

**Note:**  
Fiberglass mesh fly screens  
to all openable windows except bifold doors

**Note:**  
Ground Floor Internal doors and SQ Sets to be 2,340h  
Upper Floor Internal doors and SQ Sets to be 2,040h  
2,100h Head Height to all windows unless notated



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/0869**

- Notes:
- Levels shown are approx and should be verified on site
  - Figured dimensions are to be taken in preference to scaling
  - All measurements are in mm unless otherwise stated
  - Window sizes are nominal only. Final window sizes by builder
  - Dimensions are to be verified on site by builder before commencement of work.
  - All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
  - Final AJ's to engineers specifications
  - Plus or minus 200mm to floor levels
  - Steel beam required if any openings have more than 6 courses of brickwork above

Icon Job Number: J/0391

Client Approval: \_\_\_\_\_ Date: \_\_\_\_\_



Job:  
**Proposed B/V Residence**

LOT: 17 DP: 270907  
**#20 Baz Retreat, Warriewood**

Drawing:  
**Ground Floor Plan**

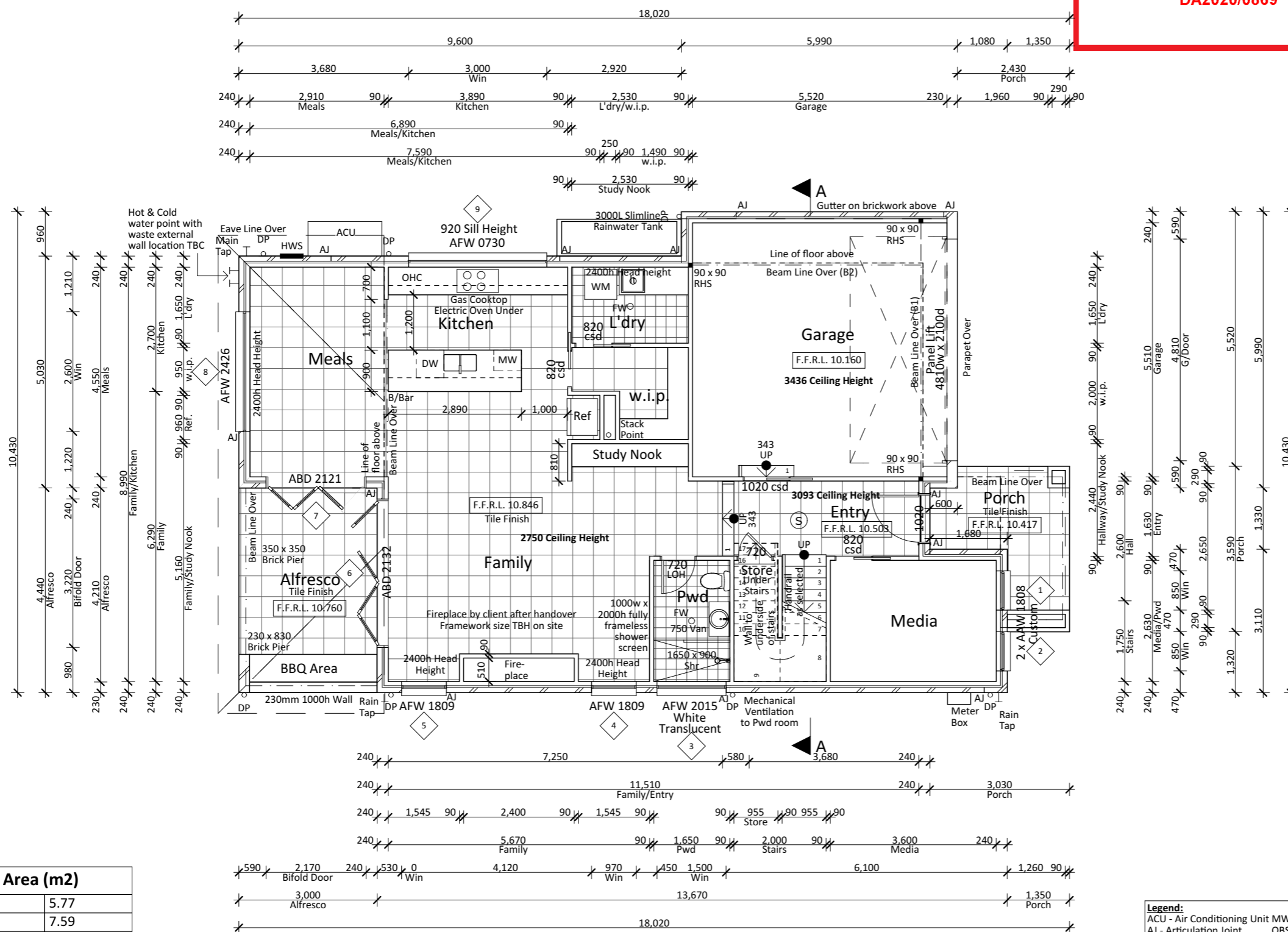
Scale: **1:100** Date: **08-07-20**

Drawing No: **20034-6** Sheet: **3/12** Issue: **G**

House Design: Tampa 30 MODIFIED



Office: 1a/10 Exchange Parade  
Narellan NSW 2567  
**Phone : 0246472552**  
Email: info@accuratedesign.com.au



Floor Area (m <sup>2</sup> )	
Balcony	5.77
Porch	7.59
Alfresco	13.32
Ground Living	108.29
Garage	34.34
Upper Living	110.81
<b>Total</b>	<b>280.12 m<sup>2</sup></b>

**Ground Floor Plan**  
1:100

- Legend:**
- ACU - Air Conditioning Unit
  - AJ - Articulation Joint
  - B/Bar - Breakfast Bar
  - BLO - Beam Line Over
  - DP - Downpipe
  - DW - Dishwasher
  - Ens - Ensuite
  - F/P - Fire Place
  - FW - Floor Waste
  - HWS - Hot Water System
  - L - Linen
  - LC - Laundry Chute
  - LOH - Lift off Hinge
  - LT - Laundry Tub
  - MH - Manhole
  - MW - Microwave Oven
  - OBS - Obscure
  - OHC - Over Head Cupboard
  - P - Pantry
  - R - Robe
  - RHS - Rolled Hollow Steel
  - S - Smoke Detector
  - Shr - Shower
  - TR - Towel Rail
  - Van - Vanity
  - w.i.l. - Walk in Linen
  - w.i.r. - Walk in Robe
  - w.i.p. - Walk in Pantry
  - w.c. - Wash Closet
  - WM - Washing Machine

**Note:**  
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to all openable windows except bifold doors

**Note:**  
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Upper Floor Internal doors and SQ Sets to be 2,040h  
2,100h Head Height to all windows unless noted


  
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Icon Job Number: J/0391

Client Approval: \_\_\_\_\_ Date: \_\_\_\_\_



Job:  
**Proposed B/V Residence**

LOT: 17 DP: 270907  
**#20 Baz Retreat, Warriewood**

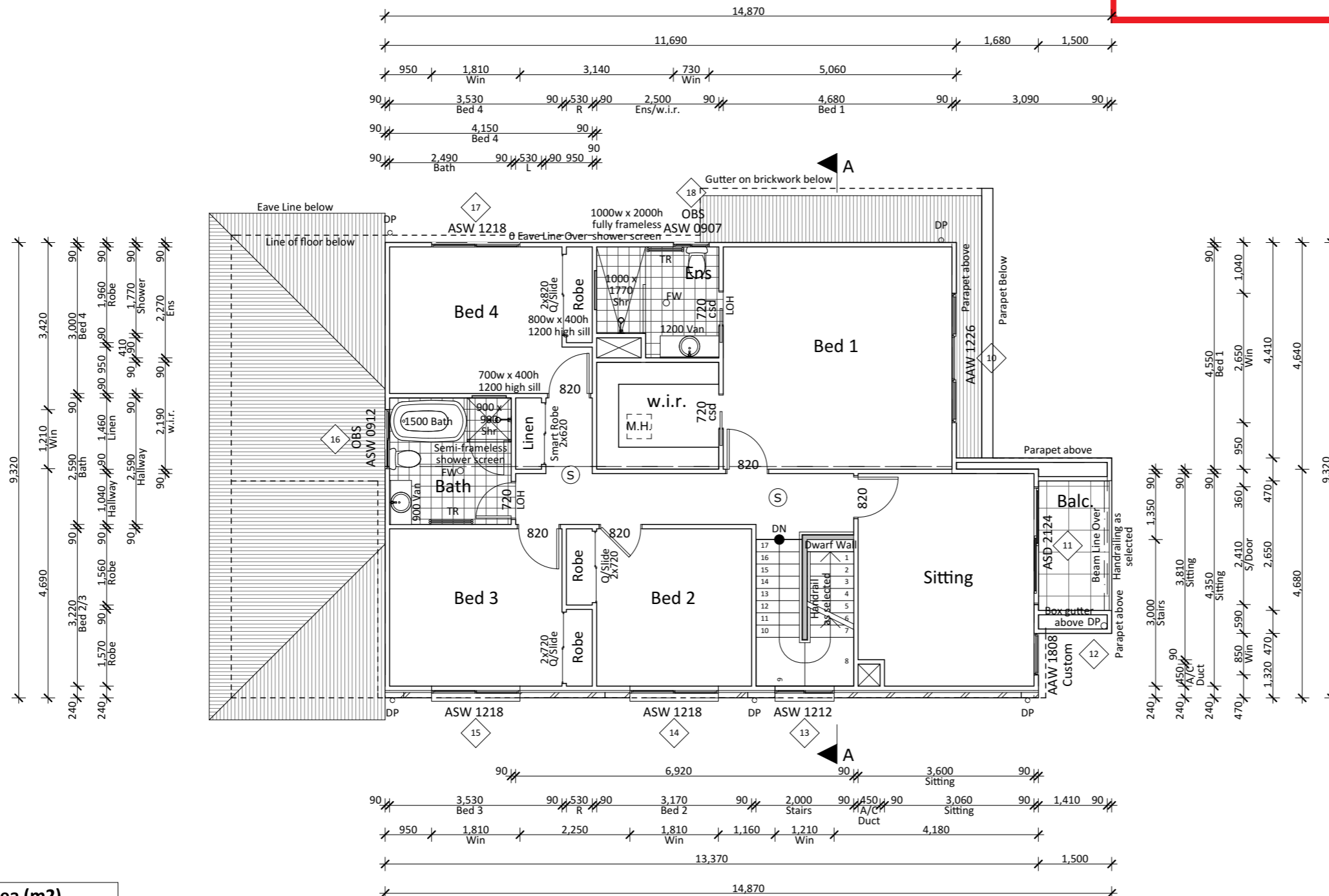
Drawing:  
**Upper Floor Plan**

Scale: **1:100** Date: **08-07-20**

Drawing No: **20034-6** Sheet: **4/12** Issue: **G**

House Design: Tampa 30 MODIFIED


  
**Accurate**  
 design and drafting  
 Office: 1a/10 Exchange Parade  
 Narellan NSW 2567  
**Phone : 0246472552**  
 Email: info@accuratedesign.com.au



Floor Area (m2)	
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Porch	7.59
Alfresco	13.32
Ground Living	108.29
Garage	34.34
Upper Living	110.81
<b>Total</b>	<b>280.12 m<sup>2</sup></b>

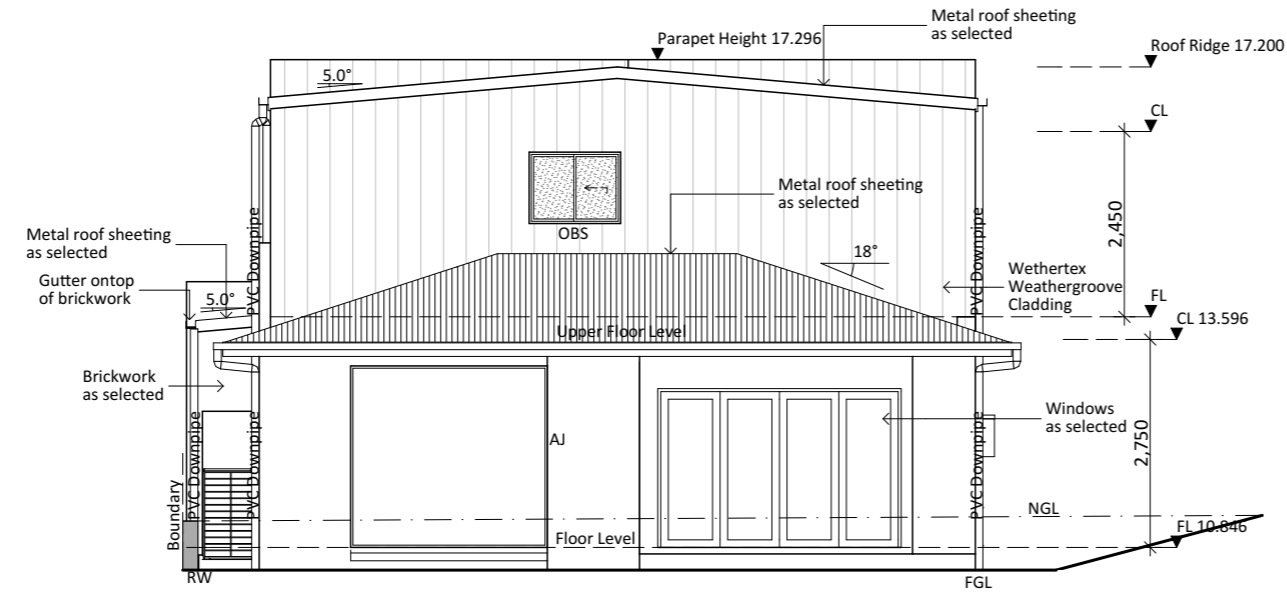
**Upper Floor Plan**  
 1:100

- Legend:**
- ACU - Air Conditioning Unit
  - AJ - Articulation Joint
  - B/Bar - Breakfast Bar
  - BLO - Beam Line Over
  - DP - Downpipe
  - DW - Dishwasher
  - Ens - Ensuite
  - F/P - Fire Place
  - FW - Floor Waste
  - HWS - Hot Water System
  - L - Linen
  - LC - Laundry Chute
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  - LT - Laundry Tub
  - MH - Manhole
  - MW - Microwave Oven
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  - P - Pantry
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  - Shr - Shower
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  - w.i.l. - Walk in Linen
  - w.i.r. - Walk in Robe
  - w.i.p. - Walk in Pantry
  - w.c. - Wash Closet
  - WM - Washing Machine

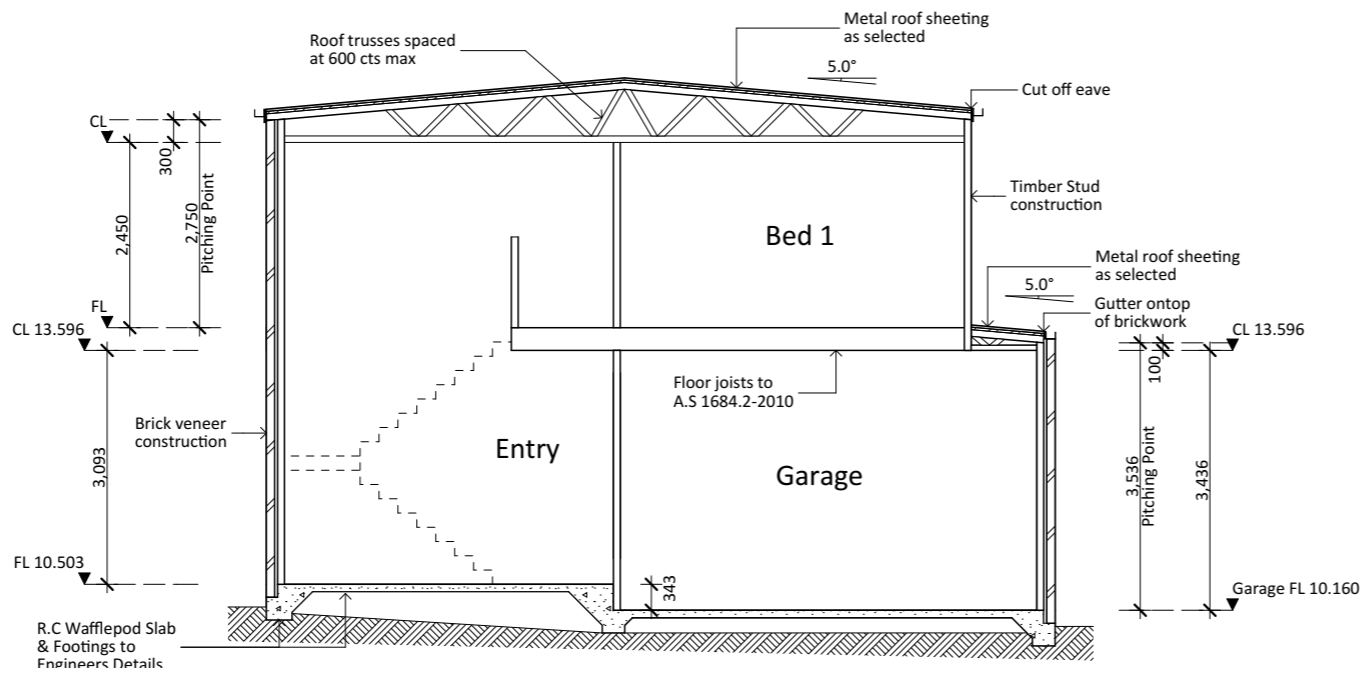


- Legend:**  
 ACU - Air Conditioning Unit  
 AJ - Articulation Joint  
 CL - Ceiling Level  
 FGL - Finish Ground Line  
 FL - Floor Level  
 HWS - Hot Water System  
 NGL - Natural Ground Line  
 OBS - Obscure  
 DP - Downpipe  
 RW - Retaining Wall

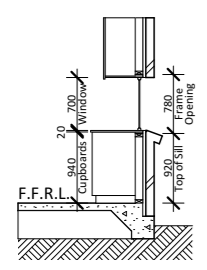
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**Rear Elevation**  
1:100



**Section A-A**  
1:100



**Kitchen Sill Detail**  
1:100

**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0869**

Icon Job Number: J/0391

Client Approval: \_\_\_\_\_ Date: \_\_\_\_\_



Job:  
**Proposed B/V Residence**

LOT: 17 DP: 270907  
**#20 Baz Retreat, Warriewood**

Drawing:  
**Elevation, Section & Details**

Scale: **1:100, 1:25** Date: **08-07-20**

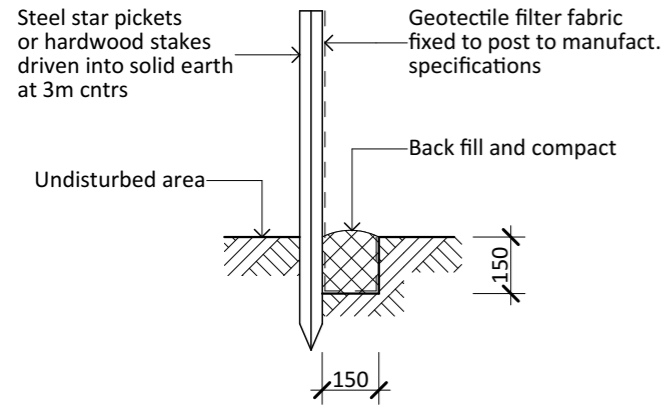
Drawing No: **20034-6** Sheet: **6/12** Issue: **G**

House Design: Tampa 30 MODIFIED

**Accurate**  
design and drafting

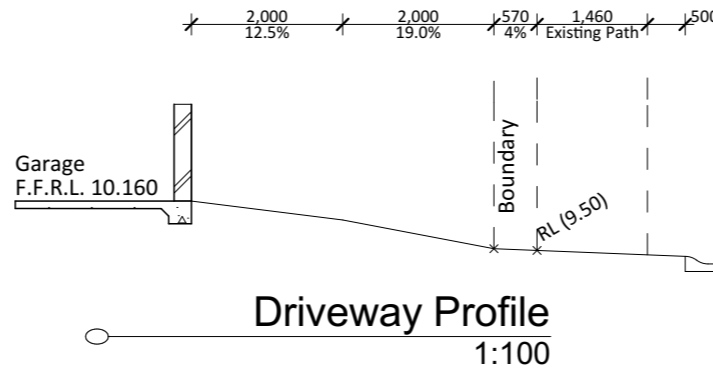
Office: 1a/10 Exchange Parade  
Narellan NSW 2567  
**Phone : 0246472552**  
Email: info@accuratedesign.com.au



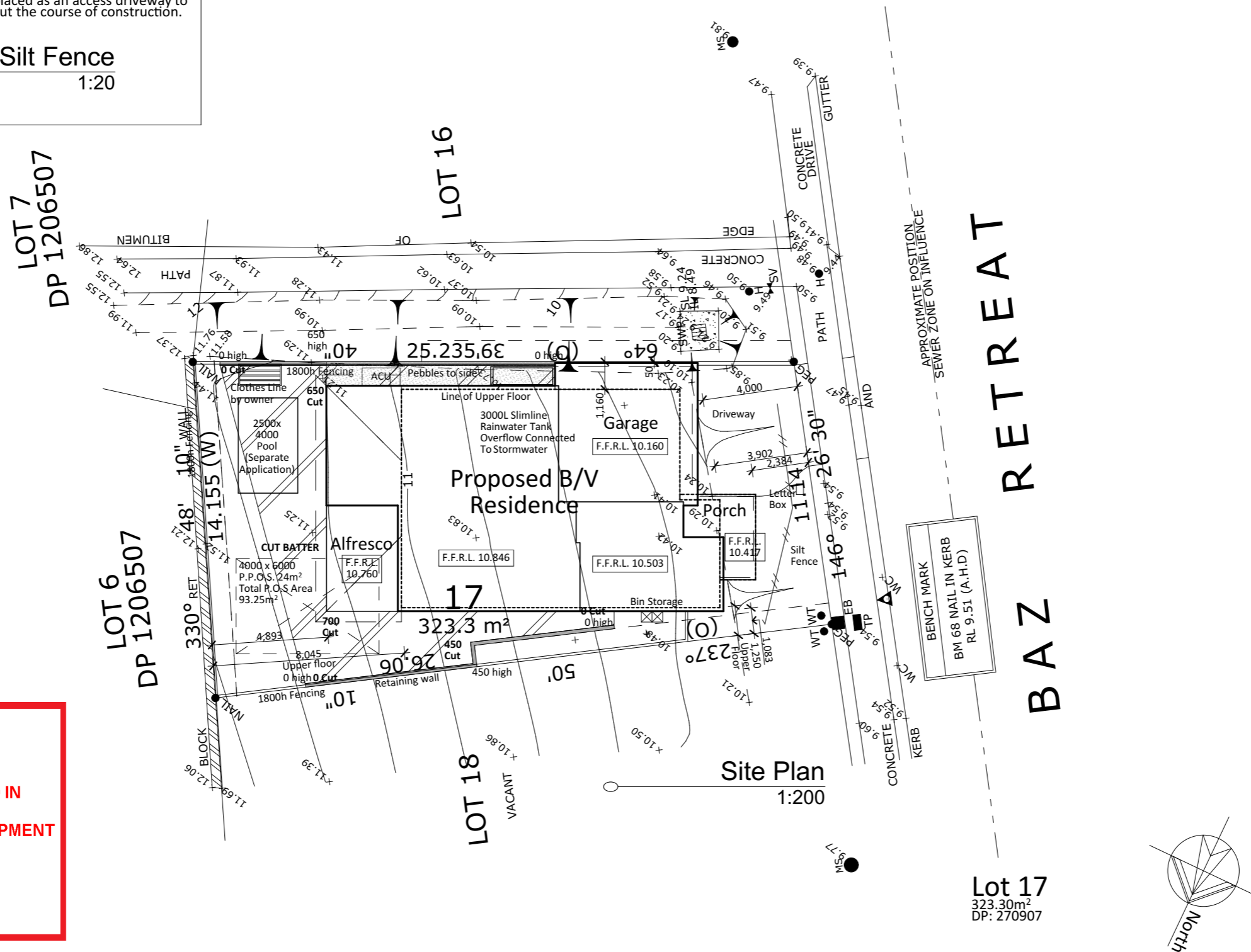


**Soil Erosion and Sediment Control Fence**  
 1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any adjoining property or to the street. This measure is to be placed prior to any excavation work beginning and is to be removed only when the sites surface as been stabalized, i.e. paved, landscaped or turfed  
 2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

**Typical Silt Fence**  
1:20



**Driveway Profile**  
1:100



**Site Plan**  
1:200

**Lot 17**  
323.30m<sup>2</sup>  
DP: 270907

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Client Approval: \_\_\_\_\_ Date: \_\_\_\_\_



Job:  
**Proposed B/V Residence**

LOT: 17 DP: 270907  
**#20 Baz Retreat, Warriewood**

Drawing:  
**Site Plan**

Scale: **1:200, 1:20** Date: **08-07-20**

Drawing No: **20034-6** Sheet: **7/12** Issue: **G**

House Design: Tampa 30 MODIFIED



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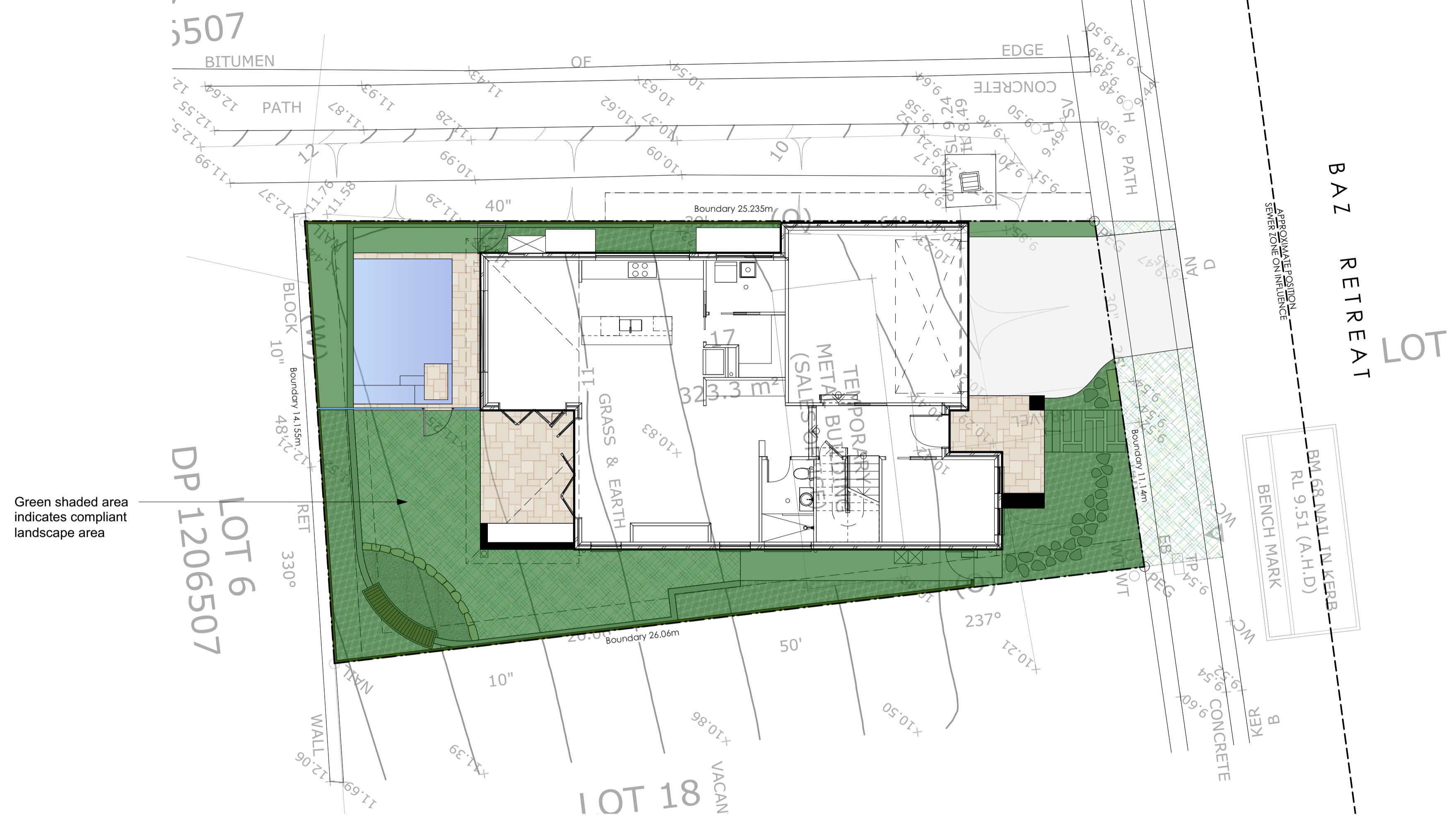
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
DA2020/0869



northern beaches council



**Site Plan**  
1:100@A1 1:200@A3. Do not scale off plan

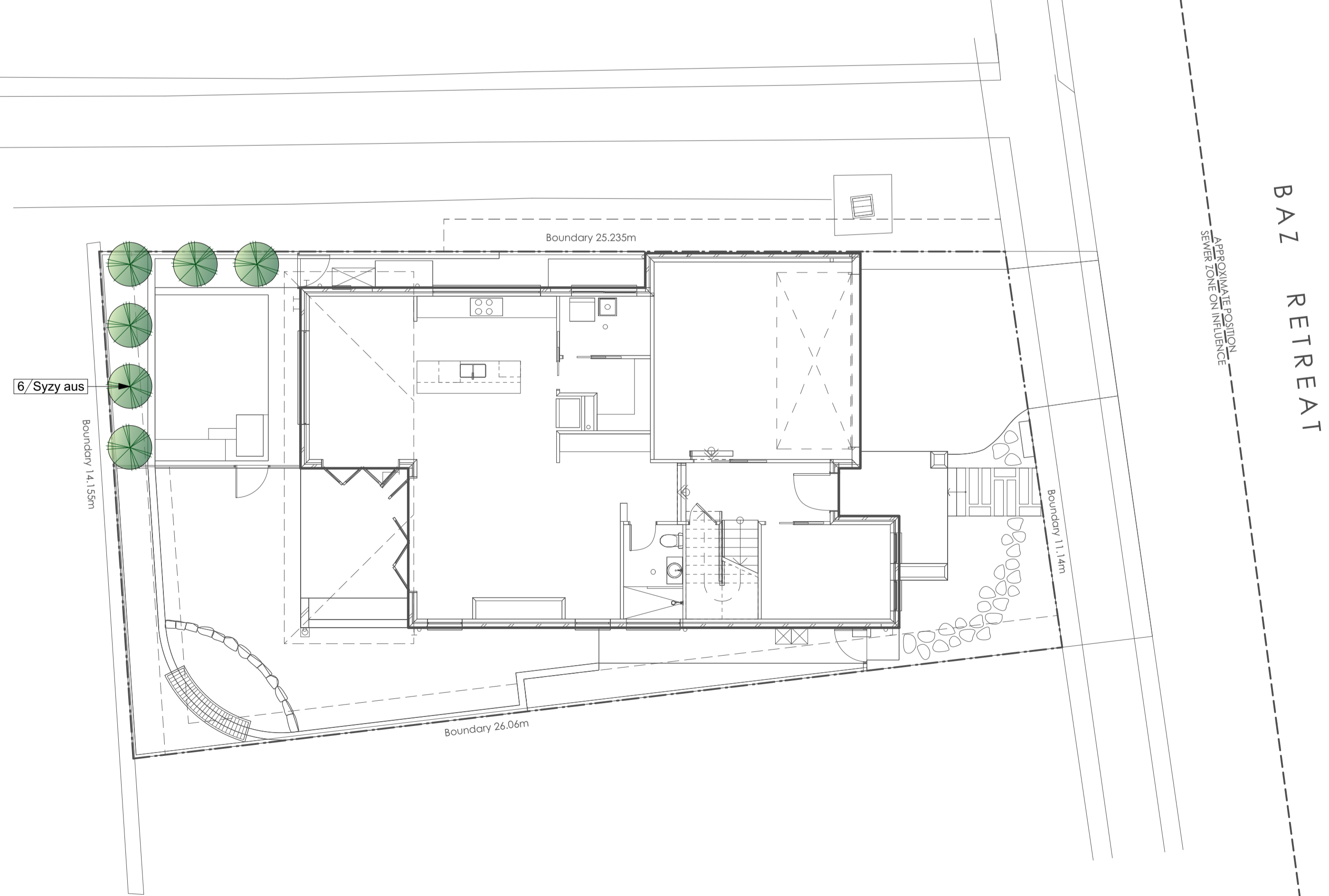


Green shaded area indicates compliant landscape area

AREA CALCULATION		
	AREA (m2)	PERCENTAGE
Site	323,33	
Landscape total as per DCP	114	35,26%

- Legend**
- TURF AREA
  - TIMBER DECKING
  - CONCRETE PAVING
  - UNIT PAVING
  - STAIRS
  - PEBBLE
  - GRAVEL
  - COBBLESTONE
  - TIMBER
  - WATER
  - MASONRY RETAINING WALL
  - STONE RETAINING WALL
  - TIMBER RETAINING WALL
  - BOULDER RETAINING WALL
  - SITE OR WORKS BOUNDARY
  - PROPOSED LEVEL
  - TOP OF WALL LEVEL
  - MATERIAL NAME
  - SURFACE FALL DIRECTION
  - SURFACE DRAINS
  - SURVEY (50% GREY LINES)
  - EXISTING TREE TO RETAIN
  - EXISTING TREE TO REMOVE
  - EXISTING ROCK OUTCROP

**Planting Plan**  
1:100@A1 1:200@A3. Do not scale off plan



ID	Quantity	Latin Name	Common Name	Plantlist Name	Scheduled Size	Mature Height	Mature Spread
Syzy aus	6	6 Syzygium ausrale 'Hinterland Gold'	Brush Cherry, Scrub Cherry	Syzygium aus	200mm	5 - 10m	3.5 - 6m

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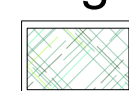
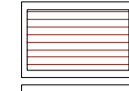



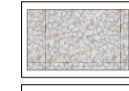



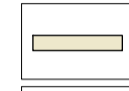
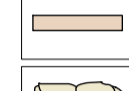
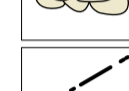
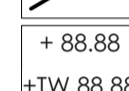
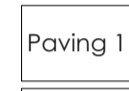




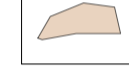



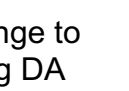
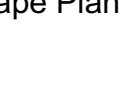


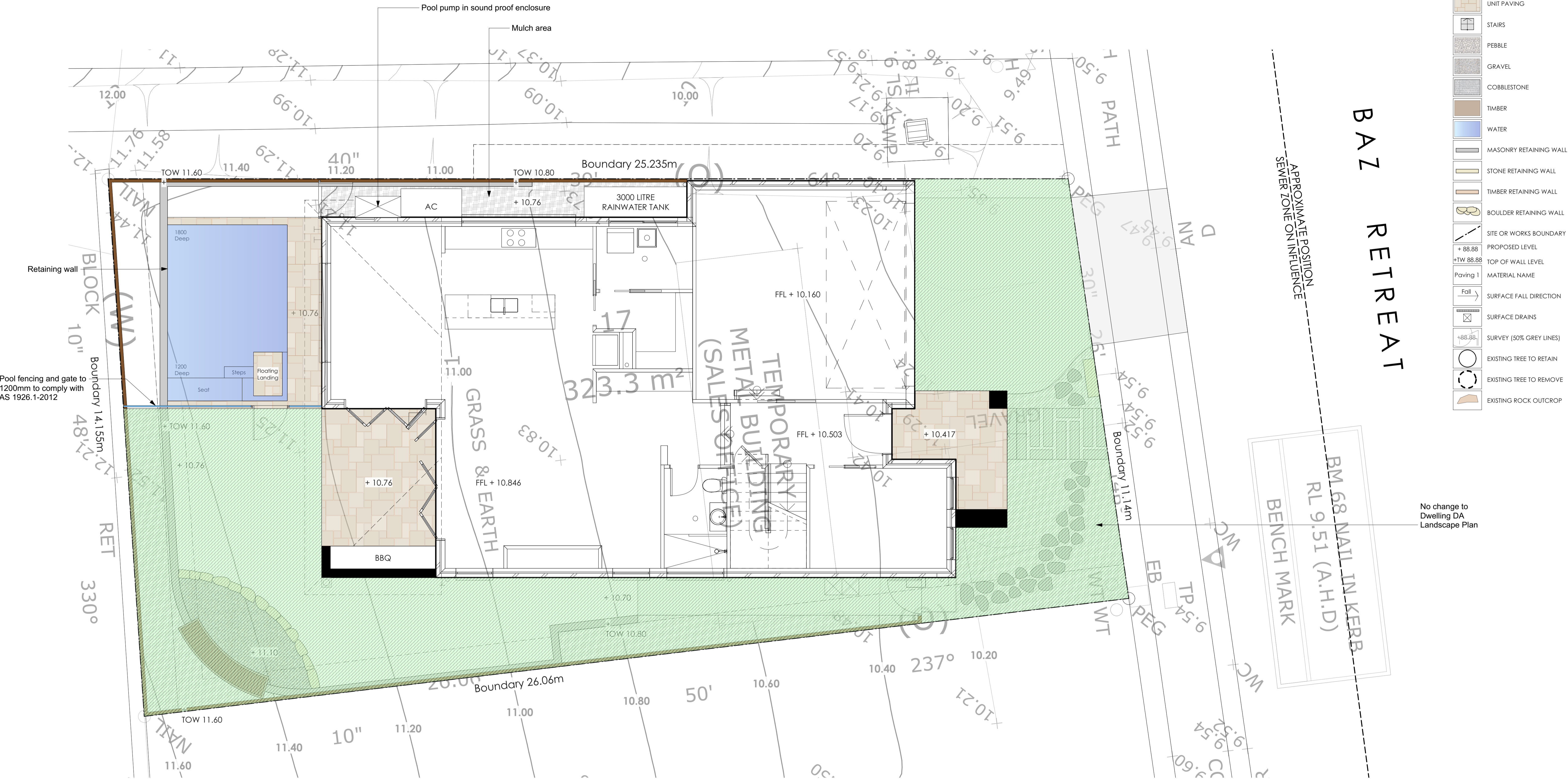
**JAMIE KING**  
LANDSCAPE ARCHITECT  
DESIGN ● APPROVE ● MANAGE

ISSUE	DATE	REVISION	PROJECT #
B	06/06/20	Issue B	2086
A	29/05/20	DRAFT issue for review	
PROJECT	Lot 17 Baz Retreat, Warriewood		PROJECT #
CLIENT	Westbrooke		DWG #
DWG	Master Landscape Plan		Sht-101
SCALE @ A1	See above	DRAWN	SA
SCALE @ A3	See above	CHKD	JK
DATE #	See above	REVISION	

**Jamie King Landscape Architect**  
84 Palmgrove Rd, Avalon, NSW, 2107 T: 0421 517 991 W: www.jamieking.com.au  
E: jamie@jamieking.com.au



- Legend**
-  TURF AREA
  -  TIMBER DECKING
  -  CONCRETE PAVING
  -  UNIT PAVING
  -  STAIRS
  -  PEBBLE
  -  GRAVEL
  -  COBBLESTONE
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  -  MASONRY RETAINING WALL
  -  STONE RETAINING WALL
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  -  BOULDER RETAINING WALL
  -  SITE OR WORKS BOUNDARY
  -  PROPOSED LEVEL
  -  TOP OF WALL LEVEL
  -  MATERIAL NAME
  -  SURFACE FALL DIRECTION
  -  SURFACE DRAINS
  -  SURVEY (50% GREY LINES)
  -  EXISTING TREE TO RETAIN
  -  EXISTING TREE TO REMOVE
  -  EXISTING ROCK OUTCROP



No change to Dwelling DA Landscape Plan

 northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
 DA2020/0869



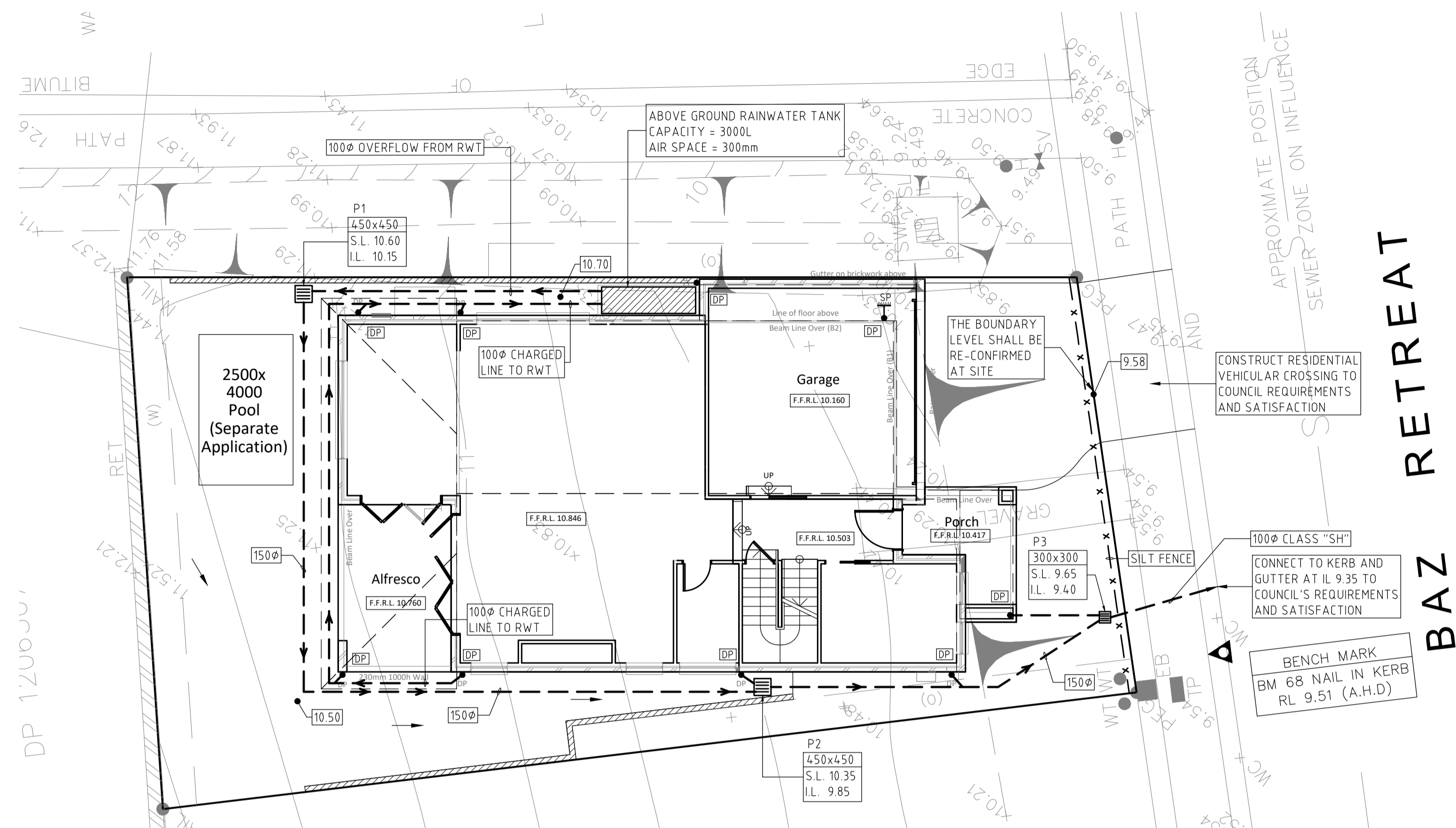
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PROJECT	Lot 17 Baz Retreat, Warriewood		DWG #
CLIENT	Westbrooke		Sht-102
DWG	Detail Plan	CHKD	JK

**Jamie King Landscape Architect**  
 84 Palmgrove Rd, Avalon, NSW, 2107 T: 0421 517 991 E: jamie@jamieking.com.au  
 W: www.jamieking.com.au

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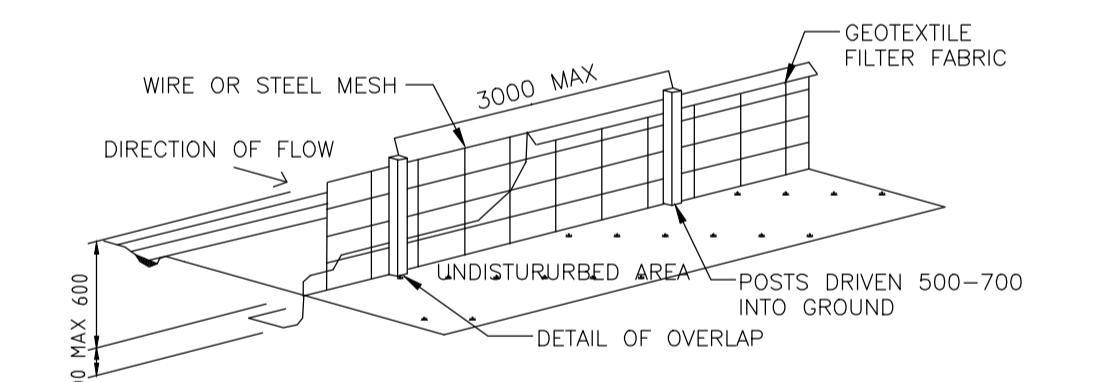




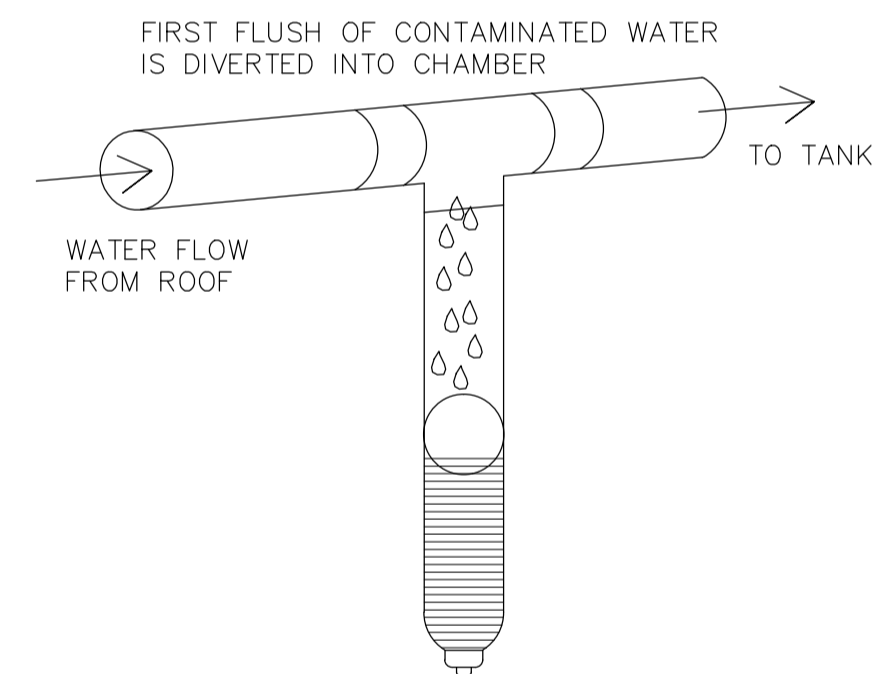
STORMWATER DRAINAGE LAYOUT PLAN  
SCALE: 1:100 @ A1

**RAINWATER TANK NOTES:**  
 CAPACITY: RAINWATER TANK HAS A CAPACITY AS MARKED IN THE PLAN.  
 RAINWATER CONNECTION: TANK WATER WILL BE PLUMBED TO ALL OUTDOOR WATERING, LAUNDRY ROOM AND ALL TOILETS AS PER BASIX REQUIREMENT (TO BE RE-CONFIRMED FROM BASIX REPORT).  
 FIRST FLUSH: 'FIRST FLUSH' DEVICE WILL BE FITTED TO REMOVE SURFACE CONTAMINATION.  
 NON DRINKING: TANK WATER WILL NOT BE CONNECTED TO DRINKING OR BATHING WATER OUTLETS.  
 FULLY ENCLOSED: TANKS WILL BE FULLY ENCLOSED AND SEALED TO PREVENT ACCESS BY MOSQUITOES.  
 NON REFLECTIVE FINISH: TANKS SURFACES WILL HAVE NON REFLECTIVE FINISH.  
 WARNING LABELS: A LABEL WILL BE AFFIXED TO THE TANKS WARNING THAT WATER IS NOT TO BE CONSUMED AND RAINWATER SIGNAGE WILL BE PLACED ABOVE ALL TANK WATER OUTLETS.  
 ROOFING MATERIALS: THE ROOF SURFACE FROM WHICH RAINWATER IS BEING DRAWN WILL NOT CONTAIN LEAD, TAR, ASBESTOS OR PAINTS.  
 BASE: TANKS WILL BE BUILT ON A SELF SUPPORTING BASE (ABOVE TANKS GROUND ONLY).  
 WATER PRESSURE: TANKS WILL BE FITTED WITH SMALL MOTORISED PUMP TO PROVIDE ACCEPTABLE WATER PRESSURE.  
 PUMP NOISE: PUMP WILL BE DESIGNED AND LOCATED NOT TO CAUSE A NOISE DISTURBANCE TO NEIGHBOURS (GENERALLY NOT 5 dBA ABOVE BACKGROUND NOISE).  
 INSTALLATION: WILL BE INSTALLED BY A LICENSED PLUMBER IN ACCORDANCE WITH SYDNEY WATER REQUIREMENTS AND THE NSW CODE OF PRACTICE PLUMBING AND DRAINAGE.  
 BACK FLOW PREVENTION: A BACK FLOW PREVENTION DEVICE WILL BE PROVIDED AT THE MAINS WATER METER.  
 DUAL SUPPLY: A TRICKLE TOP-UP SYSTEM WILL BE PROVIDED AT THE MAINS WATER.  
 BACK UP SUPPLY: A BACK UP SUPPLY OF MAINS WATER WILL BE PROVIDED IN EVENT OF FAILURE OR MAINTENANCE.  
 ANAEROBIC ZONE: WATER WILL BE DRAWN FROM ABOVE THE ANAEROBIC ZONE OF TANKS.  
 TANK CONSTRUCTION: TANKS WILL BE STRUCTURALLY SOUND AND CONSTRUCTED IN ACCORDANCE WITH AS/NZ3500.1.2-1998 NATIONAL PLUMBING AND DRAINAGE-WATER SUPPLY-ACCEPTABLE SOLUTIONS.  
 AIR GAP: TANKS WILL BE PROVIDED WITH AN AIR GAP IN ACCORDANCE WITH AS/NZ 3500.1.2 AND AS2845.2 ON GOING MAINTENANCE.  
 TANKS WILL BE WELL KEPT AND MAINTAINED BY THE OWNER.

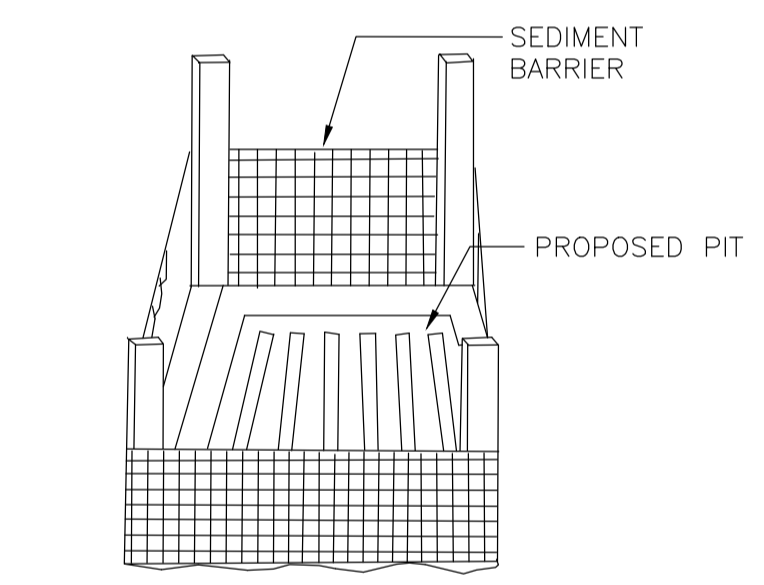
- NOTES:**
- ALL WORKS TO BE CONSTRUCTED TO THE REQUIREMENTS AND SATISFACTION OF NORTHERN BEACHES COUNCIL.
  - PRIOR TO COMMENCEMENT OF ANY SITE WORKS, THE BUILDING CONTRACTOR/PLUMBER HAS TO EXPOSE ALL SERVICES IN THE FULL WIDTH OF THE FOOTPATH TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPE.
  - THE DRAINAGE CONTRACTOR IS TO LOCATE AND RELOCATE AS NECESSARY ALL SERVICES ON SITE.
  - THE BUILDER IS TO VERIFY ALL LEVELS ON THE SITE PRIOR TO COMMENCING CONSTRUCTION.
  - SILT FENCE IS TO BE ERECTED PRIOR TO COMMENCING WORK. FENCE TO BE MAINTAINED IN WORKING ORDER DURING THE TIME OF CONSTRUCTION.
  - W.A.E. DRAWING BY A REGISTERED SURVEYOR IS REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
  - U.N.O. ALL DOWN PIPES ARE TO BE 100Ø.
  - U.N.O. ALL PIPES TO BE 100Ø CLASS 'SH' WITH 1% MIN SLOPE.
  - ALL THE RETAINING WALLS TO STRUCTURAL ENGINEERS DETAIL AND SHOULD BE WITHIN THE SITE BOUNDARY.
  - ALL THE DOWN PIPES FROM THE ROOF GUTTER TO RAINWATER TANK SHALL BE CHARGED LINES AND SOLVENT WELD JOINTED.



SILT FENCE DETAIL (TO BE WITHIN THE PROPERTY BOUNDARY -DURING CONSTRUCTION ONLY)  
NOT TO SCALE



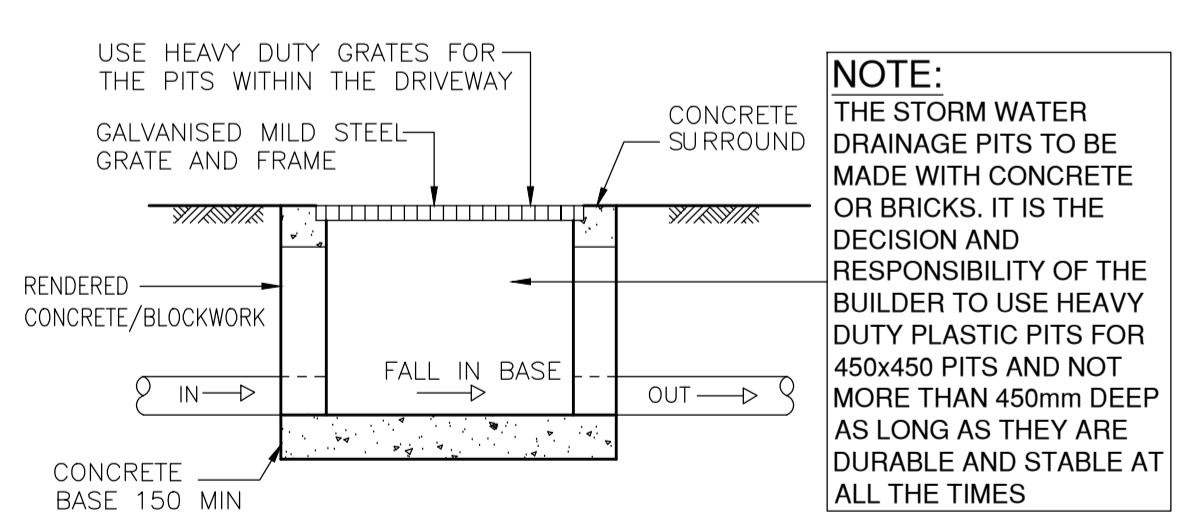
FIRST FLUSH WATER DIVERTER DETAIL  
NOT TO SCALE



SEDIMENT BARRIER AROUND STORMWATER PIT (DURING CONSTRUCTION)  
NOT TO SCALE

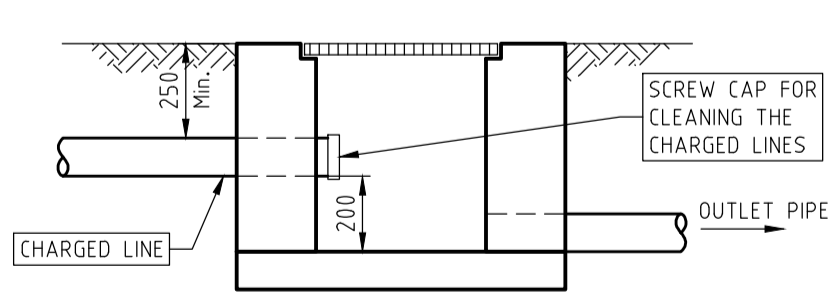
**LEGEND**

DRAINAGE LINE	---	SURFACE INLET PIT	■
AG. LINE	— a — a	JUNCTION PIT	■
SILT FENCE	— x — x	DOWN PIPE	• (DP)
EXISTING LEVEL	x 44.10	SPREADER PIPE	↳ SP
DESIGN LEVEL	x 43.31	SILT BARRIER AROUND PIT	■
CLEANING EYE (OR INSPECTION EYE)	⊕	PLANTER GRATE	⊕ PG
SURFACE LEVEL	SL 45.50	FLOOR GRATE	⊕ FG
INVERT LEVEL	IL 45.00	DROPPER	⊙ DR
REMOVED TREE	⊙	STEP IN THE RETAINING WALL	⊙

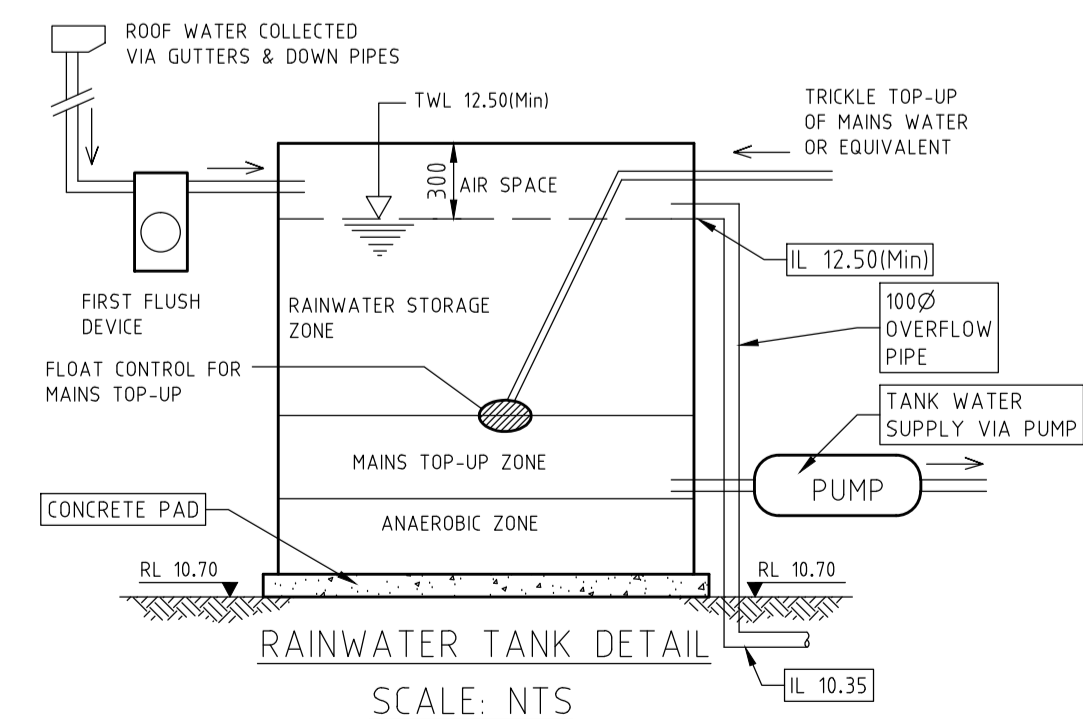


STANDARD PIT DETAIL (PROVIDE STEP IRONS @ 300 CENTRES FOR PITS WHERE THE DEPTH EXCEEDS 900mm)  
NOT TO SCALE

**NOTE:**  
 THE STORM WATER DRAINAGE PITS TO BE MADE WITH CONCRETE OR BRICKS. IT IS THE DECISION AND RESPONSIBILITY OF THE BUILDER TO USE HEAVY DUTY PLASTIC PITS FOR 450x450 PITS AND NOT MORE THAN 450mm DEEP AS LONG AS THEY ARE DURABLE AND STABLE AT ALL THE TIMES



TYPICAL CHARGED LINE CLEAN OUT CONNECTION TO A PIT  
NOT TO SCALE



RAINWATER TANK DETAIL  
SCALE: NTS

**NOTE:**  
 CLEAN OUT LINES FROM THE CHARGED LINES TO BE CONNECTED TO THE NEAREST PITS WITH END CAP AT THE PIT END

**NOTE:**  
 THE PIT SURFACE LEVELS AND THE TOP OF RETAINING WALLS SHALL BE RE-CONFIRMED AT SITE

northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
 DA2020/0869

DESIGN BY:	VNK CONSULTING Pty Ltd PO BOX 9118 Harris Park NSW 2150 Mobile: 04.01 132 386 Email: VNKCONSULTING@GMAIL.COM	Drawing Title:	DESIGNED:	NL	Project:	Ref No.	090720-01
PRINCIPAL ENGINEER:	LOGAN N LOGESWARAN	<b>STORMWATER DRAINAGE LAYOUT PLAN</b>	DRAWN:	AJ	PROPOSED DWELLING LOT 17 (No. 20) BAZ RETREAT WARRIEWOOD NSW 2102	Issue:	A
QUALIFICATIONS:	BscEng, MEng, MEngStud, M.ASCE, MIEAust, CPEng, NER		DATUM:	AHD			SHEET 1 of 1
DATE:	09.07.2020		DATE:	09.07.2020			