

**Proposed New Dwelling**  
for Patrick and Penny Joyce  
16 Addison Rd, Sydney

**Development Application Issue**  
December 2021

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**Town Planning:**

**Site Area:** 543.8m<sup>2</sup>

**Floor space Ratio:** 0.6  
543.8x0.6= 326.3m<sup>2</sup>

**Zone:** E4 Environmental Living

**Max. Wall Height:** 7.2m  
or calculated for gradient

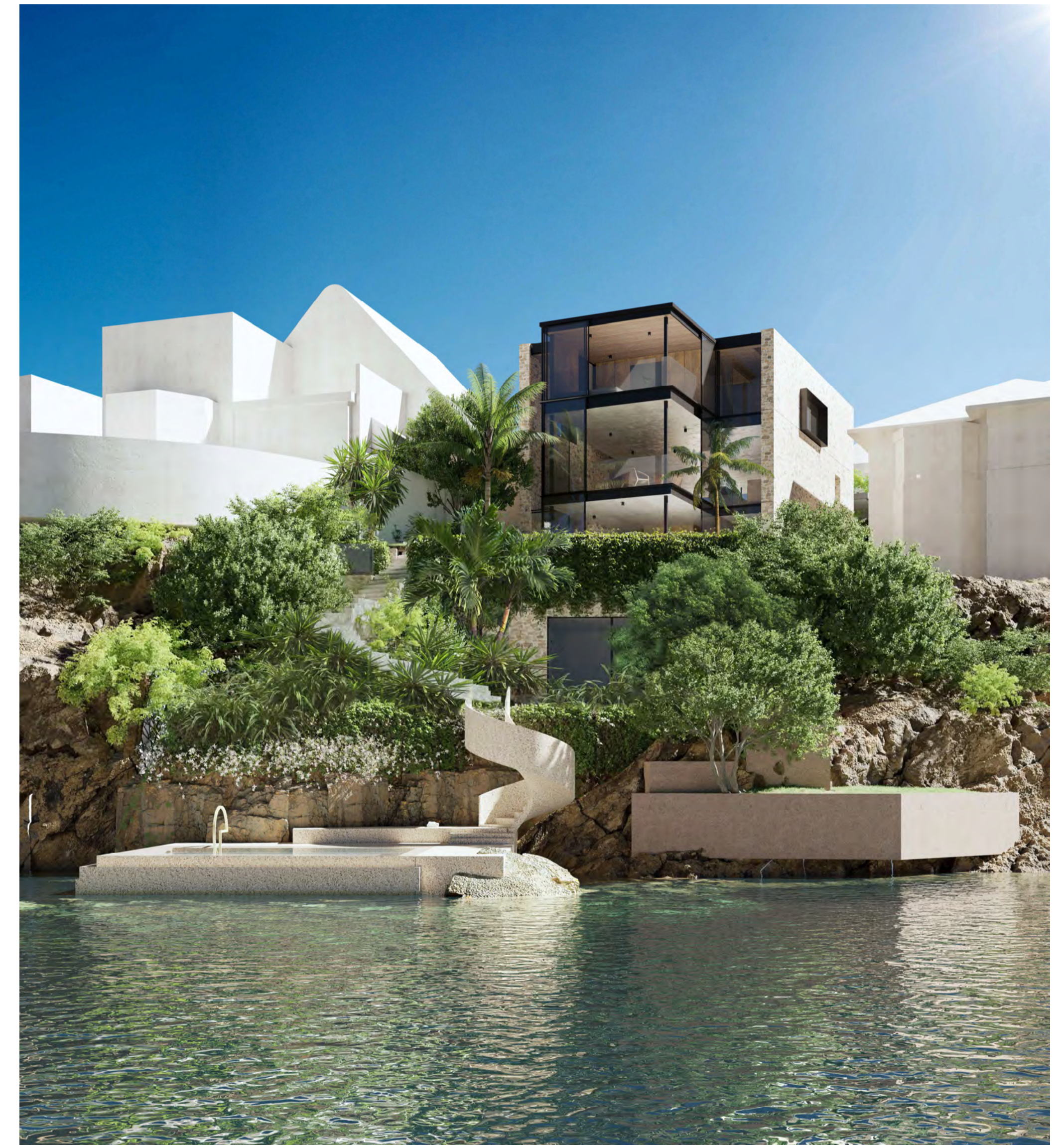
**Max. Building Height:** 8.5m

**Max. Roof Slope:** 35°

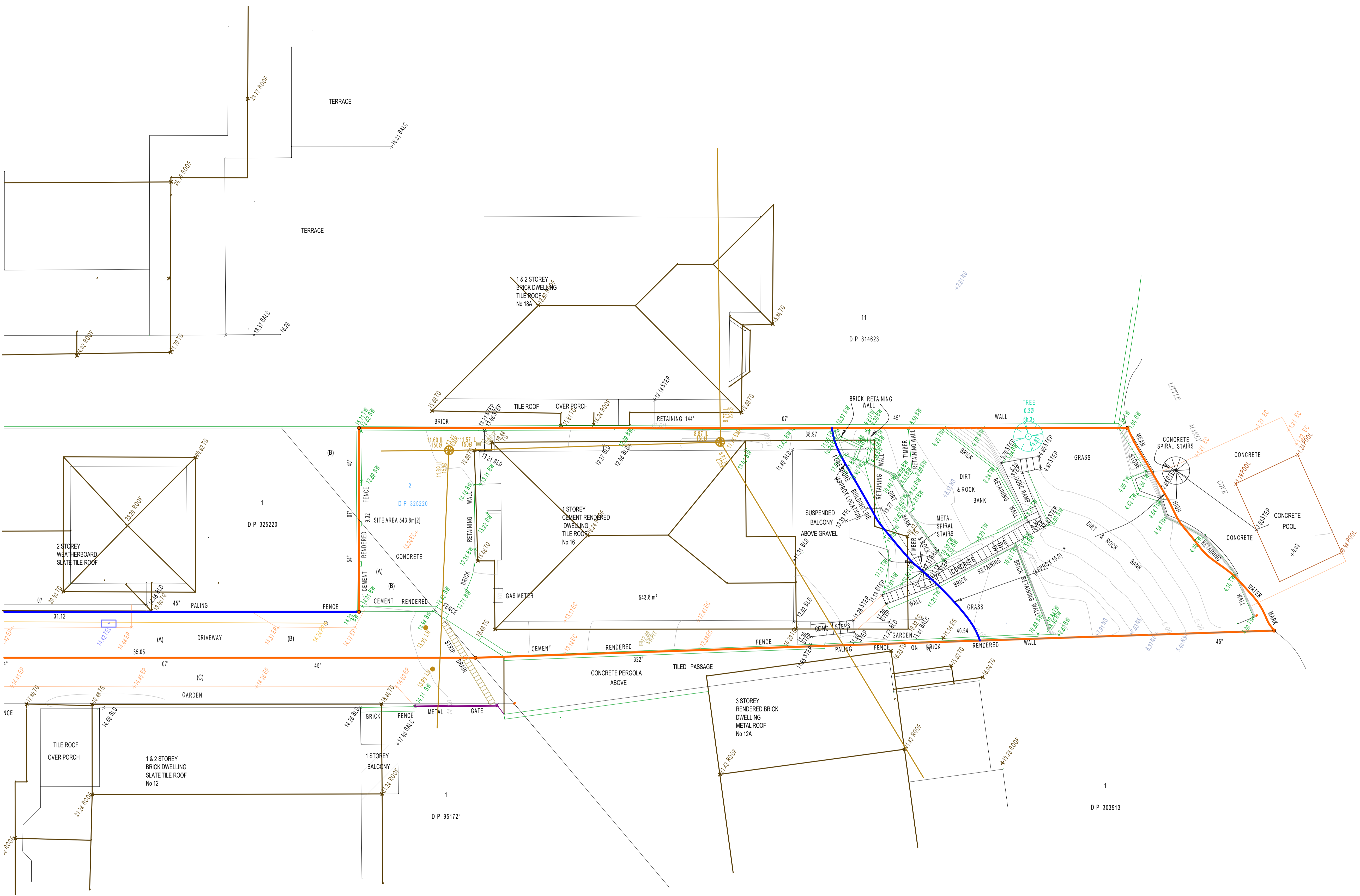
**Lot size C:** Min. 250m<sup>2</sup>

**Setback:** 1/3 Wall Height

Foreshore Scenic Protection Area  
Bandicoot and Penguin Significant Area  
Biodiversity Overlay



Artists Impression



- TYPICAL NOTES:**
- ORIGIN OF LEVELS PM 877, R.L.18.704 (A.H.D.)
  - BEARINGS ARE ON MAG NORTH
  - NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN
  - BEARINGS & DISTANCES HAVE BEEN COMPILED FROM TITLE AND/OR DEED INFORMATION SUPPLIED BY DEPARTMENT OF LANDS NSW
  - RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
  - SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY AND THE RELEVANT SERVICE DIAGRAMS OF THE VARIOUS AUTHORITIES. ALL SERVICES MUST BE VERIFIED ON SITE PRIOR TO ANY WORK BEING UNDERTAKEN. LINKER SURVEYING PTY LTD BEARS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE SERVICES SHOWN HEREON.
  - ROOF, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY
  - ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
  - THE DIAMETER (Ø), SPREAD (S) & HEIGHT (H) OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
  - CONTOURS ARE AN INDICATION OF THE TOPOGRAPHY ONLY. SPOT LEVELS SHOULD BE USED IF DETAILED DESIGN IS TO BE UNDERTAKEN.
  - CONTOUR INTERVAL 0.5 METRE.

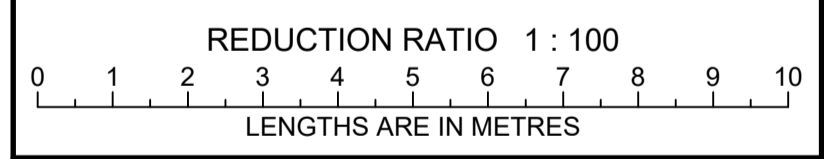
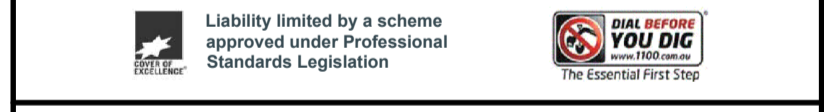
**LEGEND OF TYPICAL CODES**

AE - ARCHITECTURAL EMBELLISHMENT	MJD - METAL LID
AP - ALIGNMENT PIN	NS - NATURAL SURFACE
AWN - AWNING	OCC - STRUCTURE
BALC - BALCONY	OPT - OPTUS PIT
BANK - BOTTOM OF BANK	PS - PEDESTRIAN CROSSING
BB - BOTTOM OF BANK	PED - PEDESTRIAN CROSSING
BCH - BOTTOM OF CHIMNEY	PERG - PERGOLA
BD - BOTTOM OF DOOR	PM - PERMANENT MARK
BOY - BOUNDARY	PP - POWER POLE
BR - BOTTOM OF FENCE	ROCK - ROCK
BRR - BOTTOM OF HANDRAIL	RWY - RAILWAY
BIT - BITUMEN	RM - REFERENCE MARK
BK - BOTTOM OF KERB	RR - ROOF RIDGE
BLD - BUILDING	RSN - CONCRETE NAIL
BM - BENCH MARK	SEW - SEWER
BOL - BOLLARD	SHR - SHRUB
BR - BOTTOM OF ROCK	SIP - SINK INSPECTION PIT
BRK - BRICK	SLH - SEWER LAMP HOLE
BRW - BOTTOM OF RETAINING WALL	SMH - SEWER MANHOLE
BS - BOTTOM OF STEPS	SP - SIGN POST
BW - BOTTOM OF WALL	SSM - STATE SURVEY MARK
BWM - BOTTOM OF WINDOW	SV - STOP VALVE
CHM - CHIMNEY	SW - STORM WATER
CL - CENTRELINE	TARCH - TOP OF ARCH
CLID - CONCRETE LID	TAWN - TOP OF AWNING
COL - COLLUMN	TB - TOP OF BANK
COM - COMMUNICATIONS PIT	TBX - TELSTRA BOX
CONC - CONCRETE	TCH - TOP OF CHIMNEY
OPT - OPTUS PIT	TD - TOP OF DOOR
D - DOOR	TEL - TELSTRA PIT
DD - DISH DRAIN	TELP - TELSTRA PILLAR
DH - DRILL HOLE	TF - TOP OF FENCE
DHW - DRILL HOLE & WINGS	TG - TOP OF GUTTER
DWY - DRIVEWAY	THR - TOP OF HANDRAIL
EB - EDGE OF BITUMEN	TI - TRAFFIC ISLAND
ESBK - ELECTRICITY BOX	TJN - TOP OF KERB
EC - EDGE OF CONCRETE	TL - TRAFFIC LIGHT
ED - EDGE OF DOOR	TP - TOP OF PARAPET
EG - EDGE OF GARDEN	TR - TREE
ELEC - ELECTRICITY PIT	TRF - TOP OF ROOF
EP - EDGE OF PATH	TRK - TOP OF ROOF
ER - EDGE OF ROAD	TRW - TOP OF WINDOW
FL - FENCE	TS - TOP OF STEPS
FL - FLOOR LEVEL	TW - TOP OF WALL
FL - FINISHED FLOOR LEVEL	TWN - TOP OF WINDOW
FP - FENCE POST	US - UNDERSIDE
GD - GLASS DOOR	UAWN - UNDERSIDE OF AWNING
GL - GROUND LEVEL	UKS - UNKNOWN SERVICE
GM - GAS METER	USB - UNDERSIDE OF BEAM
HG - HIGH POWERED GAS	USC - UNDERSIDE OF CEILING
HR - HANDRAIL	USE - UNDERSIDE OF EAVE
HYD - HYDRANT	USC - UNDERSIDE OF GUTTER
I - INVERT LEVEL	V - VENT
K - KERB	VER - VERANDA
LN - LINTEL	VC - VEHICLE CROSSING
LP - LAMP POST	W - WINDOW
MH - MANHOLE	WM - WATER METER

**LEGEND OF TYPICAL SERVICES**

C - COMMUNICATIONS CABLE	RW - RECYCLED WATER
CSMP - CERAMIC STORMWATER PIPE	RM - RISING MAIN
E - UNDERGROUND ELECTRICITY CABLES	RMS - ROADS & MARITIME SERVICES
AE - UNDERGROUND ELECTRICITY & OPTUS CABLES	S - SEWER
FS - FIRE SERVICE	SO - SEWER OUTFALL
GS - GAS LINE	ST - SHARED TRENCH
GE - GAS LINE & ELECTRICITY CABLES	SW - STORM WATER
NBN - NATIONAL BROAD BAND CABLES	SW - STORMWATER CREEK
NG - NATURAL GAS LINE	T - TELSTRA CABLES
OH - OVERHEAD CABLES	TG - TELSTRA & GAS CABLES
OPT - OPTUS CABLE	U - UNKNOWN SERVICE
PE - PRIVATE ELECTRICITY	UC - UCCS CABLES
PS - PRIVATE SEWER	VR - VERIZON CABLES
PM - PRIVATE WATER	W - WATER SUPPLY
	WM - WATER MAIN

- ALL UNDERGROUND SERVICE INFORMATION INCLUSIVE OF GENERAL POSITION AND SURFACE COVER DEPTHS NOTED ON THE PLAN ARE APPROXIMATELY ONLY.
- ALL UNDERGROUND SERVICE INFORMATION HAS BEEN COMPILED FROM SERVICE AUTHORITY PLANS PROVIDED BY THE AUTHORITIES.
- THE LOCATION OF SERVICES BETWEEN SURVEYED POINTS (AS INDICATED) HAVE BEEN SHOWN DIAGRAMMATICALLY ONLY USING THE SERVICE DIAGRAMS AS PROVIDED. THE EXACT LOCATION OF THESE SERVICES BETWEEN THE SURVEYED POINTS MUST BE VERIFIED PRIOR TO ANY EXCAVATION OR PLUNG. NO WARRANTY IS GIVEN AGAINST THE POSSIBILITY OF THE EXISTENCE OF FURTHER UNWRITTEN SERVICES.
- ALL CONTRACTORS, TRADESMEN, BUILDING & PROJECT CONSULTANTS MUST CONTACT THE VARIOUS AUTHORITIES IN ACCORDANCE WITH STANDARD 'YOU DIG' PROCEDURES PRIOR TO UNDERTAKING ANY WORKS WITHIN THE VICINITY OF THE SERVICE LINES TO VERIFY THE POSITION OF THE SERVICE LINES.



CLIENT: CHRISTOPHER HO

TITLE No: 2/325220  
 DATUM: A.H.D.  
 DATE OF SURVEY: 15.04.16  
 SURVEYOR: KB  
 DRAFTER: PH

REF: 160320  
 ISSUE: 1  
 ISSUE DATE: 65  
 SHEET SIZE: AO  
 SHEET 1 OF 1 SHEETS

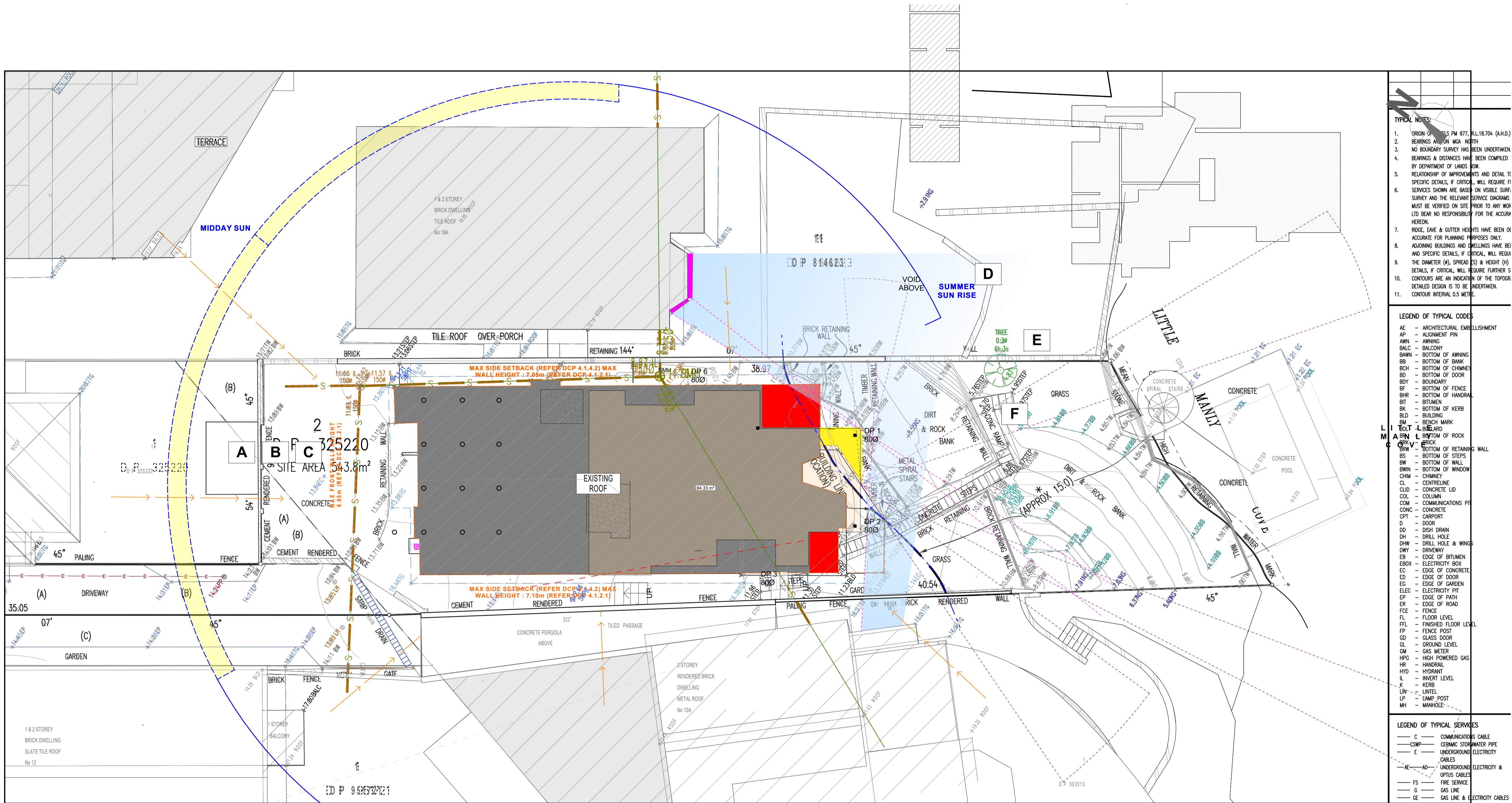
**PLAN OF DETAIL & LEVELS AT No 16 ADDISON ROAD MANLY**

Suite 301, Level 3, 55 Holt Street  
 Surry Hills NSW 2012  
 PO Box 1807  
 Strawberry Hills NSW 2012  
 t: (02) 9212 4655  
 f: (02) 9212 5254  
 email: reception@linkersurveying.com.au  
 web site: www.linkersurveying.com.au

NOTE: FORESHORE BUILDING LINE FROM L.E.P. MAP  
 \* APPROXIMATE LOCATION (15 METRES FROM M.H.W.M. 2013)

- (A) RIGHTS OF WAY (RE A735434, A750076)
- (B) BENEFITED BY RIGHTS OF WAY (RE A750076, B795218)
- (C) RIGHT OF WAY (RE 750076)

— DENOTES SEWER LINE



- TYPICAL NOTES**
1. ORIGIN OF THIS PLAN 877, RL.18.704 (A.H.D.)
  2. BEARINGS AND DISTANCES HAVE BEEN COMPILED BY DEPARTMENT OF LANDS BSM.
  3. NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN.
  4. BEARINGS & DISTANCES HAVE BEEN COMPILED BY DEPARTMENT OF LANDS BSM.
  5. RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY AND THE RELEVANT SERVICE DIAGRAMS MUST BE VERIFIED ON SITE PRIOR TO ANY WORK BEING UNDERTAKEN FOR THE ACCURACY HEREON.
  6. ROOF, EAVE & GUTTER HEIGHTS HAVE BEEN ACCURATE FOR PLANNING PURPOSES ONLY.
  7. ADJOINING BUILDINGS AND CHIMNELS HAVE BEEN SHOWN AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY AND THE RELEVANT SERVICE DIAGRAMS MUST BE VERIFIED ON SITE PRIOR TO ANY WORK BEING UNDERTAKEN FOR THE ACCURACY HEREON.
  8. CONTOURS ARE AN INDICATION OF THE TOPOGRAPHY OF THE SITE TO BE UNDERTAKEN.
  9. CONTOUR INTERVAL 0.5 METRE.

**LEGEND OF TYPICAL CODES**

AE	ARCHITECTURAL EMBELLISHMENT
AP	ALIGNMENT FIN
ANN	ANNING
BALC	BALCONY
BANN	BOTTOM OF ANNING
BB	BOTTOM OF BANK
BCH	BOTTOM OF CHIMNEY
BD	BOTTOM OF DOOR
BDY	BOUNDARY
BF	BOTTOM OF FENCE
BHR	BOTTOM OF HANDRAIL
BIT	BITUMEN
BK	BOTTOM OF KERB
BLD	BUILDING
BM	BENCH MARK
BOLT	BOLT
BRN	BOTTOM OF ROCK
BRW	BOTTOM OF RETAINING WALL
BS	BOTTOM OF STEPS
BW	BOTTOM OF WALL
BWN	BOTTOM OF WINDOW
CHM	CHIMNEY
CL	CENTRELINE
CLID	CONCRETE LID
COL	COLUMN
COM	COMMUNICATIONS PIT
CONC	CONCRETE
CPT	CARPET
D	DOOR
DD	DISH DRAIN
DH	DRILL HOLE
DHW	DRILL HOLE & WINGS
DRY	DRYWAY
EB	EDGE OF BITUMEN
EBOX	ELECTRICITY BOX
EC	EDGE OF CONCRETE
ED	EDGE OF DOOR
EG	EDGE OF GARDEN
ELEC	ELECTRICITY PIT
EP	EDGE OF PATH
ER	EDGE OF ROAD
FCE	FENCE
FL	FLOOR LEVEL
FFL	FINISHED FLOOR LEVEL
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GL	GROUND LEVEL
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HPC	HIGH POWERED GAS
HR	HANDRAIL
HYD	HYDRANT
IL	INVERT LEVEL
K	KERB
LN	LINTEL
LP	LAMP POST
MH	MANHOLE

**LEGEND OF TYPICAL SERVICES**

C	COMMUNICATIONS CABLE
CSWP	CERAMIC STORE/WATER PIPE
E	UNDERGROUND ELECTRICITY
EA	UNDERGROUND ELECTRICITY & CABLES
FS	FIRE SERVICE
G	GAS LINE
GE	GAS LINE & ELECTRICITY CABLES

NOTE: Drawings subject to Architects Developed and Detail Design revisions. Not for Construction. To be read in conjunction with Specification and Consultant Drawings

# PATTERSON

PATTERSON ASSOCIATES LTD  
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 P.O. BOX 8778 SYMONDS ST, AUCKLAND, NEW ZEALAND  
 TELEPHONE (09) 303-4004 FACSIMILE (09) 303-4001

16 Addison Rd, Sydney

Consultants  
 Quantity Surveyors: Dean, Murray & Partners Ltd.  
 Structural Engineers: Law Sue Davison Ltd.  
 Truss Designer: Buildable Layouts Ltd.  
 Geotechnical Engineer: Chambers Consultants Ltd.

designed	**	peer review	**
drawn	**	checked	**

scale 1:100 @ A1 date 21/12/2021

title  
**Locality And Site Analysis 1:200 @ A3**

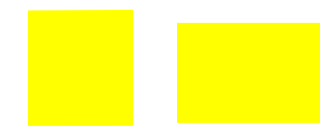
drawing set  
**Development Application Not For Construction**

ref no.	18010
sheet no.	1.2
revision	C

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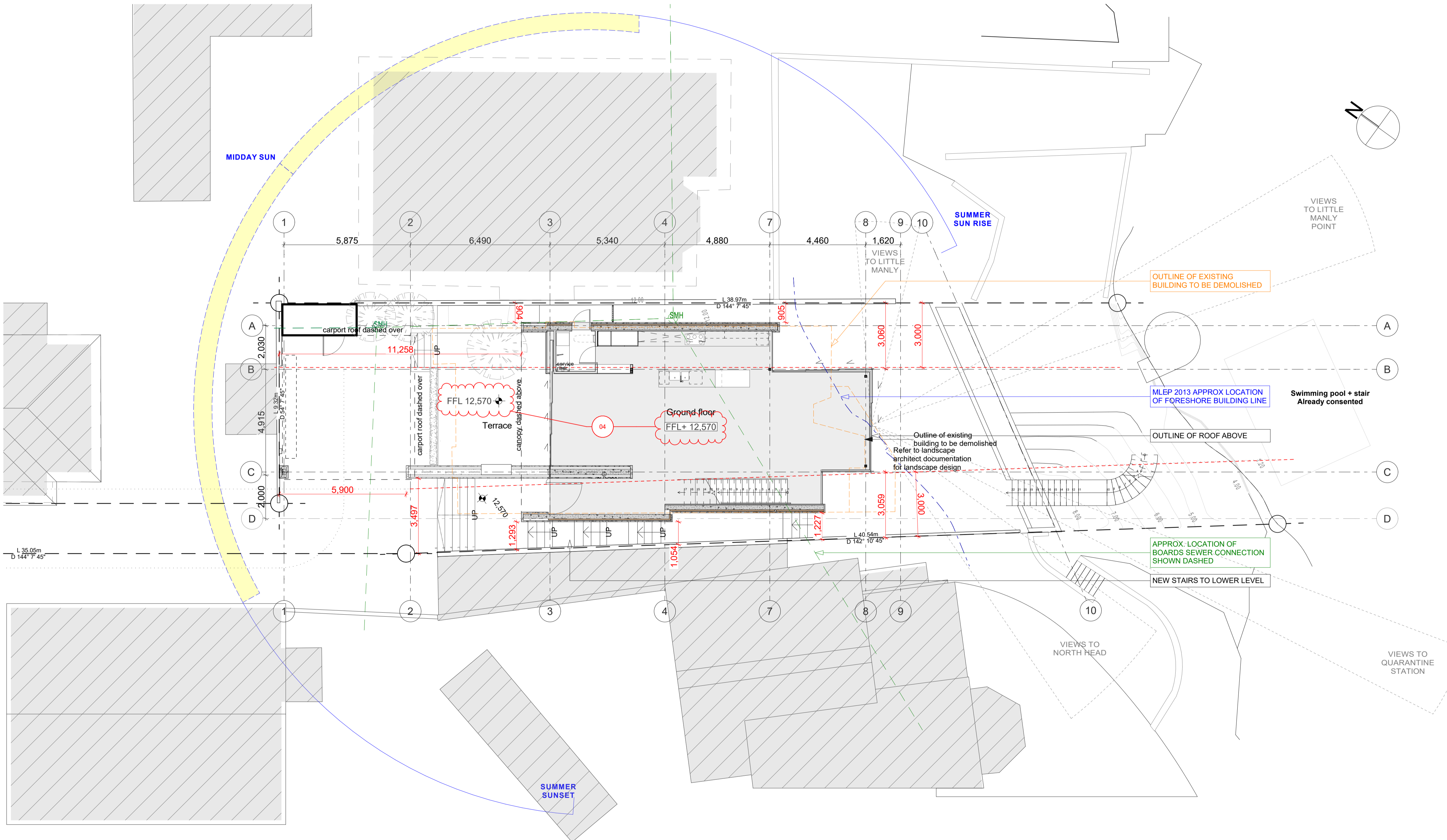
(D, E, F) RED HATCH SHOWS 4M2 OF EXISTING BUILDING AREA TO BE REMOVED AND SET BACK (ON BOTH BOUNDARIES). YELLOW HATCH SHOWS 4M2 NEW BUILDING AREA.  
 Area of new set back to be removed 7.5m2 total



Area of new proposed building beyond line of existing building total 2.0m2  
 Proposed increased line of site to harbour for neighbouring properties  
 Overlooking



Change List - Revision C		
ID	Name	Last Modified
01	Privacy Louvres Added	19/10/2021 5:59 pm
02	Metal Cowl Added	19/10/2021 6:01 pm
03	Gas Fire Annotation Added	19/10/2021 6:15 pm
04	FFL Lowered	17/12/2021 3:48 pm
05	Parapet RL Lowered	17/12/2021 4:02 pm
06	FGL Lowered	17/12/2021 4:02 pm
07	Boat Shed Layout	17/12/2021 4:02 pm



**Town Planning:**

**Site Area:** 543.8m<sup>2</sup>

**Floor space Ratio:** 0.6  
543.8x0.6= 326.3m<sup>2</sup>

**Zone:** E4 Environmental Living

**Max. Wall Height:** 7.2m  
or calculated for gradient

**Max. Building Height:** 8.5m

**Max. Roof Slope:** 35°

**Lot size C:** Min. 250m<sup>2</sup>

**Setback:** 1/3 Wall Height

Foreshore Scenic Protection Area  
Bandicoot and Penguin Significant Area  
Biodiversity Overlay

**Dwelling Gross Floor Area**

Boat shed	22m <sup>2</sup>
Lower Floor	84.5m <sup>2</sup>
Ground Floor	104m <sup>2</sup>
First Floor	92m <sup>2</sup>
<b>TOTAL:</b> (excludes plant, vertical circulation & basement storage)	<b>302.5m<sup>2</sup></b>
Storage Shed	4.3m <sup>2</sup>

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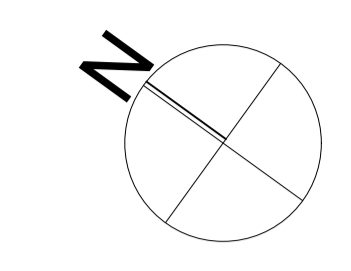
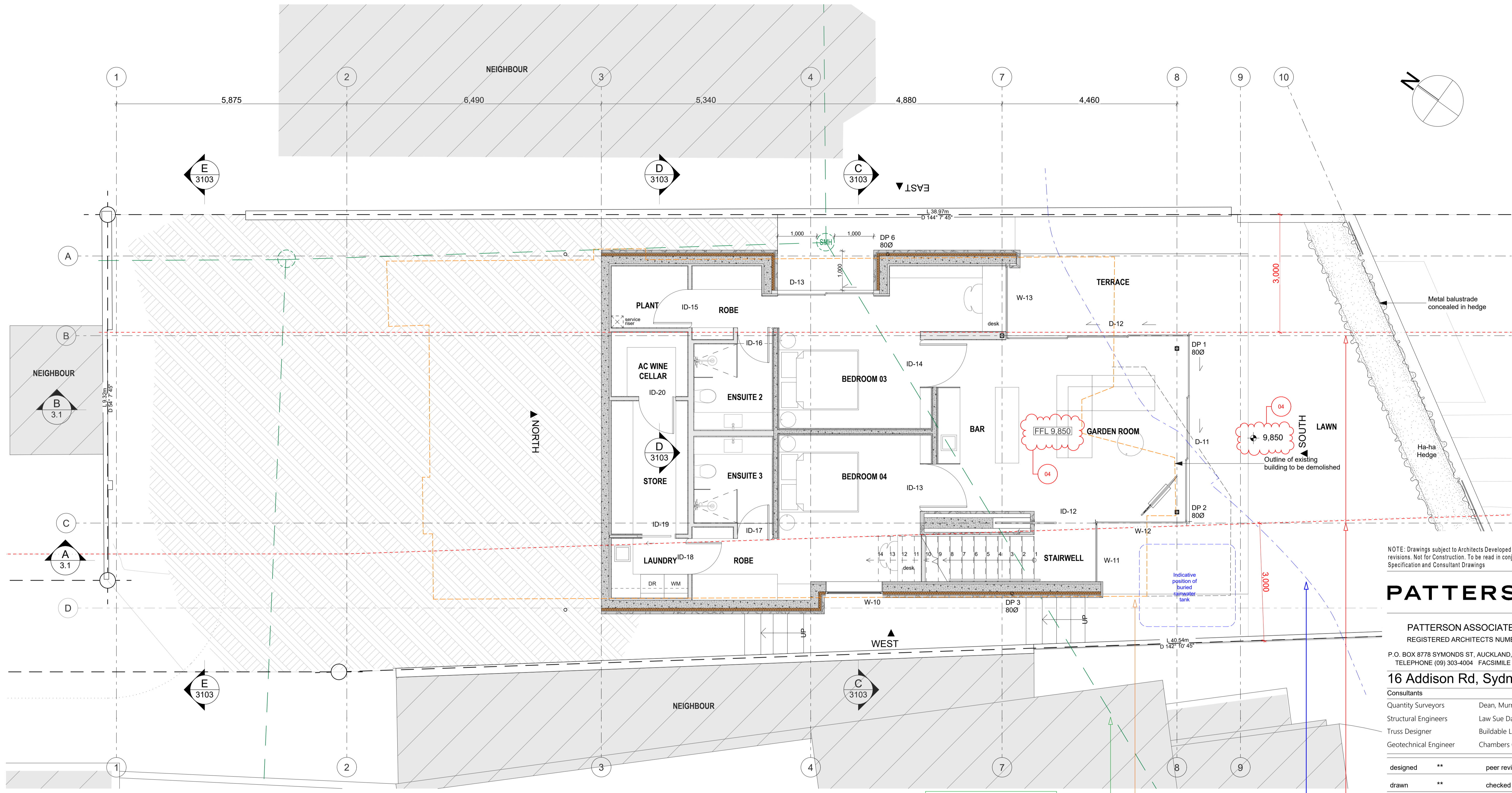
designed	**	peer review	**
drawn	**	checked	**
scale	1:100 @ A1	date	21/12/2021

title  
**Site Plan 1:200 @ A3**

drawing set  
**Development Application  
Not For Construction**

ref no.	18010
sheet no.	1.3
revision	C

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 Geotechnical Engineer Chambers Consultants Ltd.

designed \*\* peer review \*\*  
 drawn \*\* checked \*\*

scale 1:50, 1:100 @ A1 date 21/12/2021

title  
**Lower Floor Plan GA - 1:100 @ A3**

drawing set  
**Development Application Not For Construction**

ref no.  
**18010**

sheet no. revision  
**1.4 C**

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1 Lower Floor Plan 1:50

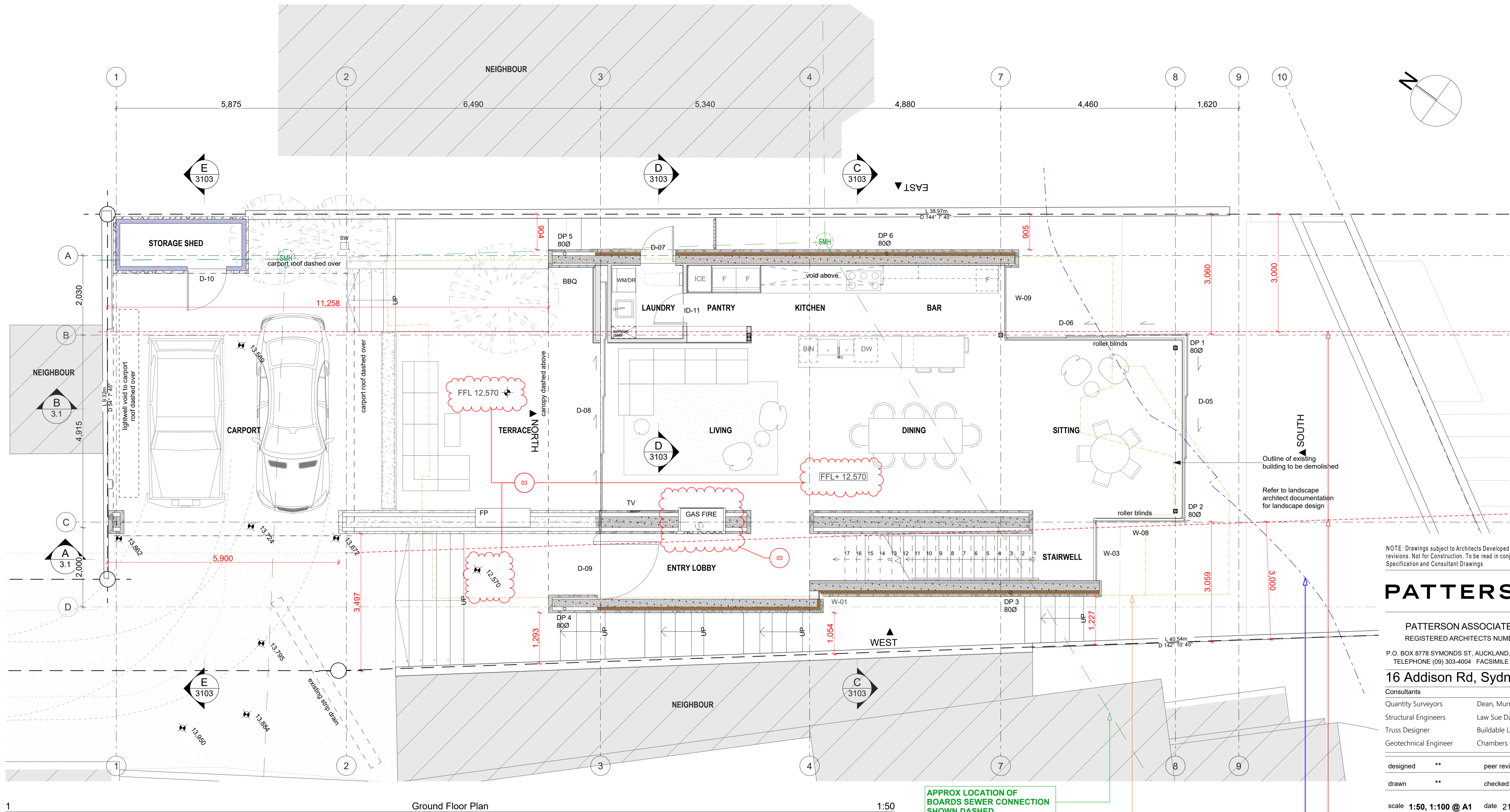
APPROX LOCATION OF BOARDS SEWER CONNECTION SHOWN DASHED

OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

MLEP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE

SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

Change List - Revision C		
ID	Name	Last Modified
01	Privacy Louvres Added	19/10/2021 5:59 pm
02	Metal Cowl Added	19/10/2021 6:01 pm
03	Gas Fire Annotation Added	19/10/2021 6:15 pm
04	FFL Lowered	17/12/2021 3:48 pm
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designed \*\* peer review \*\*  
 drawn \*\* checked \*\*

scale 1:50, 1:100 @ A1 date 21/12/2021

title  
**Ground Floor Plan - 1:100 @ A3**

drawing set  
**Development Application Not For Construction**

ref no.  
**18010**

sheet no. revision  
**1.5 C**

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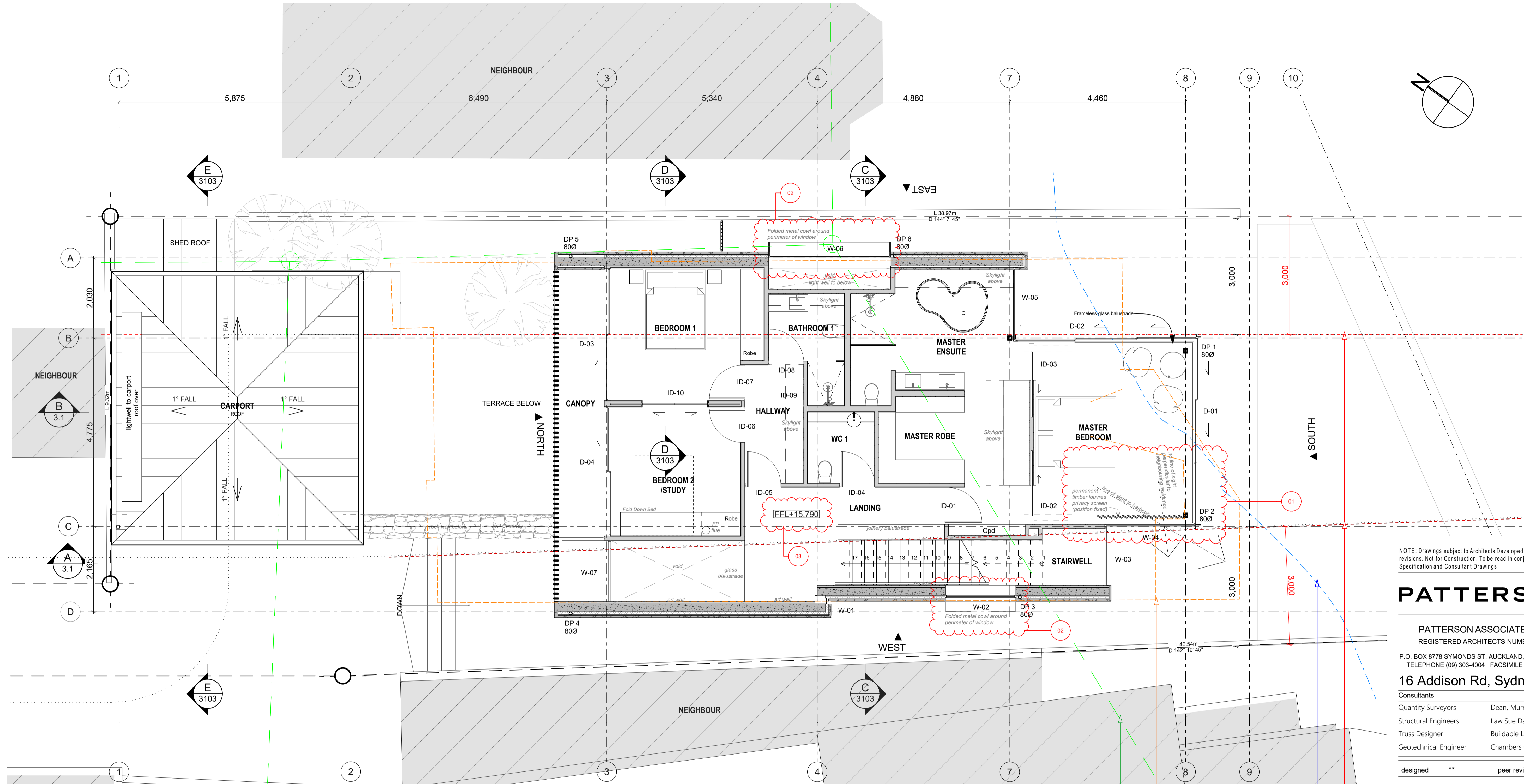
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designed \*\* peer review \*\*  
drawn \*\* checked \*\*

scale 1:50, 1:100 @ A1 date 21/12/2021

## First Floor Plan - 1:100 @ A3

drawing set  
Development Application  
Not For Construction

ref no.  
18010

sheet no. 1.6 revision C

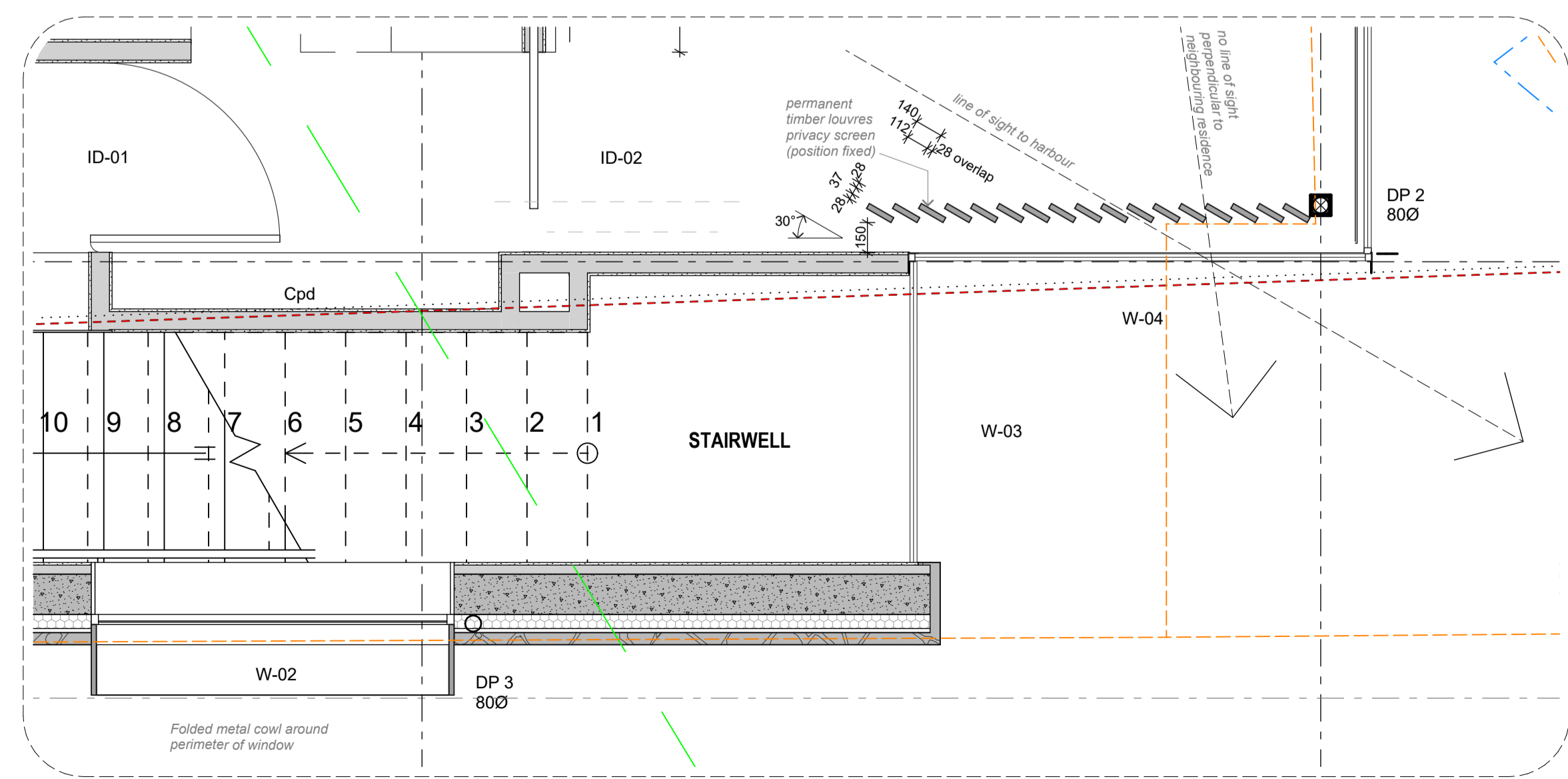
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APPROX LOCATION OF BOARDS SEWER CONNECTION SHOWN DASHED

OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

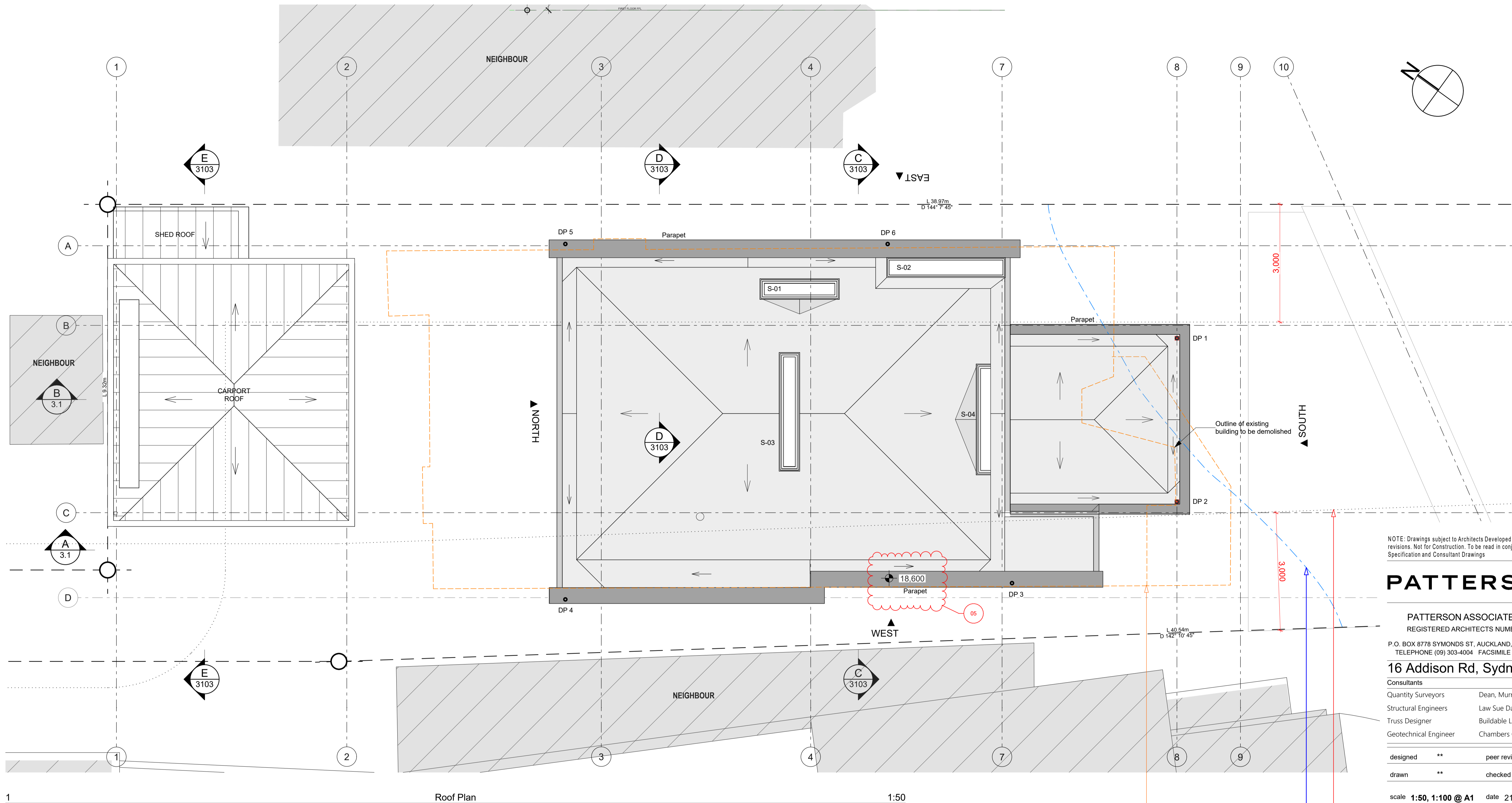
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Timber Privacy Screen 1:25

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REGISTERED ARCHITECTS NUMBER 1998

P.O. BOX 8778 SYMONDS ST, AUCKLAND, NEW ZEALAND  
TELEPHONE (09) 303-4004 FACSIMILE (09) 303-4001

16 Addison Rd, Sydney

Consultants  
 Quantity Surveyors Dean, Murray & Partners Ltd.  
 Structural Engineers Law Sue Davison Ltd.  
 Truss Designer Buildable Layouts Ltd.  
 Geotechnical Engineer Chambers Consultants Ltd.

designed \*\* peer review \*\*  
 drawn \*\* checked \*\*

scale 1:50, 1:100 @ A1 date 21/12/2021

title  
**Roof Plan - 1:100 @ A3**

drawing set  
**Development Application  
 Not For Construction**

ref no.  
**18010**

sheet no. revision  
**1.7 C**

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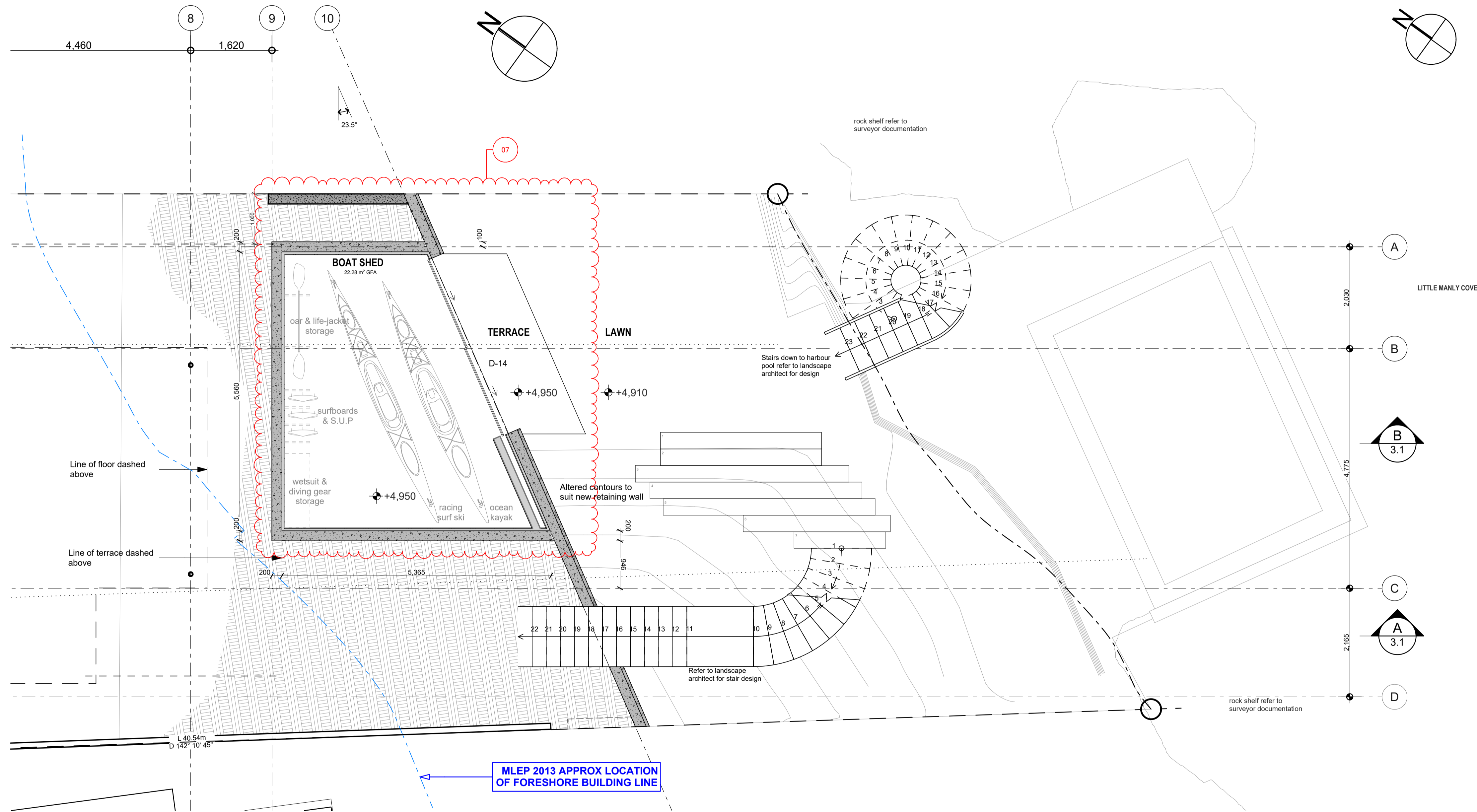
OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

MLEP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE

SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

Change List - Revision C		
ID	Name	Last Modified
01	Privacy Louvres Added	19/10/2021 5:59 pm
02	Metal Cowl Added	19/10/2021 6:01 pm
03	Gas Fire Annotation Added	19/10/2021 6:15 pm
04	FLL Lowered	17/12/2021 3:48 pm
05	Parapet RL Lowered	17/12/2021 4:02 pm
06	FGL Lowered	17/12/2021 4:02 pm
07	Boat Shed Layout	17/12/2021 4:02 pm





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drawn	**	checked	**

scale @ A1 date 21/12/2021

title  
**Boat Shed Plan - 1:100**  
**@ A3**

drawing set  
**Development Application**  
**Not For Construction**

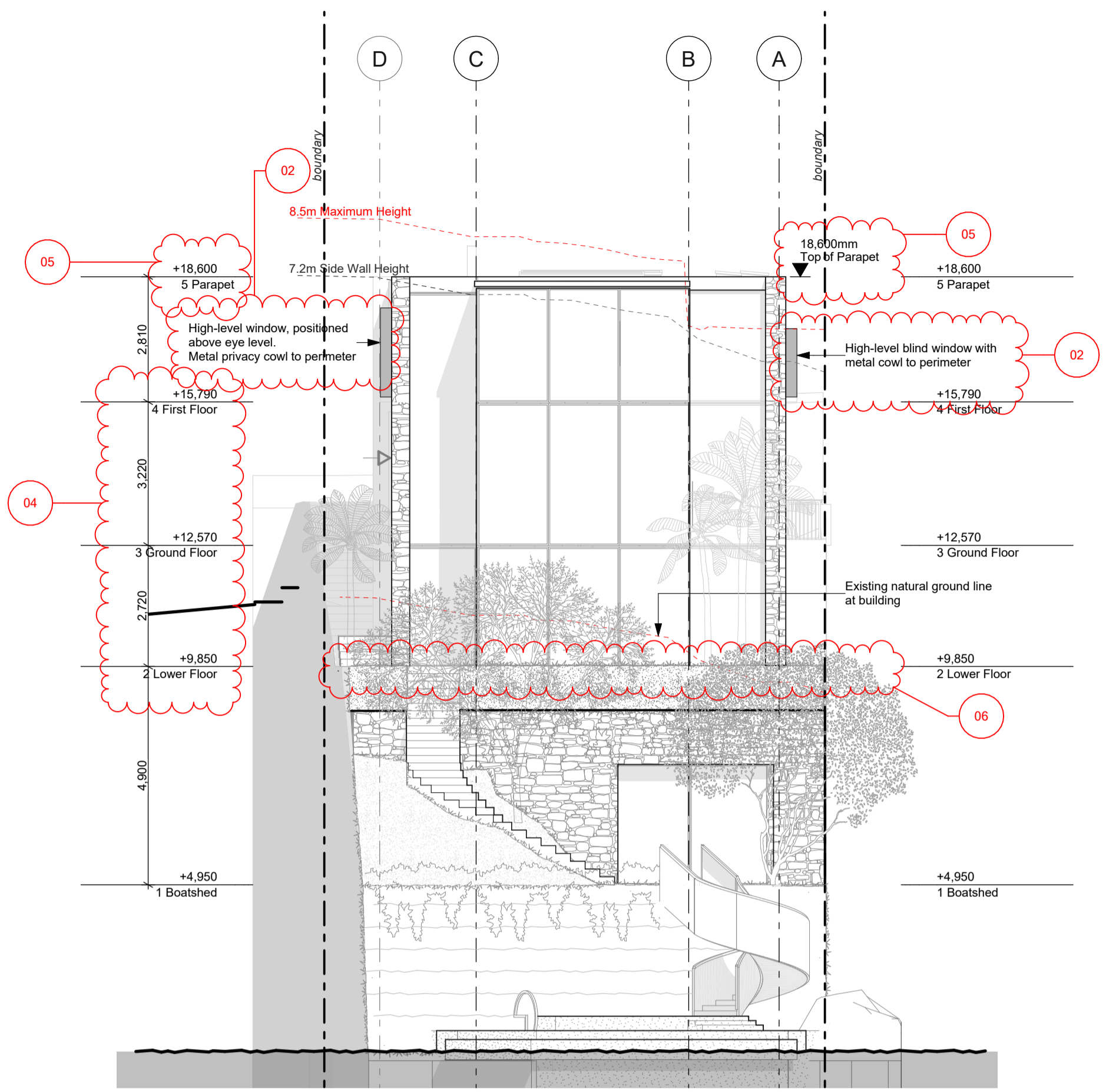
ref no.  
**18010**

sheet no.	revision
<b>1.8</b>	<b>C</b>

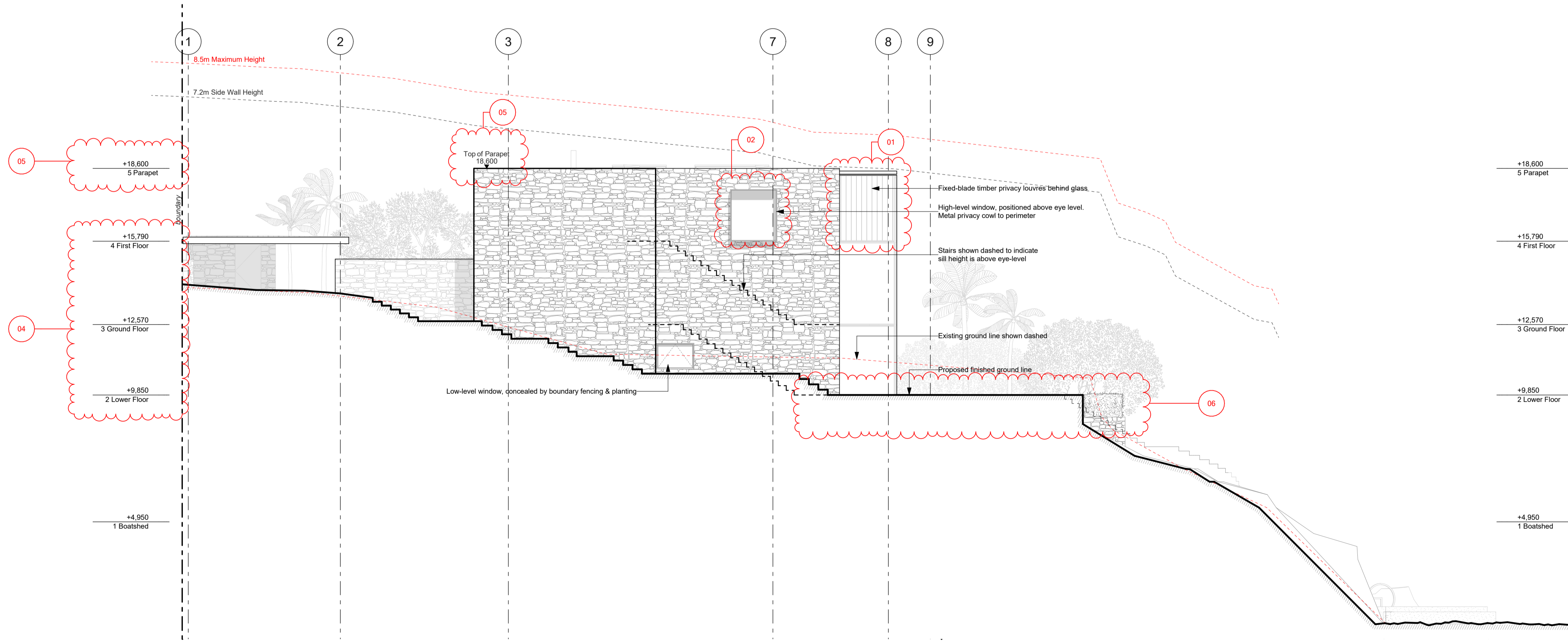
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1 South Elevation 1:100



2 West Elevation 1:100

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drawn	**	checked	**

scale 1:100 @ A1 date 21/12/2021

title  
**Elevations - 1:200 @ A3**

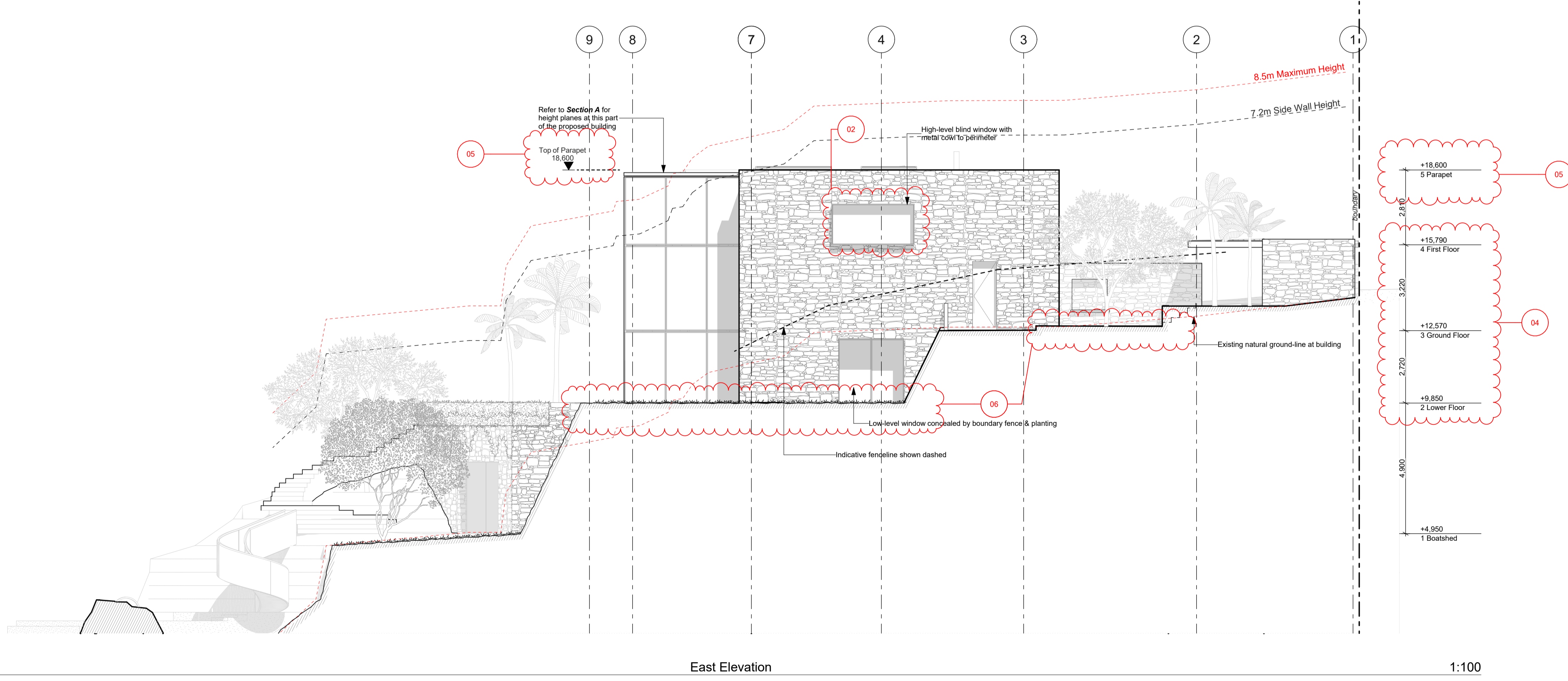
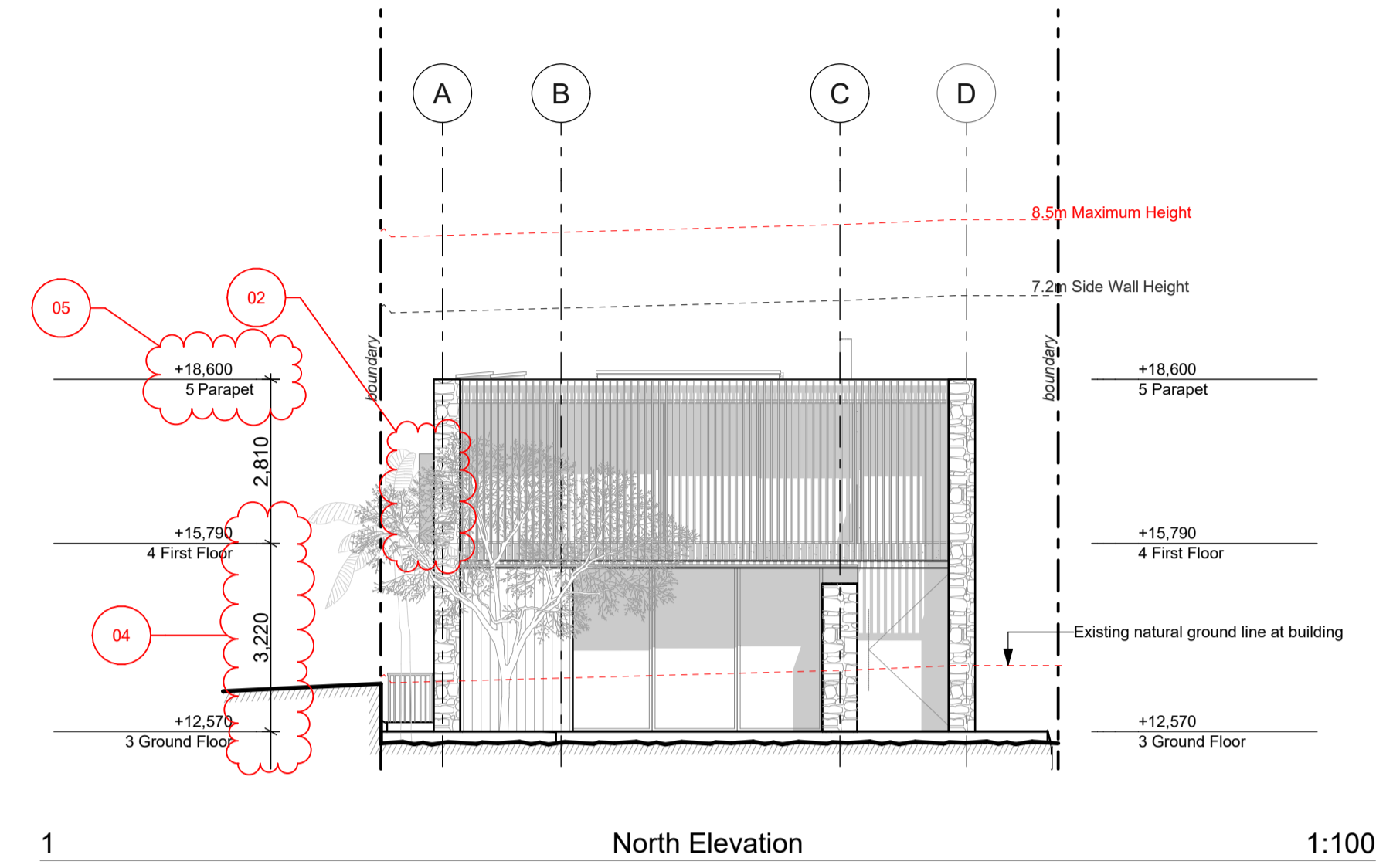
drawing set  
**Development Application  
Not For Construction**

ref no.  
**18010**

sheet no. revision  
**2.1 C**

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drawn	**	checked	**

scale 1:100 @ A1 date 21/12/2021

title  
**Elevations - 1:200 @ A3**

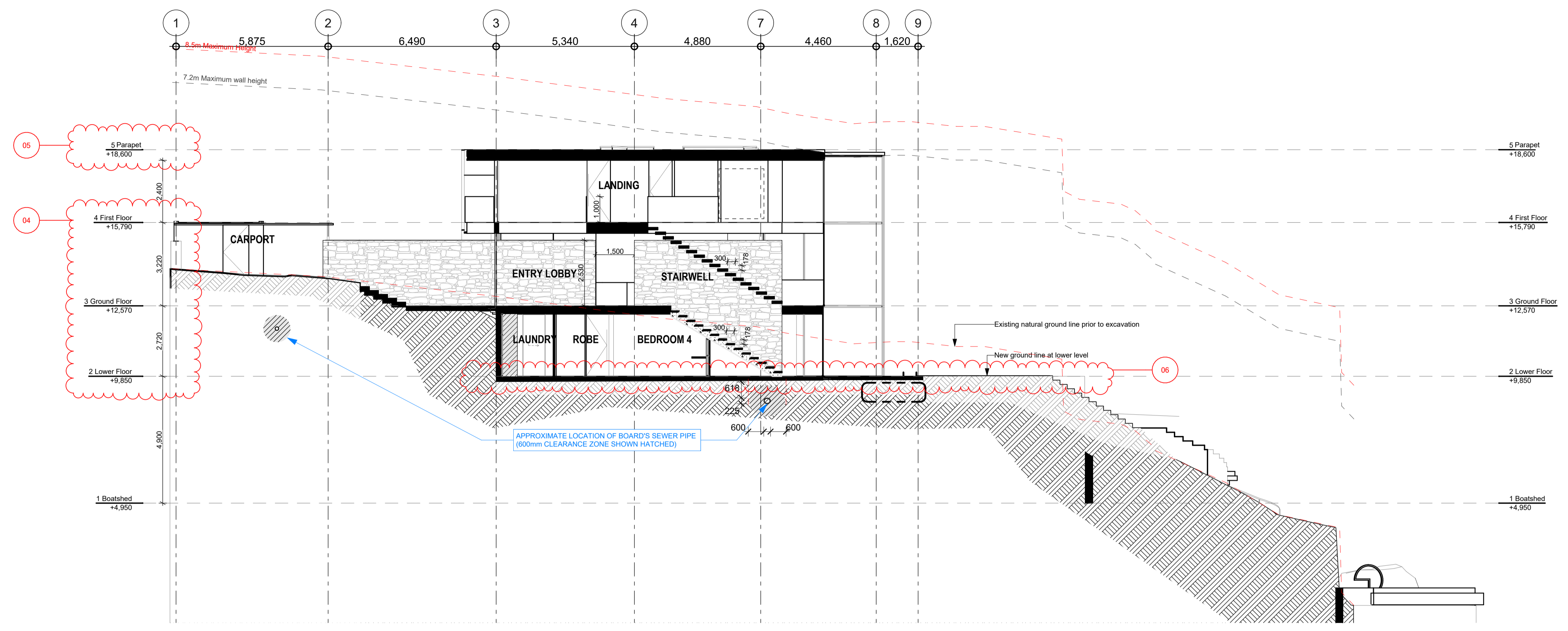
drawing set  
**Development Application  
Not For Construction**

ref no.  
**18010**

sheet no. revision  
**2.2 C**

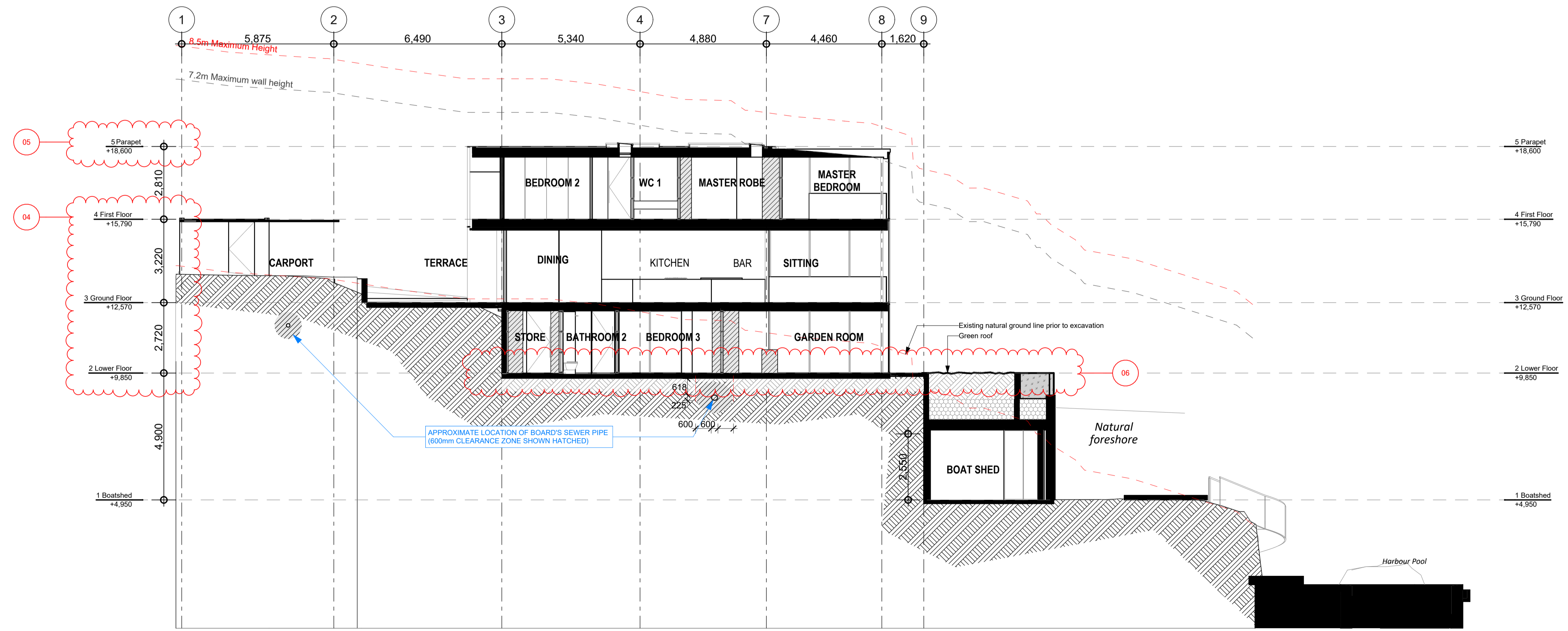
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Section A

1:100



Section B

1:100

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title  
Sections - 1:200 @ A3

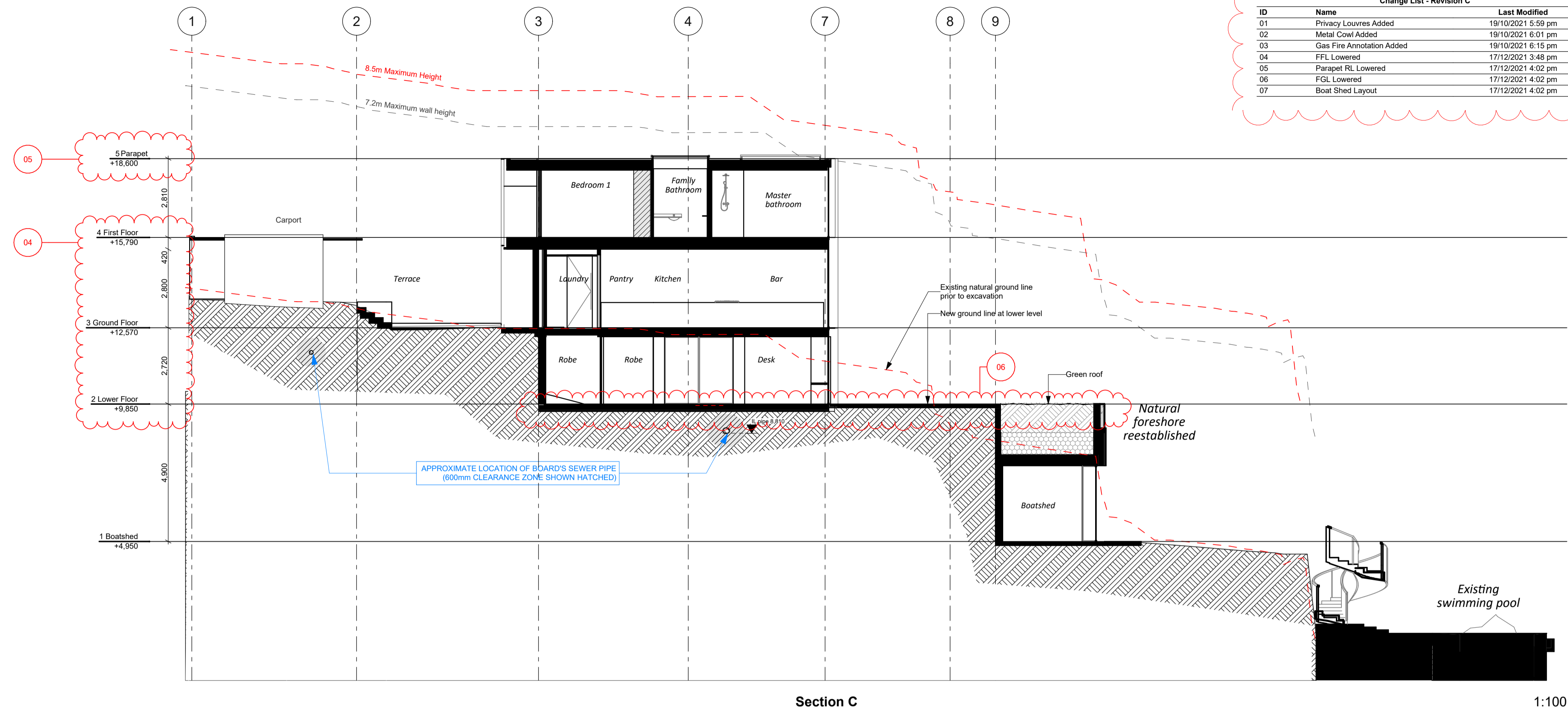
drawing set  
Development Application  
Not For Construction

ref no.  
18010

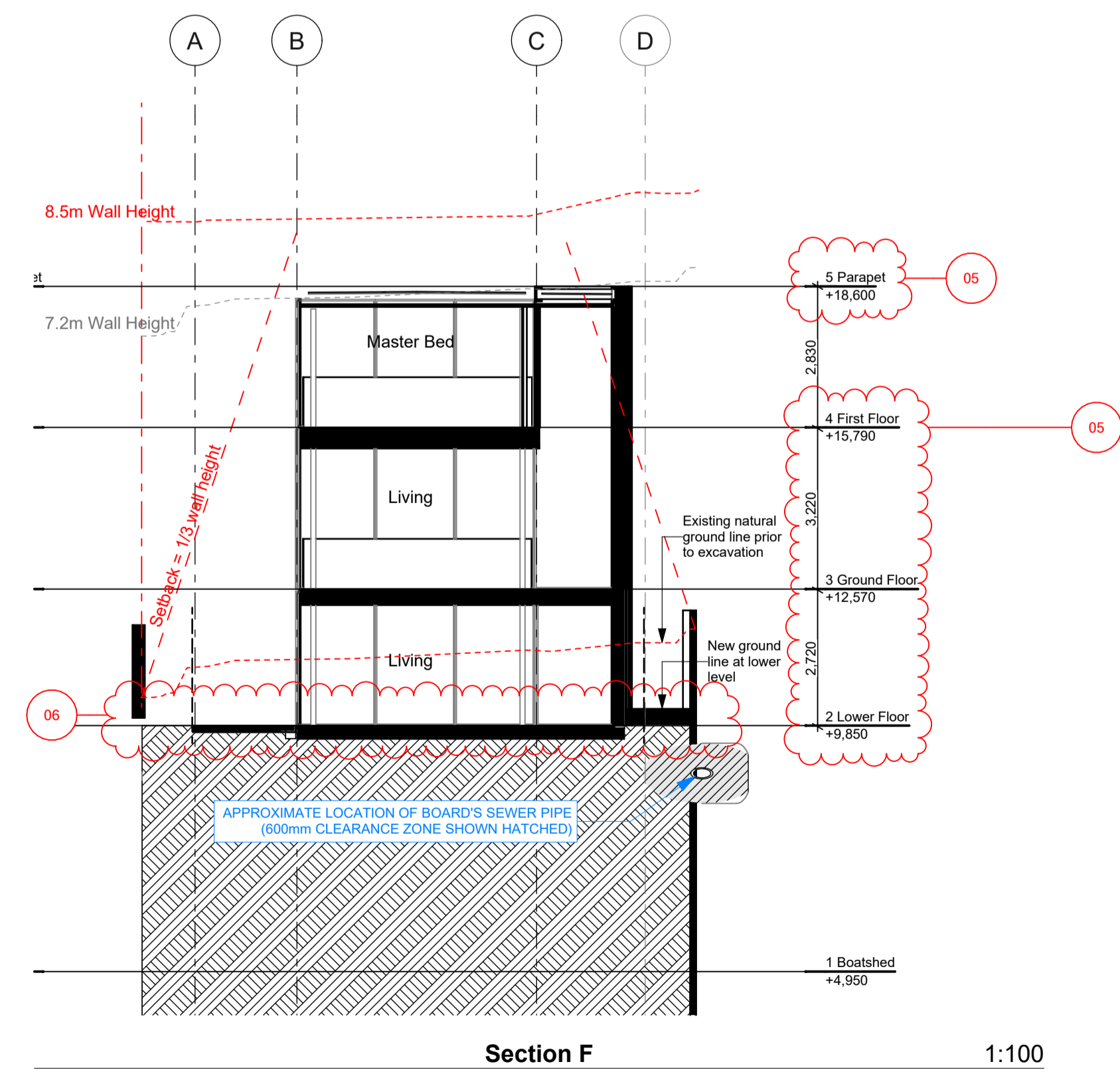
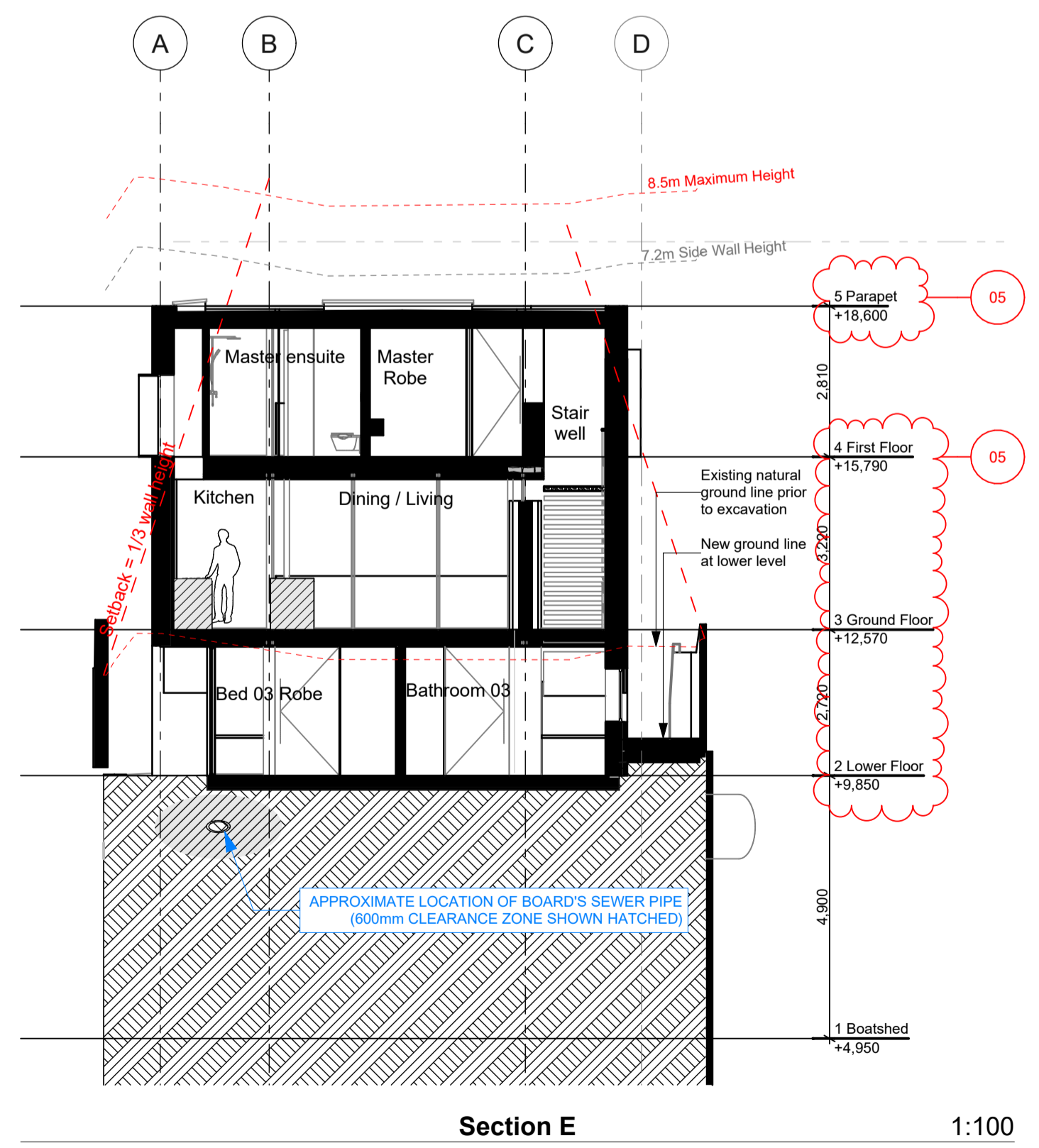
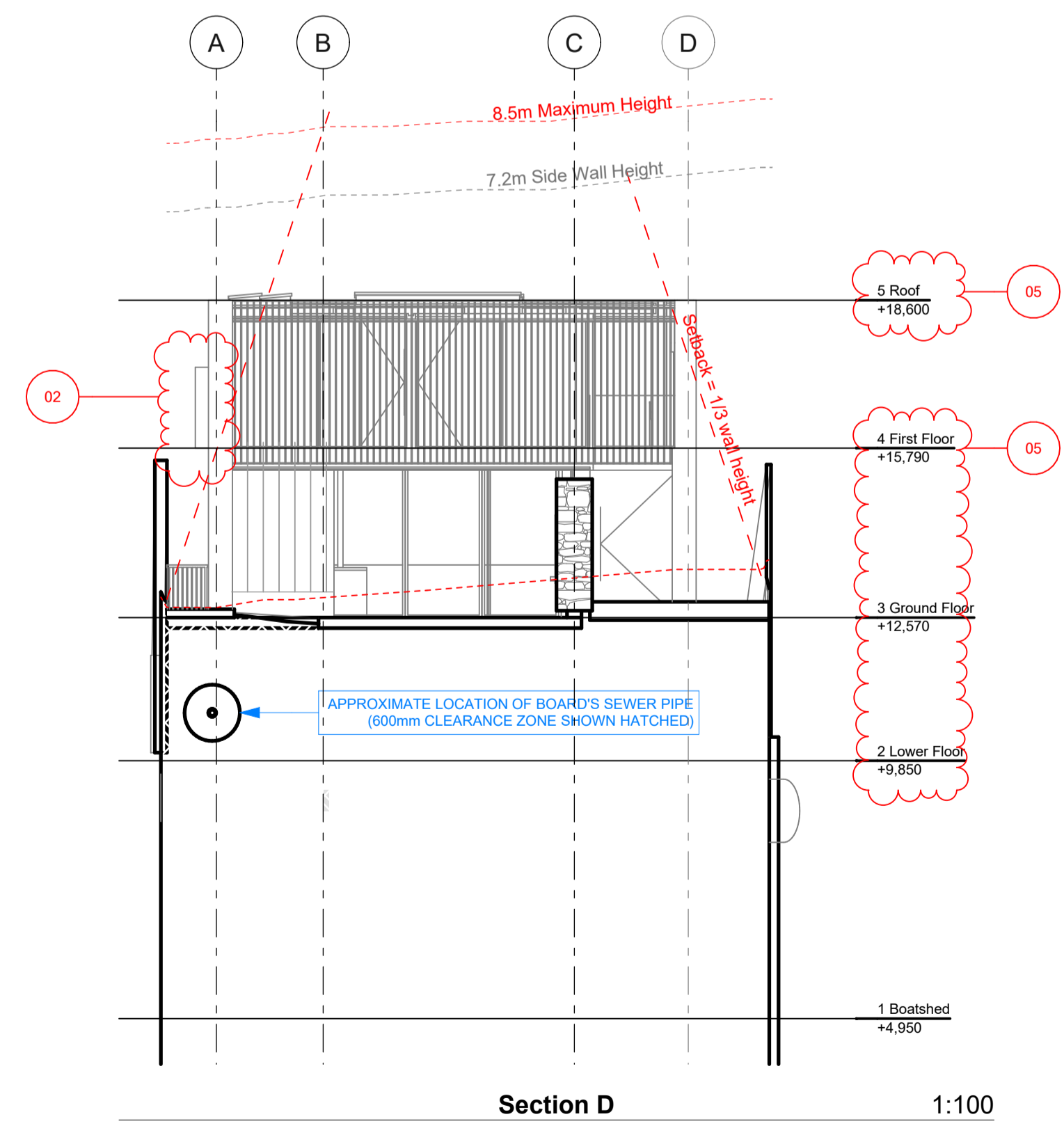
sheet no. revision  
3.1 C

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Section C 1:100



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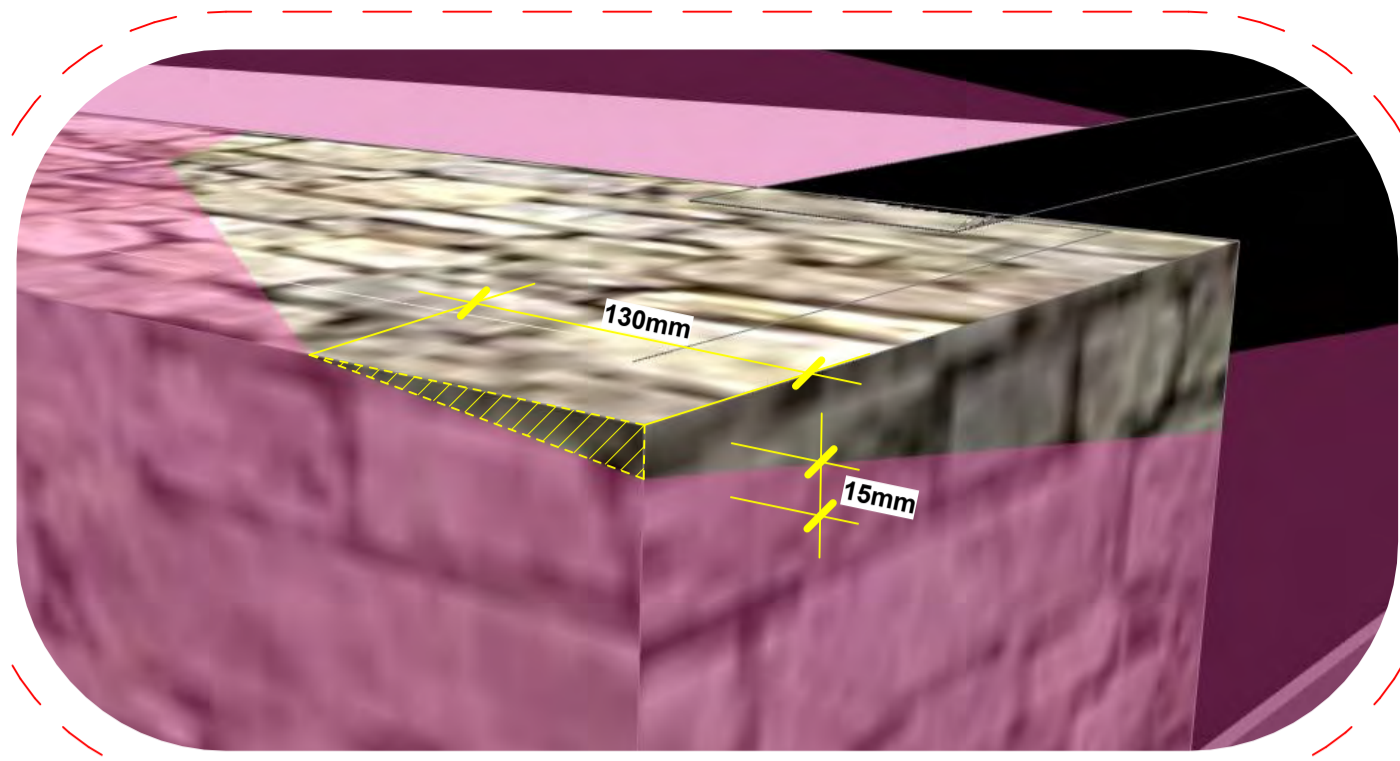
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 drawn \*\* checked \*\*  
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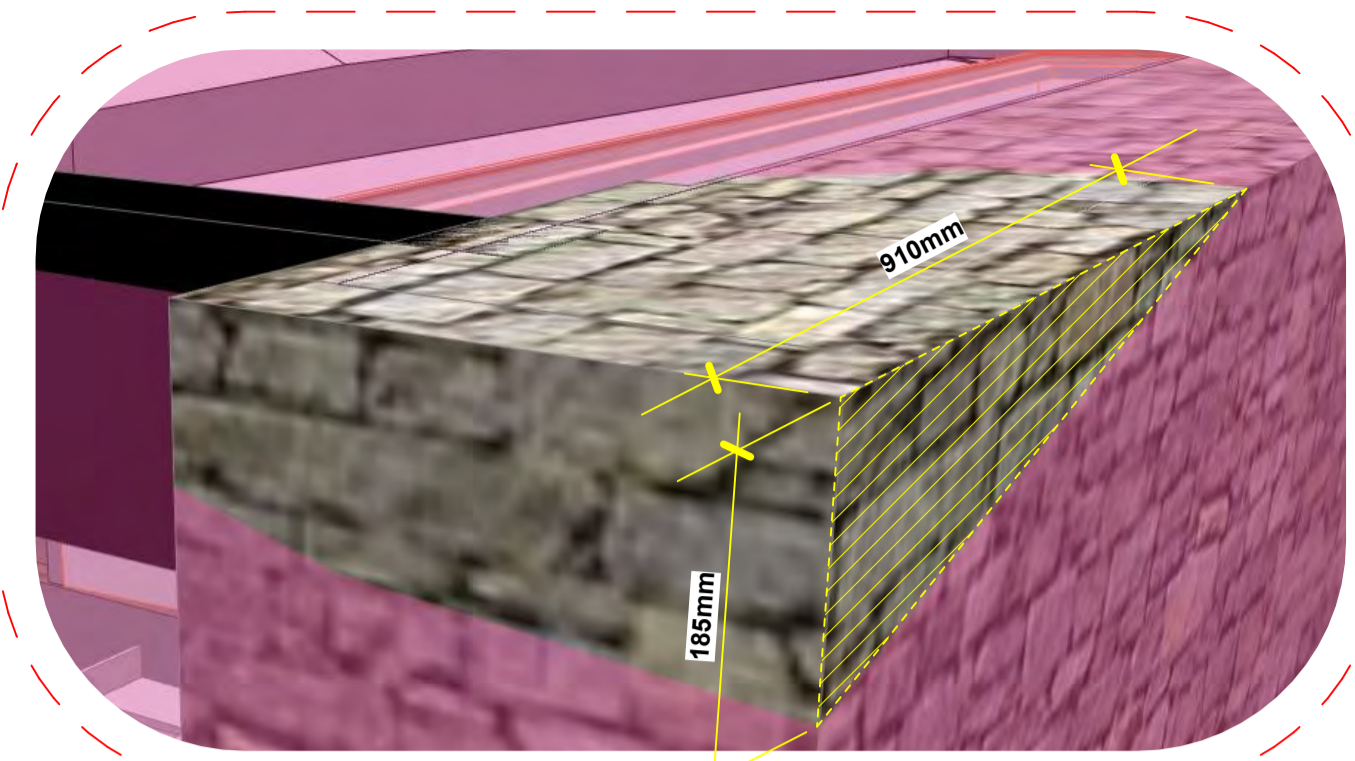
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drawing set  
**Development Application**  
**Not For Construction**  
 ref no.  
**18010**  
 sheet no. revision  
**3.2 C**

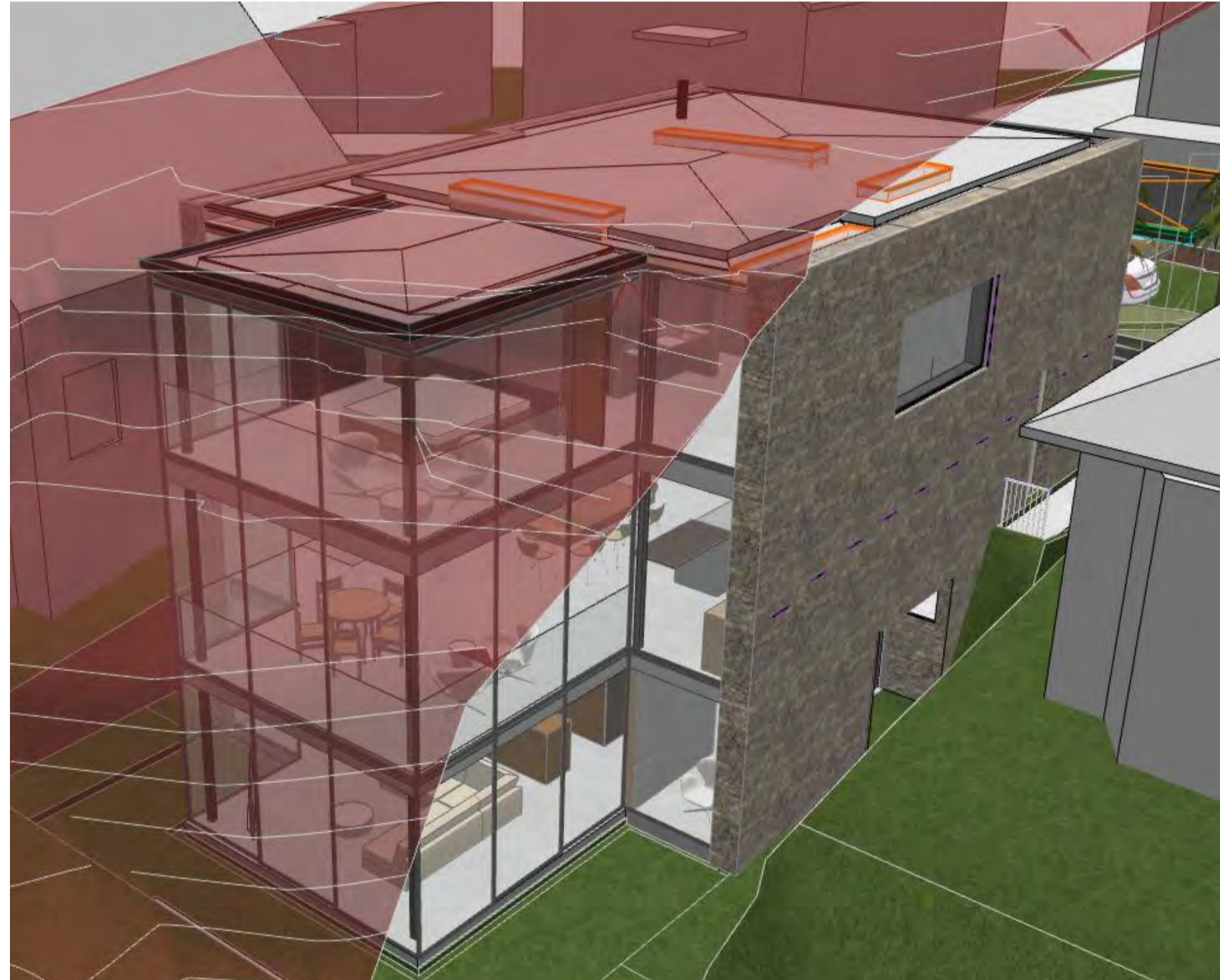
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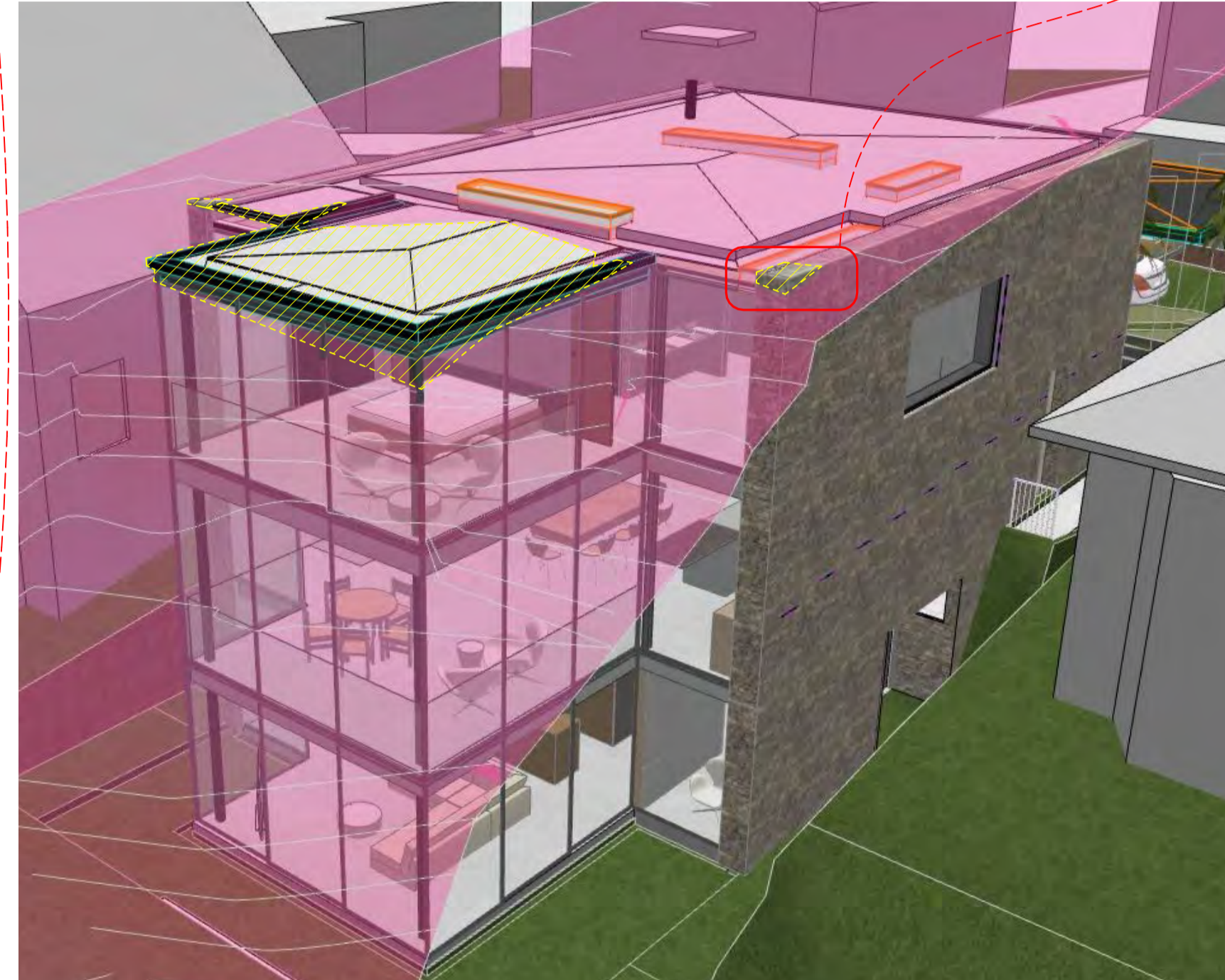
7.2m HEIGHT PLANE  
ENCROACHMENT ENLARGEMENT  
WEST ELEVATION



7.2m HEIGHT PLANE  
ENCROACHMENT ENLARGEMENT  
EAST ELEVATION



1 8.5m Rolling Height Plane - SE View



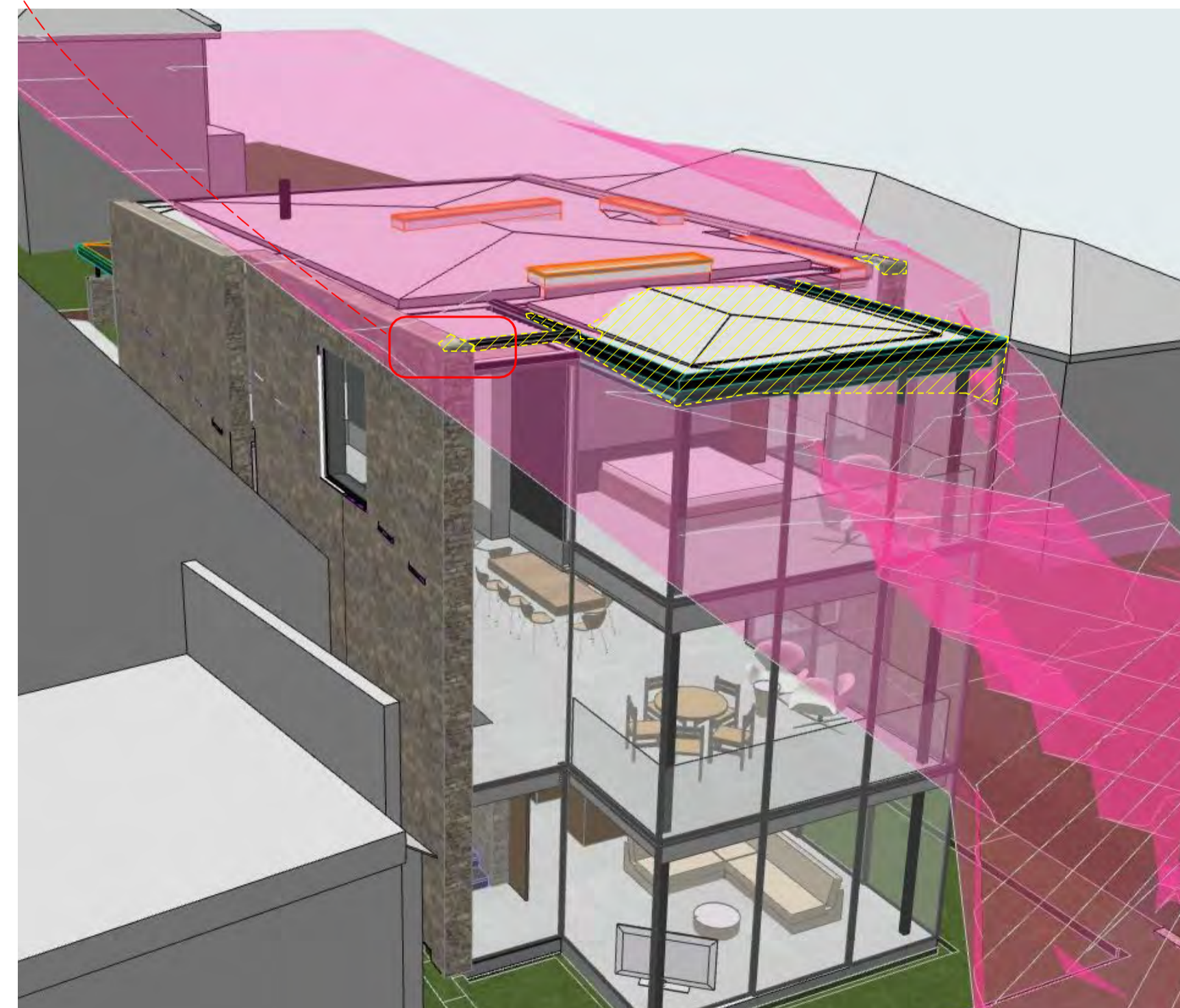
3 7.2m Wall Height Plane - SE View



5 1/3 Boundary Setback - SE View



2 8.5m Rolling Height Plane - SW View



4 7.2m Wall Height Plane - SW View



6 1/3 Boundary Setback - SW View

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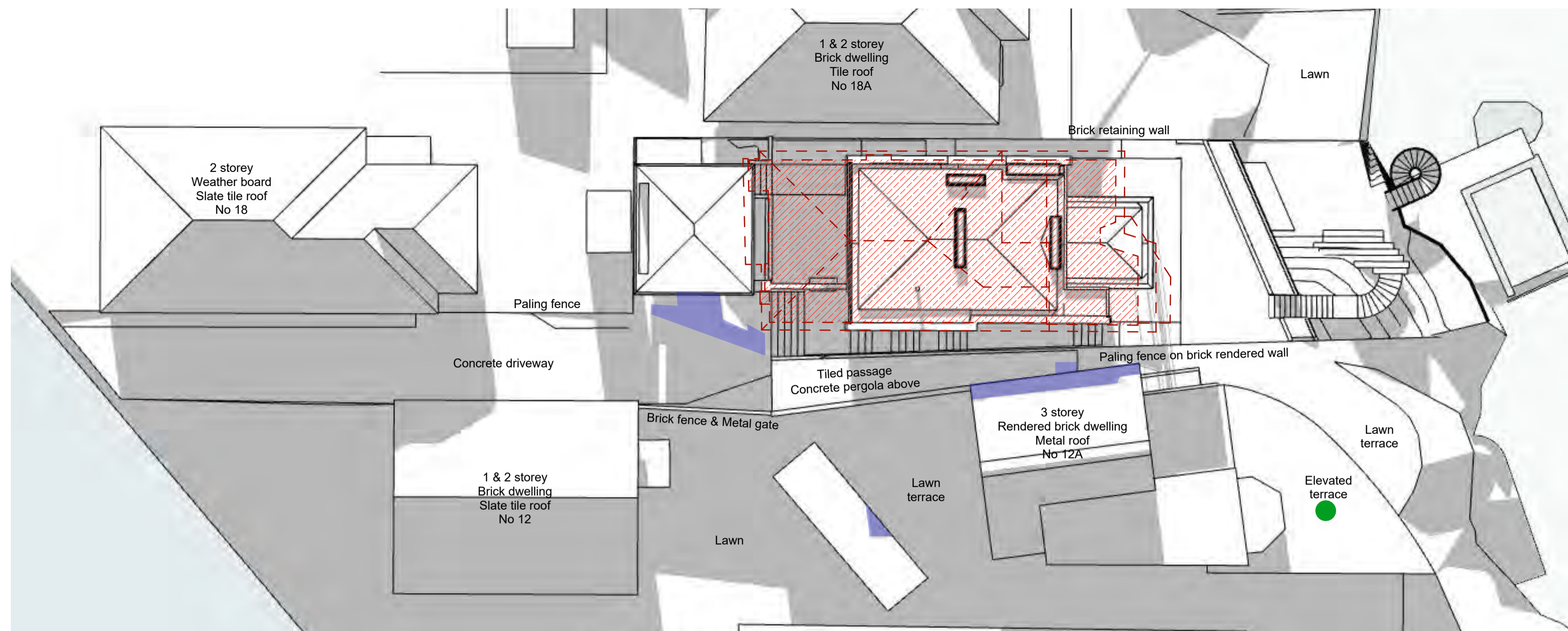
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**Setback & building height diagram**

drawing set  
**Development Application  
Not For Construction**

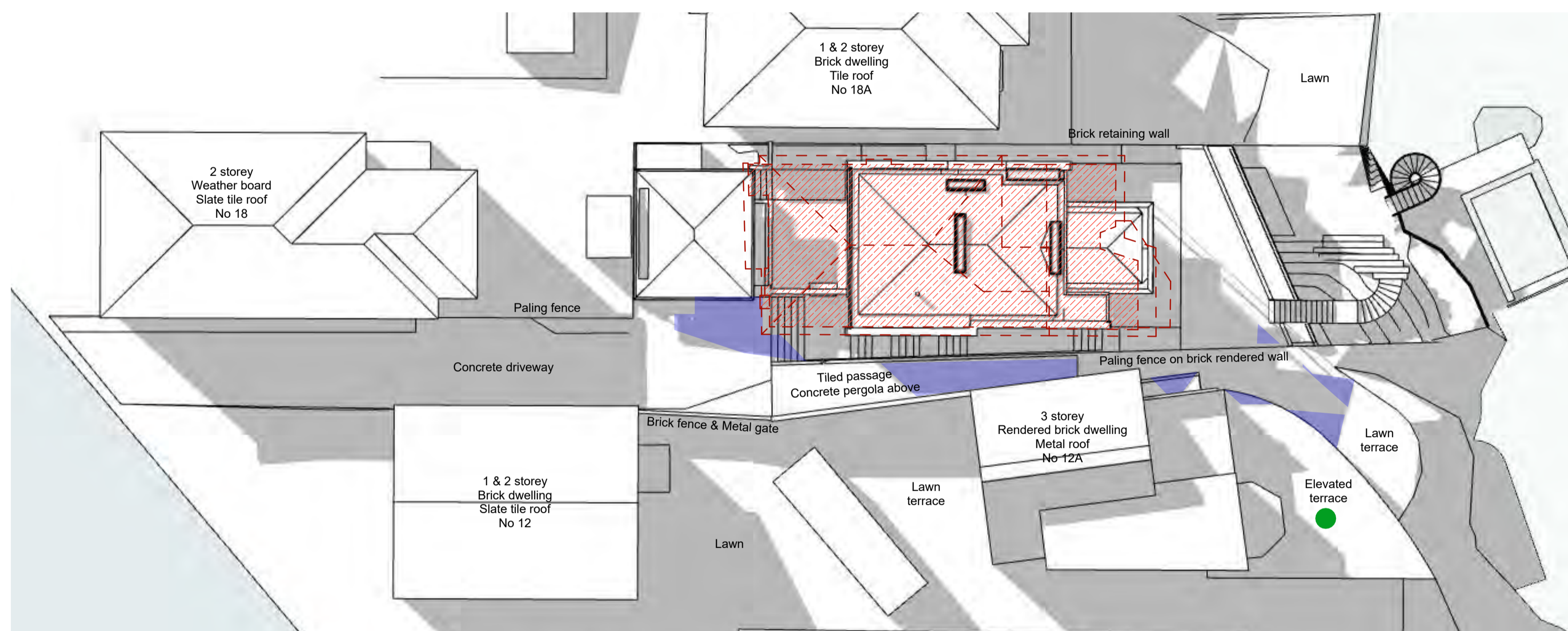
ref no.  
**18010**

sheet no. revision  
**3.3 C**

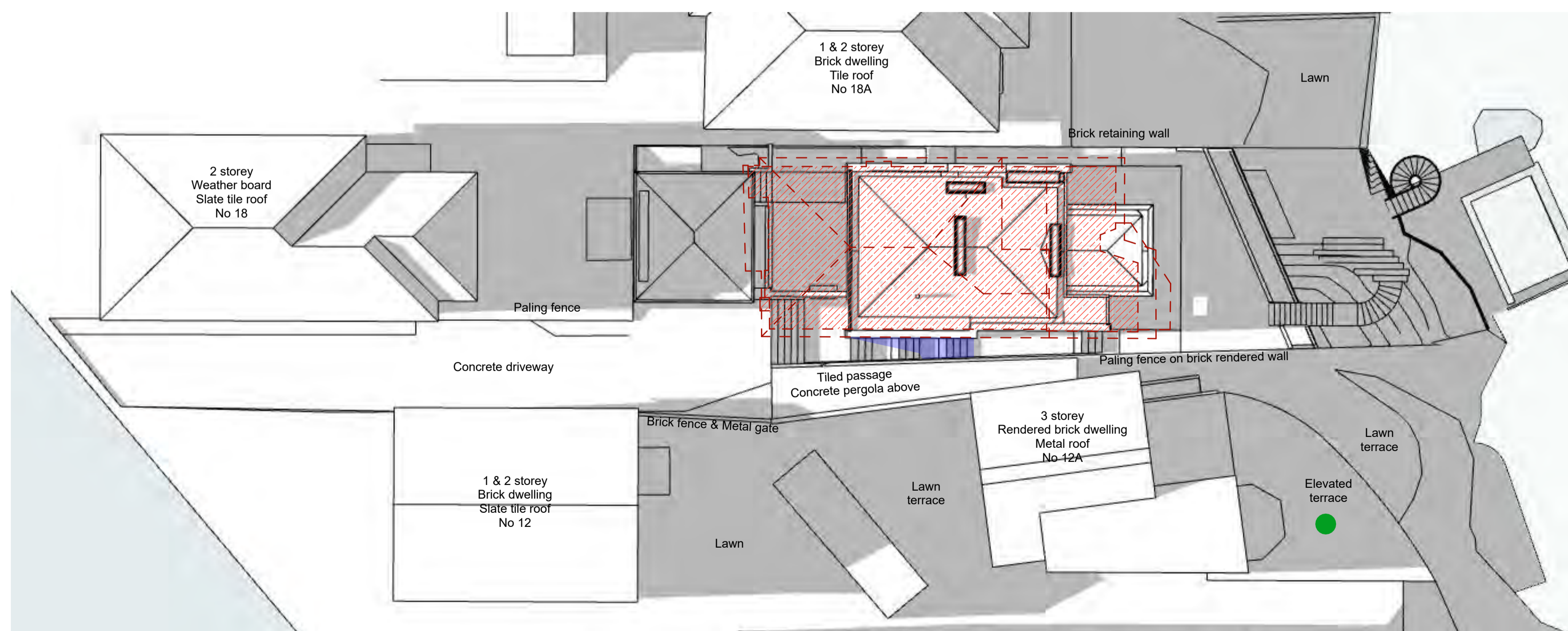
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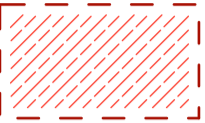



Proposed - June 21 9:00



Proposed - June 21 12:00



Proposed - June 21 15:00

-  Existing building footprint
-  Existing shadow
-  Additional shadow
-  Primary private open space

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scale 1:100 @ A1 date 21/12/2021

title  
**Shadow Diagram Plans  
June 21**

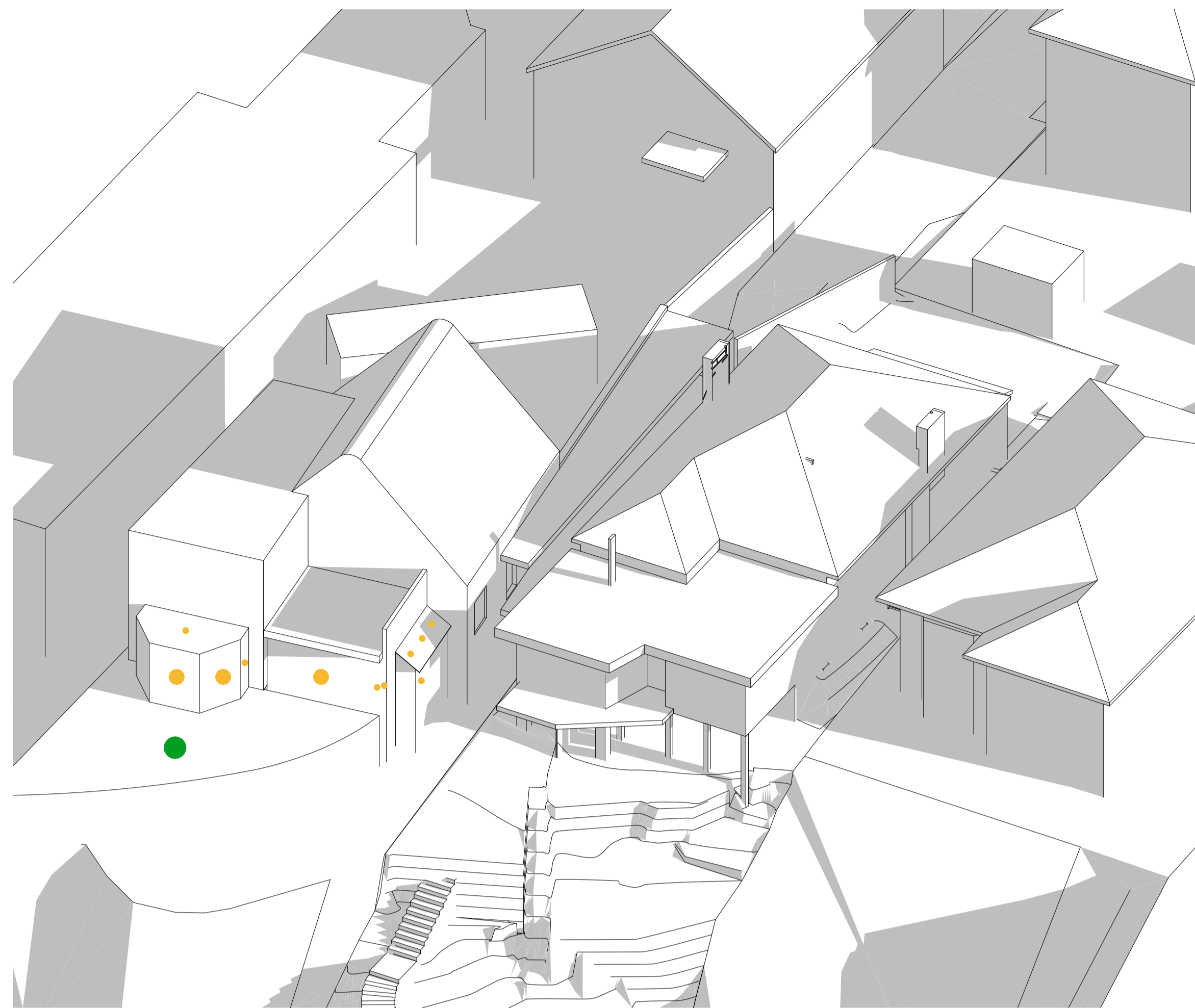
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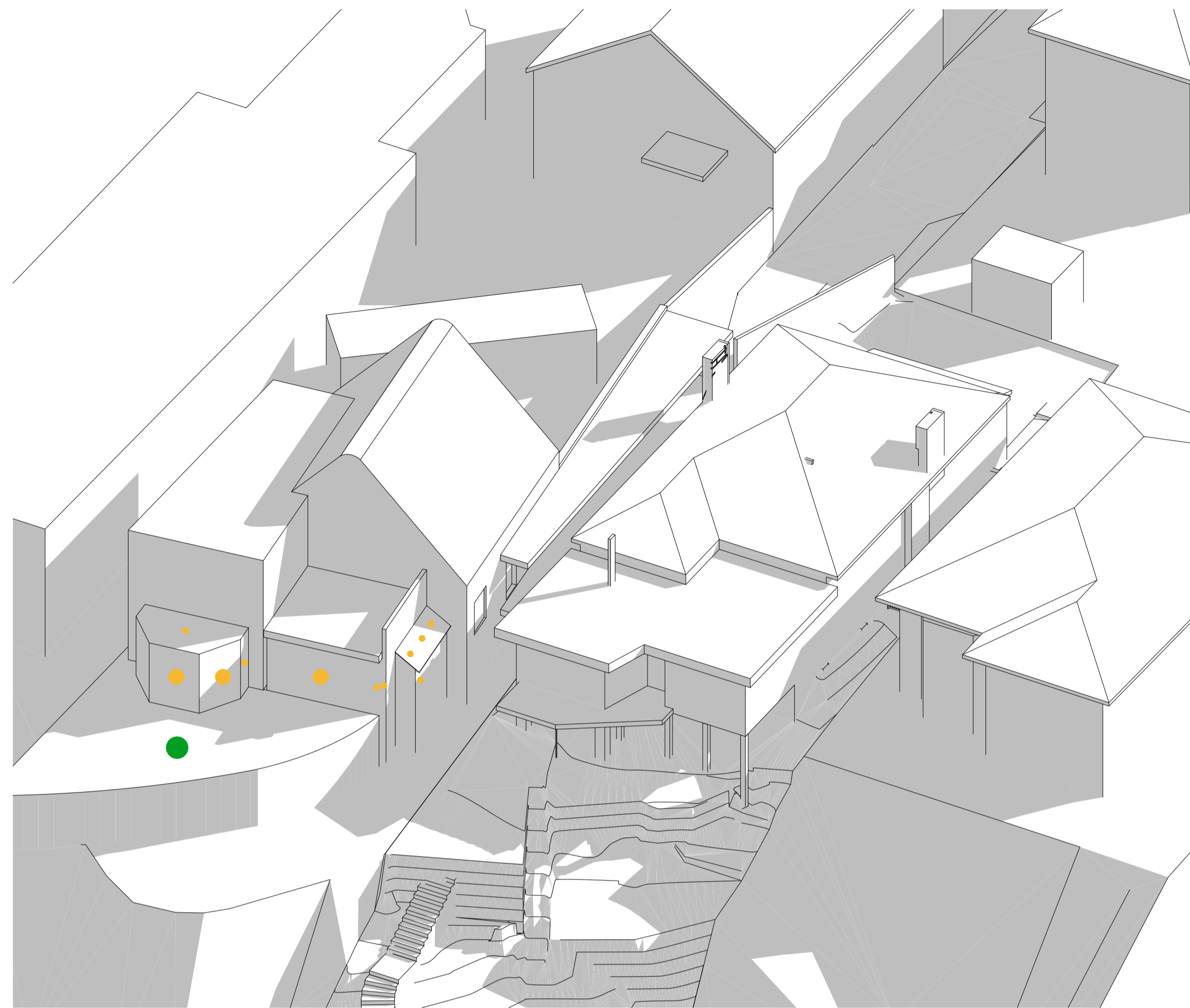
sheet no. revision  
**4.1 C**

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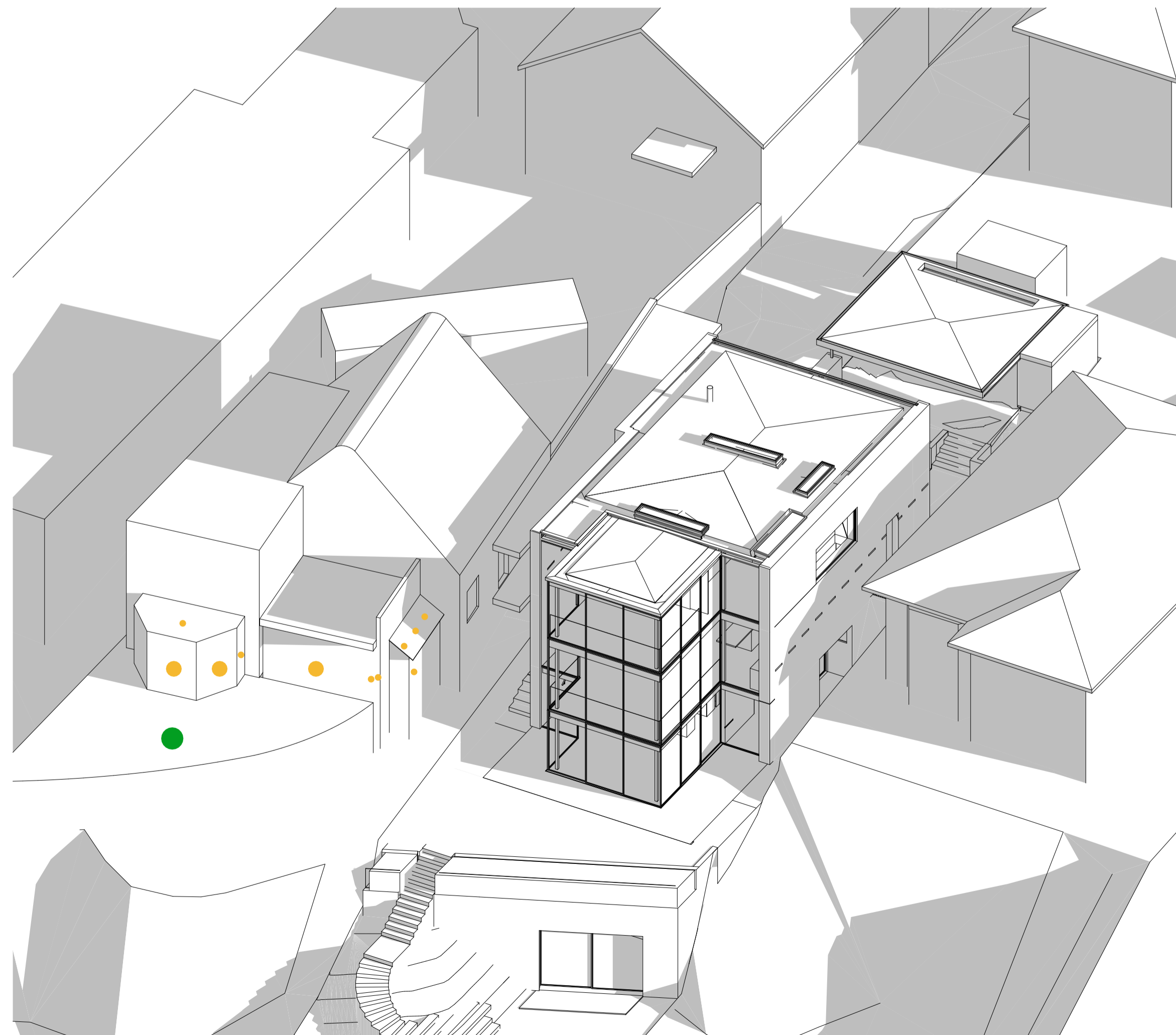
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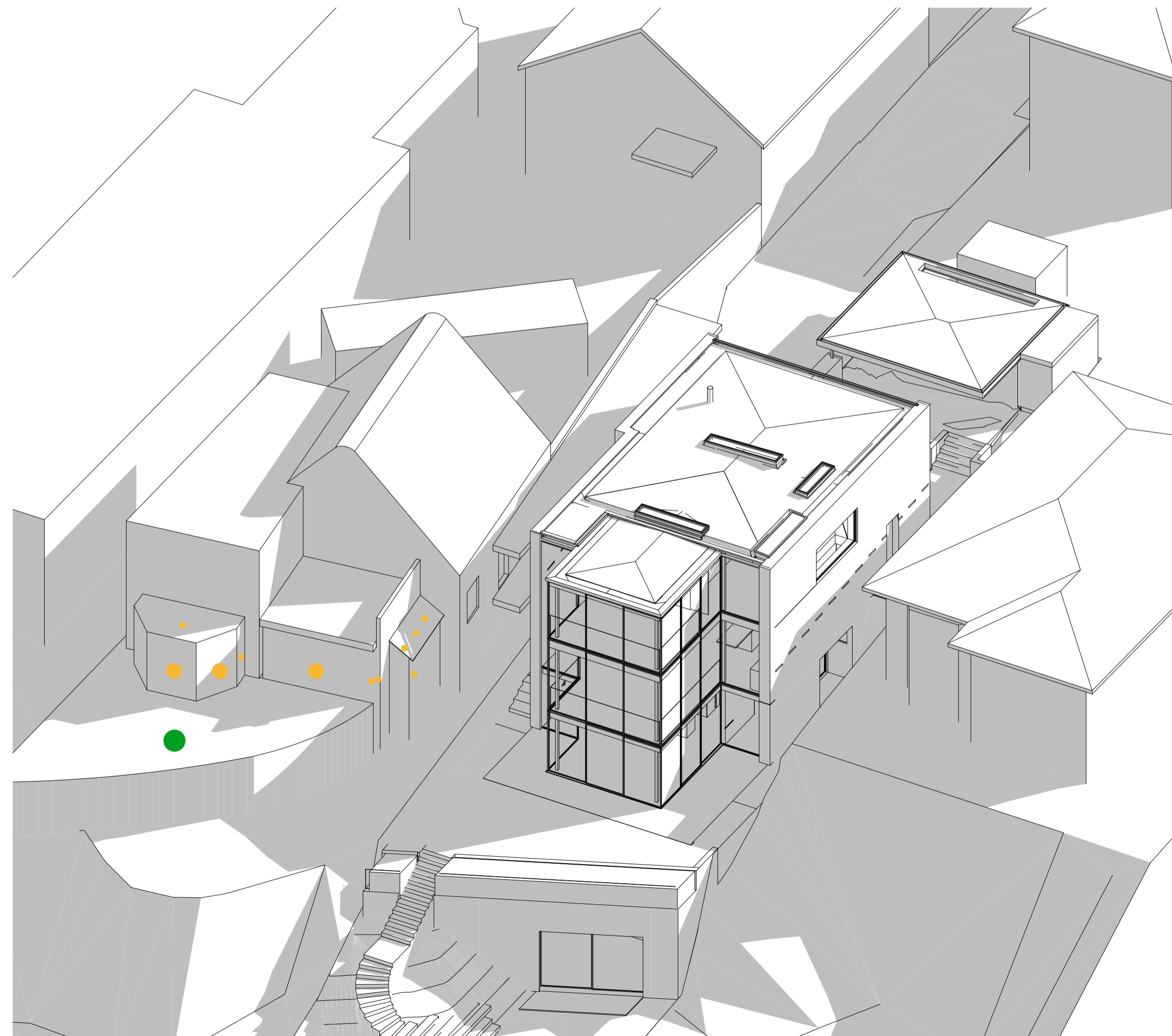
Existing - June 21 9:00



Existing - June 21 12:00



Proposed - June 21 9:00



Proposed - June 21 12:00

- Primary living room windows
- Primary private open space

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scale 1:100 @ A1      date 21/12/2021

title  
**Shadow Diagram 3D**  
**June 21 9:00 & 12:00**

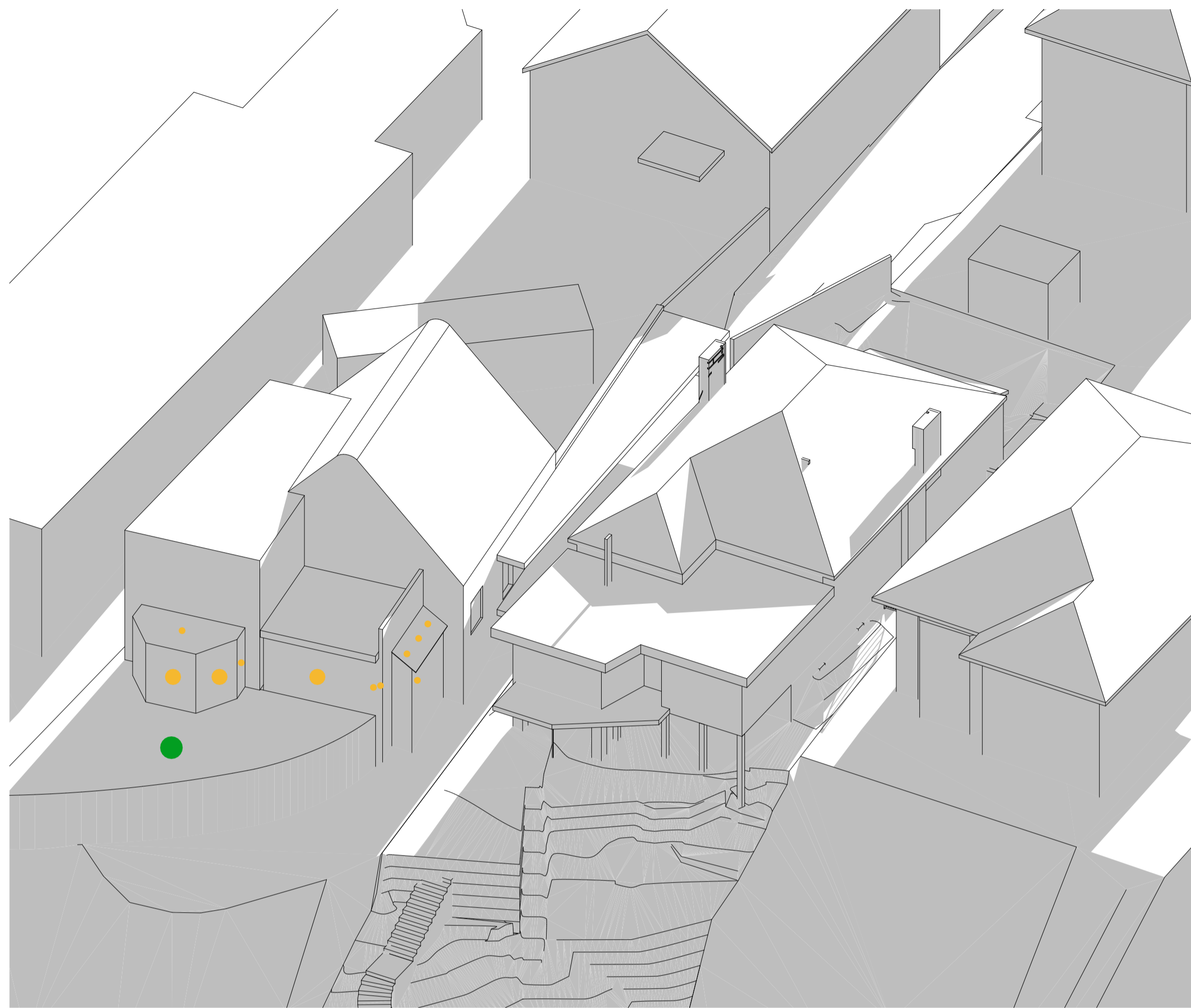
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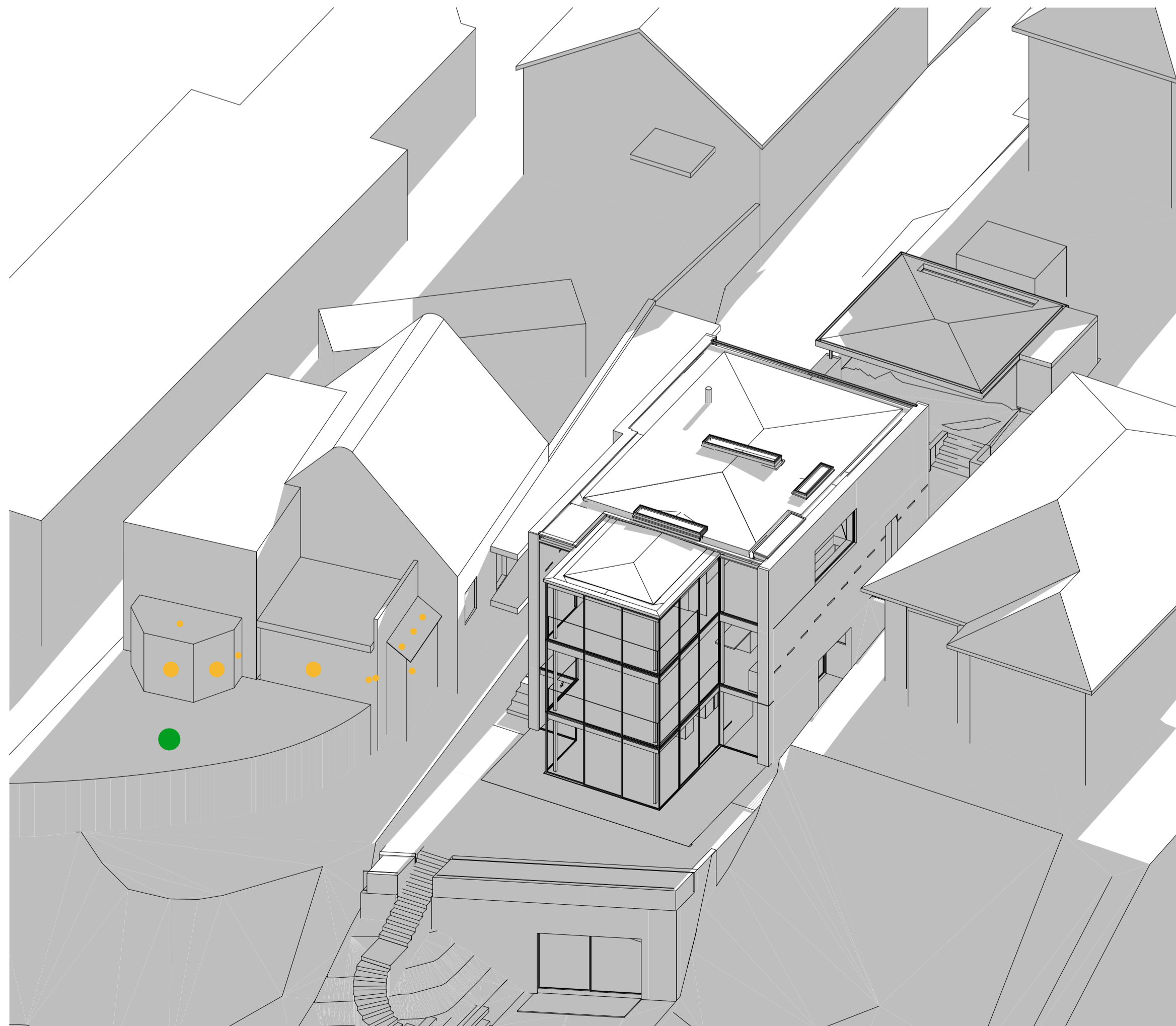
sheet no.	revision
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Existing - June 21 15:00



Proposed - June 21 15:00

- Primary living room windows
- Primary private open space

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title  
**Shadow Diagram 3D**  
**June 21 15:00**

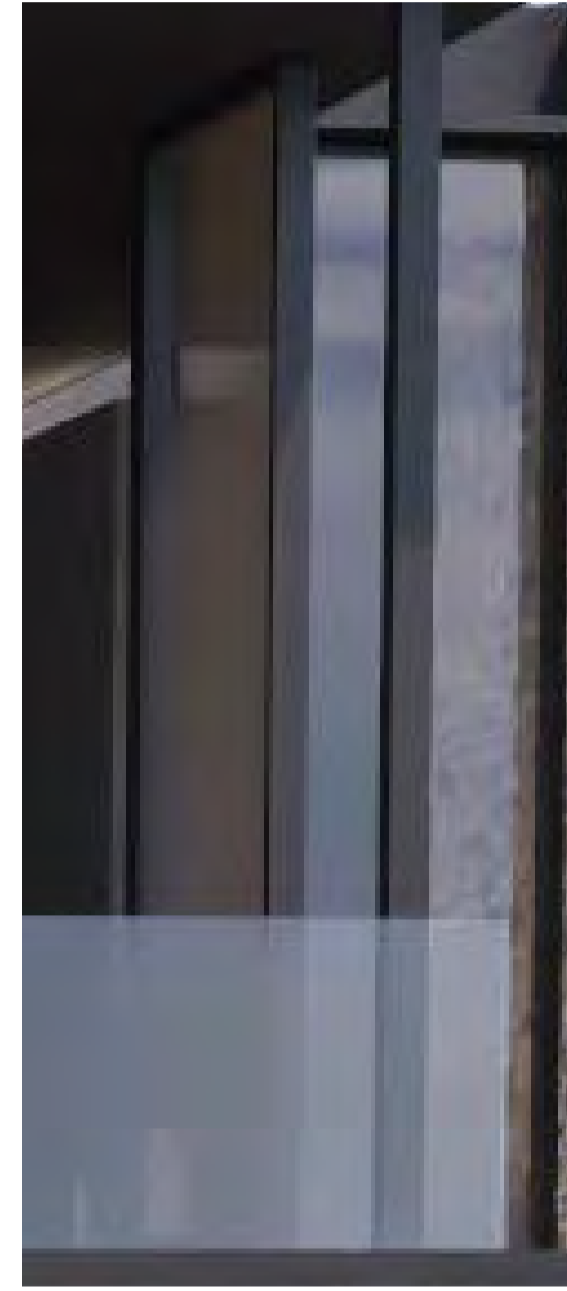
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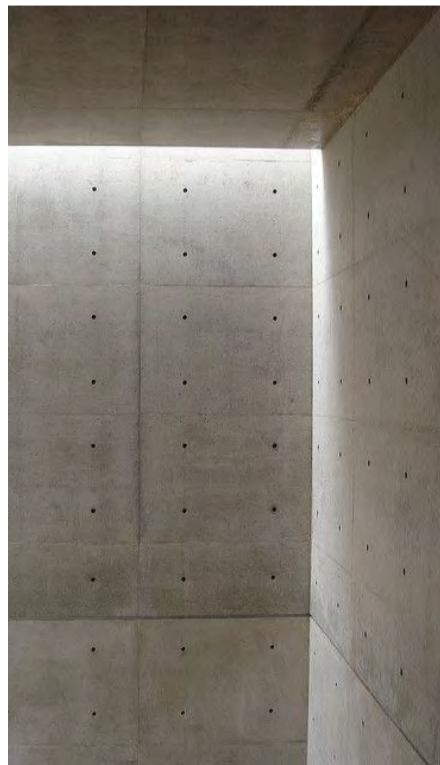
sheet no.	revision
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EXTERIOR



INTERIOR

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drawn	**	checked	**

scale @ A1 date 21/12/2021

## Material Palette

drawing set  
Development Application  
Not For Construction

ref no.  
18010

sheet no. revision  
5.1 C

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