGTH	51m (varies)

KEY - GENERAL	
BOUNDARY	
LINE OF APPROVED DA	
LINE ABOVE	
OBSCURE SCREENING	

KEY - WALLS	
EXISTING WALLS	
APPROVED WALLS	
NEW WALLS	

APPROVED DA - SUMMARY	
NO. OF STOREYS	4
GFA - GROUND FLOOR	142.0 sqm
GFA - TOTAL	427.2 sqm
NO. OF BEDROOMS	4
NO. OF CARPARKS	2
LANDSCAPED AREA	414 sqm (54%)
MAX. HEIGHT (AT EGL)	8.5m (VARIES)

AMENDED DA - SUMMARY	
NO. OF STOREYS	3
GFA - GROUND FLOOR	127 sqm
GFA - TOTAL	318 sqm
NO. OF BEDROOMS	4
NO. OF CARPARKS	2
LANDSCAPED AREA	488 sqm (64%)
MAX. HEIGHT (AT EGL)	9.0m (VARIES)

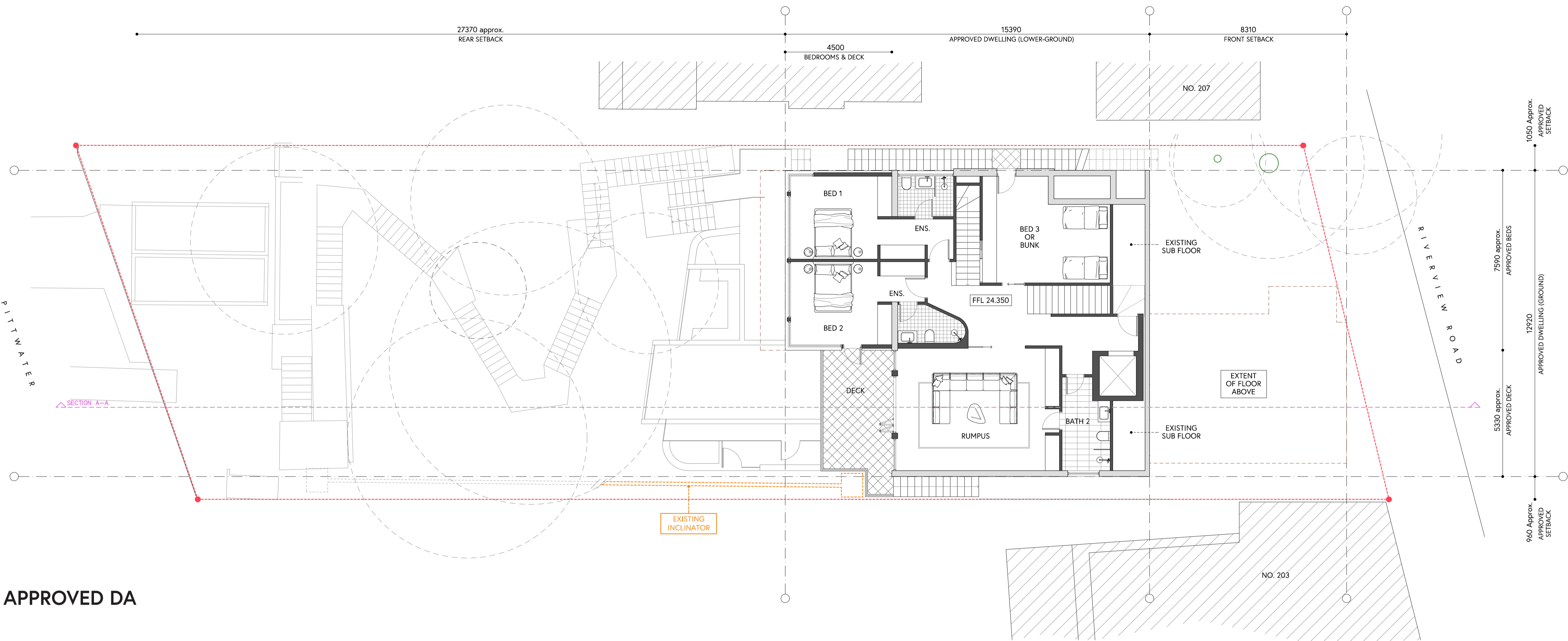
- IMPORTANT NOTES & EXPLANATIONS
- STAIR ACCESS HAS BEEN REDUCED AND RATIONALISED TO MITIGATE BOUNDARY WORKS AND IMPACTS ON NEIGHBOUR.
 - MATERIAL TREATMENT OF BOUNDARY WALL IMPROVED FOR NEIGHBOUR AMENITY.
 - ALL GLAZING ORIENTATED WEST FOR IMPROVED PRIVACY TO NEIGHBOURS.
 - SOLID WALL IMPROVES VISUAL & ACOUSTIC PRIVACY FOR DECK.

0m	1m	2m	3m	4m	5m
REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025				
DRAWING:	FLOOR PLAN GROUND				
NUMBER:	A - 9				

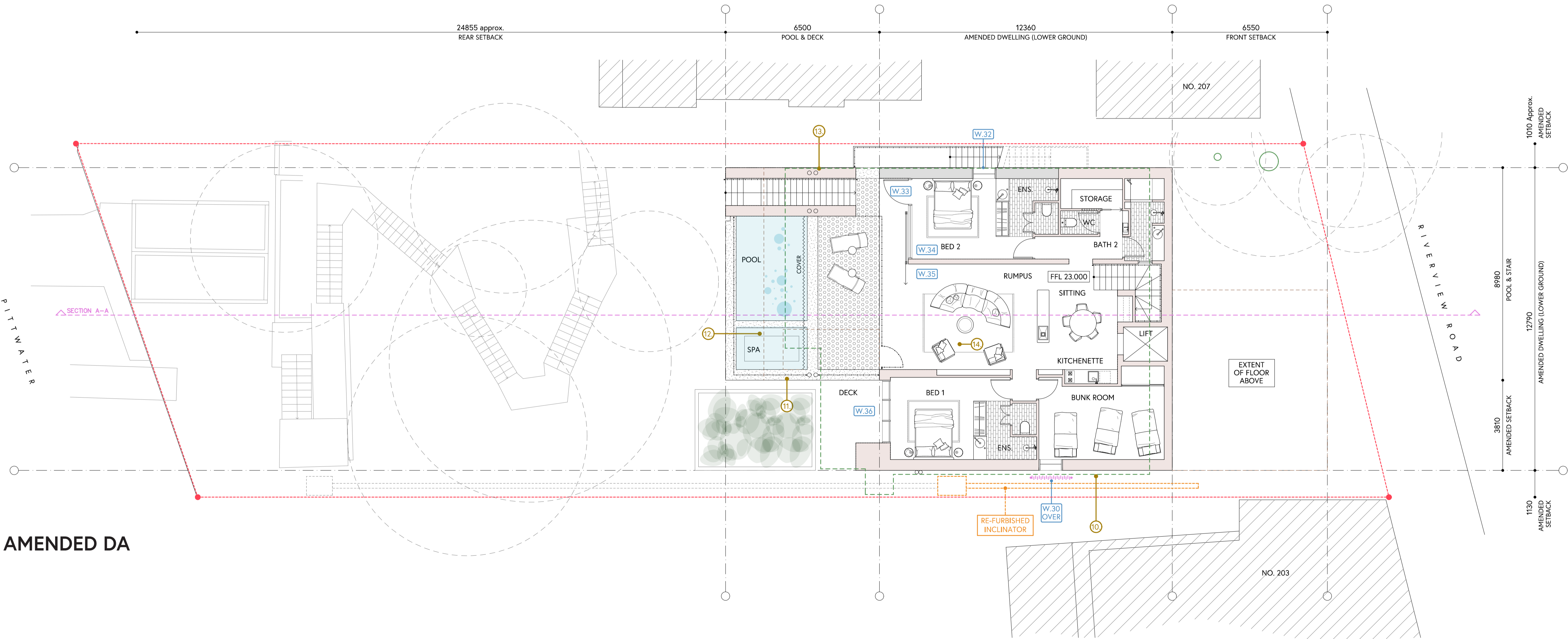
SHEET:	9 OF 39
SCALE:	1:100 at A1
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
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APPROVED DA



AMENDED DA

LOWER FLOOR PLAN

SITE SUMMARY	
SITE AREA	762.4 sqm
LOT FRONTAGE	15.365m
LOT LENGTH	51m (varies)

KEY - GENERAL	
BOUNDARY	
LINE OF APPROVED DA	
LINE ABOVE	
OBSCURE SCREENING	

KEY - WALLS	
EXISTING WALLS	
APPROVED WALLS	
NEW WALLS	

APPROVED DA - SUMMARY	
NO. OF STOREYS	4
GFA - LOWER FLOOR	169.5 sqm
GFA - TOTAL	427.2 sqm
NO. OF BEDROOMS	4
NO. OF CARPARKS	2
LANDSCAPED AREA	414 sqm (54%)
MAX. HEIGHT (AT EGL)	8.5m (VARIES)

AMENDED DA - SUMMARY	
NO. OF STOREYS	3
GFA - LOWER FLOOR	130 sqm
GFA - TOTAL	318 sqm
NO. OF BEDROOMS	4
NO. OF CARPARKS	2
LANDSCAPED AREA	488 sqm (64%)
MAX. HEIGHT (AT EGL)	9.0m (VARIES)

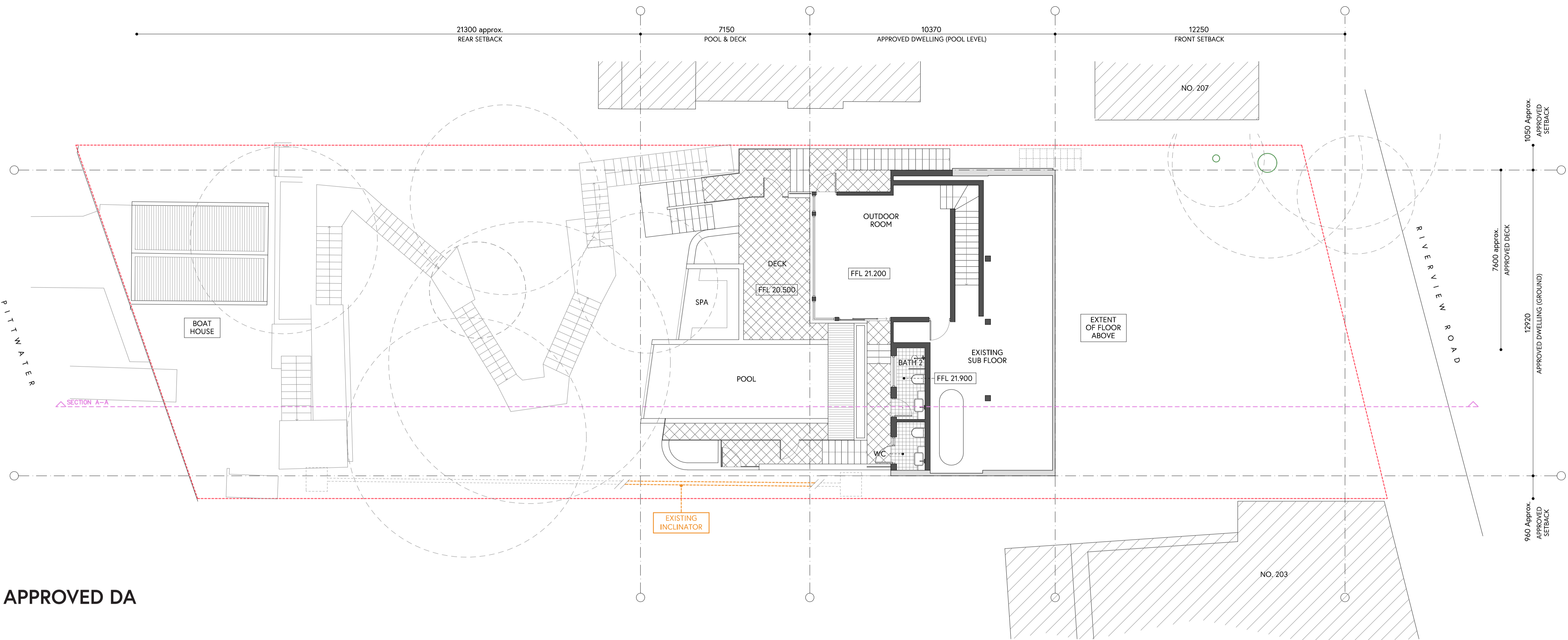
- IMPORTANT NOTES & EXPLANATIONS
- HIGH LEVEL WINDOWS FOR IMPROVED PRIVACY TO NEIGHBOUR.
 - INCREASED POOL SETBACK FROM SOUTHERN NEIGHBOUR FOR IMPROVED PRIVACY.
 - POOL SIGNIFICANTLY REDUCED IN SIZE.
 - SOLID WALL IMPROVES VISUAL & ACOUSTIC PRIVACY FOR POOL.
 - GENERAL RATIONALISATION OF MATERIALS ROOF LINES, WINDOWS PLACEMENT ETC. TO REDUCE VISUAL CLUTTER OF PREVIOUS SCHEME.

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REVISION: R.1 MODIFICATION APPLICATION 08.04.2025					
DRAWING: FLOOR PLAN LOWER					
NUMBER: A - 10					

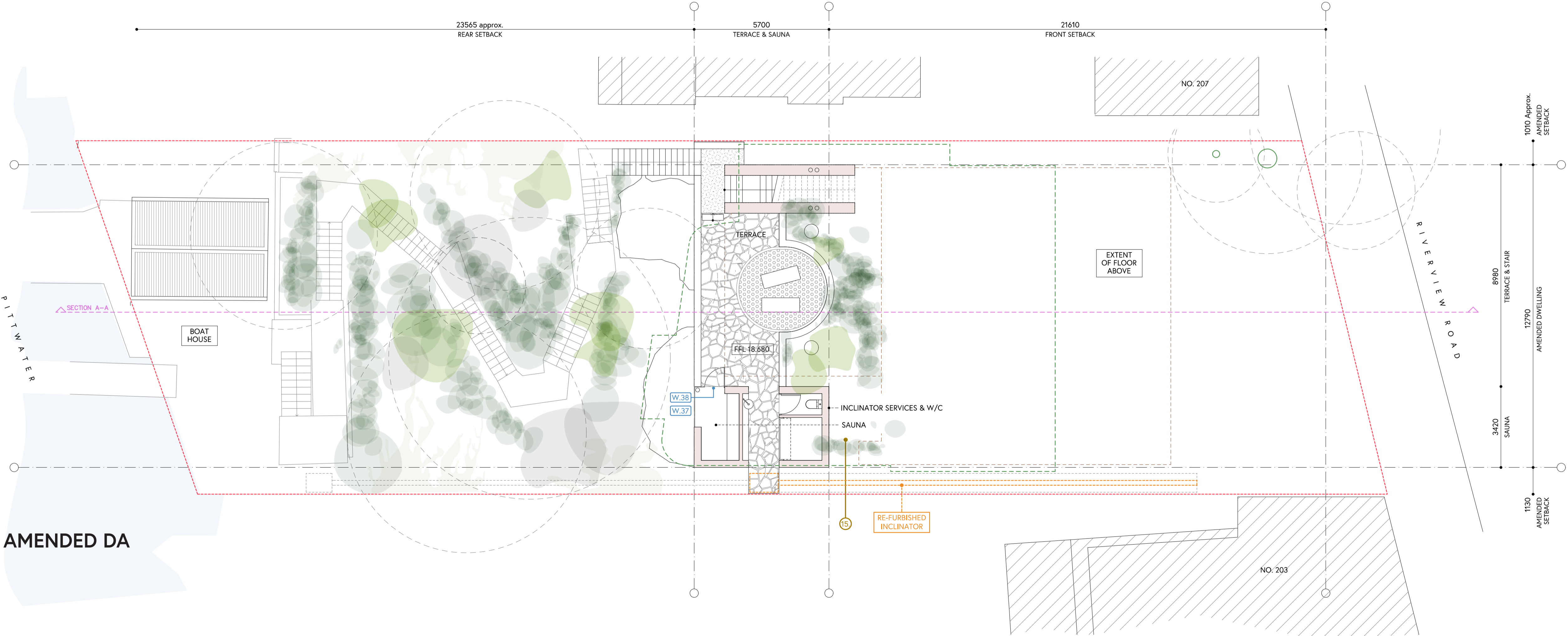
SHEET:	10 OF 39
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ODE



APPROVED DA



AMENDED DA

TERRACE FLOOR PLAN

SITE SUMMARY	
SITE AREA	762.4 sqm
LOT FRONTAGE	15.365m
LOT LENGTH	51m (varies)

KEY - GENERAL	
BOUNDARY	
LINE OF APPROVED DA	
LINE ABOVE	
OBSCURE SCREENING	

KEY - WALLS	
EXISTING WALLS	
APPROVED WALLS	
NEW WALLS	

APPROVED DA - SUMMARY	
NO. OF STOREYS	4
GFA - POOL LEVEL FLOOR	57 sqm
GFA - TOTAL	427.2 sqm
NO. OF BEDROOMS	4
NO. OF CARPARKS	2
LANDSCAPED AREA	414 sqm (54%)
MAX. HEIGHT (AT EGL)	8.5m (VARIES)

AMENDED DA - SUMMARY	
NO. OF STOREYS	3
GFA - POOL LEVEL FLOOR	9 sqm
GFA - TOTAL	318 sqm
NO. OF BEDROOMS	4
NO. OF CARPARKS	2
LANDSCAPED AREA	488 sqm (64%)
MAX. HEIGHT (AT EGL)	9.0m (VARIES)

IMPORTANT NOTES & EXPLANATIONS	
15	LOWER FLOOR REMOVED ENTIRELY IN FAVOUR OF OUTDOOR TERRACE AND LANDSCAPING.

0m 1m 2m 3m 4m 5m

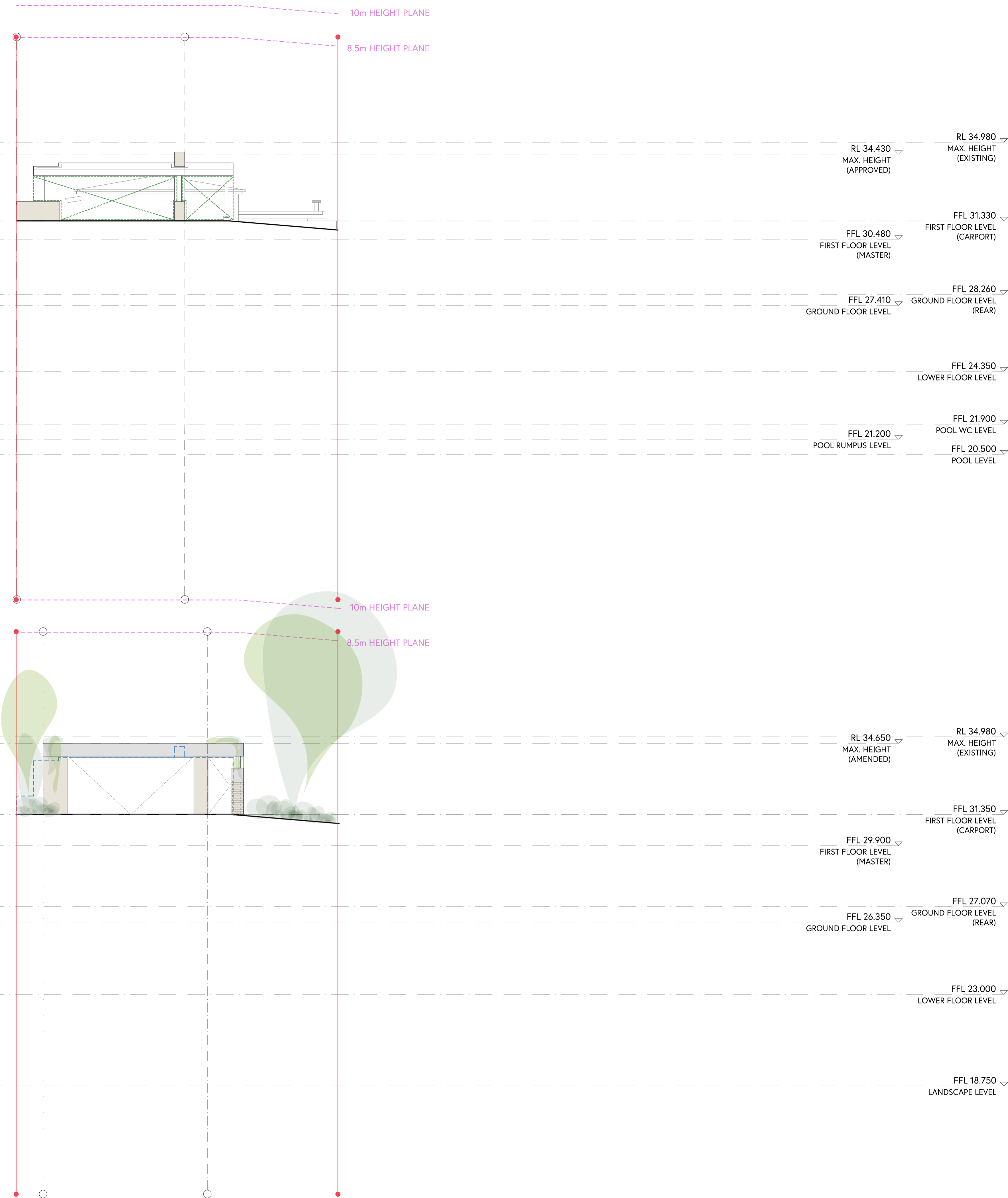
REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	FLOOR PLAN TERRACE FLOOR
NUMBER:	A - 11

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SCALE:	1:100 at A1
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APPROVED DA



AMENDED DA

EAST ELEVATIONS

SITE SUMMARY	
SITE AREA	762.4 sqm
LOT FRONTAGE	15.365m
LOT LENGTH	51m (varies)

KEY - GENERAL	
BOUNDARY	
OUTLINE OF APPROVED DA	
MAX. BUILDING HEIGHT	
EXISTING GROUND LINE	

APPROVED DA - FINISHES	
SANDSTONE CLADDING	
RENDERED MASONRY	
PAINTED BRICKWORK	
LIGHTWEIGHT CLADDING	
METAL ROOF SHEETING	
GLAZING	

AMENDED DA - FINISHES	
MASONRY FINISH 1	
MASONRY FINISH 2	
CONCRETE	
LIGHTWEIGHT CLADDING	
LANDSCAPE WALLS	
GLAZING - CLEAR	
GLAZING - OBSCURED	

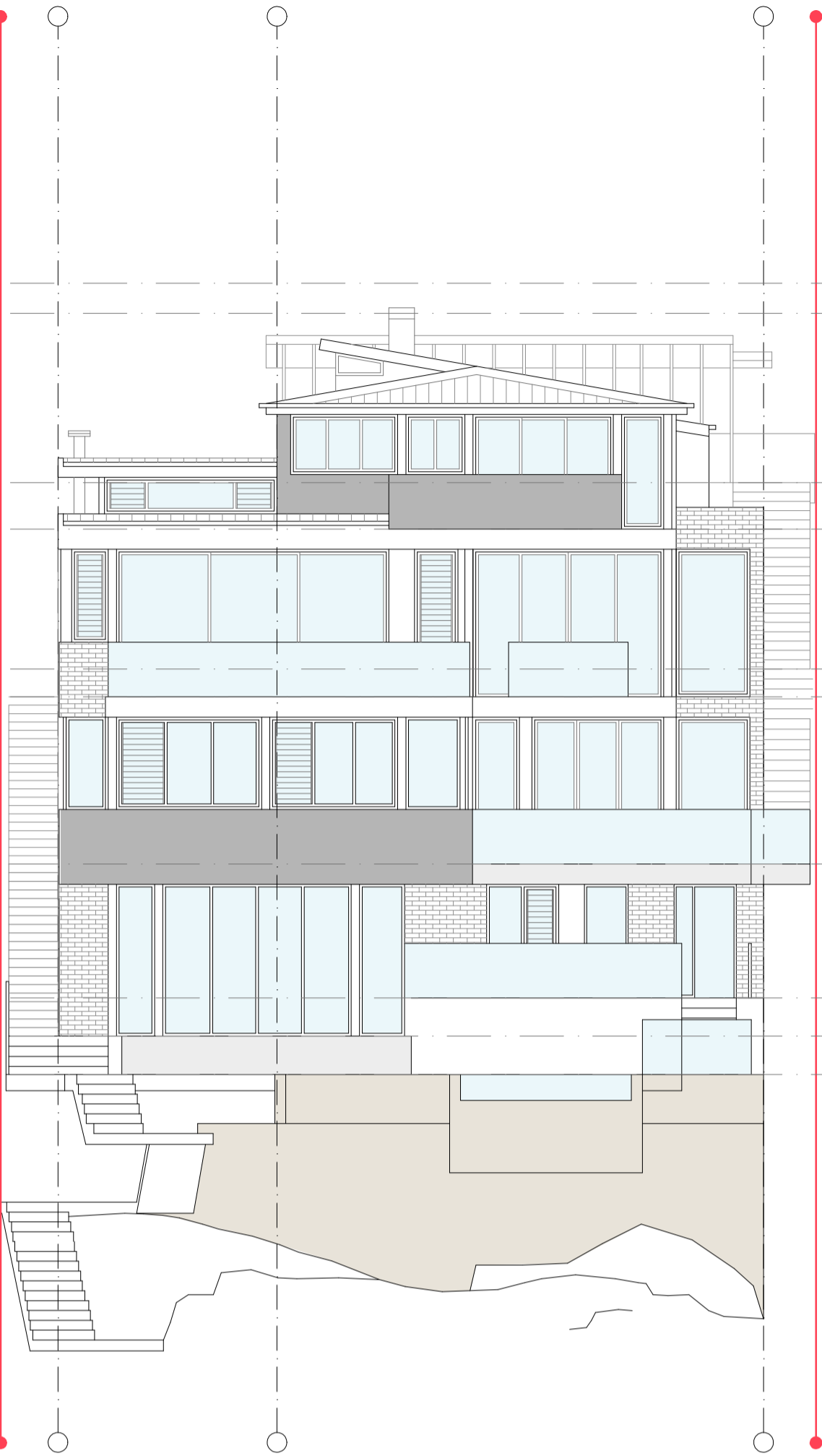
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REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025				
DRAWING:	EAST ELEVATIONS				
NUMBER:	A - 12				

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ODE

APPROVED DA



RL 34.430 MAX. HEIGHT (APPROVED)	RL 34.980 MAX. HEIGHT (EXISTING)
FFL 30.480 FIRST FLOOR LEVEL (MASTER)	FFL 31.330 FIRST FLOOR LEVEL (CARPORT)
FFL 27.410 GROUND FLOOR LEVEL	FFL 28.260 GROUND FLOOR LEVEL (REAR)
	FFL 24.350 LOWER FLOOR LEVEL
FFL 21.200 POOL RUMPUS LEVEL	FFL 21.900 POOL WC LEVEL
	FFL 20.500 POOL LEVEL

SOUTH ELEVATIONS

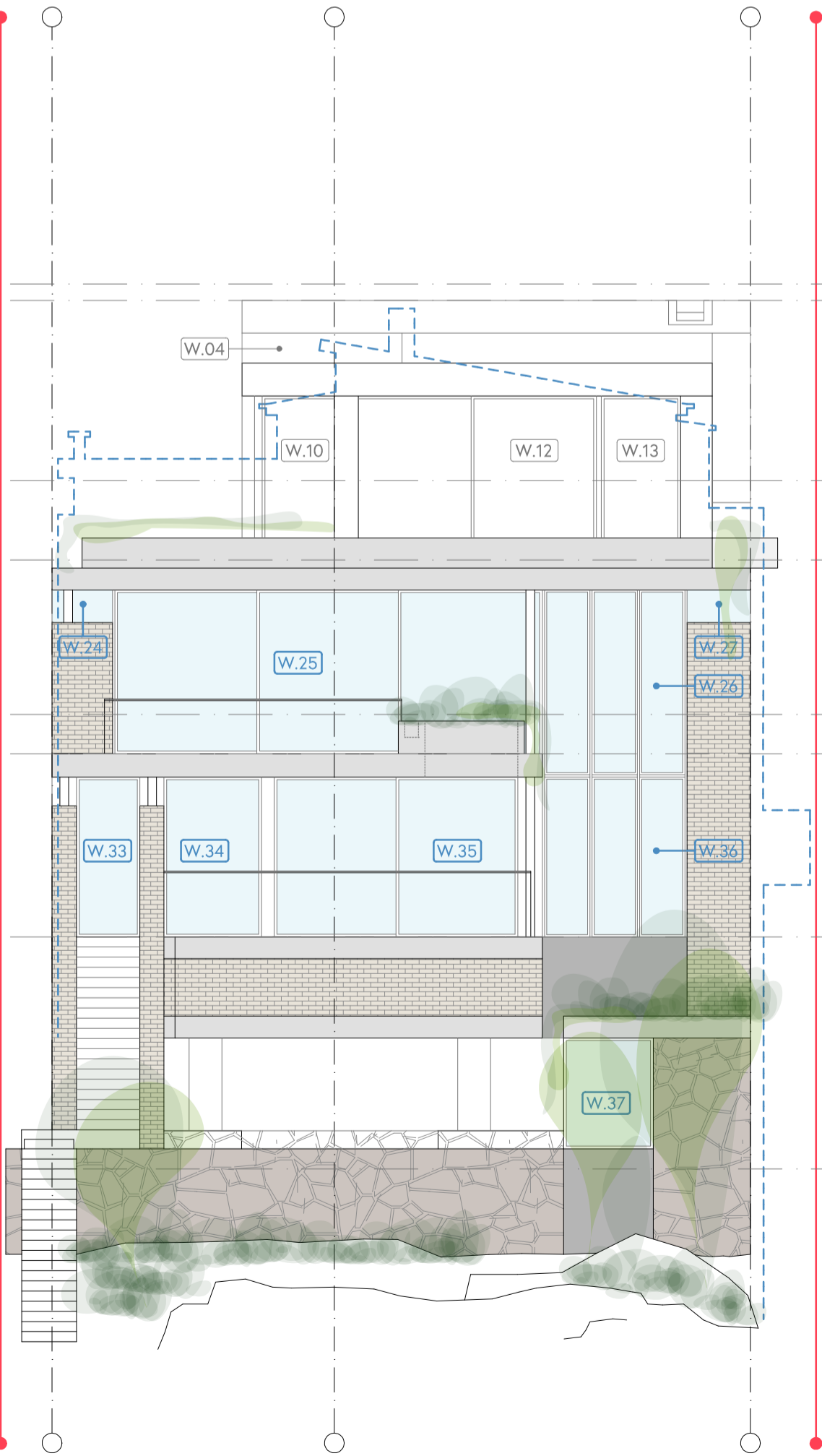
SITE SUMMARY	
SITE AREA	762.4 sqm
LOT FRONTAGE	15.365m
LOT LENGTH	51m (varies)

KEY - GENERAL	
BOUNDARY	
OUTLINE OF APPROVED DA	
MAX. BUILDING HEIGHT	
EXISTING GROUND LINE	

APPROVED DA - FINISHES	
SANDSTONE CLADDING	
RENDERED MASONRY	
PAINTED BRICKWORK	
LIGHTWEIGHT CLADDING	
METAL ROOF SHEETING	
GLAZING	

AMENDED DA - FINISHES	
MASONRY FINISH 1	
MASONRY FINISH 2	
CONCRETE	
LIGHTWEIGHT CLADDING	
LANDSCAPE WALLS	
GLAZING - CLEAR	
GLAZING - OBSCURED	

AMENDED DA



RL 34.650 MAX. HEIGHT (AMENDED)	RL 34.980 MAX. HEIGHT (EXISTING)
FFL 29.900 FIRST FLOOR LEVEL (MASTER)	FFL 31.350 FIRST FLOOR LEVEL (CARPORT)
FFL 26.350 GROUND FLOOR LEVEL	FFL 27.070 GROUND FLOOR LEVEL (REAR)
	FFL 23.000 LOWER FLOOR LEVEL
	FFL 18.750 LANDSCAPE LEVEL

0m 1m 2m 3m 4m 5m

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	SOUTH ELEVATIONS
NUMBER:	A - 13



SHEET:	13 OF 39
SCALE:	1:100 at A1
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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APPROVED DA

AMENDED DA

NORTH ELEVATIONS

SITE SUMMARY	
SITE AREA	762.4 sqm
LOT FRONTAGE	15.365m
LOT LENGTH	51m (varies)

KEY - GENERAL	
BOUNDARY	
OUTLINE OF APPROVED DA	
MAX. BUILDING HEIGHT	
EXISTING GROUND LINE	

APPROVED DA - FINISHES	
SANDSTONE CLADDING	
RENDERED MASONRY	
PAINTED BRICKWORK	
LIGHTWEIGHT CLADDING	
METAL ROOF SHEETING	
GLAZING	

AMENDED DA - FINISHES	
MASONRY FINISH 1	
MASONRY FINISH 2	
CONCRETE	
LIGHTWEIGHT CLADDING	
LANDSCAPE WALLS	
GLAZING - CLEAR	
GLAZING - OBSCURED	

0m 1m 2m 3m 4m 5m

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	NORTH ELEVATIONS
NUMBER:	A - 14

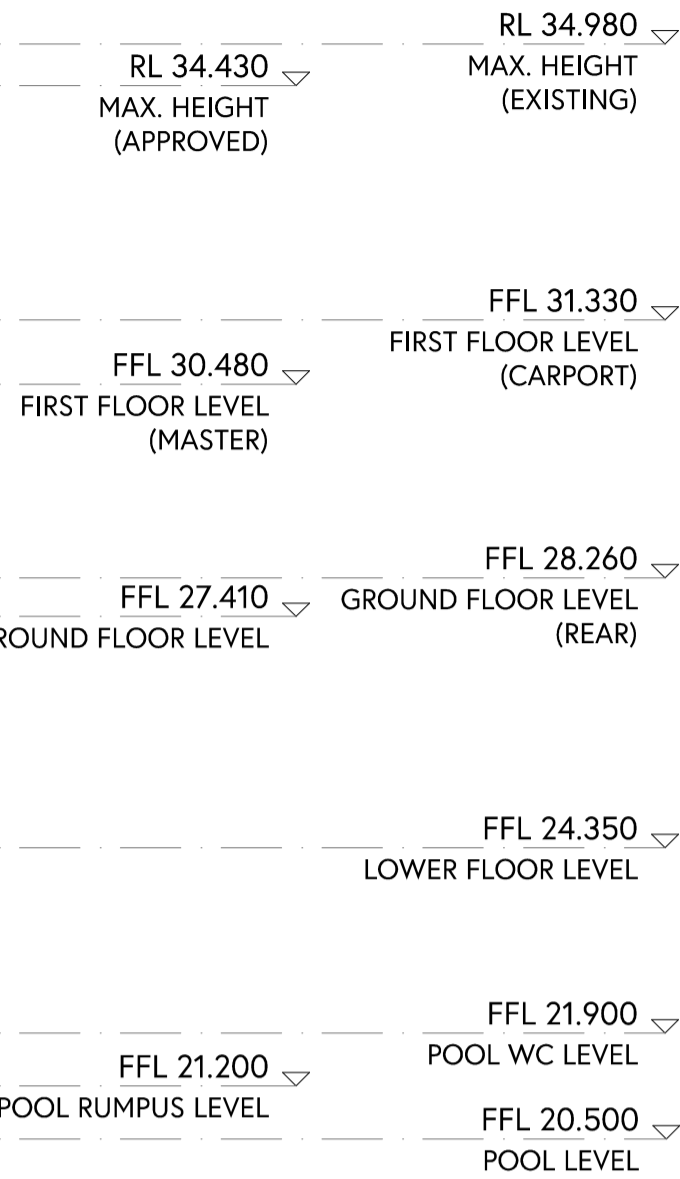
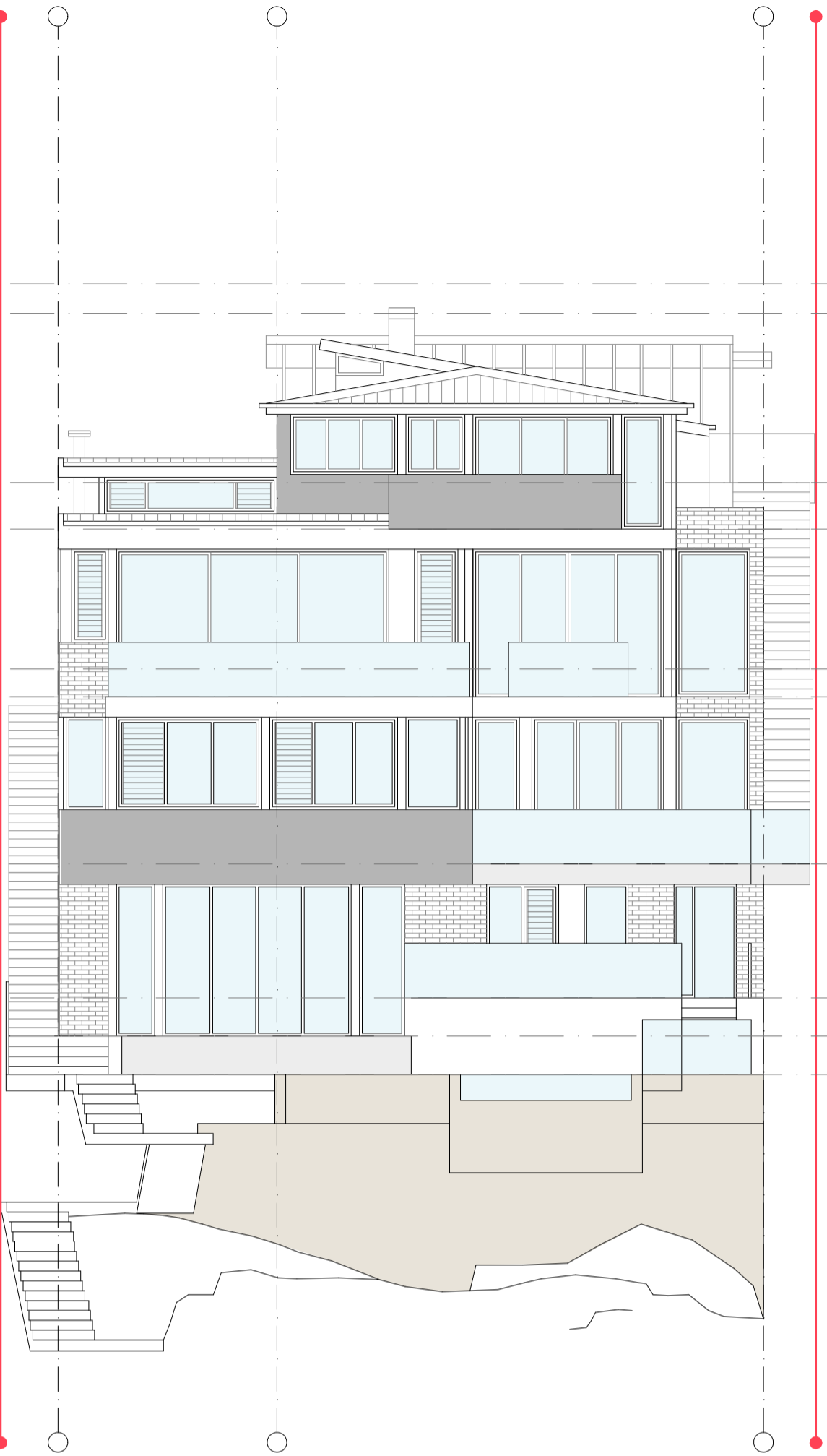


SHEET:	14 OF 39
SCALE:	1:100 at A1
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

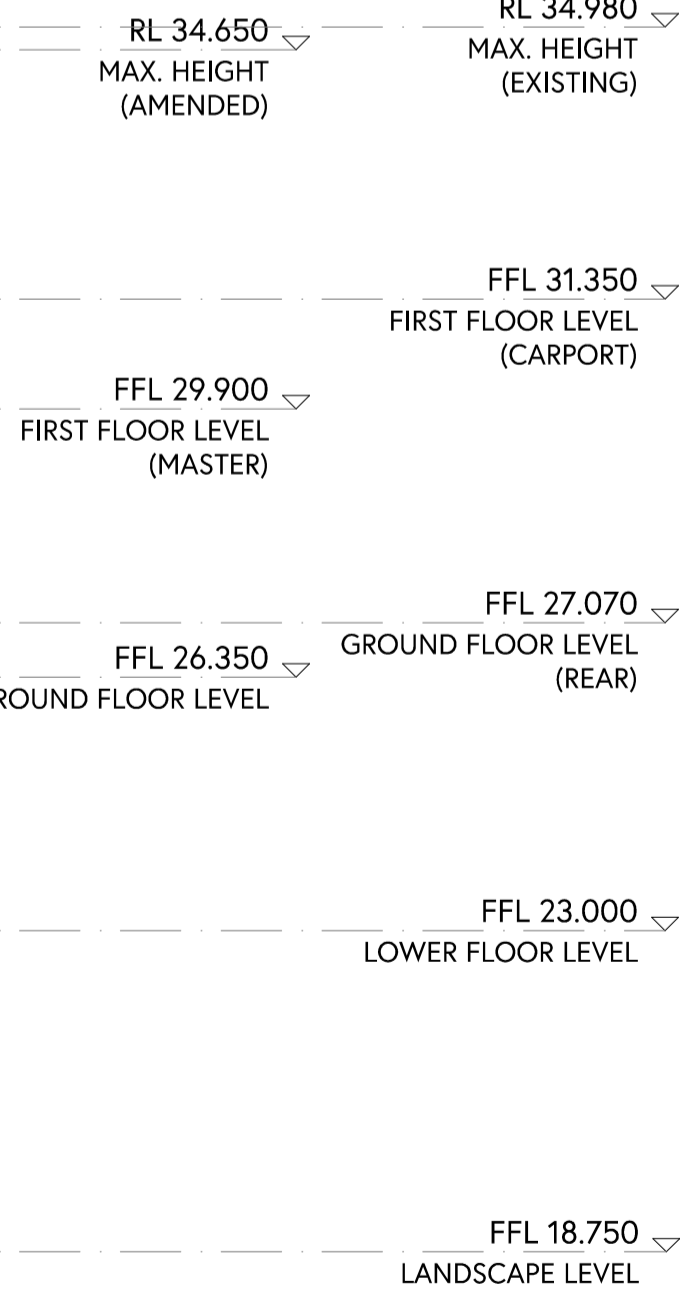
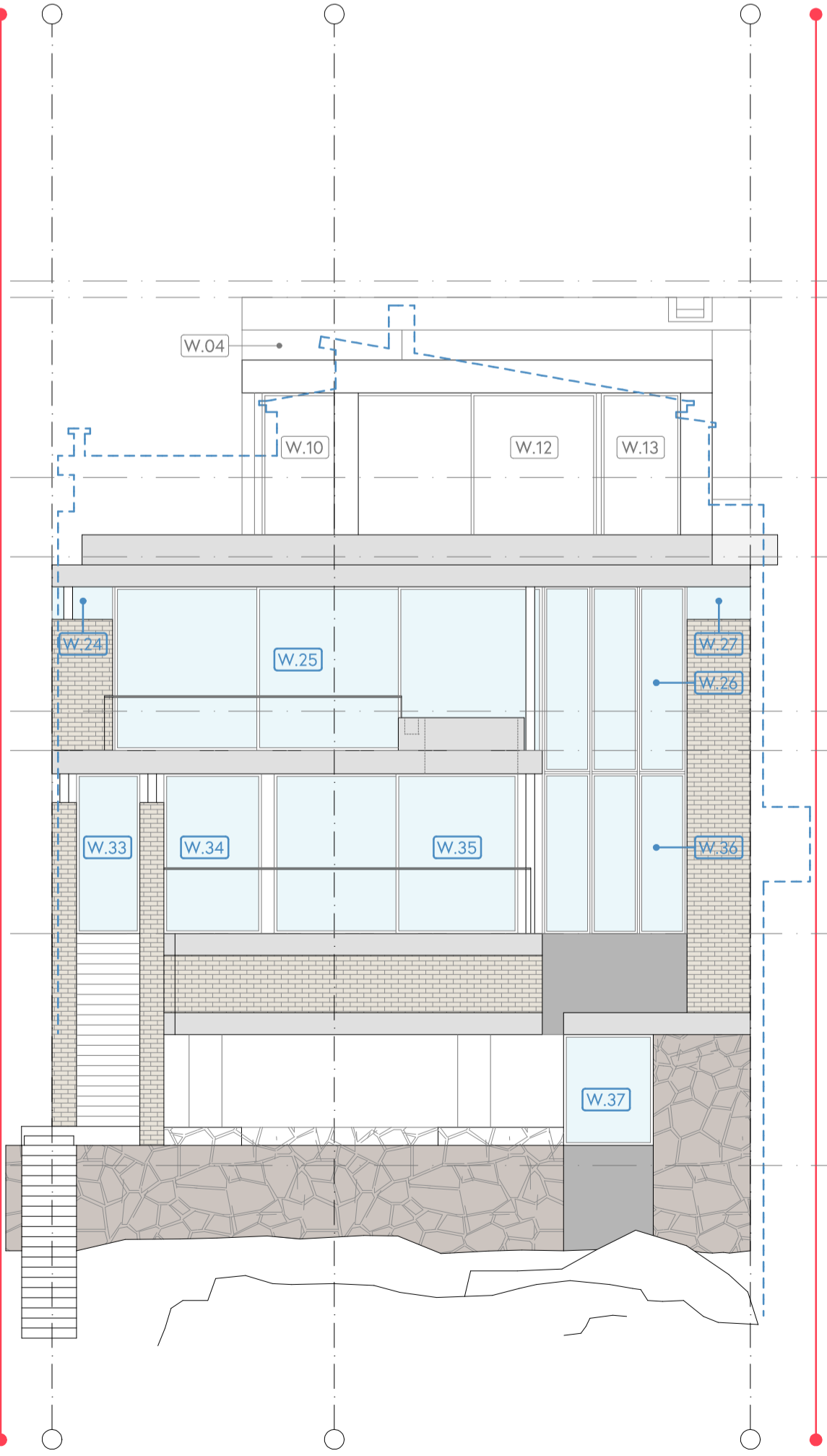
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APPROVED DA



AMENDED DA



WEST ELEVATIONS

SITE SUMMARY	
SITE AREA	762.4 sqm
LOT FRONTAGE	15.365m
LOT LENGTH	51m (varies)

KEY - GENERAL	
BOUNDARY	
OUTLINE OF APPROVED DA	
MAX. BUILDING HEIGHT	
EXISTING GROUND LINE	

APPROVED DA - FINISHES	
SANDSTONE CLADDING	
RENDERED MASONRY	
PAINTED BRICKWORK	
LIGHTWEIGHT CLADDING	
METAL ROOF SHEETING	
GLAZING	

AMENDED DA - FINISHES	
MASONRY FINISH 1	
MASONRY FINISH 2	
CONCRETE	
LIGHTWEIGHT CLADDING	
LANDSCAPE WALLS	
GLAZING - CLEAR	
GLAZING - OBSCURED	

0m 1m 2m 3m 4m 5m

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	WEST ELEVATIONS
NUMBER:	A - 15



SHEET:	15 OF 39
SCALE:	1:100 at A1
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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APPROVED DA

AMENDED DA

SECTIONS

SITE SUMMARY	
SITE AREA	762.4 sqm
LOT FRONTAGE	15.365m
LOT LENGTH	51m (varies)

KEY - GENERAL	
BOUNDARY	
OUTLINE OF APPROVED DA	
MAX. BUILDING HEIGHT	
EXISTING GROUND LINE	

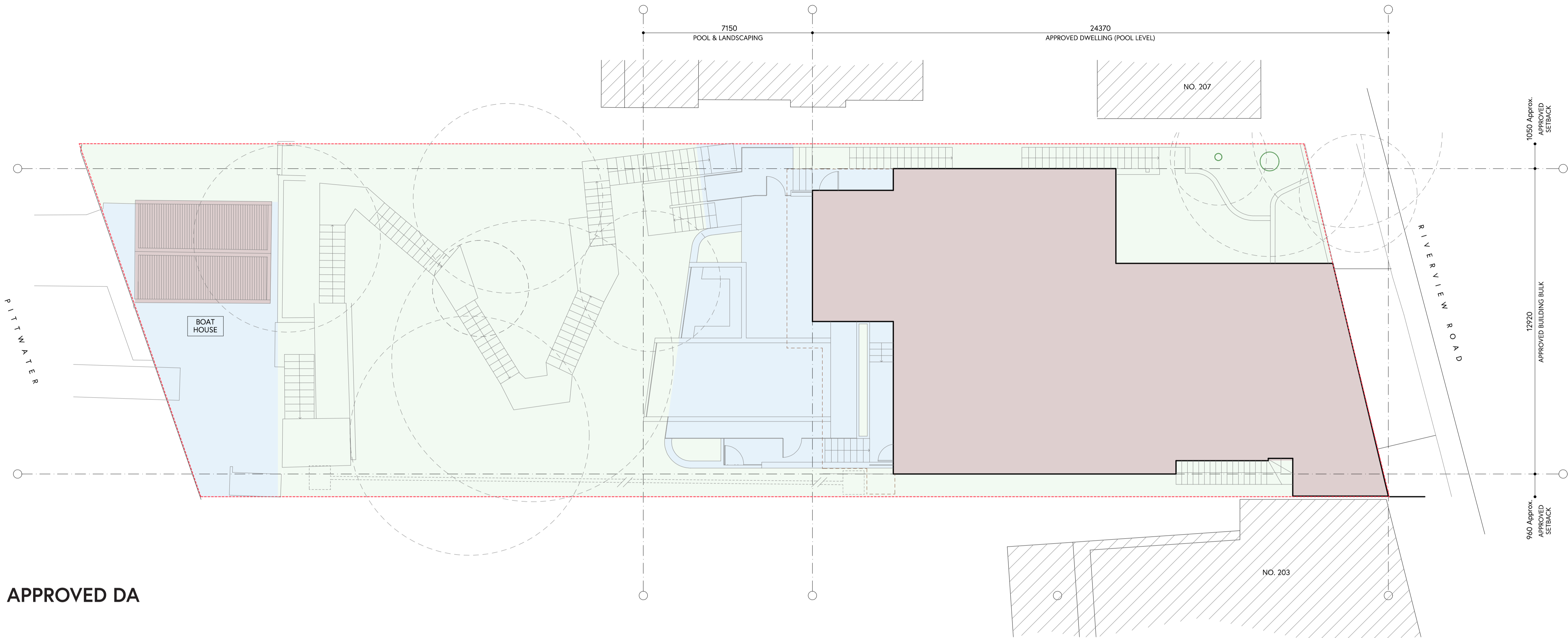
REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	SECTIONS
NUMBER:	A - 16



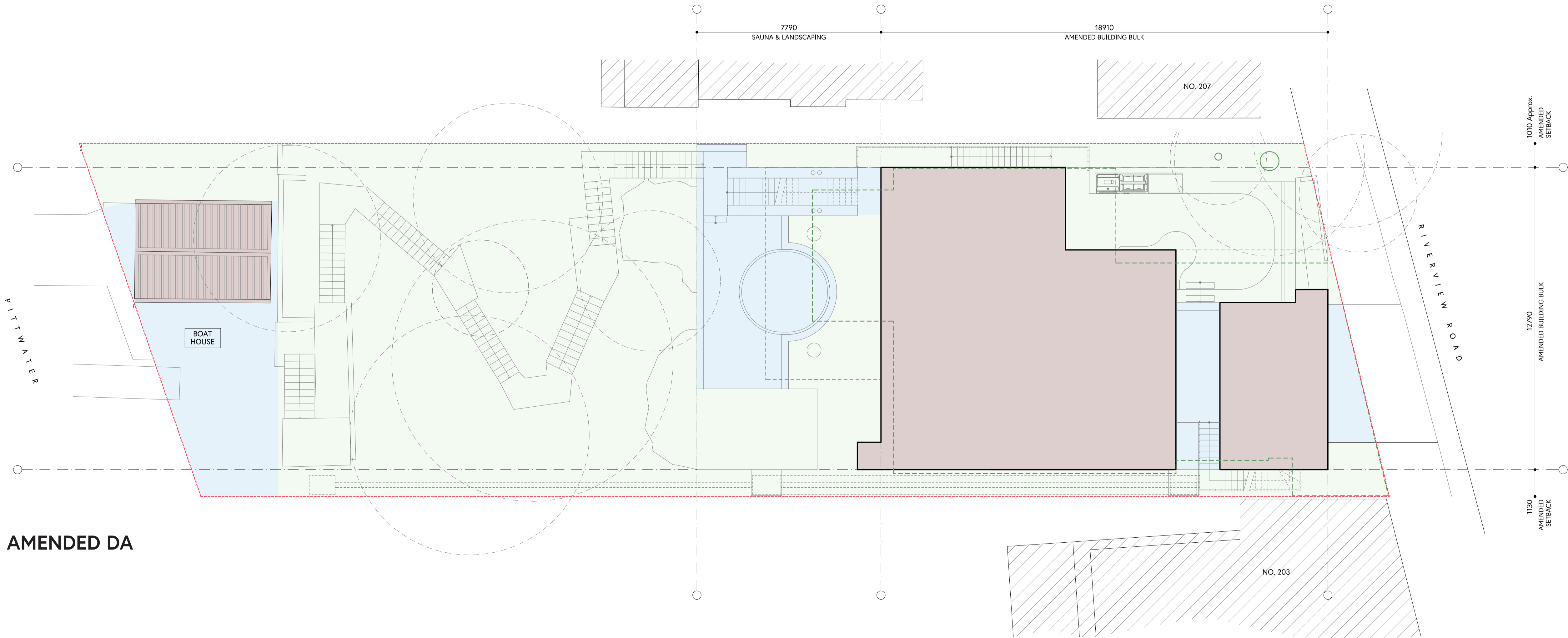
SHEET:	16 OF 39
SCALE:	1:100 at A1
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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ODE ACKNOWLEDGE THE TRADITIONAL CUSTODIANS OF THE LAND UPON WHICH WE LIVE & PRACTICE & PAY OUR RESPECTS TO ELDER PAST & PRESENT. WE RECOGNISE THE CONTINUOUS ENGAGEMENT & CARING OF THE LANDS, WATERS & SKIES BY FIRST NATIONS PEOPLES FOR TIME IMMEMORIAL.



APPROVED DA



AMENDED DA

AREA COMPARISON

SITE SUMMARY	
SITE AREA	762.4sqm
LOT FRONTAGE	15.365m
LOT LENGTH	51m (varies)

KEY - GENERAL	
BOUNDARY	
LINE OF APPROVED DA	
LINE ABOVE	

APPROVED DA - SUMMARY	
BUILT UPON AREA	
SOFT LANDSCAPING	367 sqm
IMPERVIOUS LANDSCAPE	46 sqm
TOTAL LANDSCAPE AREA	413 sqm / 54%

AMENDED DA - SUMMARY	
BUILT UPON AREA	
SOFT LANDSCAPING	442 sqm
IMPERVIOUS LANDSCAPE	116 sqm
TOTAL LANDSCAPE AREA	558 sqm / 73%

0m 1m 2m 3m 4m 5m

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	AREA COMPARISON
NUMBER:	A - 17

SHEET:	17 OF 39
SCALE:	1:100 at A1
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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ODE

MATERIAL COMPARISON



APPROVED DWELLING
View from street facing West



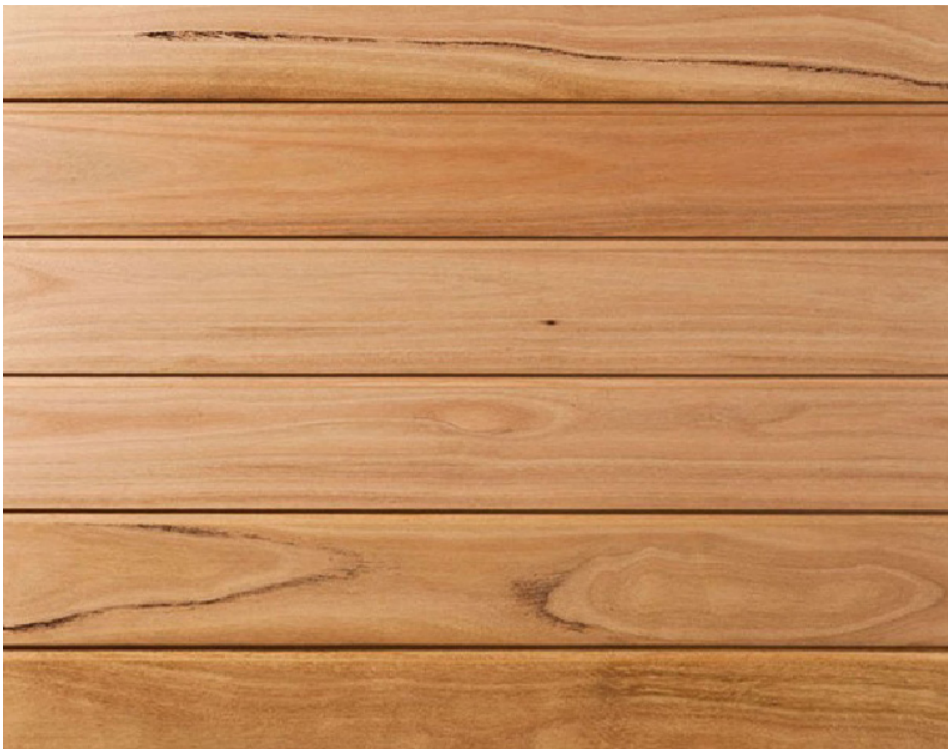
Finish 1
Sandstone Cladding



Finish 2
Rendered Masonry - Mid Grey



Finish 3
Painted Brickwork - Light Grey



Finish 4
Timber Cladding - Natural



Finish 5
Timber Weatherboard Cladding - Grey



Finish 6
Metal Roof Sheetting



Finish 7
Window Framing - Black



AMENDED DWELLING
View from street facing West



Finish 1
Masonry Finish 1



Finish 2
Masonry Finish 2



Finish 3
Concrete



Finish 4
Lightweight Metal Cladding



Finish 5
Landscape Stone Walls



Finish 6
Window Framing - Bronze

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	MATERIAL SCHEDULE
NUMBER:	A - 18



SHEET:	18 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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AXO COMPARISON 1



REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	AXO COMPARISON 1
NUMBER:	A - 19
<div>ODE</div>	
SHEET:	19 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25
<small>ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SHOWN. ALL LEVELS ARE IN METRES TO AHD UNLESS OTHERWISE NOTED. WORK TO FIGURED DIMENSIONS. DO NOT SCALE FROM DRAWINGS. CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO ODE PRIOR TO CONSTRUCTION OR FABRICATION OF ANY ITEM. THIS DRAWING IS TO BE READ INCONJUNCTION WITH THE TOTAL DOCUMENTATION PACKAGE.</small>	

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AXO COMPARISON 2



AMENDED DA
South Western View



APPROVED DA
South Western View

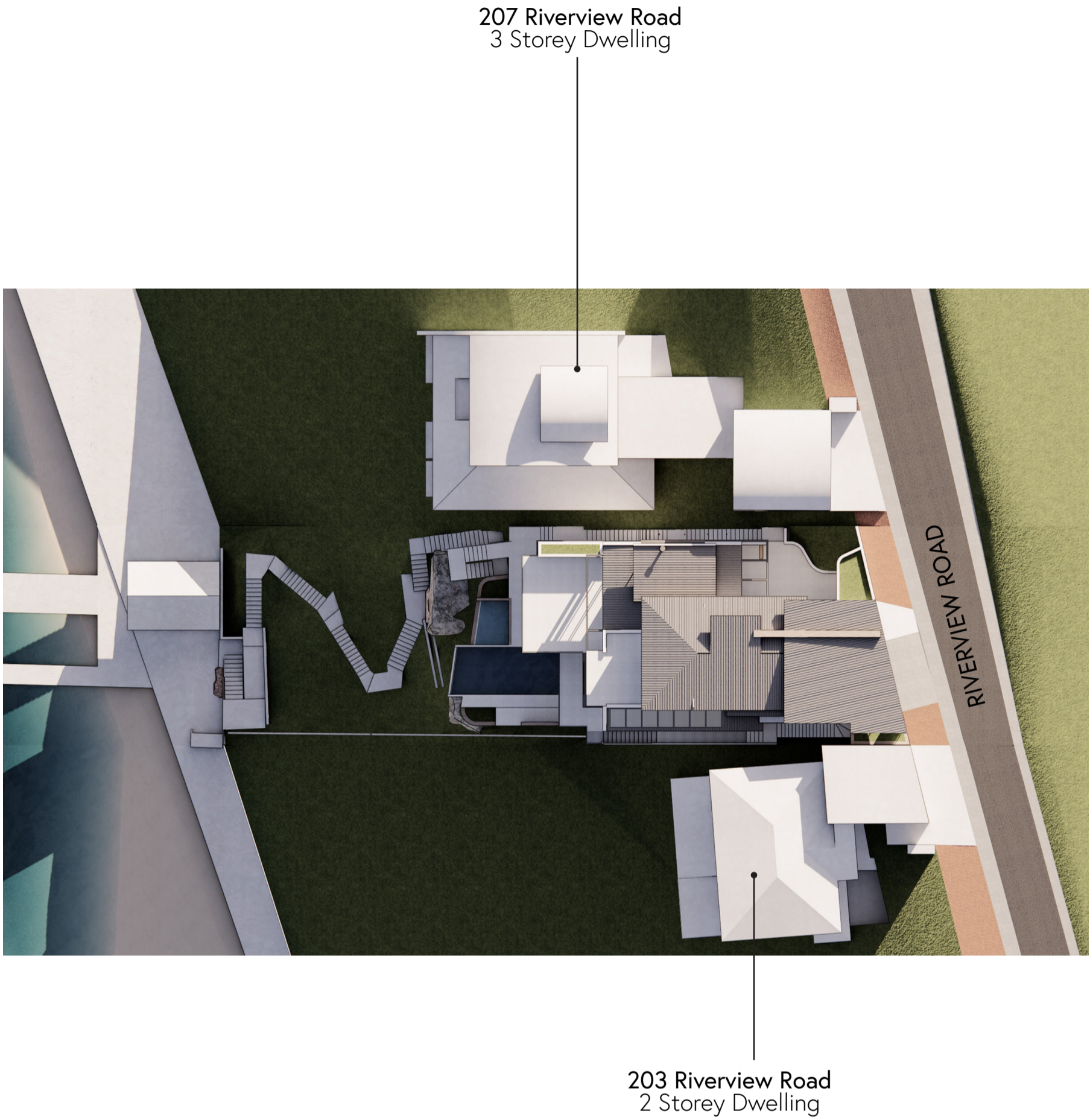
REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	AXO COMPARISON 2
NUMBER:	A - 20



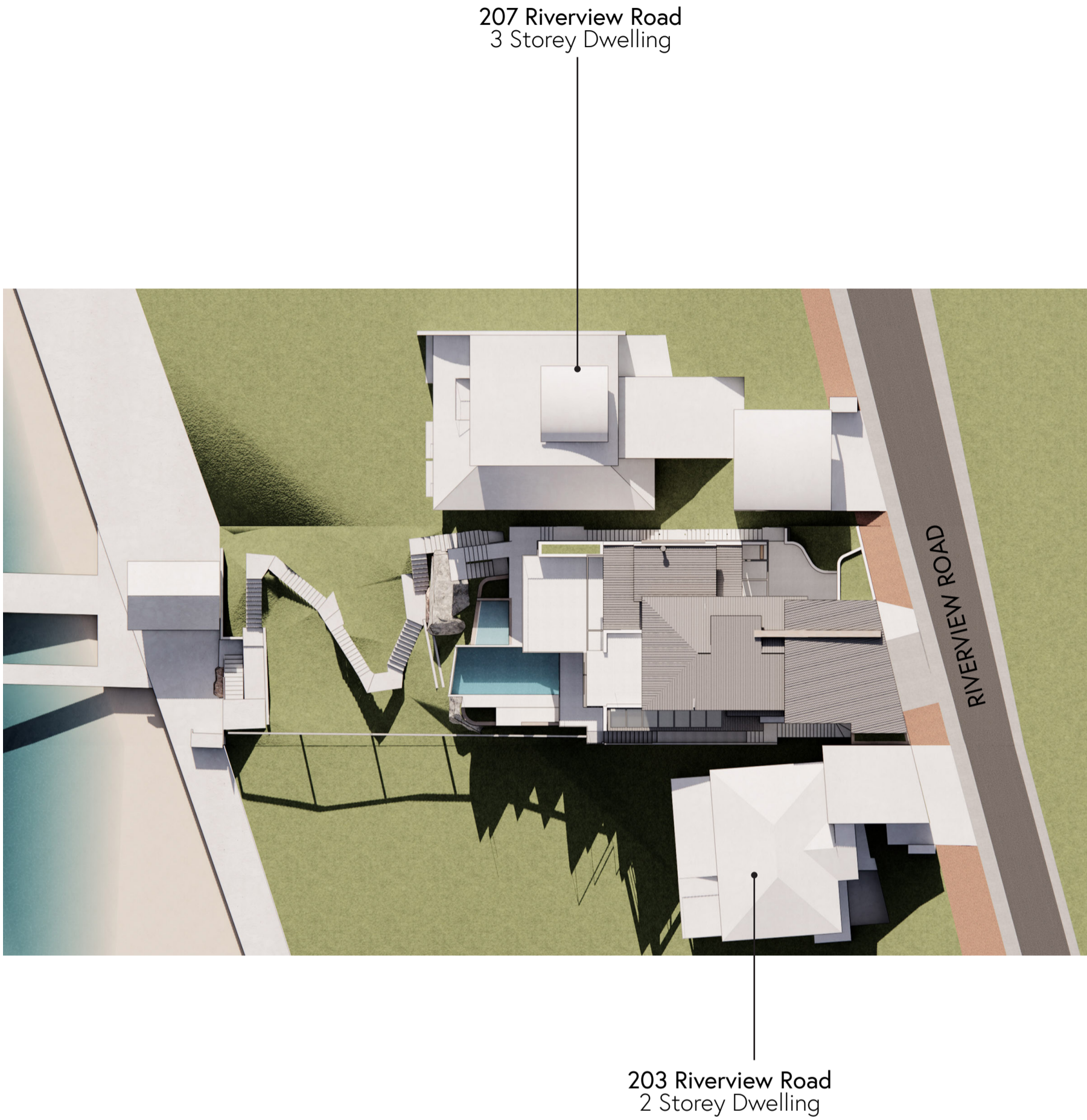
SHEET:	20 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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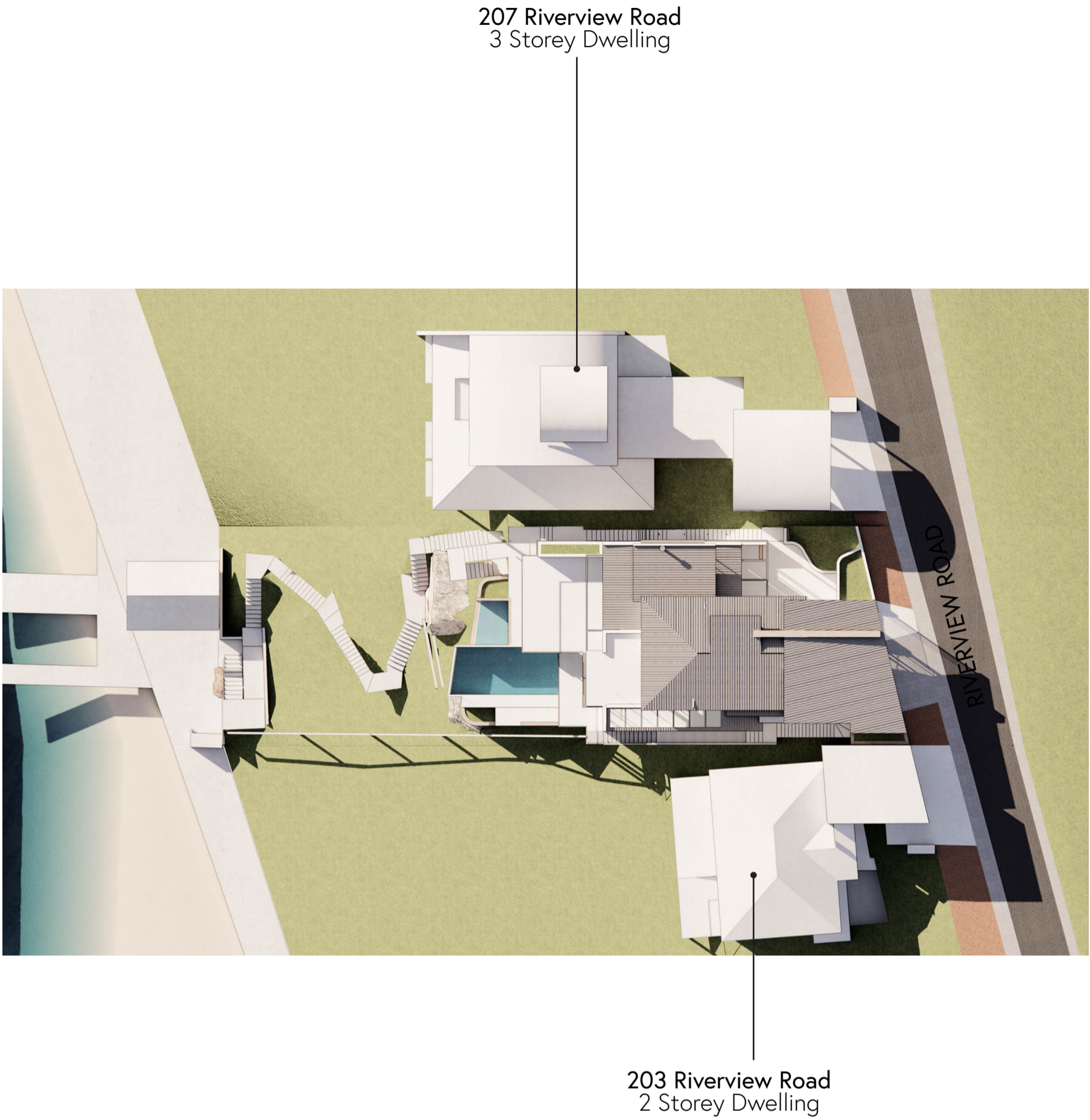
SHADOW DIAGRAMS | APPROVED



APPROVED SHADOW DIAGRAM
9AM - 21ST OF JUNE



APPROVED SHADOW DIAGRAM
12PM - 21ST OF JUNE



APPROVED SHADOW DIAGRAM
3PM - 21ST OF JUNE

REVISION:

R.1 | MODIFICATION APPLICATION | 08.04.2025

DRAWING:

SHADOW DIAGRAMS | APPROVED

NUMBER:

A - 21

ODE

ODE ARCHITECTURE STUDIO | A/N: 20 449 560 332 | 0408 633 915 | WELCOMEBODE-ARCHITUDIO.COM | 166 BUILDING SUITE 301, LEVEL 3, 45 HUNTER STREET, NEWCASTLE 2300 | NOMINATED ARCHITECT (BIBERTON PORTER NSW REG. 10032)

SHEET:

21 OF 39

SCALE:

-

PROJECT:

ALTERATIONS & ADDITIONS

LOCATION:

205 RIVERVIEW ROAD, AVALON BEACH

CLIENT:

SIMON & KRISTEN ROONEY

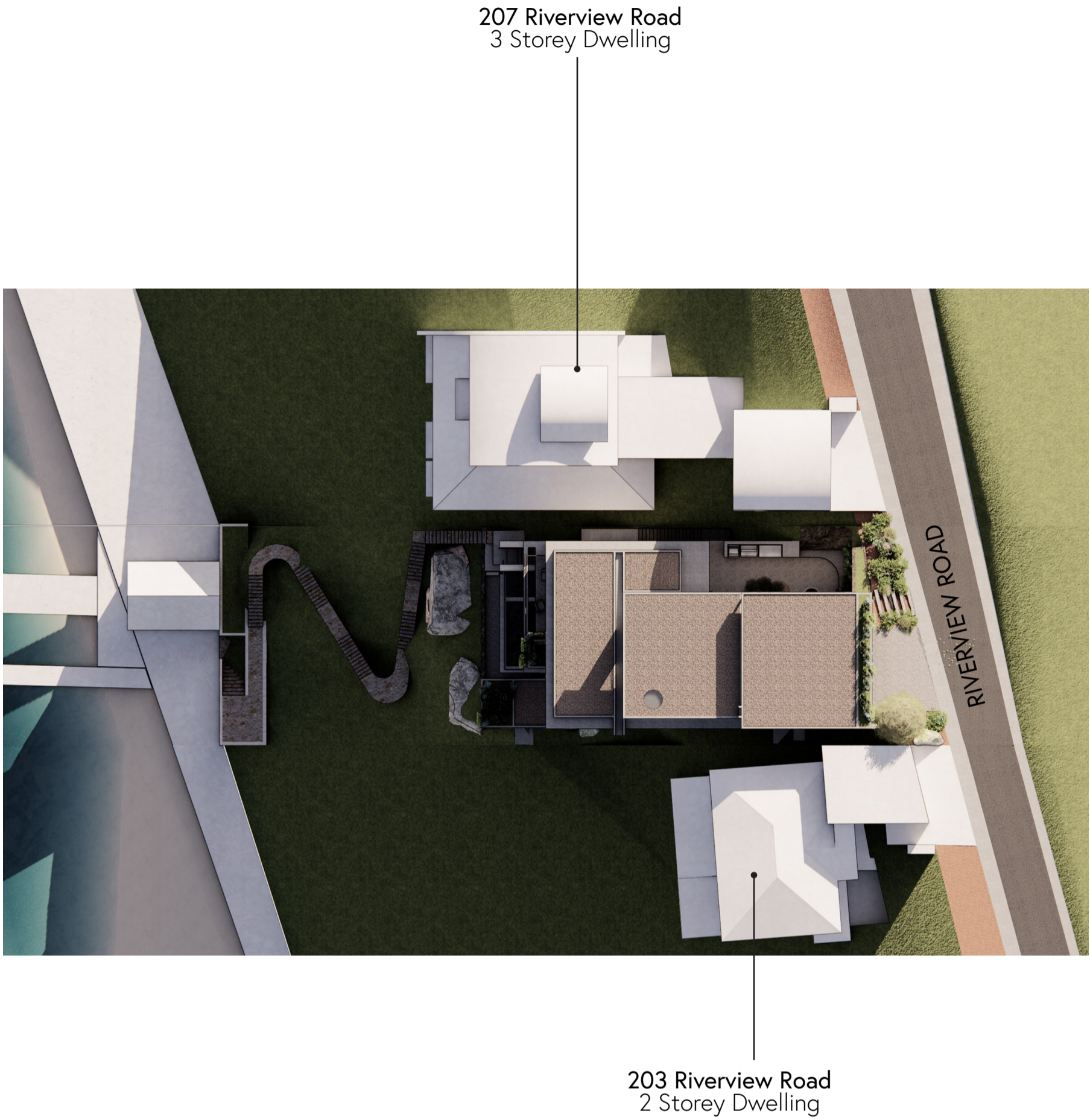
REFERENCE:

139_25

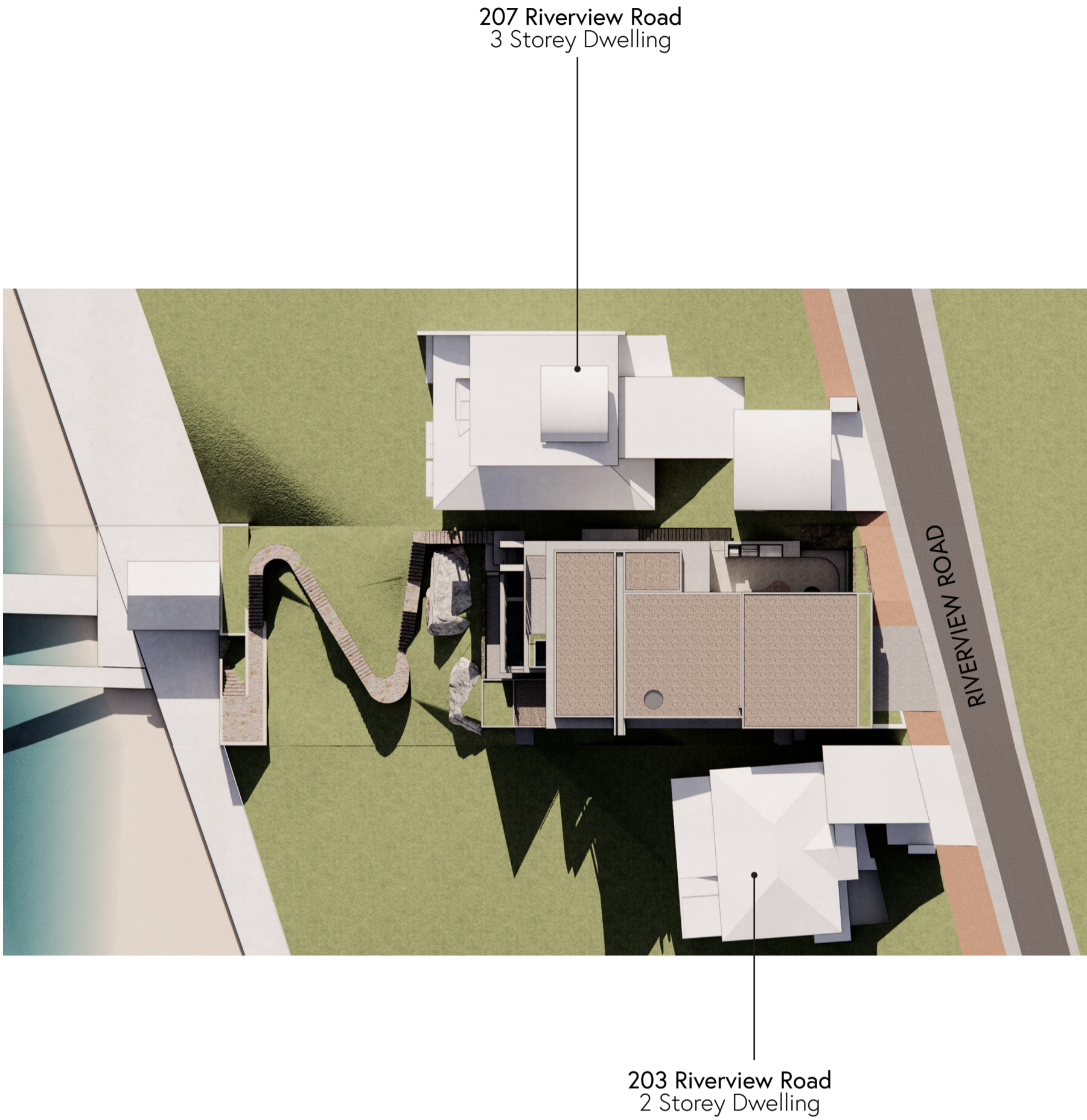
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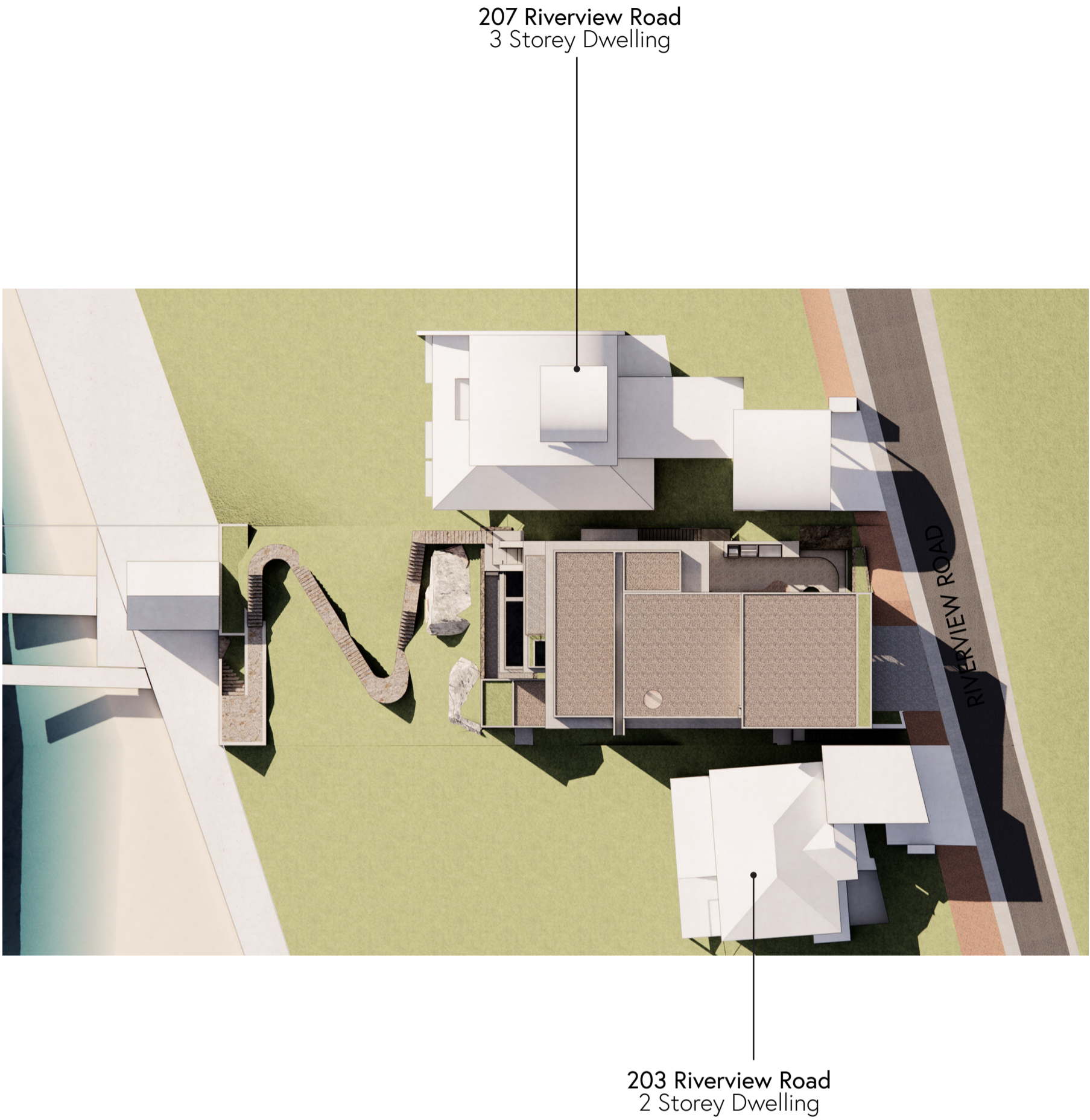
SHADOW DIAGRAMS | AMENDED



AMENDED SHADOW DIAGRAM
9AM - 21ST OF JUNE



AMENDED SHADOW DIAGRAM
12PM - 21ST OF JUNE



AMENDED SHADOW DIAGRAM
3PM - 21ST OF JUNE

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	SHADOW DIAGRAMS AMENDED
NUMBER:	A - 22
ODE	
SHEET:	22 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25
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VISUAL COMPARISON 1



APPROVED DA
View from street facing West



AMENDED DA
View from street facing West

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 1
NUMBER:	A - 23
SHEET: 23 OF 39	
SCALE: -	
PROJECT: ALTERATIONS & ADDITIONS	
LOCATION: 205 RIVERVIEW ROAD, AVALON BEACH	
CLIENT: SIMON & KRISTEN ROONEY	
REFERENCE: 139_25	

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VISUAL COMPARISON 2



APPROVED DA
View from street facing North



AMENDED DA
View from street facing North

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 2
NUMBER:	A - 24



SHEET:	24 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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VISUAL COMPARISON 3



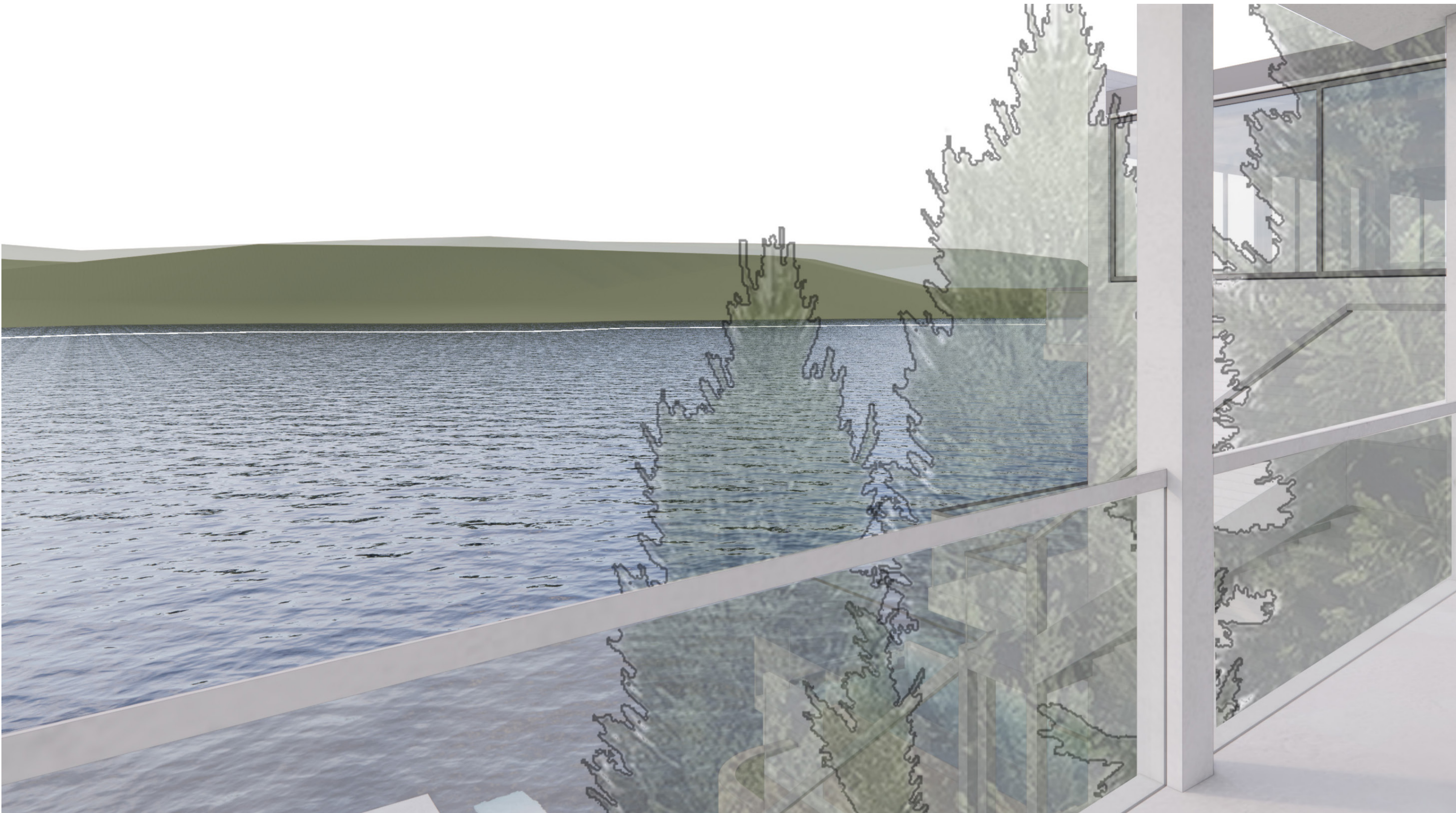
APPROVED DA
View from street above



AMENDED DA
View from street above

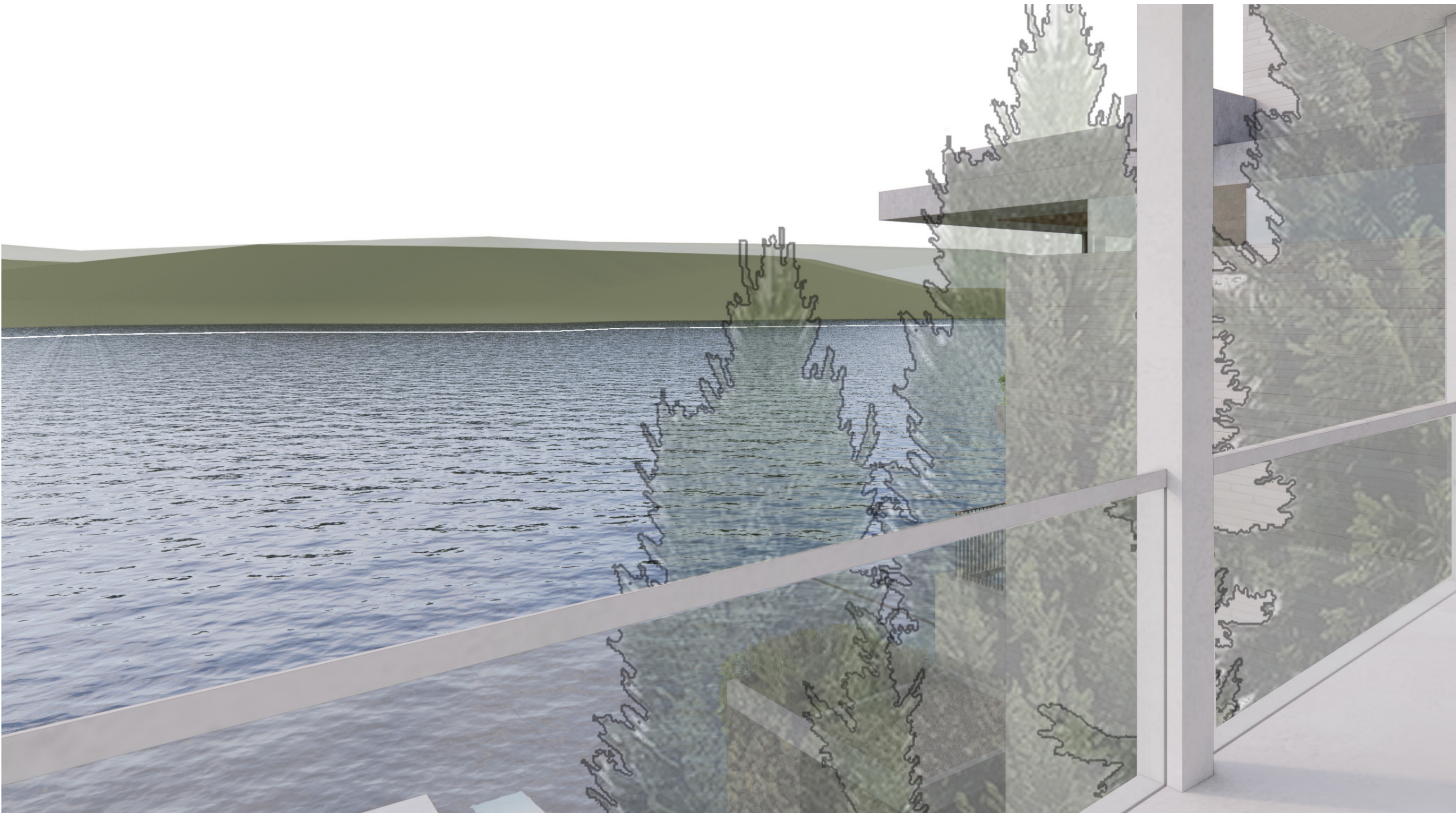
REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 3
NUMBER:	A - 25
ODE	
SHEET:	25 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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APPROVED DA

View from upper deck of 203 Riverview Road, facing North West
* Existing Leighton Green Trees indicatively shown.
Currently blocks north western view of lake & subject site.



AMENDED DA

View from upper deck of 203 Riverview Road, facing North West
* Existing Leighton Green Trees indicatively shown.
Currently blocks north western view of lake & subject site.

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 4
NUMBER:	A - 26



SHEET:	26 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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VISUAL COMPARISON 5



APPROVED DA
View from pool level facing North West

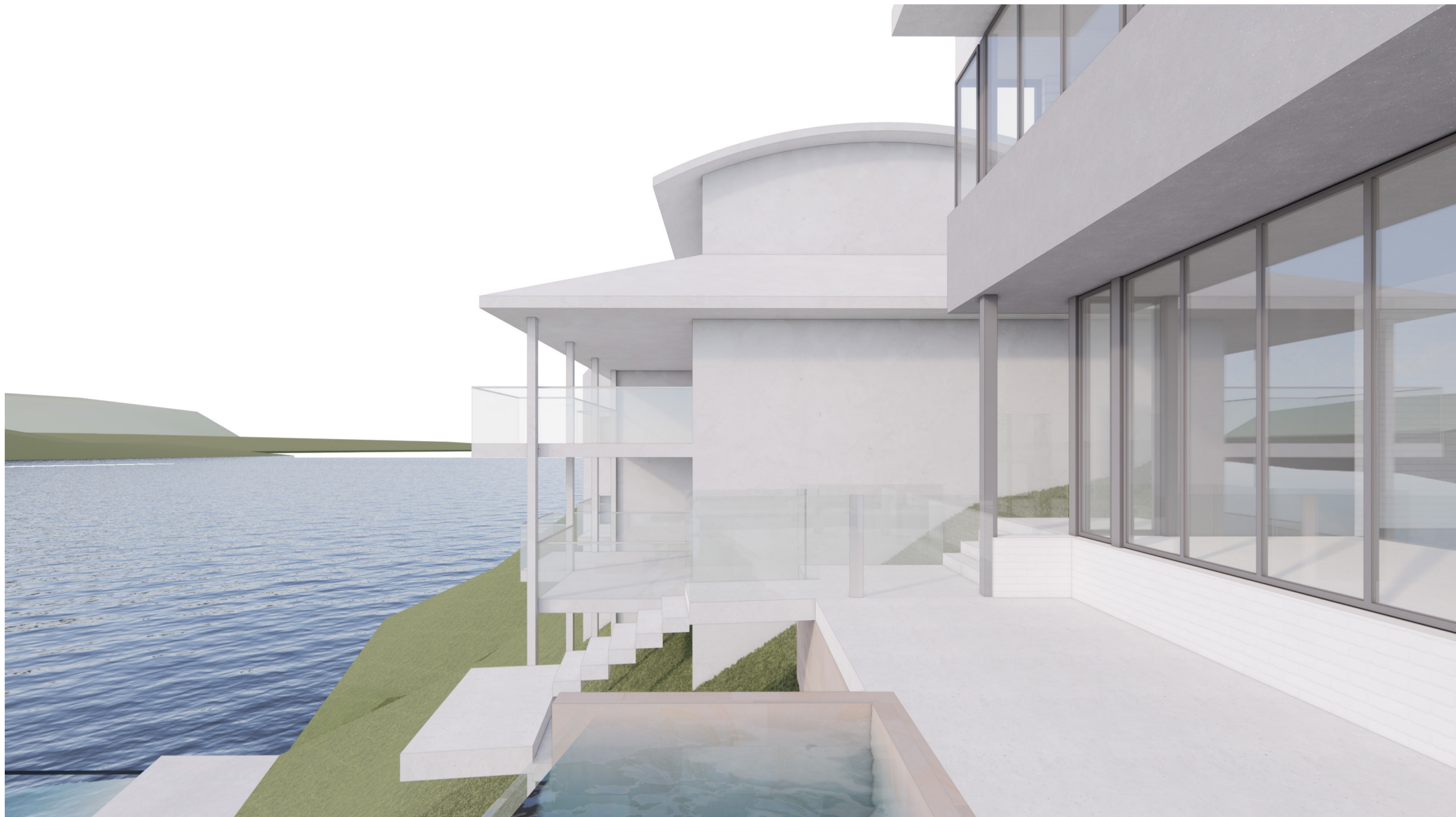


AMENDED DA
View from pool level facing North West

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 5
NUMBER:	A - 27
ODE	
SHEET:	27 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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VISUAL COMPARISON 6



APPROVED DA
View from pool level facing North



AMENDED DA
View from pool level facing North

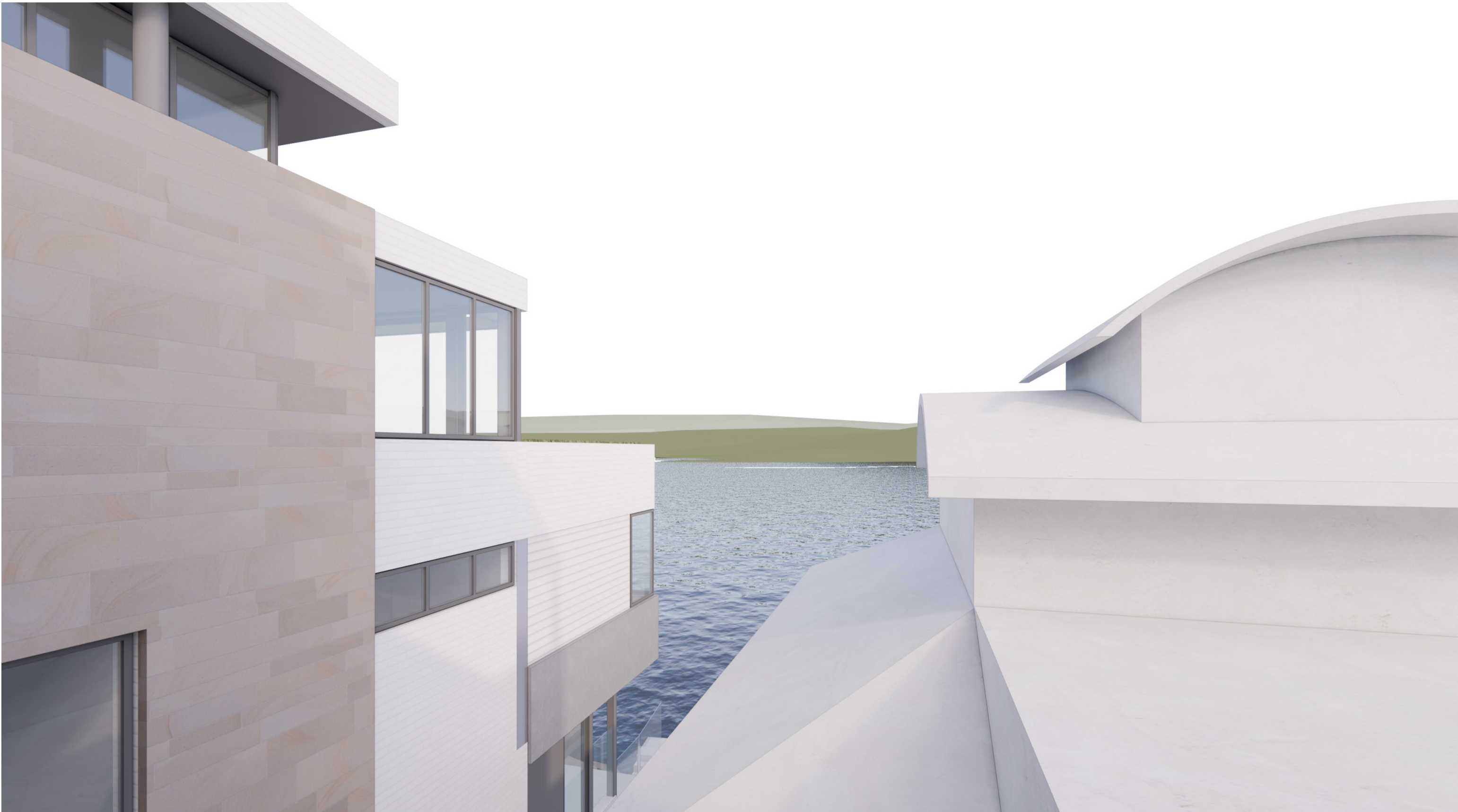
REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 6
NUMBER:	A - 28
	
SHEET:	28 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SHOWN. ALL LEVELS ARE IN METRES TO AHD UNLESS OTHERWISE NOTED. WORK TO FIGURED DIMENSIONS. DO NOT SCALE FROM DRAWINGS. CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO ODE PRIOR TO CONSTRUCTION OR FABRICATION OF ANY ITEM. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE TOTAL DOCUMENTATION PACKAGE.



MODE ARCHITECTURE STUDIO | AHN 20 649 560 332 | 0408 633 515 | WELCOME@MODE-ARCHSTUDIO.COM | T&G BUILDING, SUITE 301, LEVEL 3, 45 HUNTER STREET NEWCASTLE 2300 | NOMINATED ARCHITECT BRENTON PORTER NSW REG. 10032
MODE ACKNOWLEDGE THE TRADITIONAL CUSTODIANS OF THE LAND UPON WHICH WE LIVE & PRACTICE & PAY OUR RESPECTS TO ELDERS PAST & PRESENT. WE RECOGNISE THE CONTINUOUS ENGAGEMENT & CARING OF THE LANDS, WATERS & SKIES BY FIRST NATIONS PEOPLES FOR TIME IMMEMORIAL.

VISUAL COMPARISON 7



APPROVED DA
View from window of 207 Riverview Road, facing South West

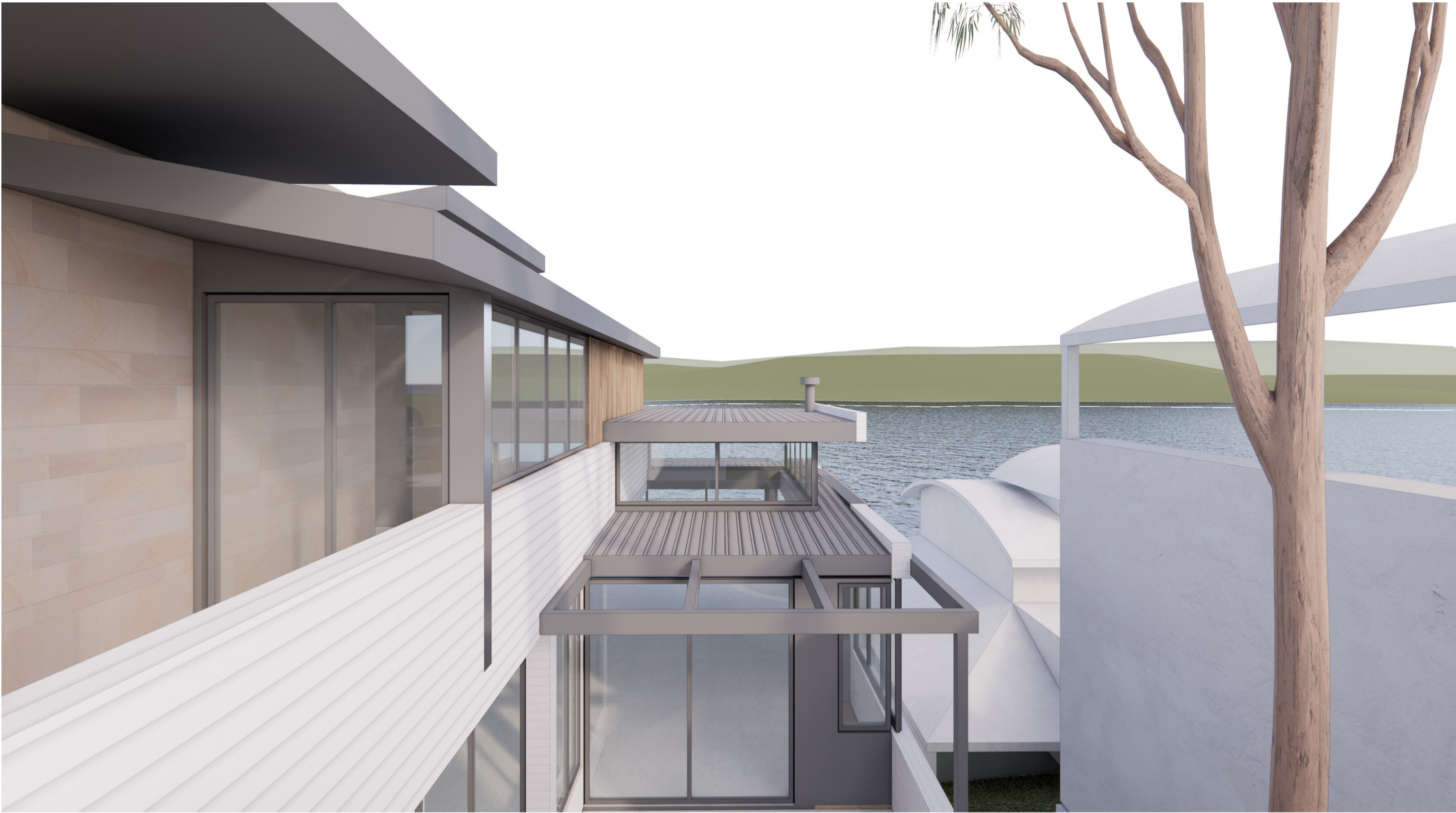


AMENDED DA
View from window of 207 Riverview Road, facing South West

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 7
NUMBER:	A - 29
ODE	
SHEET:	29 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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VISUAL COMPARISON 8



APPROVED DA
View of lake over courtyard facing west.



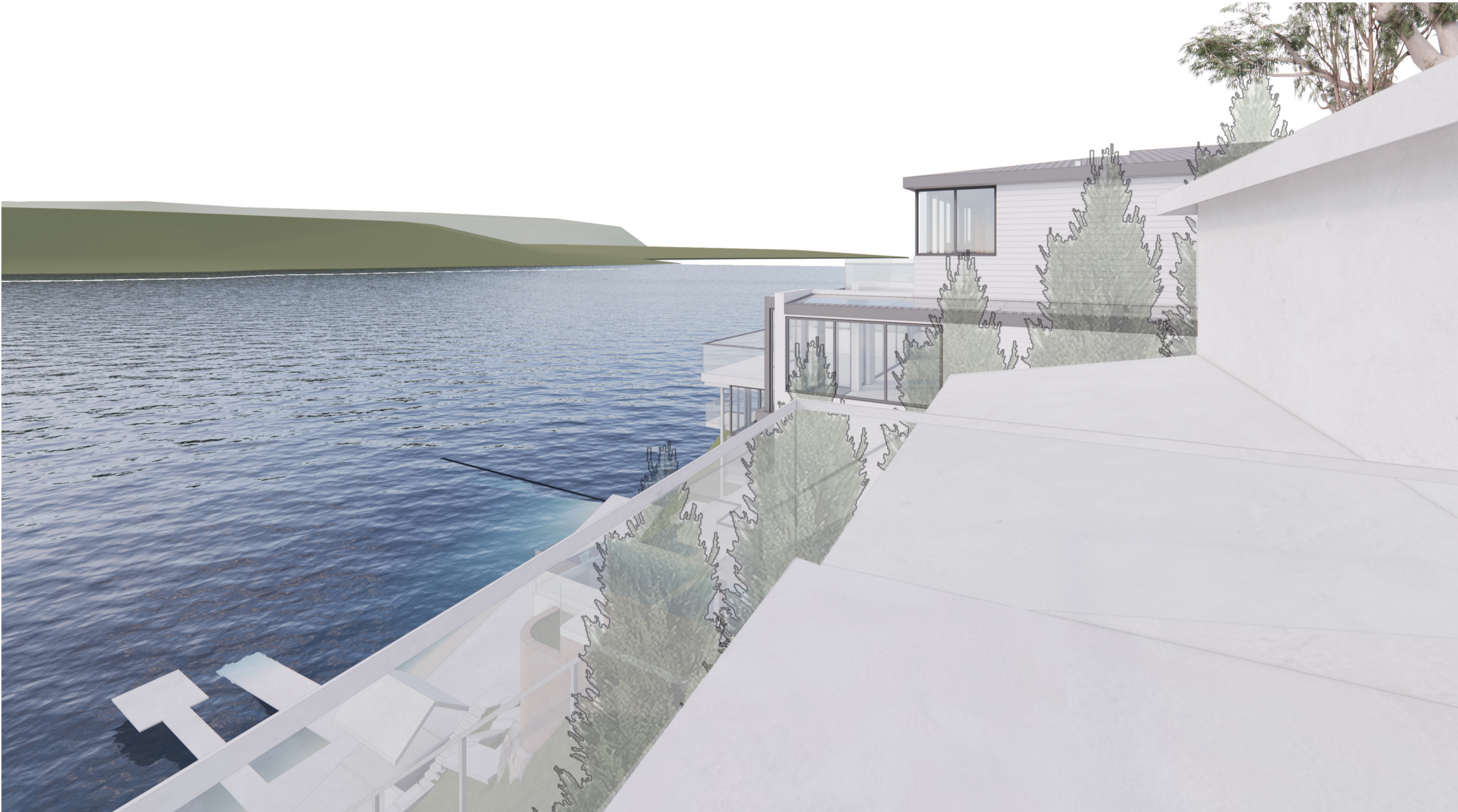
AMENDED DA
View of lake over courtyard facing west.

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 8
NUMBER:	A - 30

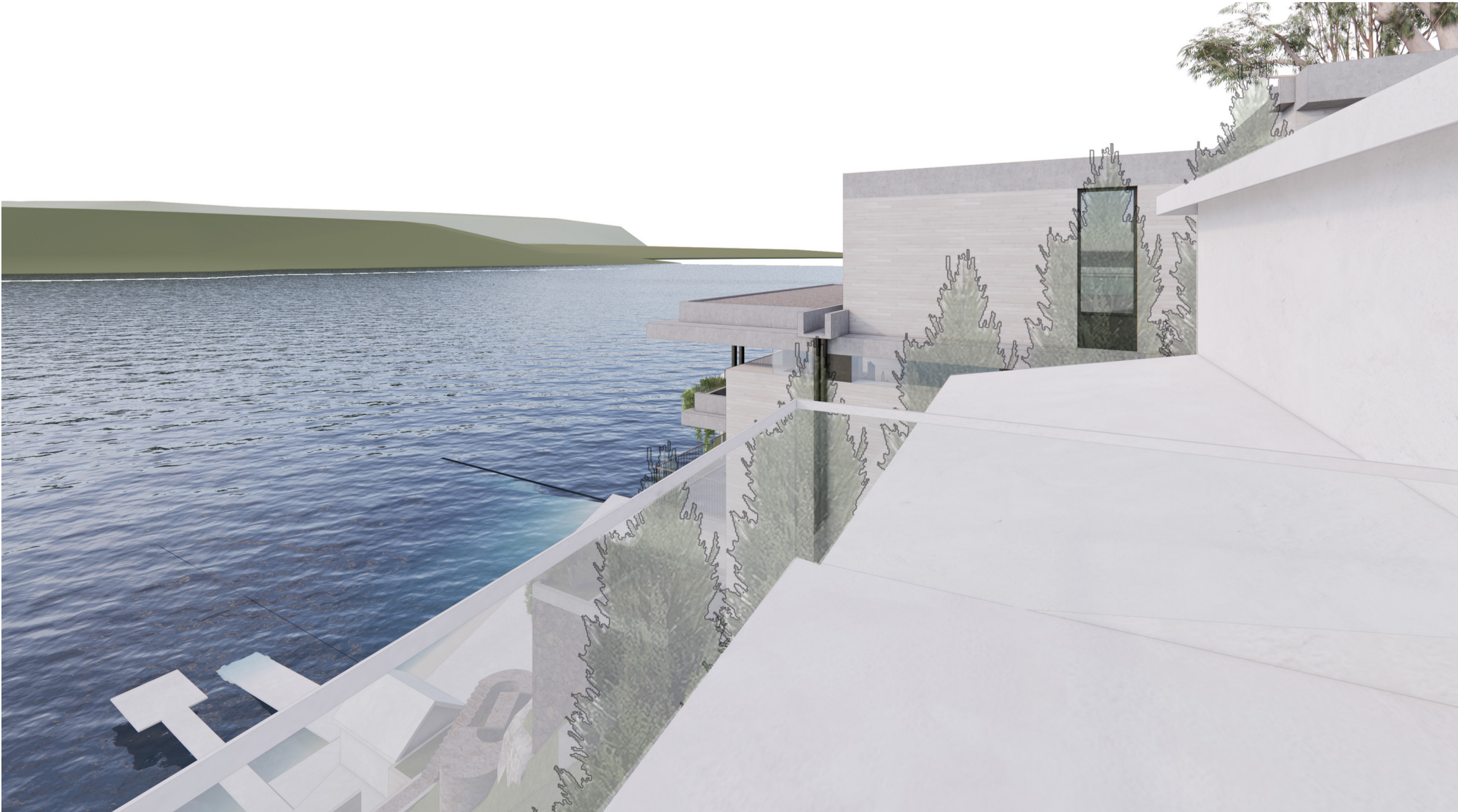


SHEET:	30 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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APPROVED DA
View from upper deck of 203 Riverview Road, facing North.
* Existing Leighton Green Trees indicatively shown.
Currently blocks north western view of lake & subject site.



AMENDED DA
View from upper deck of 203 Riverview Road, facing North.
* Existing Leighton Green Trees indicatively shown.
Currently blocks north western view of lake & subject site.

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 9
NUMBER:	A - 31
ODE	
SHEET:	31 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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VISUAL COMPARISON 10



APPROVED DA
Elevated external view facing North East



AMENDED DA
Elevated external view facing North East

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 10
NUMBER:	A - 32



SHEET:	32 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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VISUAL COMPARISON 11



APPROVED DA
Elevated external view facing South East



AMENDED DA
Elevated external view facing South East

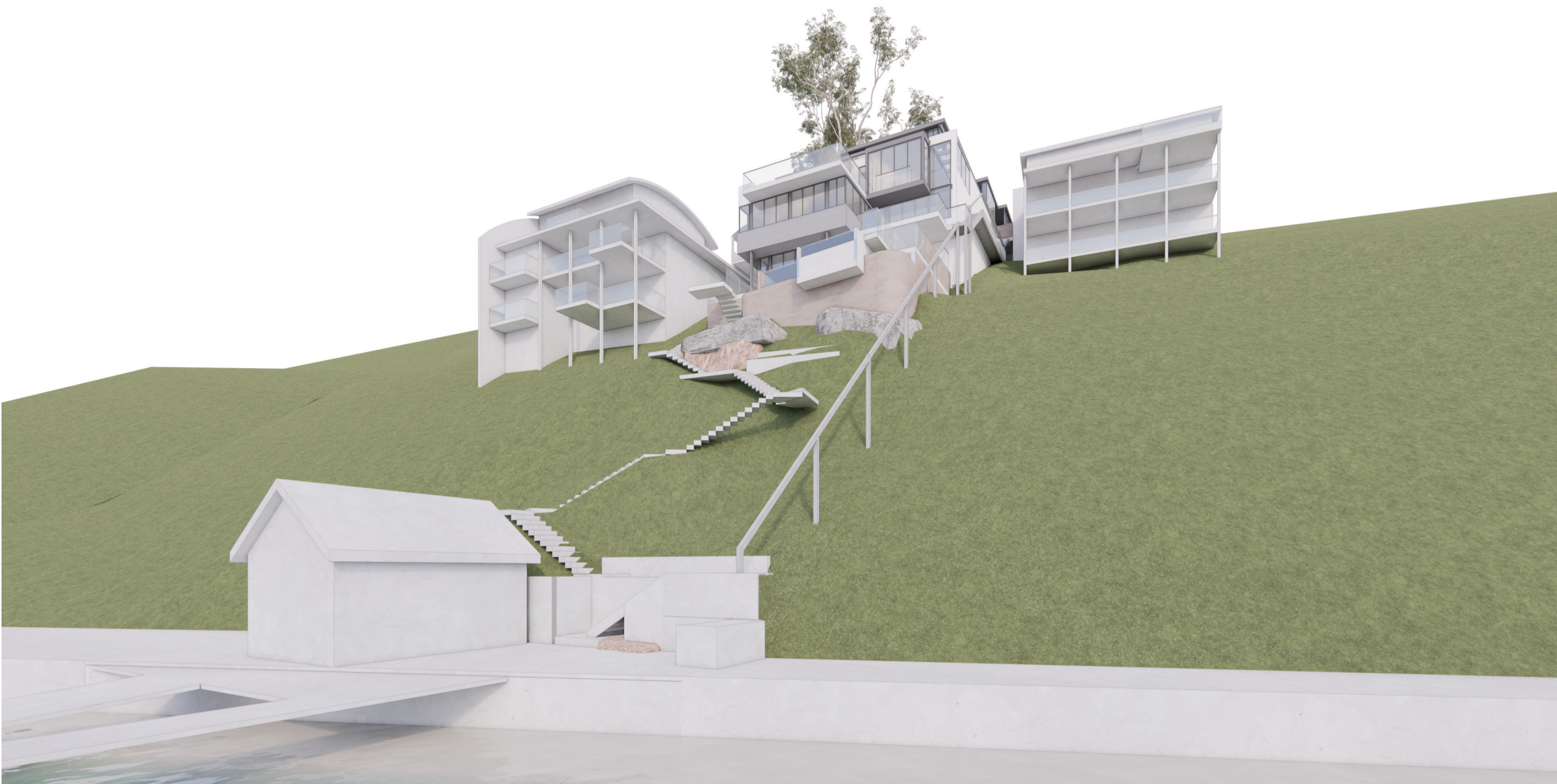
REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 11
NUMBER:	A - 33



SHEET:	33 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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VISUAL COMPARISON 12



APPROVED DA
View from Pittwater



AMENDED DA
View from Pittwater

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL COMPARISON 12
NUMBER:	A - 34
SHEET: 34 OF 39	
SCALE: -	
PROJECT: ALTERATIONS & ADDITIONS	
LOCATION: 205 RIVERVIEW ROAD, AVALON BEACH	
CLIENT: SIMON & KRISTEN ROONEY	
REFERENCE: 139_25	



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Street View



Precedents

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL PERSPECTIVE 1
NUMBER:	A - 35



SHEET:	35 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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Lounge View



Precedents

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL PERSPECTIVE 2
NUMBER:	A - 36



SHEET:	36 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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Rumpus View



Precedents

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL PERSPECTIVE 3
NUMBER:	A - 37

ODE

SHEET:	37 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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View from Pittwater (elevated)



Precedents

REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	VISUAL PERSPECTIVE 4
NUMBER:	A - 38



SHEET:	38 OF 39
SCALE:	-
PROJECT:	ALTERATIONS & ADDITIONS
LOCATION:	205 RIVERVIEW ROAD, AVALON BEACH
CLIENT:	SIMON & KRISTEN ROONEY
REFERENCE:	139_25

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This site plan illustrates the proposed stormwater management system. Key features include:

- New Pits:** Four new pits are marked with blue 'X' symbols and labeled "NEW PIT". One is located near the top center, another near the top right, a third near the center left, and a fourth near the bottom right.
- New Downpipes:** Two new downpipes are indicated by blue circles with 'X' symbols and labeled "NEW DOWNPIPES".
- Existing Pits:** Two existing pits are marked with purple dots and labeled "EXISTING PIT". One is located near the bottom left, and the other is near the bottom center.
- Watercourse:** A watercourse is shown as a dashed line running along the bottom edge of the site, labeled "EXISTING PIT TO CONTINUE DISCHARGING TO WATERCOURSE".
- Boundaries:** The site boundaries are defined by a red line. Key boundary points are labeled: "BDY 50.290" at the bottom left, "BDY 51.815" at the top right, and "BDY 15.365" at the bottom right.
- Other Features:** The plan includes various building footprints, parking areas, and landscaping elements like trees and shrubs. A green dashed box highlights a specific area near the bottom center.

1	STOCKPILE & TEMPORARY STORAGE AREA FOR BUILDING PRODUCTS & MATERIALS
2	STOCKPILE FOR LOOSE BUILDING MATERIAL (SOIL & SAND). ENSURE WELL COVERED WHEN NOT IN USE - IN ACCORDANCE WITH SD4-1 FROM NCC PLANNING FOR EROSION PREVENTION & SEDIMENT CONTROL
3	WASTE CONTAINER FOR BUILDING WASTE.
4	UNDER GROUND WATER TANK (4100L CAPACITY) FOR STORMWATER COLLECTION & RE-USE. TO BE UTILIZED FOR LANDSCAPING. OVERTFLOW TO BE CONNECTED TO EXISTING STORMWATER INFRASTRUCTURE.

AMENDED DWELLING	
EXISTING PIT -	
NEW - PIT	
NEW - DOWNPIPES	
NEW - RAINWATER TANK	

<p>ALL EROSION & SEDIMENT CONTROL WORKS SHOULD BE CHECKED DAILY (AT A MINIMUM WEEKLY) & AFTER EACH RAINFALL EVENT TO ENSURE THEY ARE WORKING PROPERLY. MAINTENANCE MIGHT INCLUDE;</p> <ul style="list-style-type: none"> - REMOVING SEDIMENT TRAPPED IN SEDIMENT FENCES, CATCH DRAINS OR OTHER AREAS - TOPPING UP THE GRAVEL ON STABILISED ACCESS. - REPAIRING ANY EROSION OF DRAINAGE CHANNELS - REPAIRING DAMAGE TO SEDIMENT FENCES. 	
<p>ALL PROPOSED SEDIMENT & EROSION CONTROLS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S STANDARD GUIDELINES & REGULATIONS</p>	
<p>SEDIMENTAL CONTROL FENCE</p>	
<p>SECURITY FENCE</p>	

NEW DOWNPIPE (blue dashed line with a blue circle)

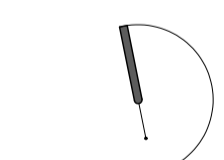
RAINWATER TANK (UNDERGROUND - MIN. 4100L AS PER BASIX CERTIFICATE) (green dashed line with a green circle)

IN GROUND STORMWATER PIPE (blue dashed line with a blue circle)

EXISTING WATERCOURSE DISCHARGE (pink dashed line with a pink circle)

NEW PIT (blue dashed line with a blue square)

EXISTING PIT (pink dashed line with a pink square)



REVISION:	R.1 MODIFICATION APPLICATION 08.04.2025
DRAWING:	SEDIMENT & EROSION CONTROL + S.MANAGEMENT
NUMBER:	A - 39

ODE

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