

DA

DEVELOPMENT
APPLICATION

SWIMMING POOL & ALFRESCO ROOF

42 Tatiara Crescent, North Narrabeen



DA

for alterations and additions to existing building at:
42 TATIARA CRESCENT, NORTH NARRABEEN

PROJECT INFORMATION:

Client:	Megan Bohensky
Address:	42 TATIARA CRESCENT, NORTH NARRABEEN, NSW, 2101
DP No.	LOT 312 / - / DP 238382
SITE AREA:	613.4m²
GFA:	N/A
LAND ZONING:	C4 - Environmental Living
MIN. LOT SIZE:	550m2
ACID SULFATE SOILS:	Class 5
HEIGHT OF BUILDING:	Zone 1 - 8.5m
LOCAL PROVISIONS:	Geotechnical Hazard H1
SETBACKS:	Side- 1m & 2.5m, Rear- 6.5m
BUSHFIRE PRONE LAND:	No
FLOOD HAZARD:	No
LANDSCAPED OPEN SPACE:	Min 60%

PROJECT DESCRIPTION:

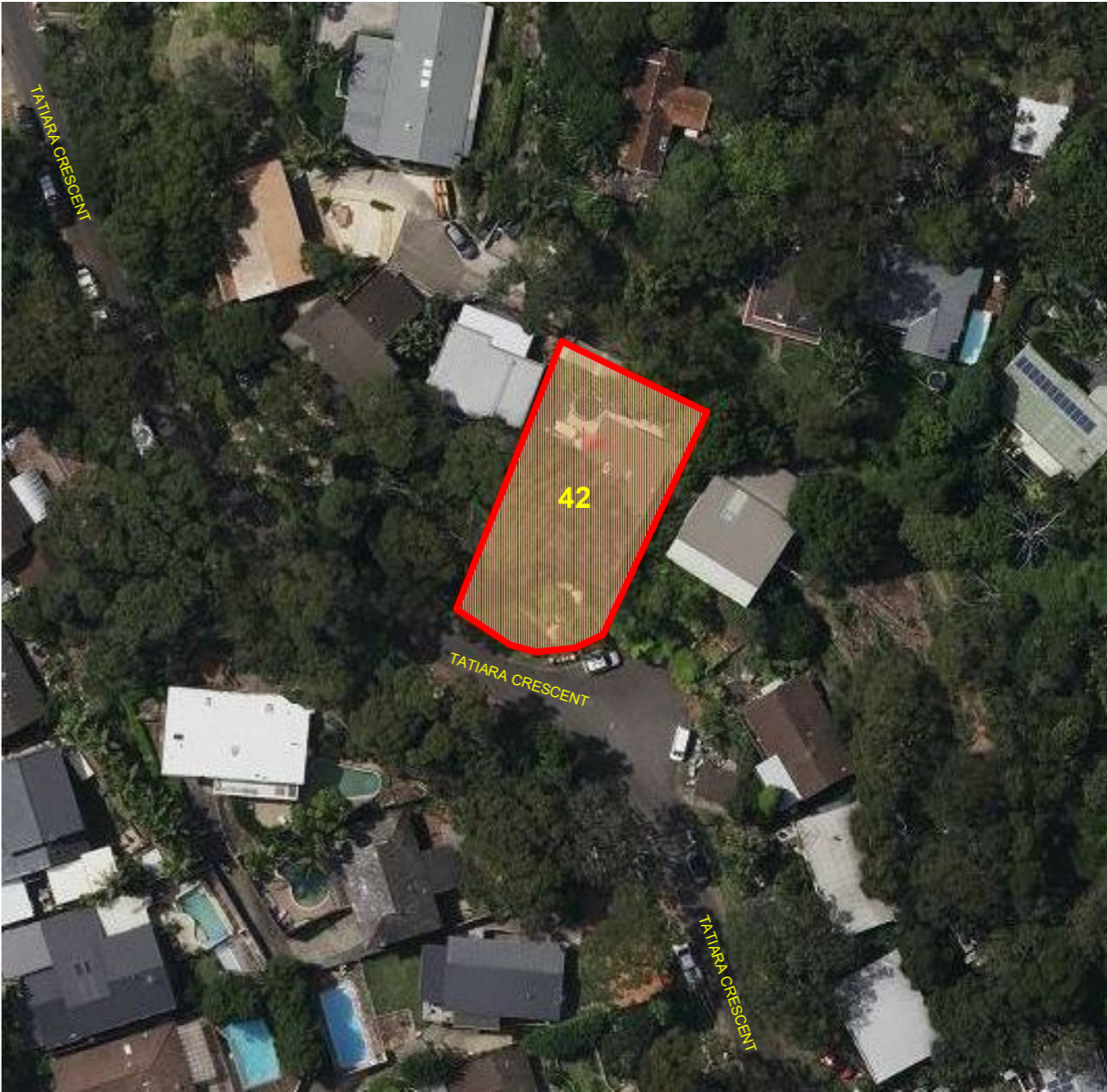
Proposed alerations and additions to an existing Residential building located
42 Tatiara Crescent, North Narrabeen, NSW
The subject site is identified as being located within the Northern Beaches Council Area.

- The extent of the proposed works includes:
- New semi-inground/cantilevered swimming pool
 - New pergola over the alfresco area
 - Extension of the existing deck
 - New retaining walls

The extent of the proposed works are illustrated on the Architectural Plans prepared by **We Make Plans**

00. SHEET LIST

COVER SHEET	DA 001
EXTERNAL FINISHES	DA 002
SITE ANALYSIS, ROOF AND DRAINAGE PLAN	DA 010
SEDIMENT, WASTE, DEMOLISTION & MANAGEMENT PLAN	DA 011
POOL LEVEL PLAN	DA 100
ELEVATIONS	DA 200
ELEVATIONS	DA 201
SECTIONS	DA 300
SECTIONS	DA 301
LANDSCAPE AREA PLAN & COMPLIANCE	DA 600
NOTIFICATION PLAN	DA 800



location plan
42 TATIARA CRESCENT, NORTH NARRABEEN, NSW 2101

CONSULTANTS:	Architect: HOT HOUSE STUDIO ARCHITECTS PO Box 26, Newport NSW 2106 0433 775 490 - (02) 9999 0668 info@hthousestudio.com www.hthousestudio.com	Survey : ENG LAND SERVICE 1300 711 office@englandservices.com.au www.englandservices.com	Geotechnical Report : WHITE GEOTECHNICAL GROUP Level 1/5 South Creek Rd, Dee Why 027900 3214 info@whitegeo.com.au www.whitegeo.com.au	Arborist Report : BLUEGUM 21 Binburra Avenue, Avalon, NSW 0431 286 080 info@bluegumarborist.com.au

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abn: 355 0579 1074

nominated architect: wade stewart cogle
nsw arb registration: 10971
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ISSUE	DESCRIPTION	DATE
01	DA - Issue	28/02/25

CLIENT:	Megan Bohensky		
PROJECT:	Swimming Pool & Alfresco Roof		
ADDRESS:	42 Tatiara Crescent, North Narrabeen		
LOT:	312	DP:	238382

DRAWING TITLE: COVER SHEET			
PROJECT NO. 1111WMP		DRAWN JD	CHECKED WC
DATE 28 February 2025		DRAWING NO	REVISION NO
SIZE A3	SCALE 1 : 25	DA 001	01



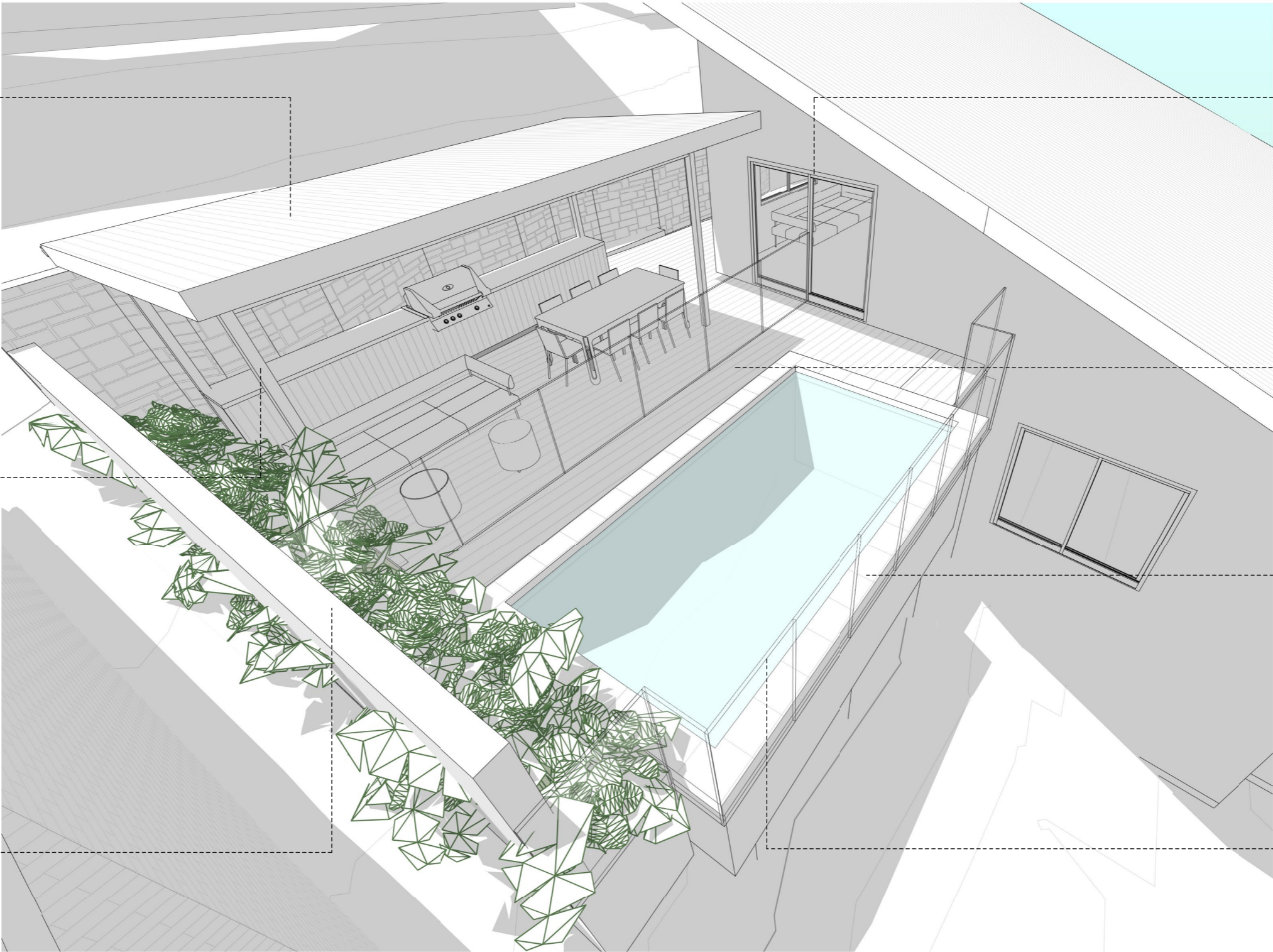
METAL ROOF -
'MONUMENT' COLOUR OR SIMILAR



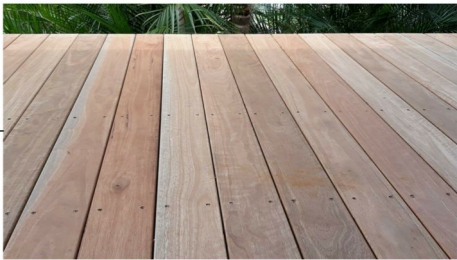
TIMBER FRAME. NATURAL COLOUR



MASONRY WALL RENDERED WHITE



ALUMINIUM FRAMED WINDOWS & DOORS -
BLACK



TIMBER DECK - NATURAL COLOUR



PAVER POOL COPING -
NEUTRAL COLOUR



FRAMELESS GLASS BALUSTRADE



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ISSUE	DESCRIPTION	DATE
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CLIENT: Megan Bohensky
PROJECT: Swimming Pool & Alfresco Roof
ADDRESS: 42 Tatiara Crescent, North Narrabeen

LOT: 312 DP: 238382 SECTION:

DRAWING TITLE:
EXTERNAL FINISHES

PROJECT NO. 1111WMP	DRAWN MS	CHECKED WC
DATE 28 February 2025	DRAWING NO DA 002	REVISION NO 01
SIZE A3	SCALE	



OVERLAN

DA 010 01

SOIL & WATER MANAGEMENT:

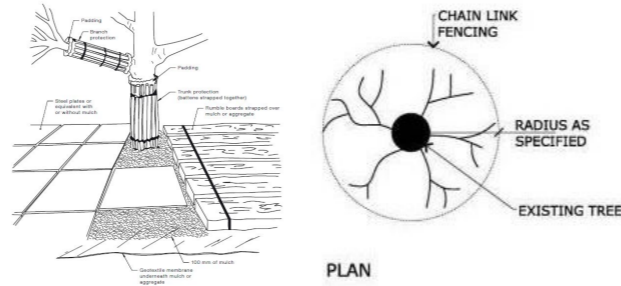
1. INSTALL A SILT FENCE AS SHOWN ON PLAN PRIOR TO THE COMMENMENT OF ANY ON SITE EARTHWORKS.
2. INSTALL A TEMPORARY SEDIMENT BARRIER TO ALL INLET PITS LIKELY TO COLLECT SILT-LADEN WATER UNTIL REGRASSED.
3. ALL SILT FENCES AND BARRIERS ARE TO BE MAINTAINED IN GGOOD CONDITION AND TO BE DESILTED DURING CONSTRUCTION.

WASTE MANAGEMENT:

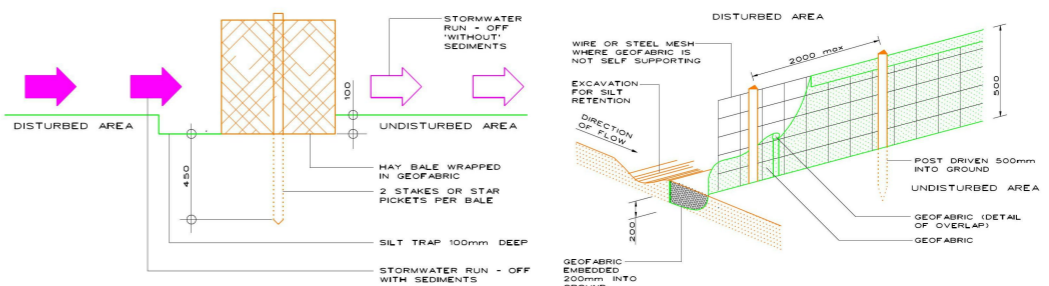
1. WASTE MATERIALS ARE TO BE STOCKPILED AND LOADED INTO BINS

ALL PROTECTION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL SITE MANAGEMENT DCP

TREE PROTECTION ZONE FENCING:

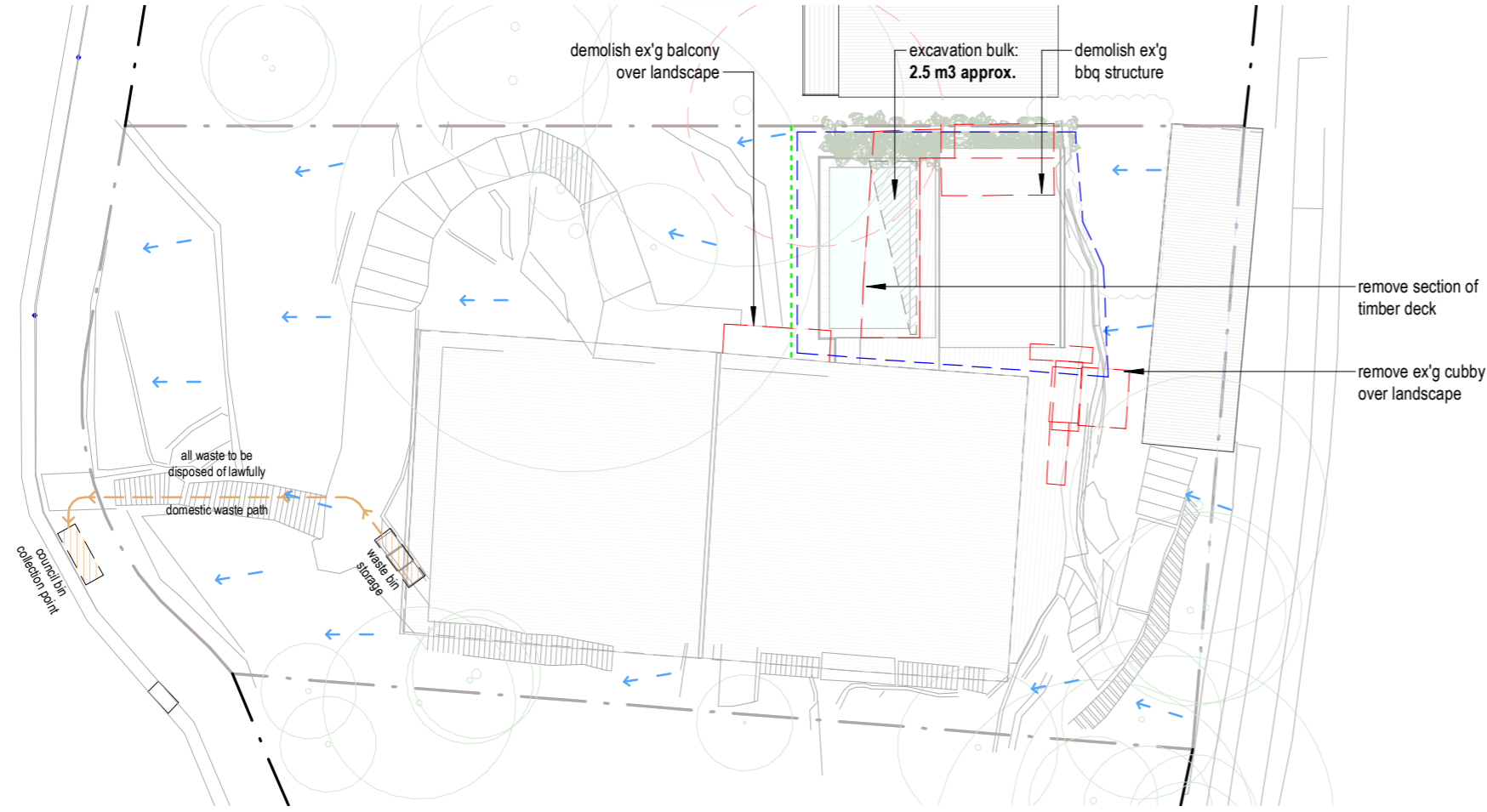
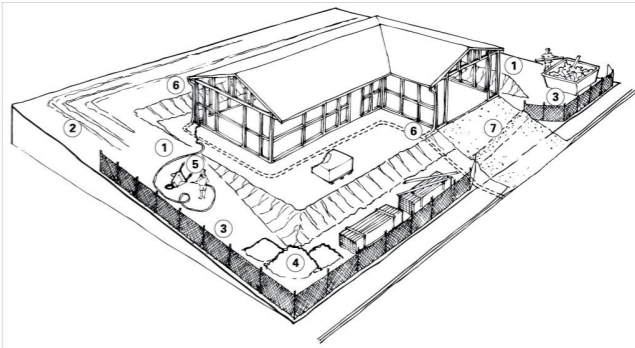


SEDIMENT BARRIER FENCING:



EROSION AND SEDIMENT CONTROL MEASURES:

1. MINIMISE DISTURBANCE,
2. DIVERSION DEVICES,
3. SEDIMENT BARRIERS,
4. SECURE STOCKPILES,
5. OTHER CONTAINMENTS,
6. EARLY STORMWATER CONNECTION,
7. CONTROLLED ACCESS POINT



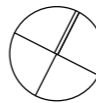
- TREE PROTECTION ZONE
- SITE FENCE
- OVERLAND FLOW
- SILT BARRIER
- DOMESTIC BIN STORAGE
- DOMESTIC BIN ROUTE

LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN
OVERLAND FLOW

BASIX COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS

NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY

FOR DA ONLY



1 Management Site Plan
1 : 200

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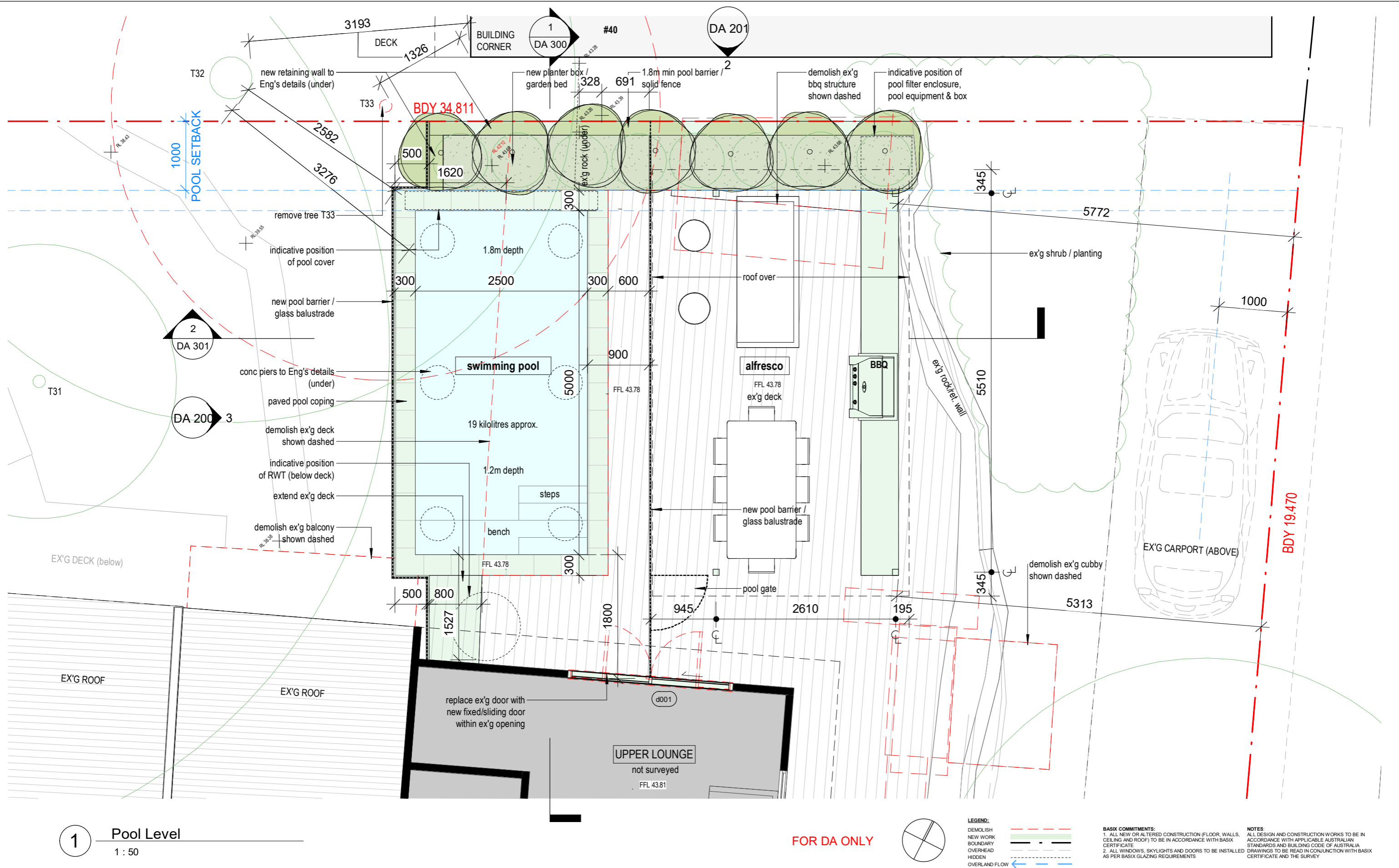
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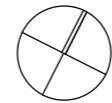
CLIENT:	Megan Bohensky
PROJECT:	Swimming Pool & Alfresco Roof
ADDRESS:	42 Tatiara Crescent, North Narrabeen
LOT:	312
DP:	238382
SECTION:	

DRAWING TITLE: SEDIMENT, WASTE, DEMOLITION & MANAGEMENT PLAN			
PROJECT NO. 1111WMP	DRAWN MS	CHECKED WC	
DATE 28 February 2025	DRAWING NO	REVISION NO	
SIZE A3	SCALE As indicated	DA 011	01



1 Pool Level
1 : 50

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LEGEND:	
DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---
OVERLAND FLOW	---

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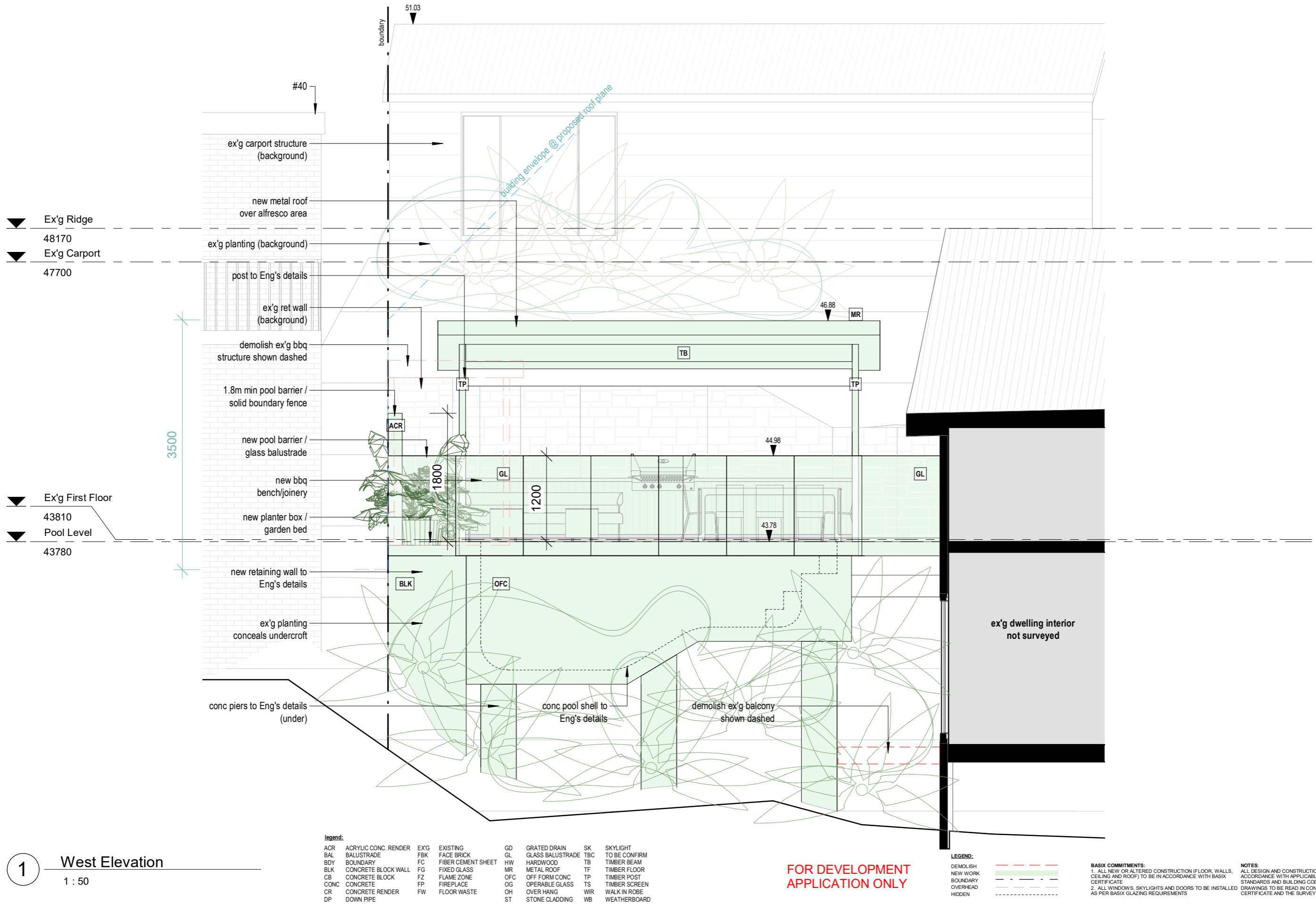
CLIENT: Megan Bohensky

PROJECT: Swimming Pool & Alfresco Roof

ADDRESS: 42 Tatiara Crescent, North Narrabeen

LOT: 312 DP: 238382 SECTION:

DRAWING TITLE:			
POOL LEVEL PLAN			
PROJECT NO. 1111WMP	DRAWN MS	CHECKED WC	
DATE 28 February 2025	DRAWING NO	REVISION NO	
SIZE A3	SCALE As indicated	DA 100 01	



1 West Elevation
1 : 50

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LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN

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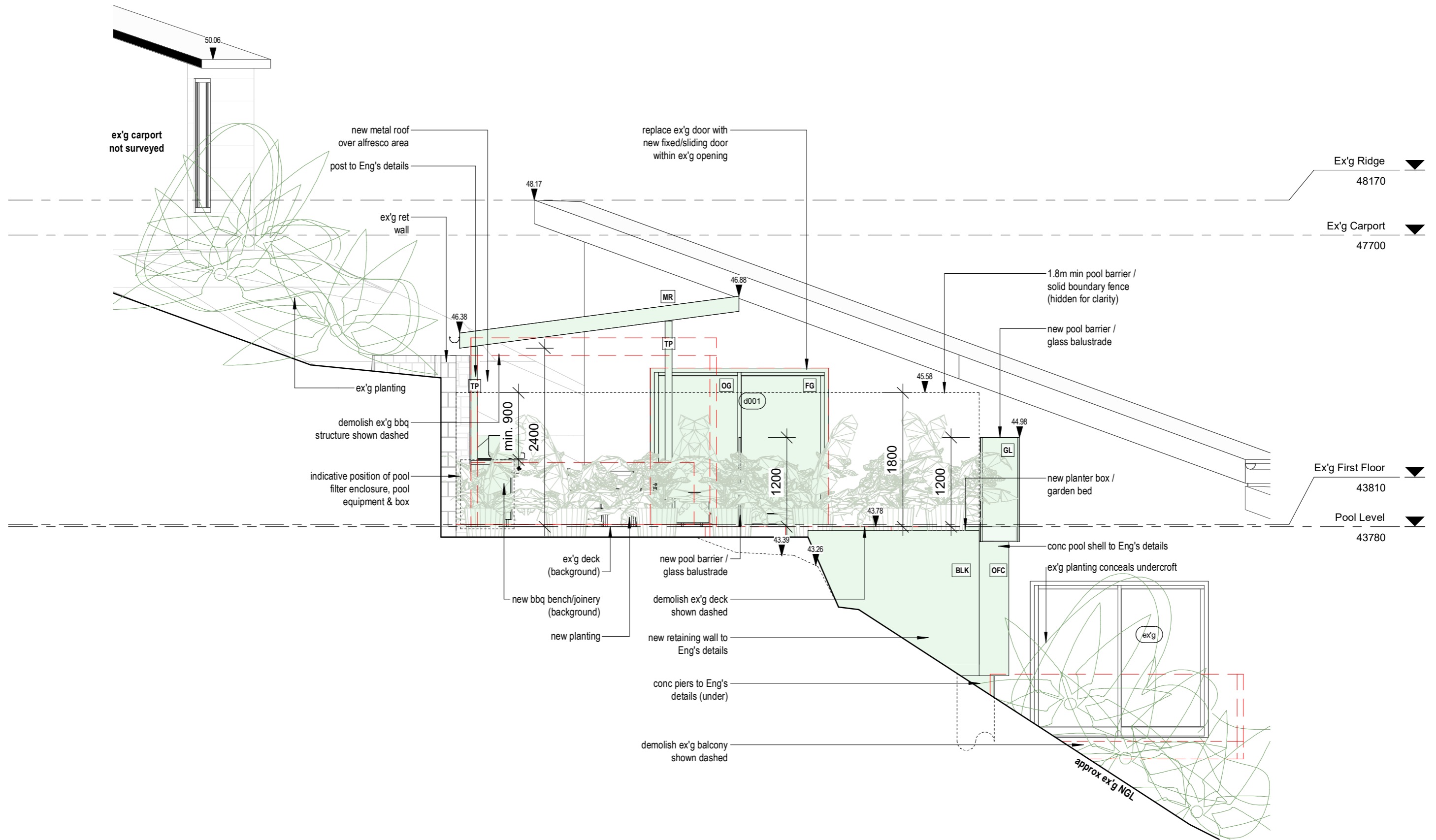
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DRAWING TITLE:
ELEVATIONS

PROJECT NO.	DRAWN	CHECKED
1111WMP	MS	WC
DATE	DRAWING NO	REVISION NO
28 February 2025		
SIZE	SCALE	
A3	As indicated	

DA 200 01



1

North Elevation

1 : 50

Legend:

ACR	ACRYLIC CONC. RENDER	EX'G	EXISTING	GD	GRATED DRAIN	SK	SKYLIGHT
BAL	BALUSTRADE	FBK	FACE BRICK	GL	GLASS BALUSTRADE	TBC	TO BE CONFIRM
BDY	BOUNDARY	FC	FIBER CEMENT SHEET	HW	HARDWOOD	TB	TIMBER BEAM
BLK	CONCRETE BLOCK WALL	FG	FIXED GLASS	MR	METAL ROOF	TF	TIMBER FLOOR
CB	CONCRETE BLOCK	FZ	FLAME ZONE	OFC	OFF FORM CONC	TP	TIMBER POST
CONC	CONCRETE	FP	FIREPLACE	OG	OPERABLE GLASS	TS	TIMBER SCREEN
CR	CONCRETE RENDER	FW	FLOOR WASTE	OH	OVER HANG	WR	WALK IN ROBE
DP	DOWN PIPE			ST	STONE CLADDING	WB	WEATHERBOARD

LEGEND:

DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---

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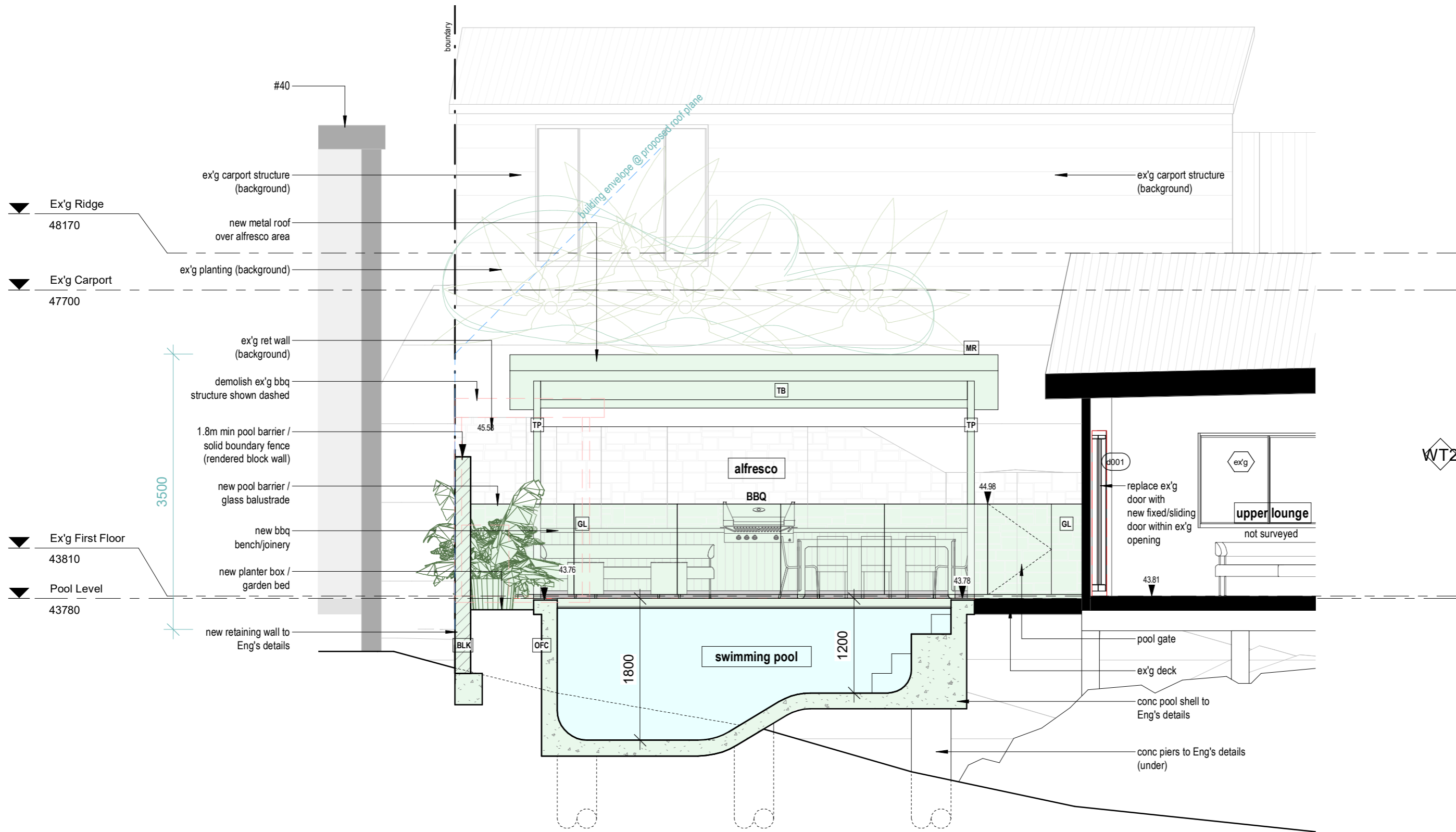
DRAWING TITLE:

ELEVATIONS

PROJECT NO. 1111WMP DRAWN MS CHECKED WC

DATE 28 February 2025 DRAWING NO REVISION NO

SIZE A3 SCALE As indicated DA 201 01



1

Section 1
1 : 50

FOR DEVELOPMENT
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LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN

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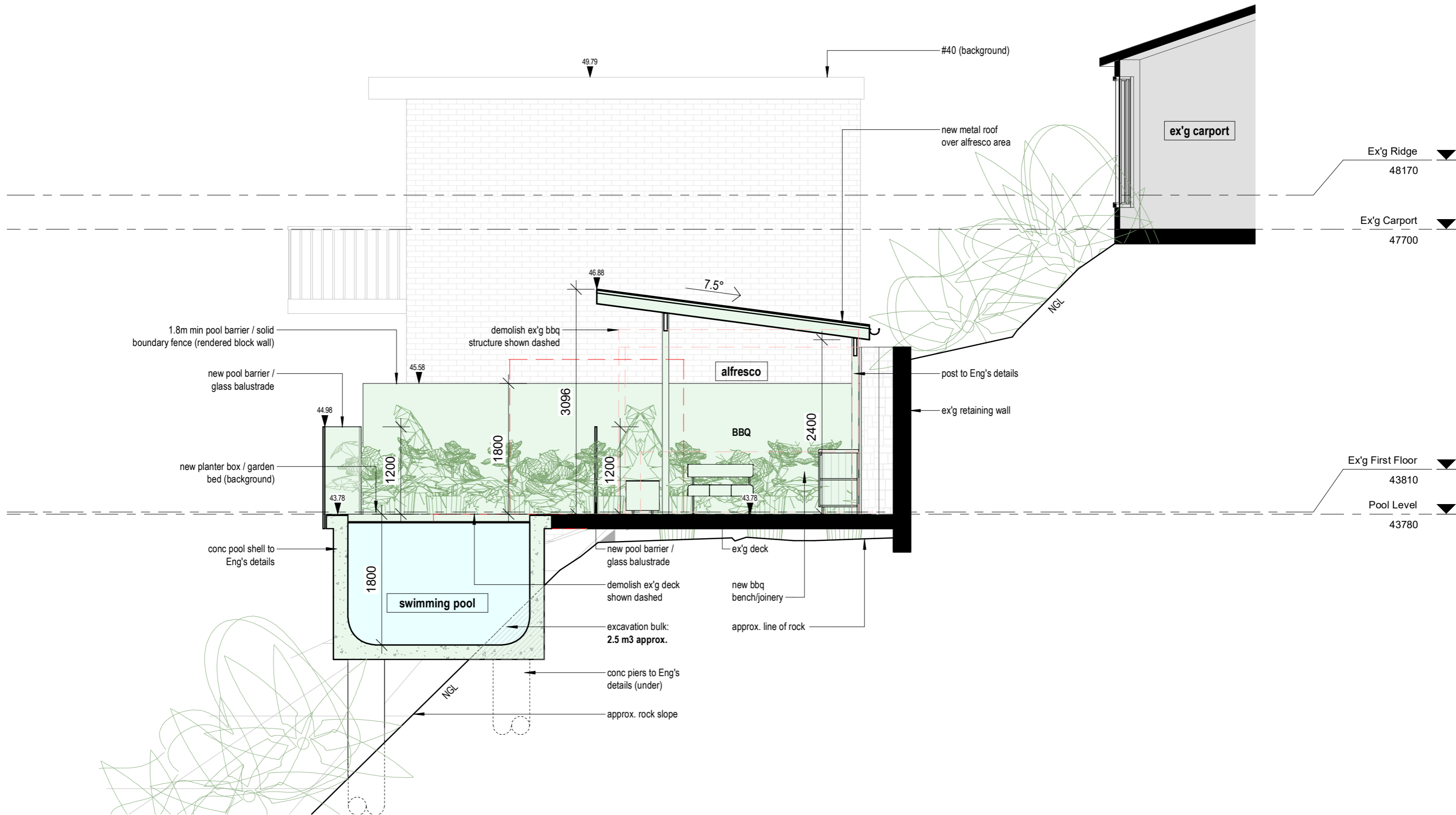
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LOT: 312 DP: 238382 SECTION:

DRAWING TITLE:

SECTIONS

PROJECT NO.	DRAWN	CHECKED
1111WMP	MS	WC
DATE	DRAWING NO	REVISION NO
28 February 2025		
SIZE	SCALE	
A3	As indicated	

DA 300 01



2

Section 2

1 : 50

FOR DEVELOPMENT
APPLICATION ONLY

LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN

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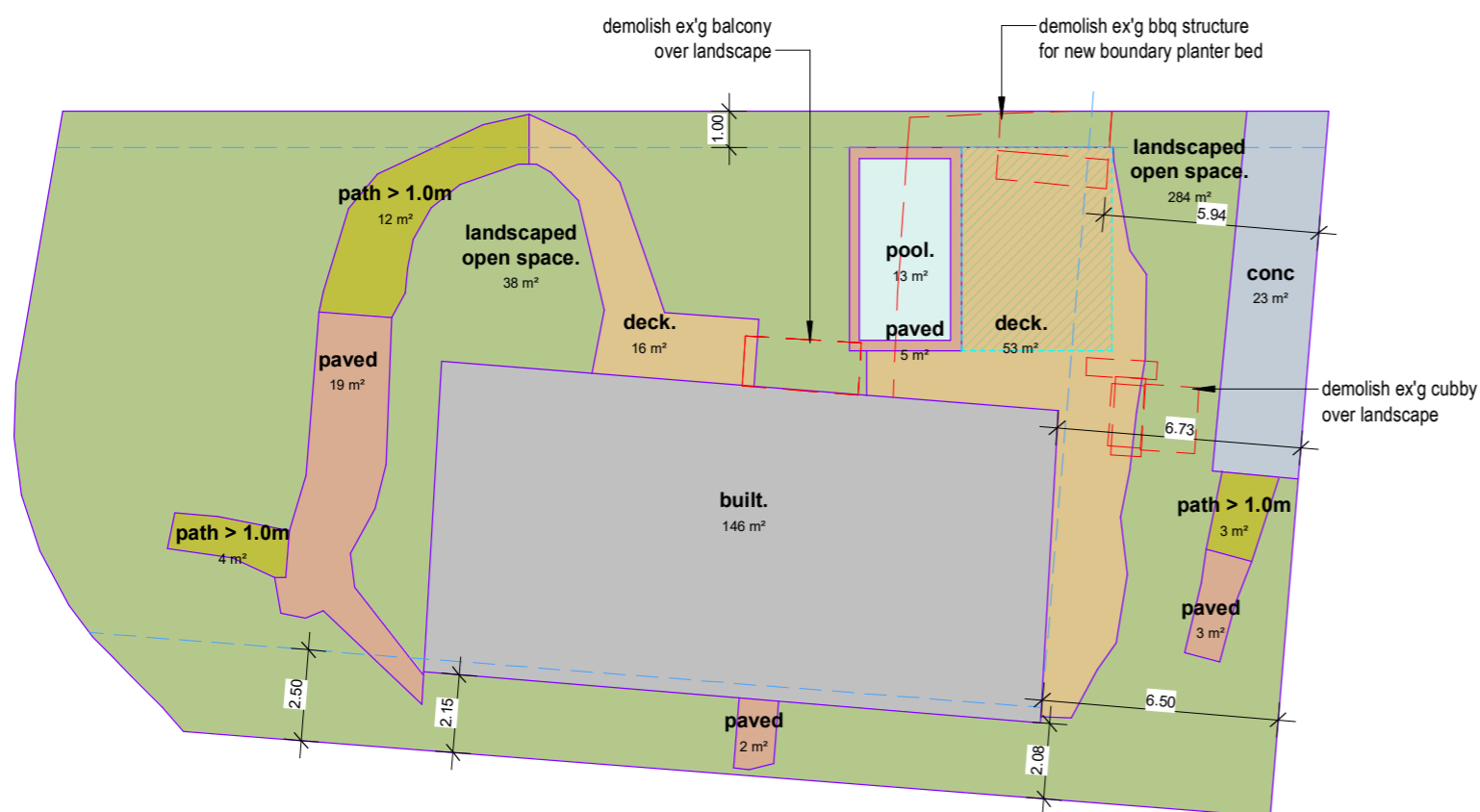
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DRAWING TITLE:

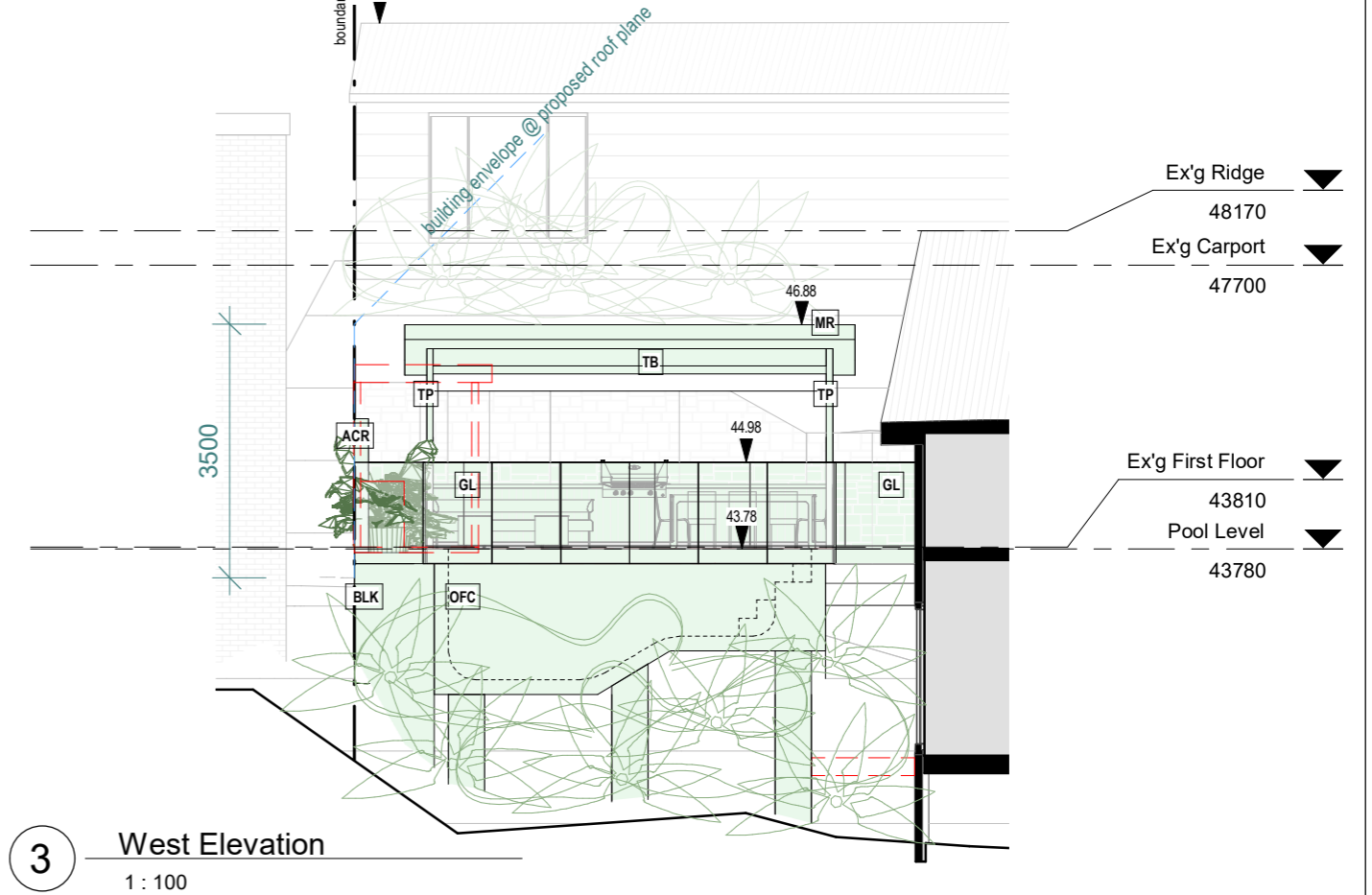
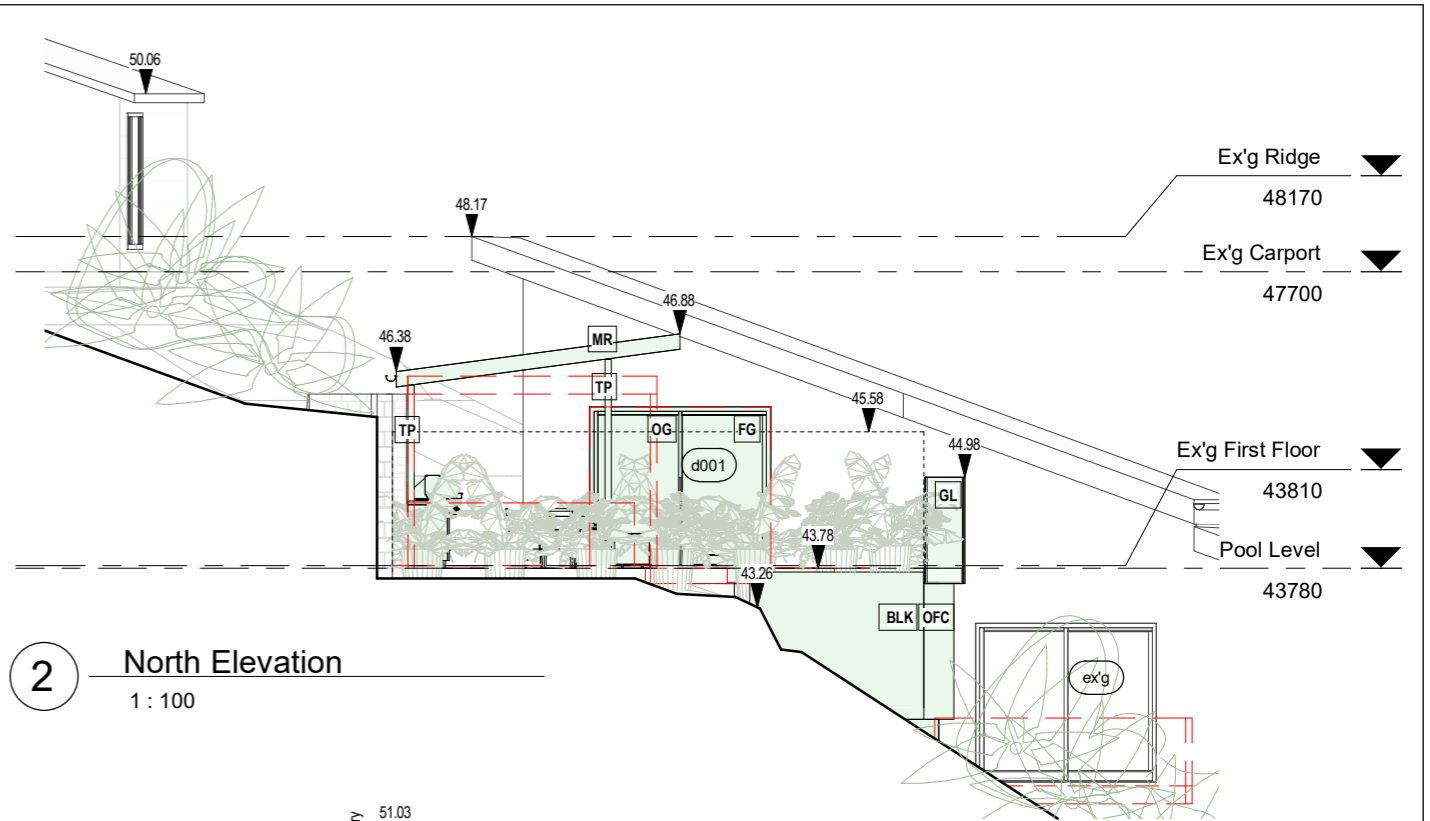
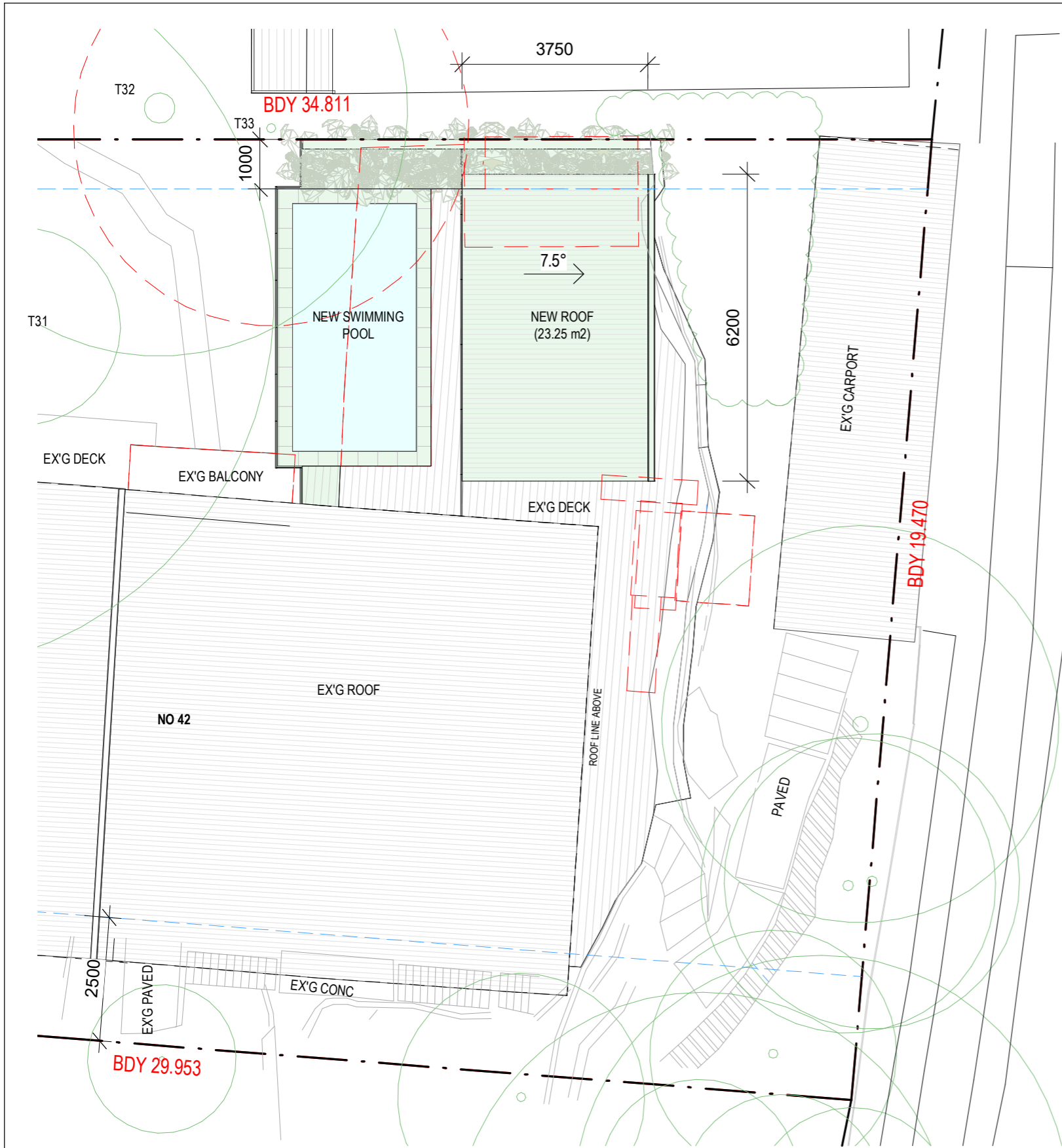
SECTIONS

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SIZE A3	SCALE As indicated	

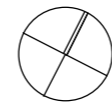


COMPLIANCE & CALCULATION TABLE				
Land Zoning (Pittwater LEP2014)	C4 - Environmental Living			
Height of Building	8.5 m			
Floor Space Ratio	N/A			
Heritage Item or Heritage Conservation Area	No			
Foreshore Building Line	No			
Land Reservation Acquisition	No			
Acid Sulfate Soils	Class 5			
Local Provisions	Geotechnical Hazard H1			
Minimum Lot Size	550 m²			
Terrestrial Biodiversity	Biodiversity			
Site Area	613.4m² (By DP)			
	Existing	Proposed	Required	Compliance
FSR	185.36m²	185.36m²	N/A	Yes
Landscaped Area (DCP)	314.5 (51.2%) + 36.8 (6%) = 351.3m² (57.2%)	317.7 (51.8%) + 36.8 (6%) = 354.5m² (57.8%)	368.0m² (60% total Site)	No / Ex'g Improved
Private Open Space (DCP - min 80m2 of private open space)	>80m²	>80m²	80m² (dim>3m)	Yes
Private Open Space - Principal Area (DCP - min 16m2 of Principal Area within POS)	>16 m2	23m2 (alfresco)	min. 16m²	Yes
Building Height	6.5 m	6.5 m (ex'g house) 3.1 m (proposed alfresco roof)	Max of 8.5m	Yes
Building Envelope:	complies	complies	45 deg. from 3.5m height	Yes
Front Building Line (DCP)	N/A	N/A	N/A	N/A
Side Setbacks (DCP)	0.0m (ex'g deck)	1.0m (proposed deck / pool)	min. 1.0m (N) and 2.5m (S)	Yes
	2.1m (ex'g house)	2.1m (ex'g house)		Ex'g non-compliance
Rear Setback (DCP)	6.5m (ex'g house)	6.5m (ex'g house)	min. 6.5m rear setback	Yes
	5.95m (ex'g bbq roof)	5.95m (proposed alfresco roof)		Ex'g non-compliance

built.	145.8 m ²	23.5%
conc	23.2 m ²	3.7%
deck.	69.1 m ²	11.1%
landscaped open space.	322.2 m ²	51.8% + 6% = 57.8
path > 1.0m	19.2 m ²	3.1%
paved	29.4 m ²	4.7%
pool.	12.5 m ²	2.0%



FOR DA ONLY



LEGEND:

DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---
OVERLAND FLOW	---

BASIC COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS

NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA. DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY

1 Plan
1 : 100

3 West Elevation
1 : 100

Legend:

ACR	ACRYLIC CONC. RENDER	EX'G	EXISTING	GD	GRATED DRAIN	SK	SKYLIGHT
BAL	BALUSTRADE	FBK	FACE BRICK	GL	GLASS BALUSTRADE	TBC	TO BE CONFIRM
BDY	BOUNDARY	FC	FIBER CEMENT SHEET	HW	HARDWOOD	TB	TIMBER BEAM
BLK	CONCRETE BLOCK WALL	FG	FIXED GLASS	MR	METAL ROOF	TF	TIMBER FLOOR
CB	CONCRETE BLOCK	FZ	FLAME ZONE	OFC	OFF FORM CONC	TP	TIMBER POST
CONC	CONCRETE	FP	FIREPLACE	OG	OPERABLE GLASS	TS	TIMBER SCREEN
CR	CONCRETE RENDER	FW	FLOOR WASTE	OH	OVER HANG	WIR	WALK IN ROBE
DP	DOWN PIPE			ST	STONE CLADDING	WB	WEATHERBOARD

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NOTES:
Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.
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ISSUE	DESCRIPTION	DATE
01	DA - Issue	28/02/25

CLIENT: Megan Bohensky

PROJECT: Swimming Pool & Alfresco Roof

ADDRESS: 42 Tatiara Crescent, North Narrabeen

LOT: 312 DP: 238382 SECTION:

DRAWING TITLE:
NOTIFICATION PLAN

PROJECT NO. 1111WMP	DRAWN MS	CHECKED WC
DATE 28 February 2025	DRAWING NO	REVISION NO
SIZE A3	SCALE As indicated	DA 800 01