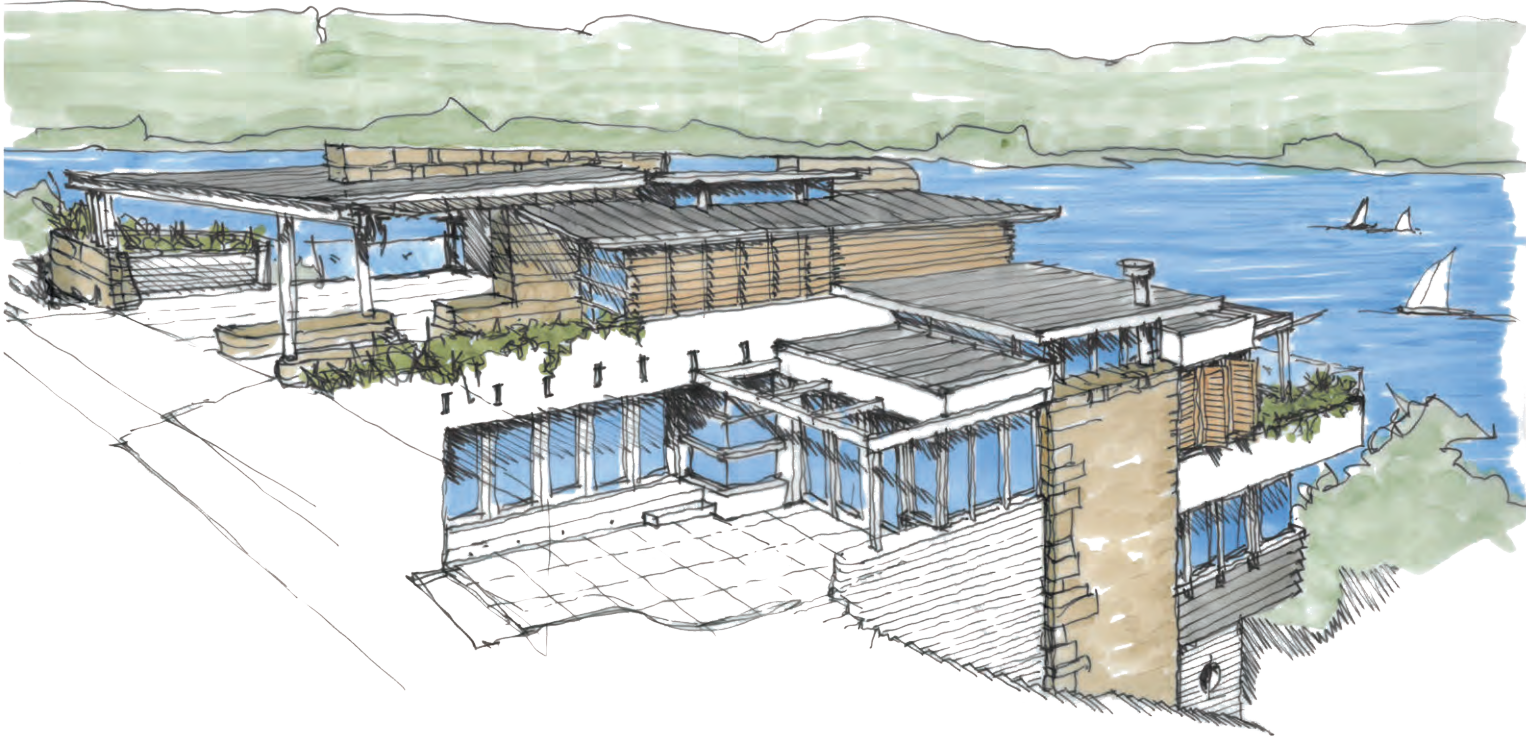


DRAWING SCHEDULE

A000	COVER SHEET
A001	SITE ANALYSIS
A010	DEMOLITION PLAN - SITE / ROOF
A011	DEMOLITION PLAN - POOL LEVEL
A012	DEMOLITION PLAN - LOWER GROUND FLOOR
A013	DEMOLITION PLAN - GROUND FLOOR
A014	DEMOLITION PLAN - FIRST FLOOR
A101	POOL LEVEL PLAN
A102	LOWER GROUND FLOOR PLAN
A103	GROUND FLOOR PLAN
A104	FIRST FLOOR PLAN
A105	ROOF PLAN
A201	NORTH ELEVATION
A202	SOUTH ELEVATION
A203	EAST ELEVATION
A204	WEST ELEVATION
A301	SECTION A-A
A302	SECTION B-B
SK12	DESIGN RESPONSE - PART 1
SK13	DESIGN RESPONSE - PART 2
SK14	PLANNING COMPLIANCE - LANDSCAPE AREA
SK15	PLANNING COMPLIANCE - BUILDING HEIGHT
SK16.1	PLANNING COMPLIANCE - SIDE BOUNDARY BUILDING ENVELOPE SW
SK16.2	PLANNING COMPLIANCE - SIDE BOUNDARY BUILDING ENVELOPE NE
SK17	SHADOW DIAGRAMS - WINTER 9AM
SK18	SHADOW DIAGRAMS - WINTER 12PM
SK19	SHADOW DIAGRAMS - WINTER 3PM
SK20	SHADOW ELEVATIONS - 203 RIVERVIEW ROAD - WINTER
SK21	EXTERNAL FINISHES SCHEDULE
SK22	SEDIMENT AND EROSION CONTROL PLAN
SK23	STREET VIEW ANALYSIS - LOOKING NORTH
SK24	STREET VIEW ANALYSIS - LOOKING SOUTH
SK25	WATERFRONT - EXISTING
SK26	WATERFRONT - PROPOSED
SK27	PERSPECTIVE - STREET FRONT 1
SK28	PERSPECTIVE - STREET FRONT 2
SK29	PERSPECTIVE - AERIAL 1
SK30	PERSPECTIVE - AERIAL 2
SK32	PERSPECTIVE - WATERFRONT
SK33	SHADOW ELEVATIONS - 203 RIVERVIEW ROAD - EQUINOX
SK40	VIEW ANALYSIS - REVISED DESIGN
SK41	VIEW ANALYSIS - FROM STREET LEVEL
SK42	VIEW ANALYSIS - FROM STREET LEVEL
SK43	VIEW ANALYSIS - THROUGH CARPORT
SK44	ANALYSIS - VIEWS & BULK AND SCALE
SK45	VIEW ANALYSIS - FROM STREET LEVEL
N01	NOTIFICATION PLAN

LEGEND

AC	-	AIR CONDITIONING UNIT
BG	-	BOX GUTTER
BLK	-	CONCRETE BLOCK RETAINING WALL TO ENG. DETAILS
BRK	-	BRICKWORK WALL TO ENG. DETAILS
BH	-	CEILING BULKHEAD DASHED OVER
CF	-	CHIMNEY FLUE
CL	-	CEILING LEVEL
COL 1	-	STEEL COLUMN TO ENGINEERS DETAILS
CONC 1	-	STEEL TROWEL FINISH R.C. SLAB TO ENG. DETAILS
CONC 2	-	BROOM FINISH R.C. SLAB TO ENG. DETAILS
CONC 3	-	WOOD FLOAT FINISH R.C. SLAB TO ENG. DETAILS
COS	-	CHECK ON SITE
CPT	-	CARPET ON UNDERLAY
CRWS	-	COLORBOND FINISHED RAINWATER SPREADER
CSD	-	CAVITY SLIDING DOOR
CT 1	-	CERAMIC FLOOR TILES (REFER FINISHES SCHEDULE)
DP	-	COLORBOND FINISH RAINWATER CIRCULAR DOWNPIPE CONNECTED INTO EXISTING STORMWATER EXPANSION JOINT
EJ	-	EXHAUST VENT
EV	-	EXISTING
EX	-	EXISTING
EXGL	-	EXISTING GROUND LEVEL
F1-4	-	WALL FINISH - REFER EXTERNAL FINISHES SCHEDULE
FC 1	-	FIBRE CEMENT WALL CLADDING
FFL	-	FINISHED FLOOR LEVEL
FL	-	FLASHING
FW	-	FLOOR WASTE
G	-	GUTTER
GD	-	GRATED DRAIN
HC	-	HOSE COCKS
HWU	-	GAS STORAGE HOT WATER UNIT WITH MIN. 4.5 STAR ENERGY RATING
MR 1	-	ZINC METAL ROOF PANS ON SARKING AND INSULATION
NTS	-	NOT TO SCALE
O	-	OBSCURER GLAZING
OF	-	OVERFLOW OUTLET
PAV 1	-	EXTERNAL PAVING
PAV 2	-	EXTERNAL PAVING
PF	-	POOL FENCE
RL	-	RELATIVE LEVEL
RWH	-	RAINWATER HEAD
RWT	-	RAINWATER TANK
SP	-	SPITTER OUTLET
SSC	-	SANDSTONE CLADDING
TB1	-	TIMBER FLOORING
TD1	-	TIMBER DECKING
WPM	-	WATERPROOF MEMBRANE



BASIX NOTES

- RAINWATER TANK**

 - MINIMUM VOLUME OF RAINWATER TANK TO BE INSTALLED ON SITE: 3565 LITRES
- OUTDOOR SWIMMING POOL / SPA**

 - SWIMMING POOL MUST NOT HAVE A GREATER CAPACITY THAN: 40 KILOLITRES
 - SPA MUST NOT HAVE A GREATER CAPACITY THAN: 7 KILOLITRES
- HOT WATER**

 - HOT WATER SYSTEM = ELECTRIC HEAT PUMP
- GLAZING**

 - ALL GLAZED WINDOWS AND DOORS = STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE = 7.63, SHGC =0.75)
 - GLAZED ROOF REQUIRMENTS = IMPROVED ALUMINIUM, SINGLE PYROLYTIC LOW-E, (U-VALUE = 4.48, SHGC =0.46)

- INSULATION**
- CONCRETE SLAB ON GROUND = R1.0 (SLAB EDGE) IN-SLAB HEATING SYSTEM
 - SUSPENDED FLOOR WITH OPEN SUBFLOOR: CONCRETE (R0.6) = R0.9 (DOWN) (or R1.50 INCLUDING CONSTRUCTION)
 - FLOOR ABOVE EXISTING DWELLING OR BUILDING = NIL
 - EXTERNAL WALL: BRICK VENEER = R1.16 (OR R1.70 INCLUDING CONSTRUCTION)
 - EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD) = R1.30 (OR R1.70 INCLUDING CONSTRUCTION)
 - EXTERNAL WALL: CONCRETE BLOCK/PLASTERBOARD = R1.18 (OR R1.70 INCLUDING CONSTRUCTION)
 - EXTERNAL WALL: OTHER/UNDECIDED = R1.70 INCLUDING CONSTRUCTION
 - FLAT CEILING, PITCHED ROOF = CEILING R3.0 (UP), ROOF: FOIL/SARKING MEDIUM (SOLAR ABSORBTANCE 0.475-0.70)
 - RAKED CEILING, PITCHED / SKILLION ROOF: FRAMED = CEILING R3.0 (UP), ROOF: FOIL/SARKING MEDIUM (SOLAR ABSORBTANCE 0.475-0.70)
 - FLAT CEILING, FLAT ROOF: FRAMED = CEILING R3.0 (UP), ROOF: FOIL/SARKING MEDIUM (SOLAR ABSORBTANCE 0.475-0.70)

FOR SECTION 8.2 REVIEW

COVER SHEET

ALTERATIONS AND ADDITIONS

1824 A000 B

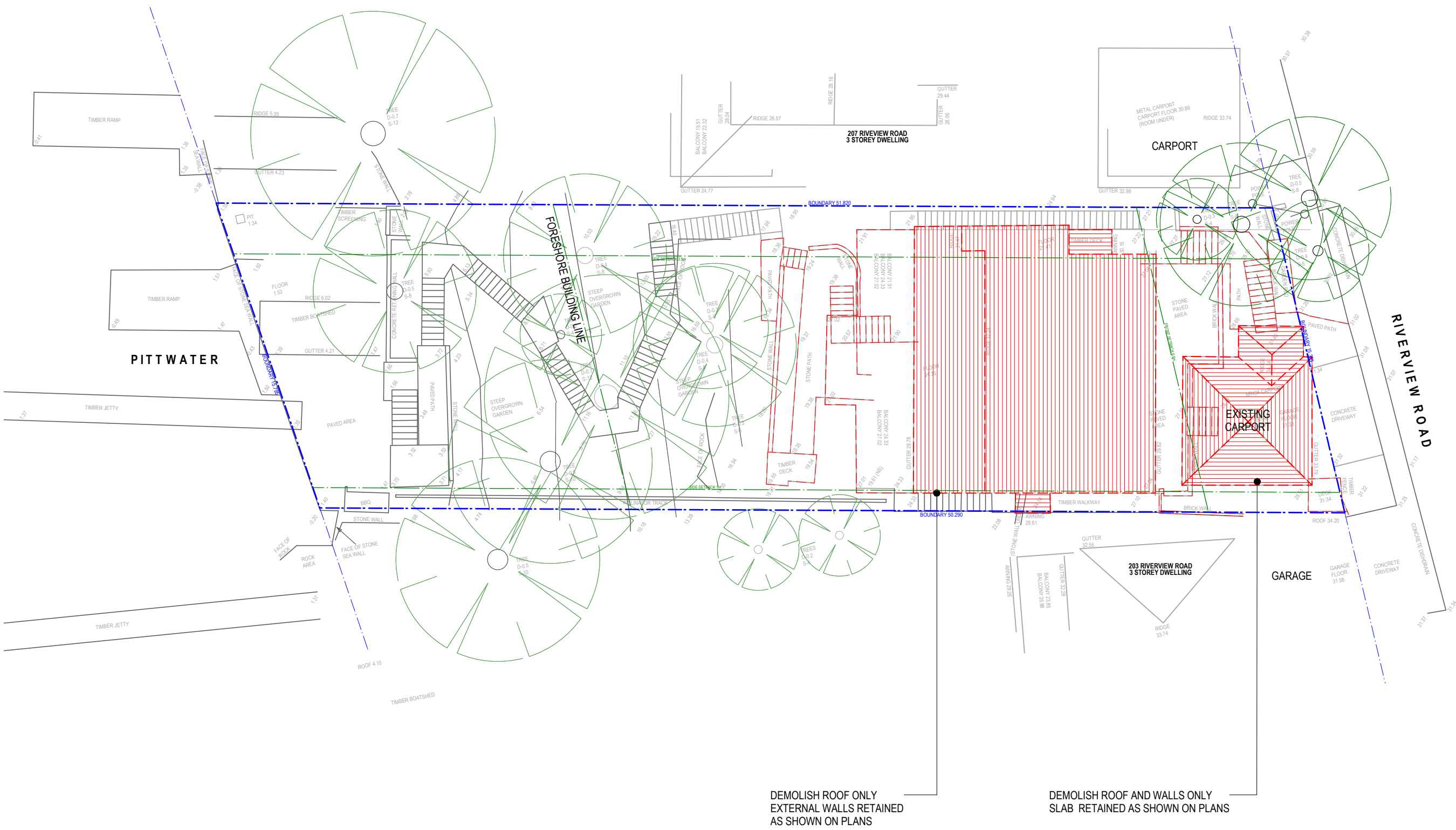
205 RIVERVIEW ROAD AVALON BEACH

LEGEND

EXISTING WALLS

EXISTING WALLS
TO BE DEMOLISHED

EXISTING FEATURES
TO BE DEMOLISHED



FOR SECTION 8.2 REVIEW

DEMOLITION PLAN - SITE / ROOF

ALTERATIONS AND ADDITIONS

1824 A010 B

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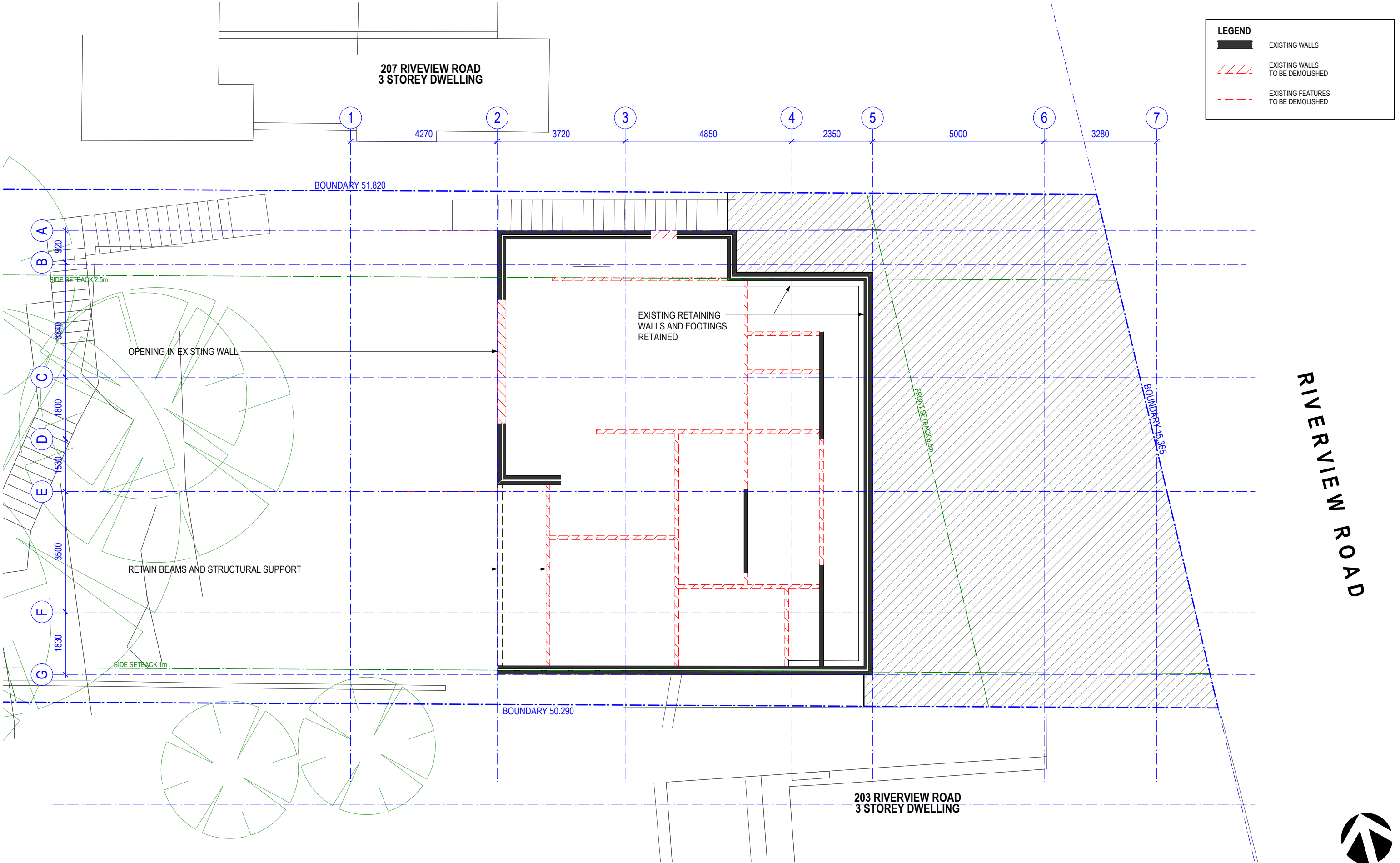
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DEMOLITION PLAN - LOWER GROUND FLOOR

ALTERATIONS AND ADDITIONS

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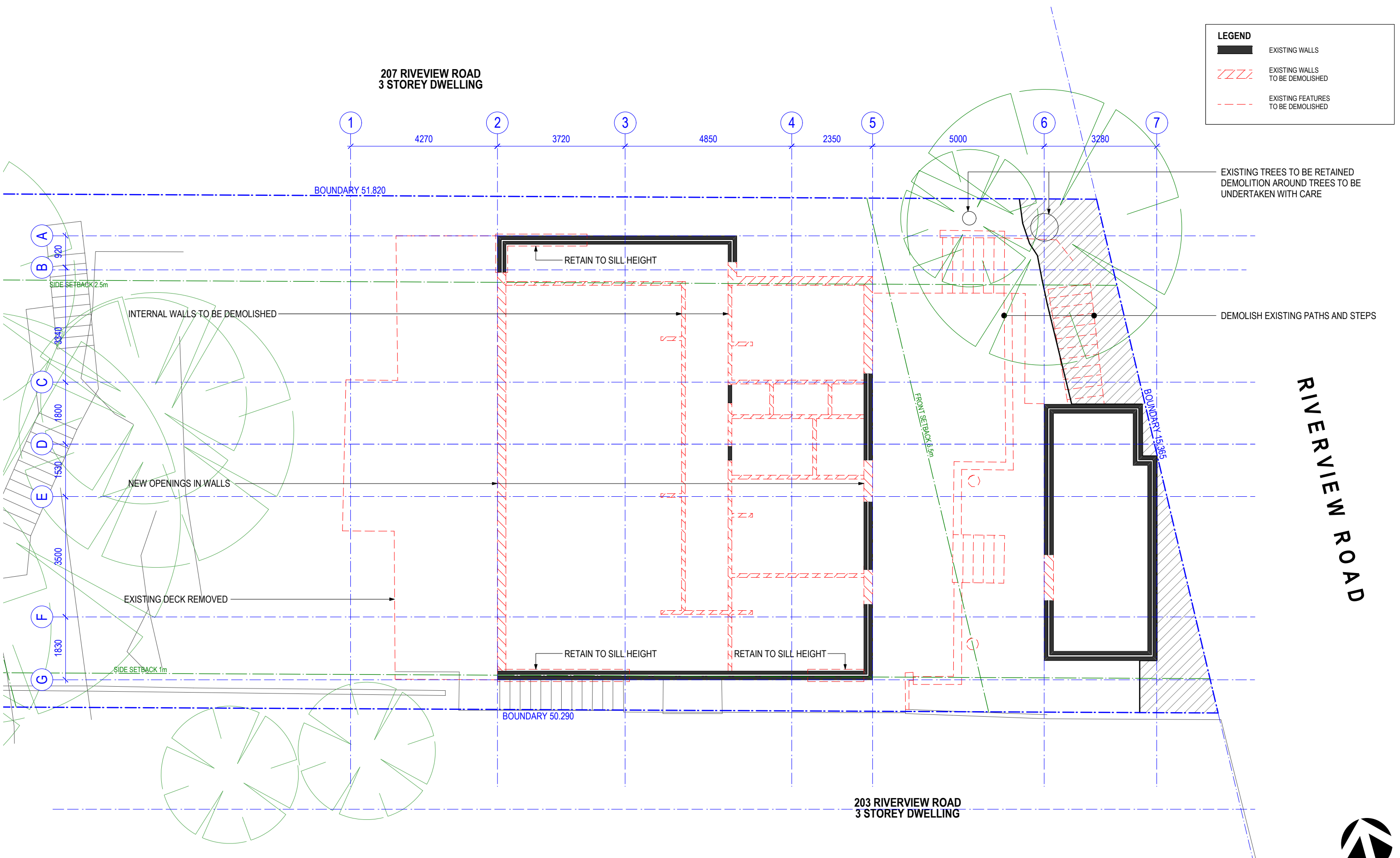
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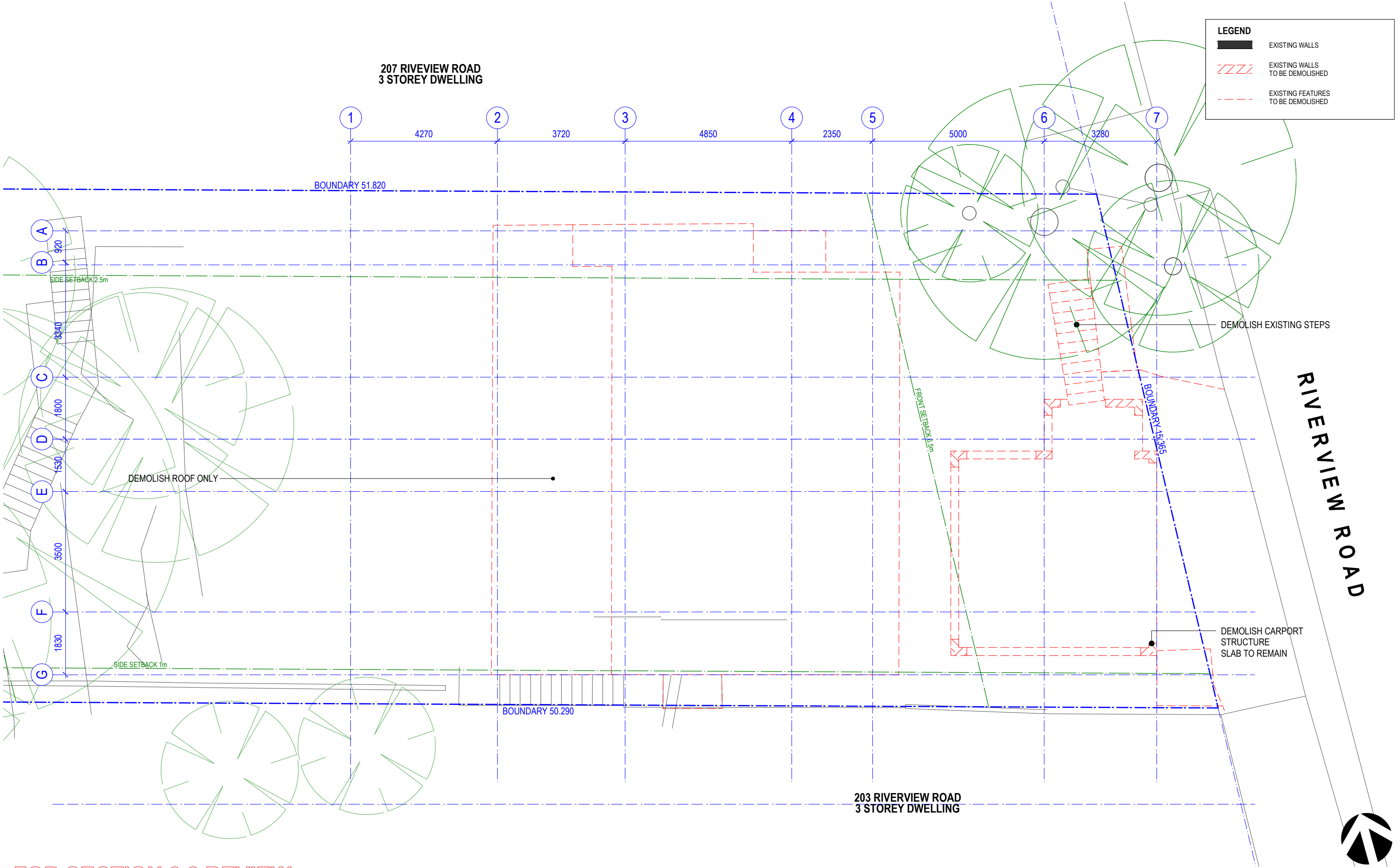
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DEMOLITION PLAN - FIRST FLOOR

ALTERATIONS AND ADDITIONS

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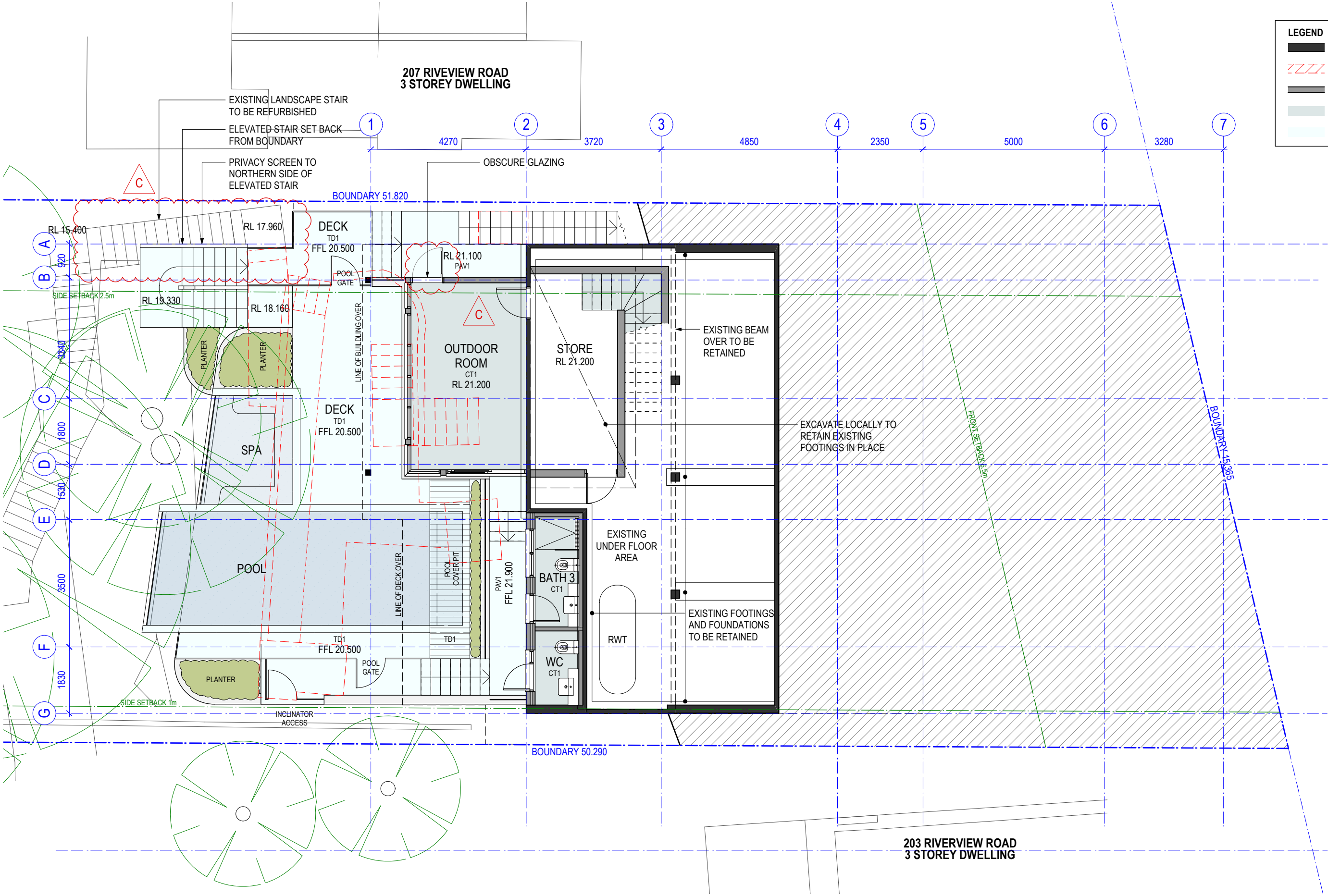
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POOL LEVEL PLAN

ALTERATIONS AND ADDITIONS

1824 A101 C

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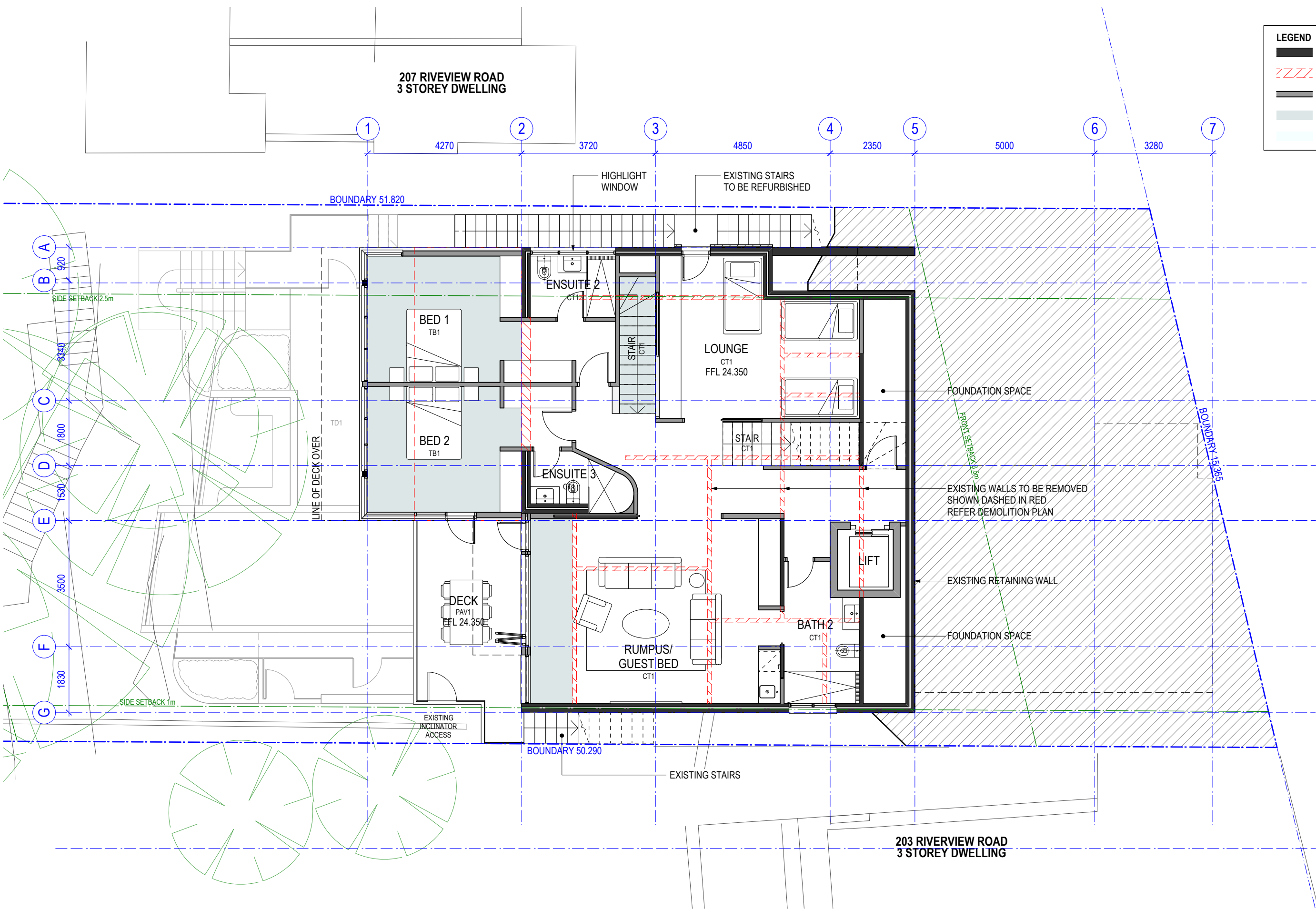
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LEGEND

- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- PROPOSED WALLS
- PROPOSED NEW INTERNAL WORKS
- PROPOSED NEW EXTERNAL WORKS

FOR SECTION 8.2 REVIEW

LOWER GROUND FLOOR PLAN

ALTERATIONS AND ADDITIONS

1824 A102 B

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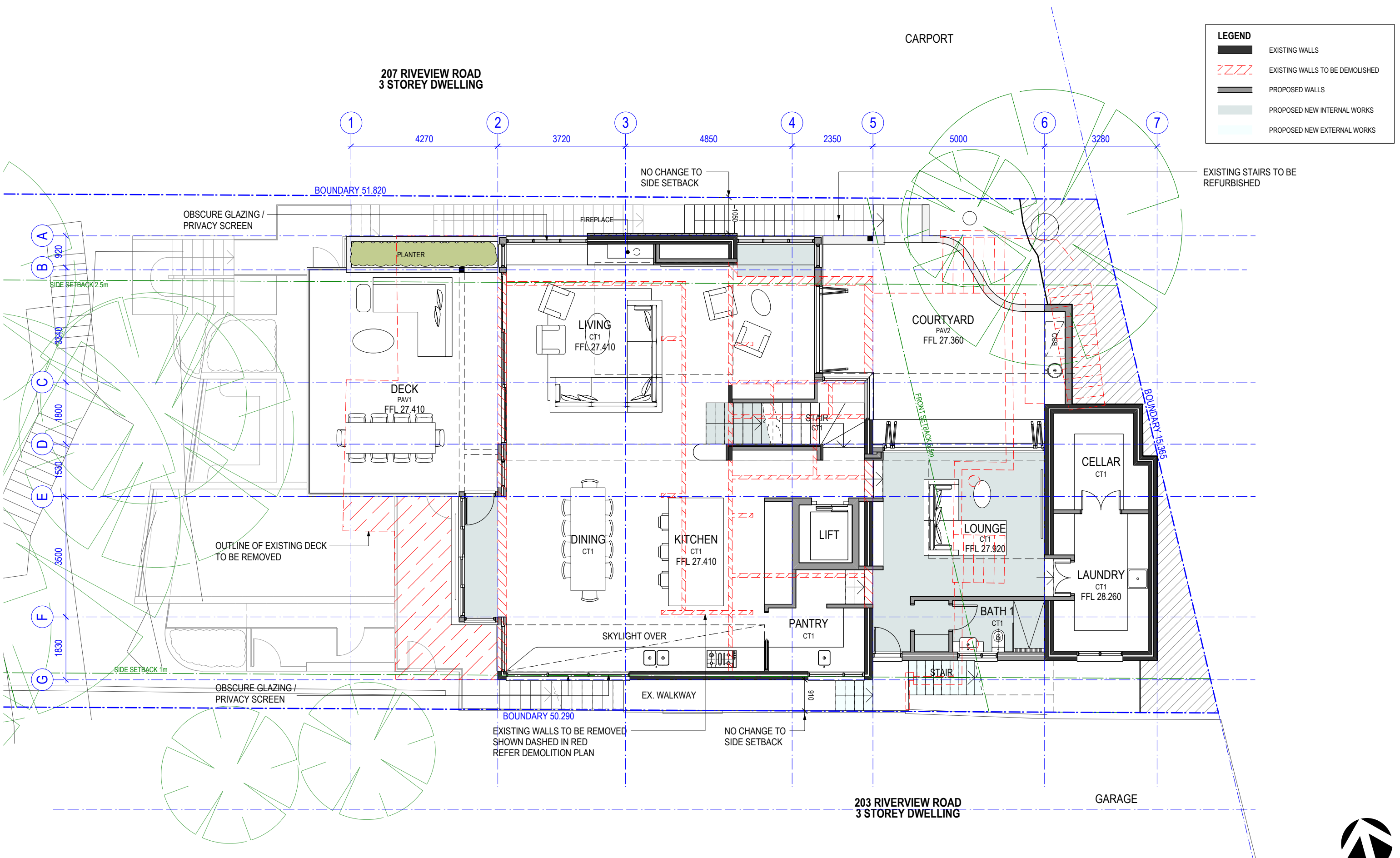
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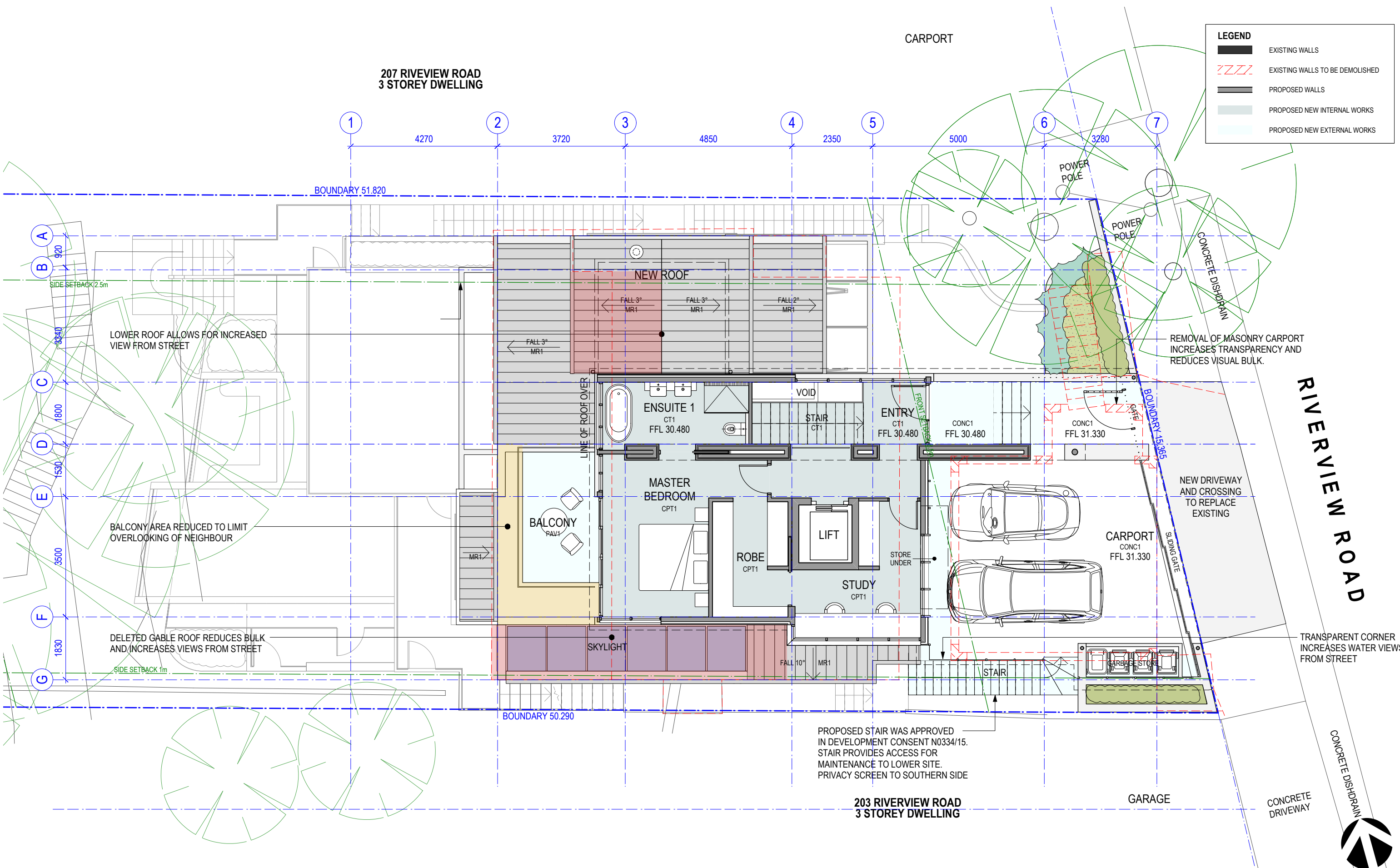
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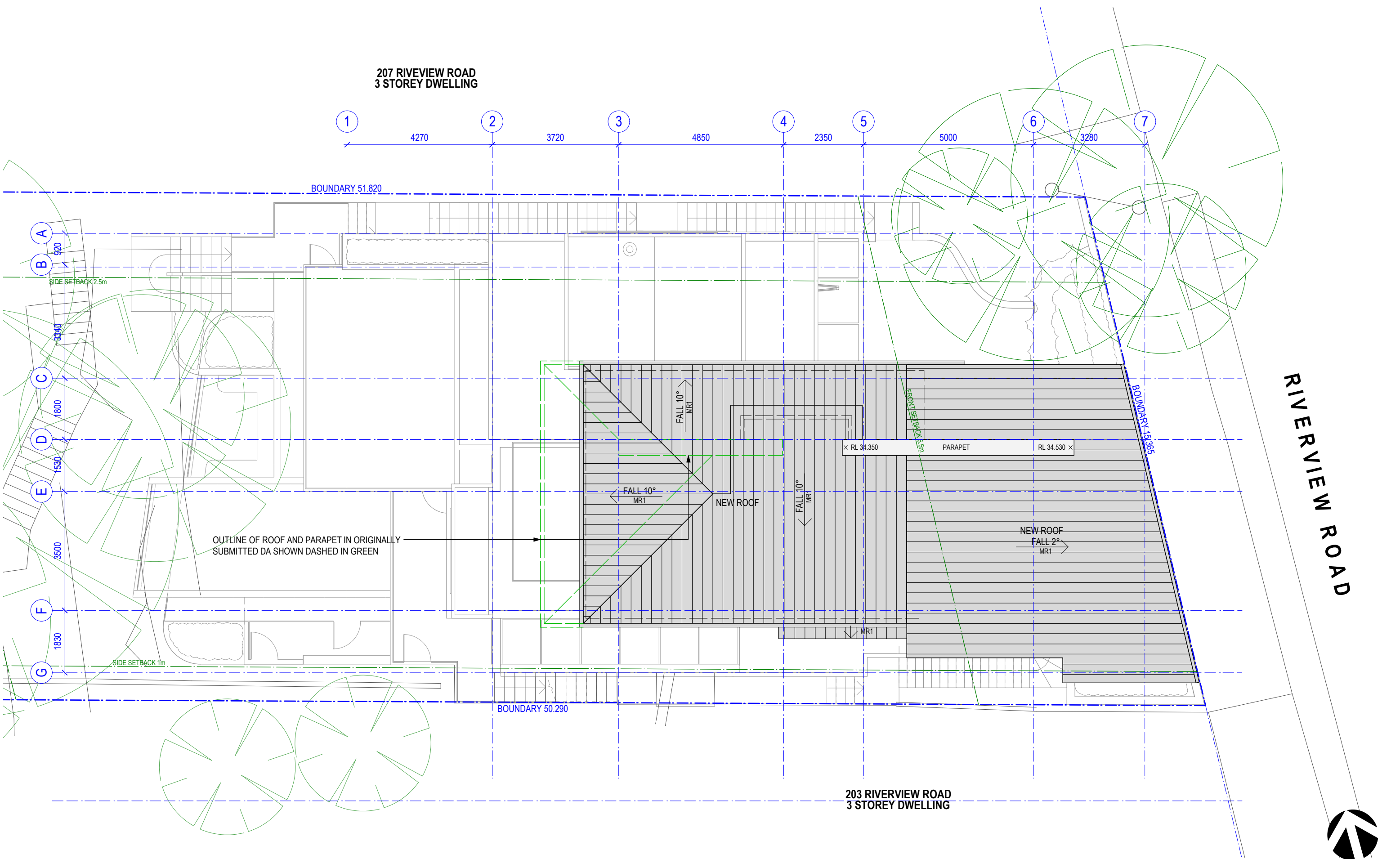
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ROOF PLAN

ALTERATIONS AND ADDITIONS

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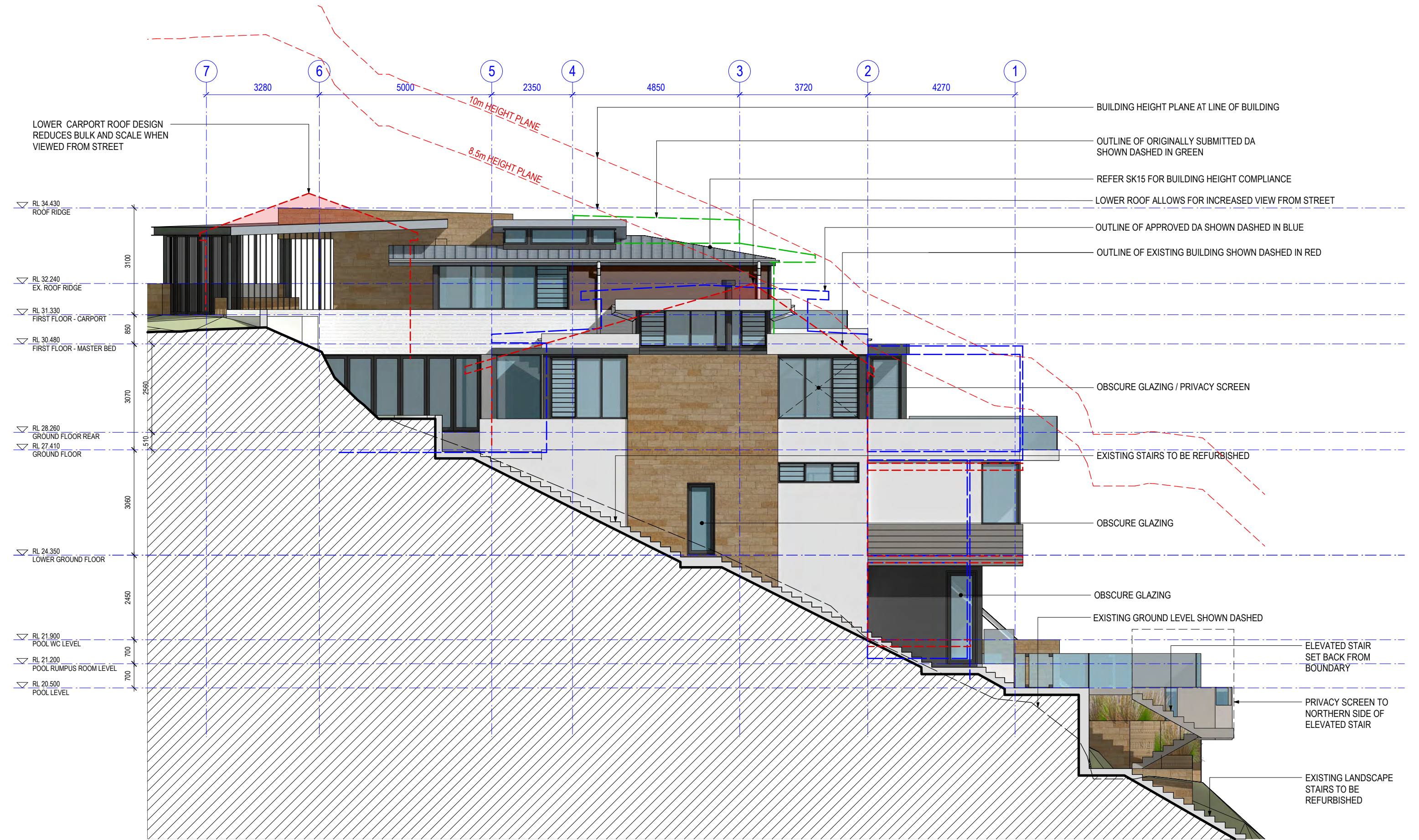
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NORTH ELEVATION

ALTERATIONS AND ADDITIONS

1824 A201 C

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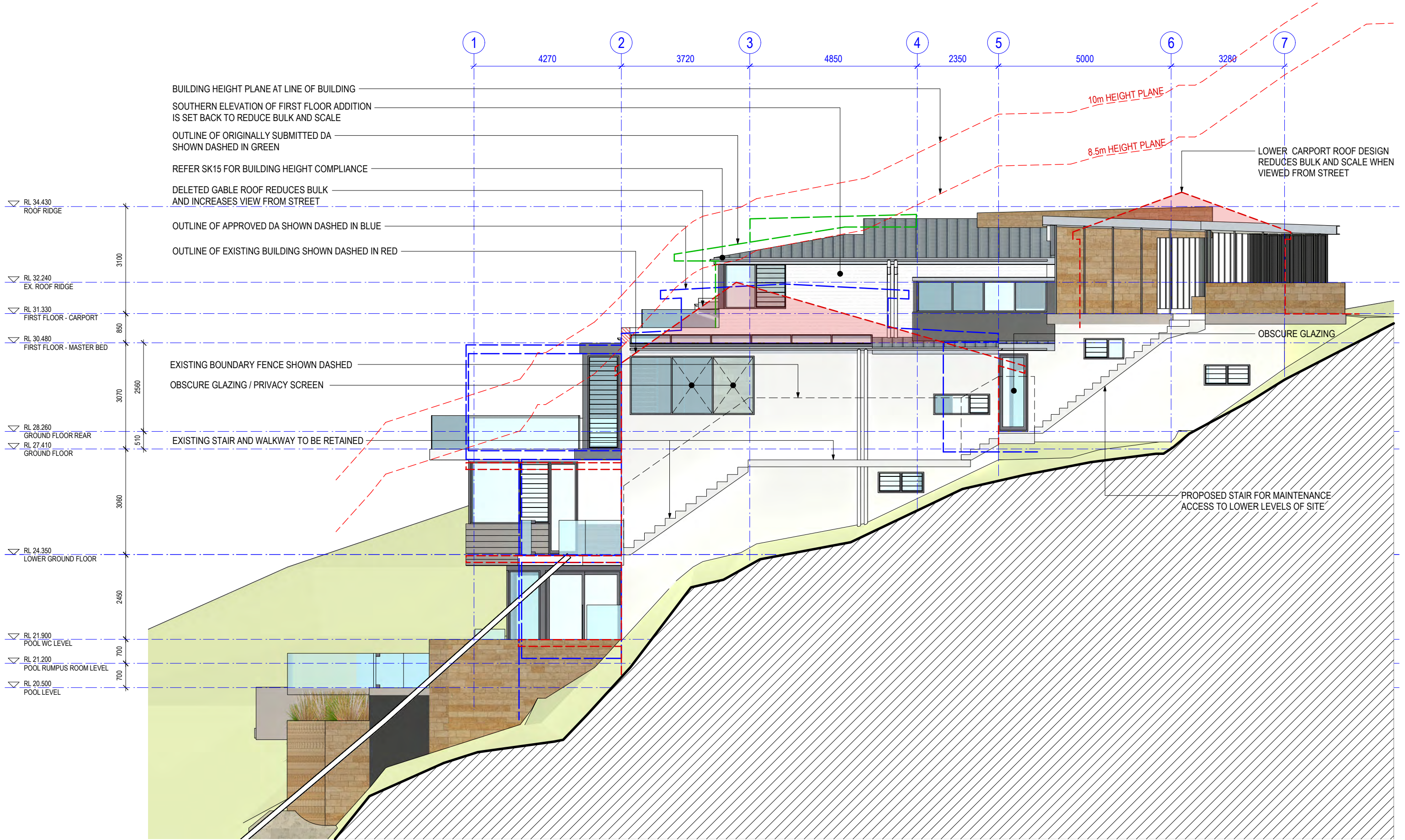
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SOUTH ELEVATION

ALTERATIONS AND ADDITIONS

1824 A202 C

205 RIVERVIEW ROAD AVALON BEACH

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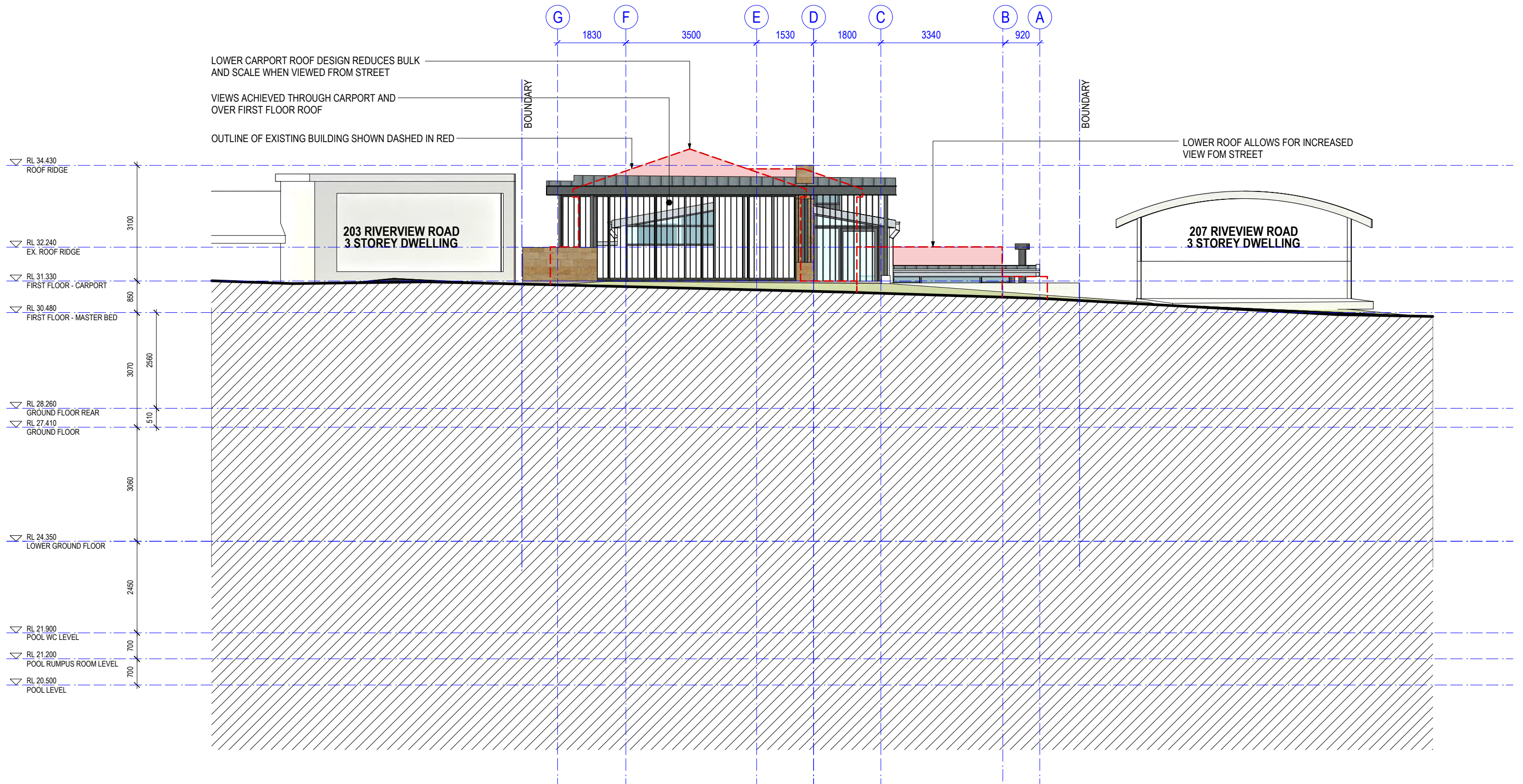
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FOR SECTION 8.2 REVIEW

EAST ELEVATION

ALTERATIONS AND ADDITIONS

1824 A203 C

205 RIVERVIEW ROAD AVALON BEACH

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FOR SECTION 8.2 REVIEW

WEST ELEVATION

ALTERATIONS AND ADDITIONS

1824

A204

C

205 RIVERVIEW ROAD AVALON BEACH

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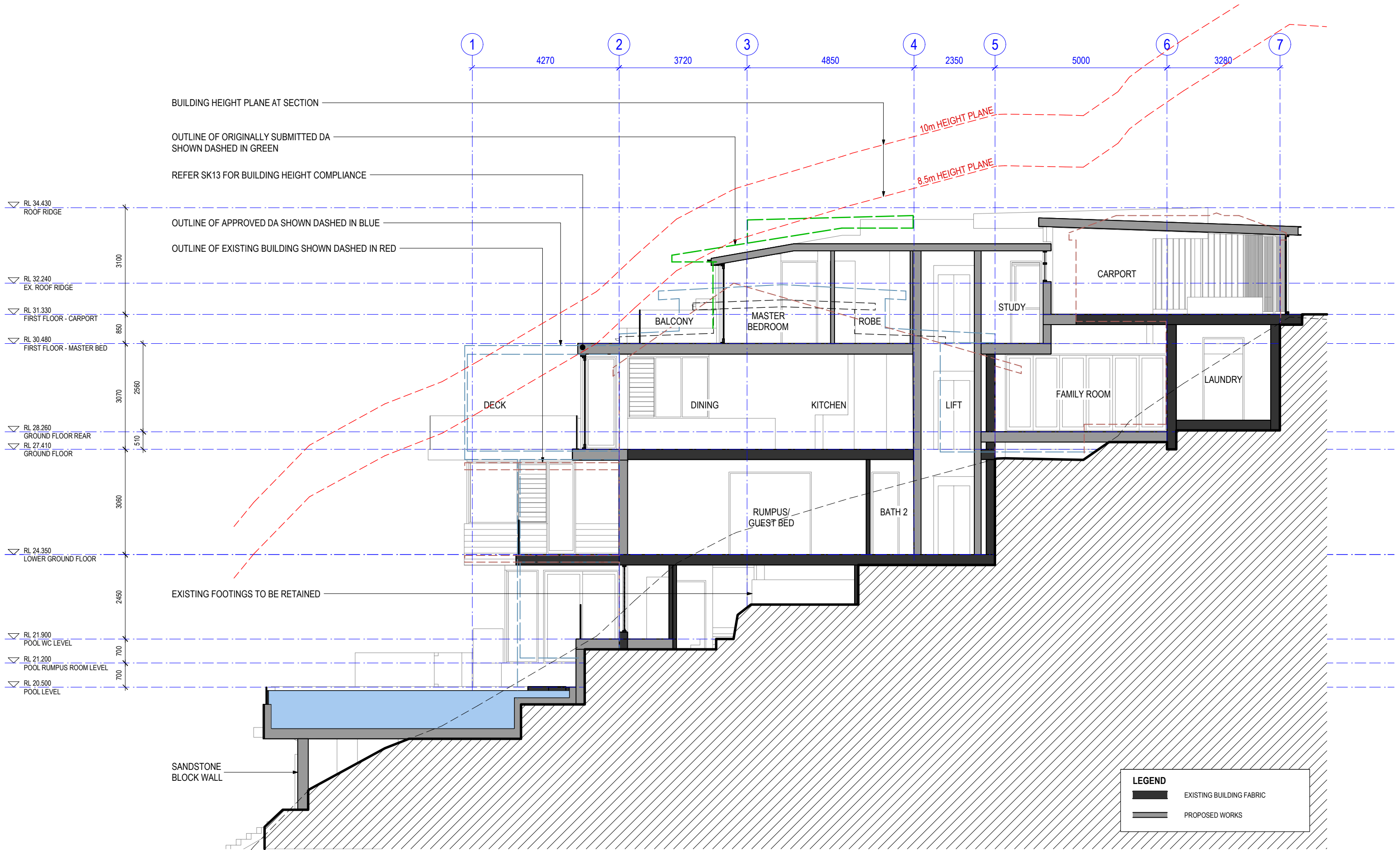
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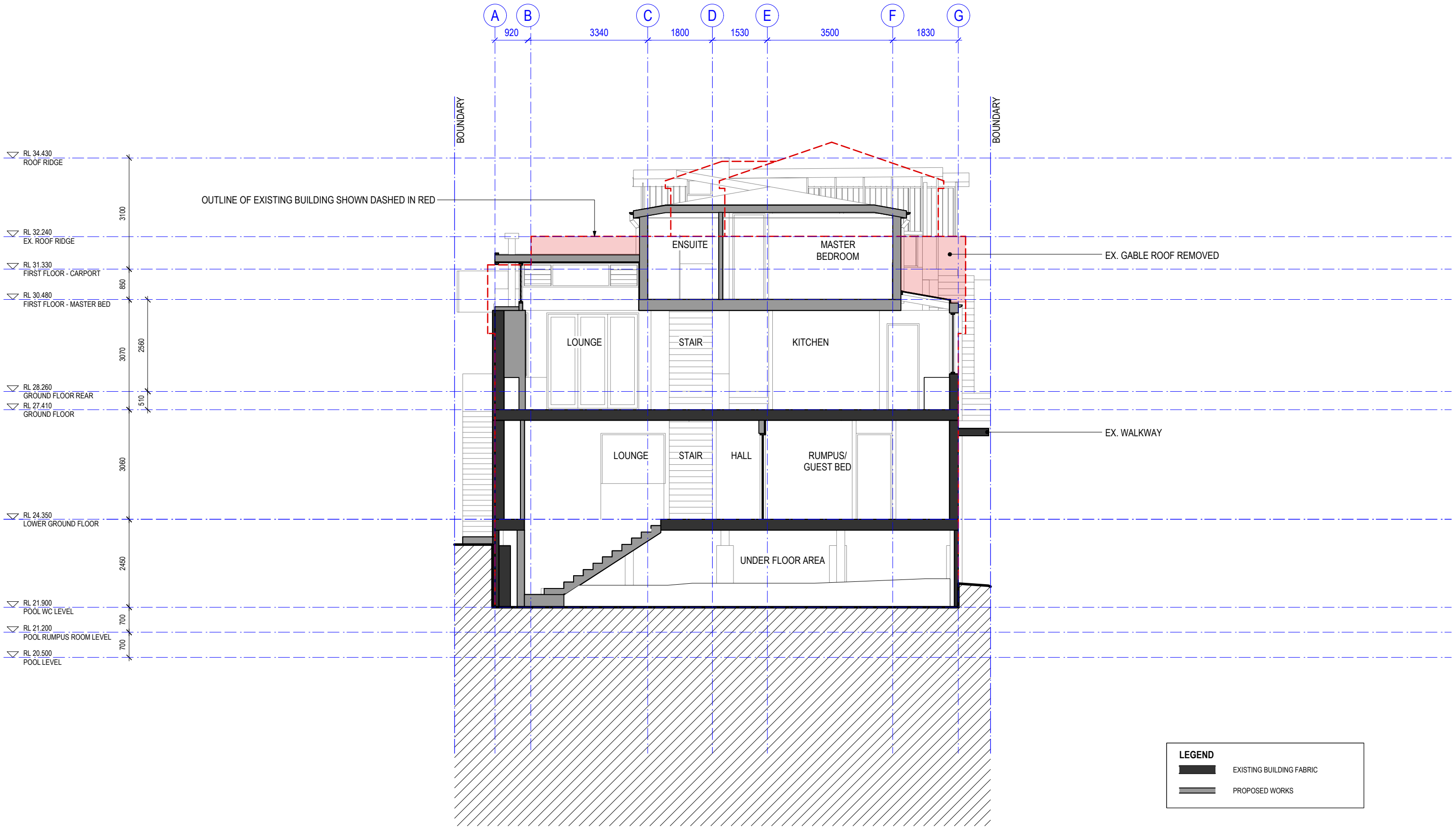
SECTION A-A

ALTERATIONS AND ADDITIONS

1824 A301 C

205 RIVERVIEW ROAD AVALON BEACH

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FOR SECTION 8.2 REVIEW

SECTION B-B

ALTERATIONS AND ADDITIONS

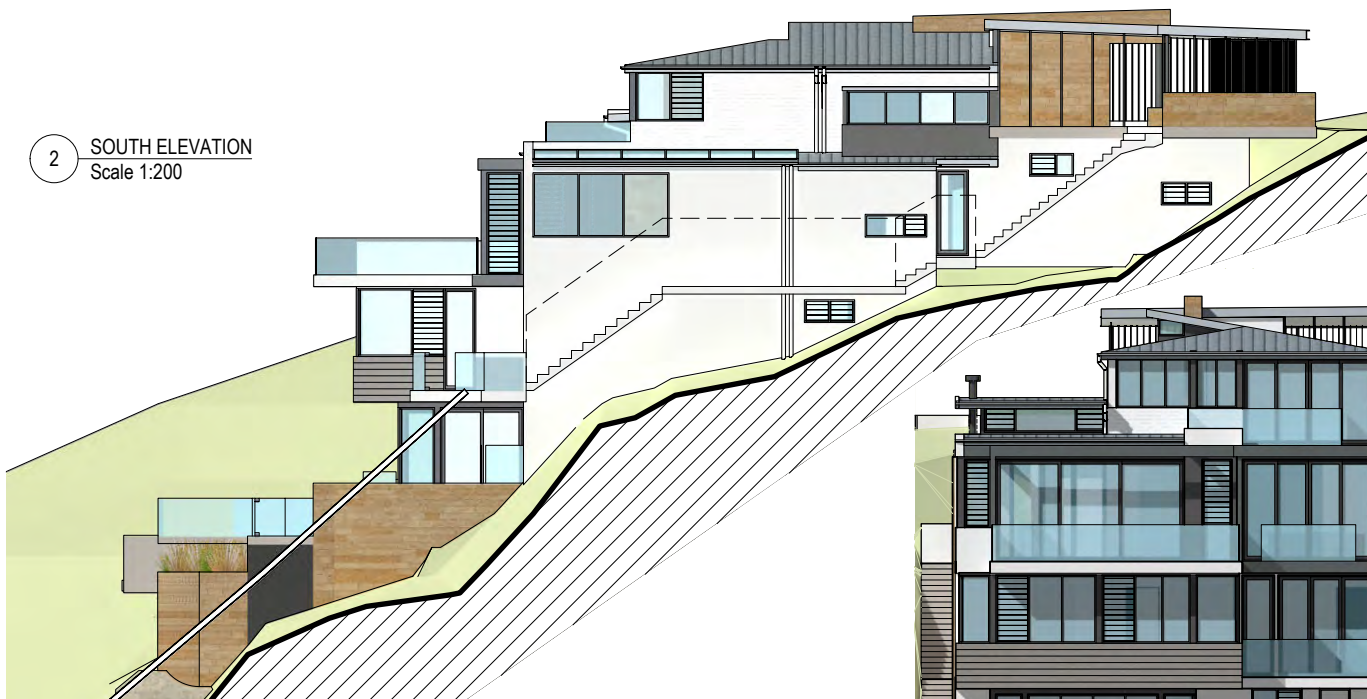
1824 A302 C

205 RIVERVIEW ROAD AVALON BEACH

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1 NORTH ELEVATION
Scale 1:200

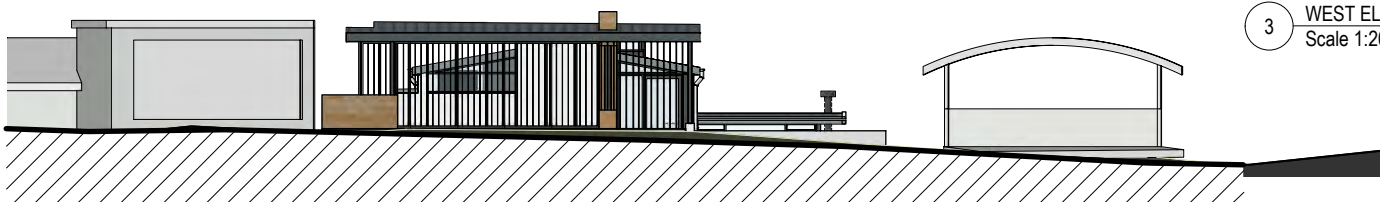


2 SOUTH ELEVATION
Scale 1:200



3 WEST ELEVATION
Scale 1:200

4 EAST ELEVATION
Scale 1:200



FOR SECTION 8.2 REVIEW

NOTIFICATION PLAN

ALTERATIONS AND ADDITIONS

1824

N01 B

SCALE 1:200

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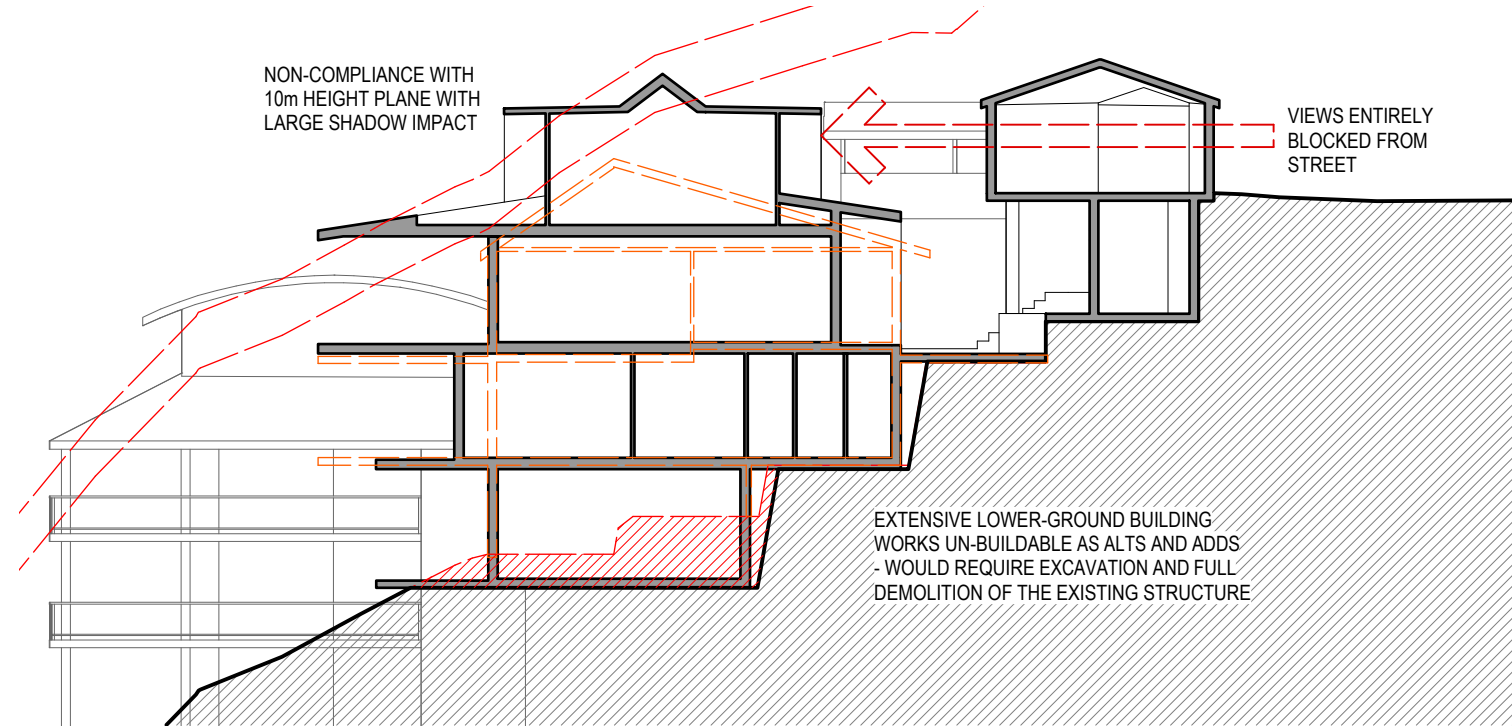
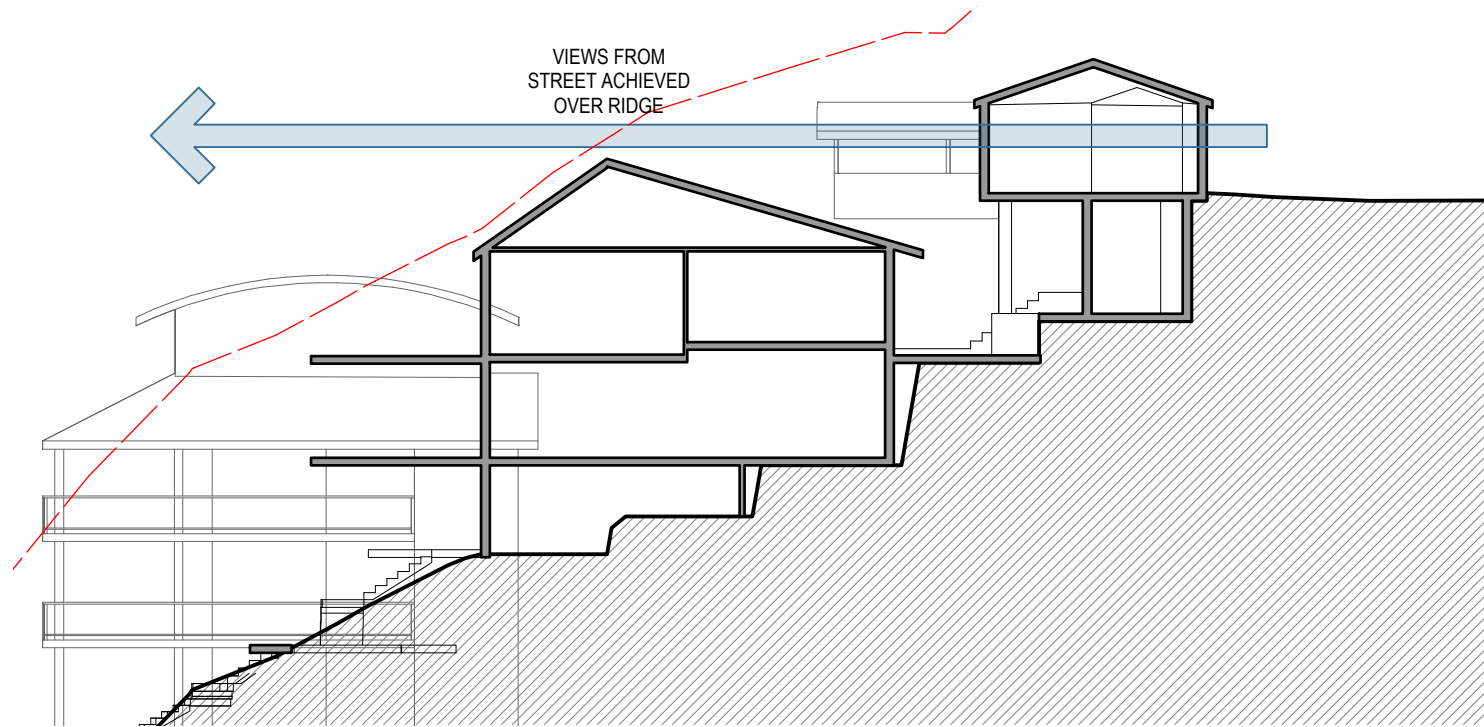
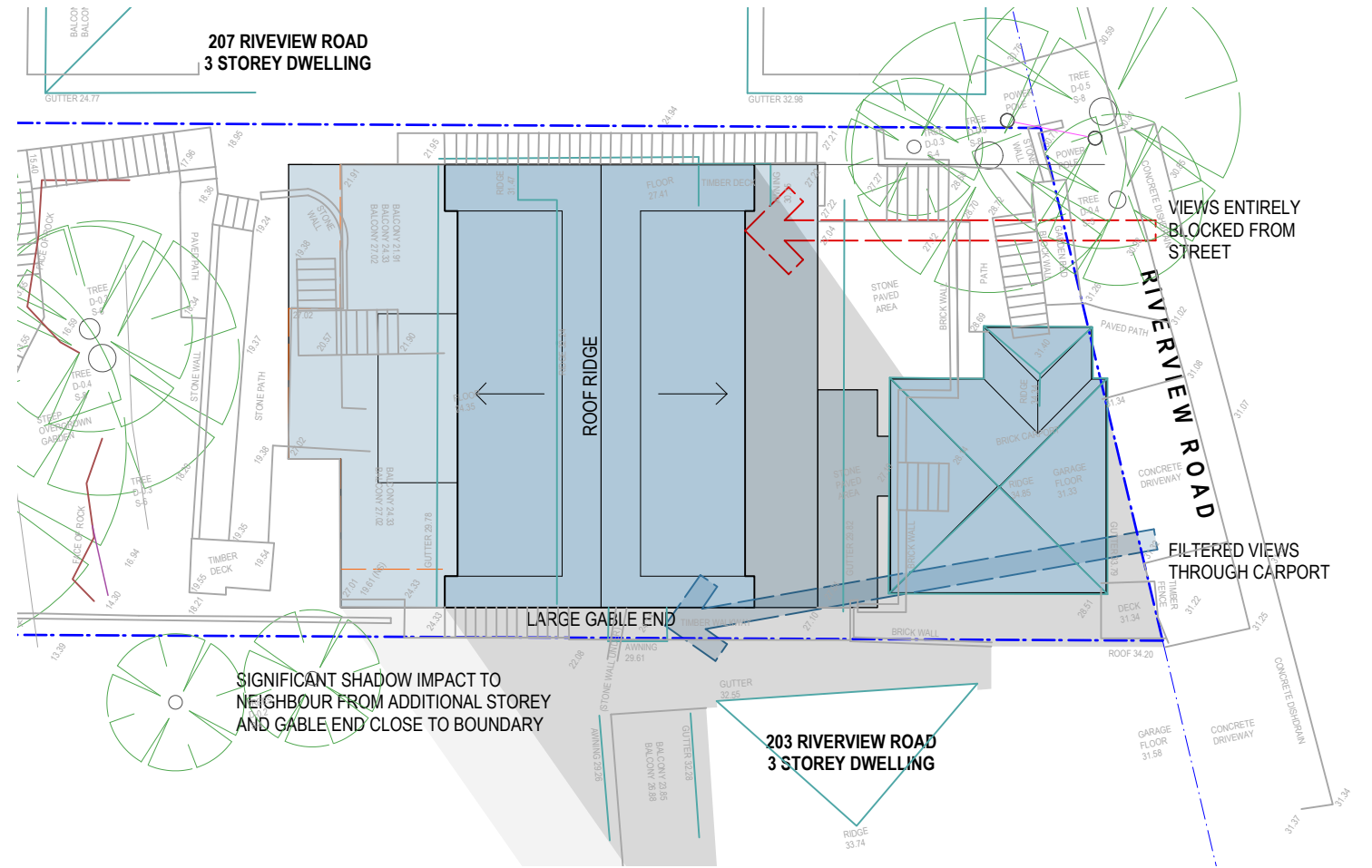
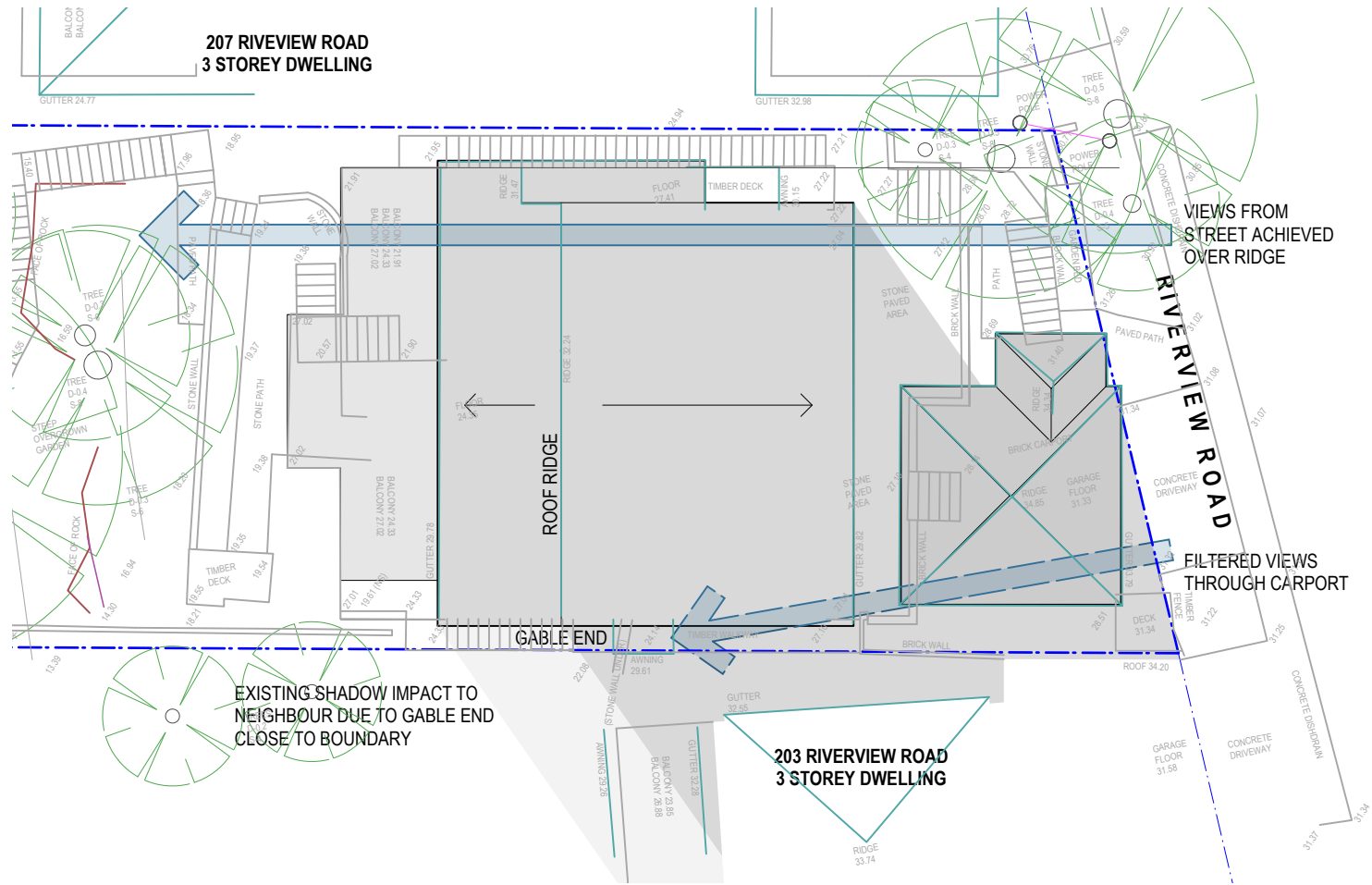


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1 EXISTING CONDITION

2 DA N0389/14 - REFUSED
- VIEWS FROM STREET ENTIRELY BLOCKED
- LARGE GABLE END CAUSING A LARGE SHADOW IMPACT ON NEIGHBOUR
- EXTENSIVE NON-COMPLIANCE WITH 10m HEIGHT PLANE

FOR SECTION 8.2 REVIEW

DESIGN RESPONSE - PART 1

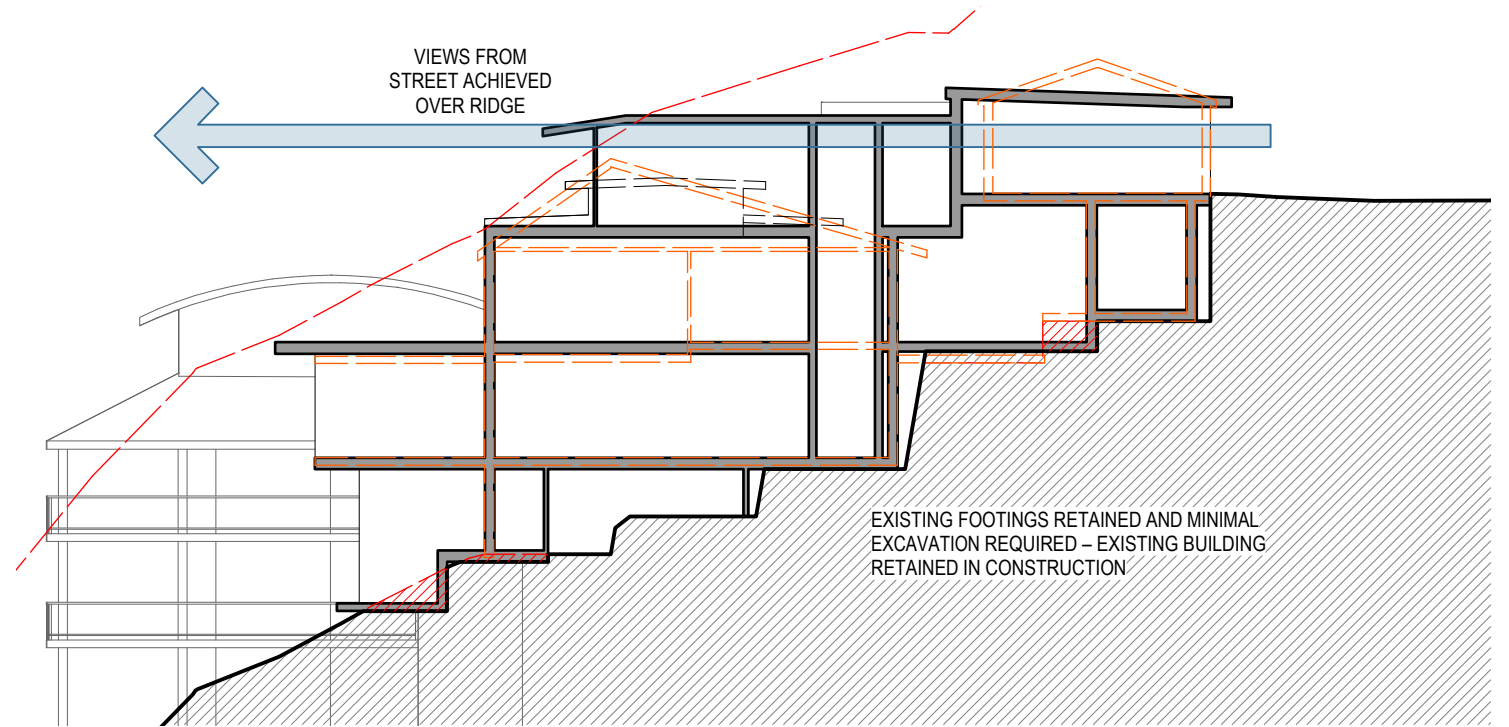
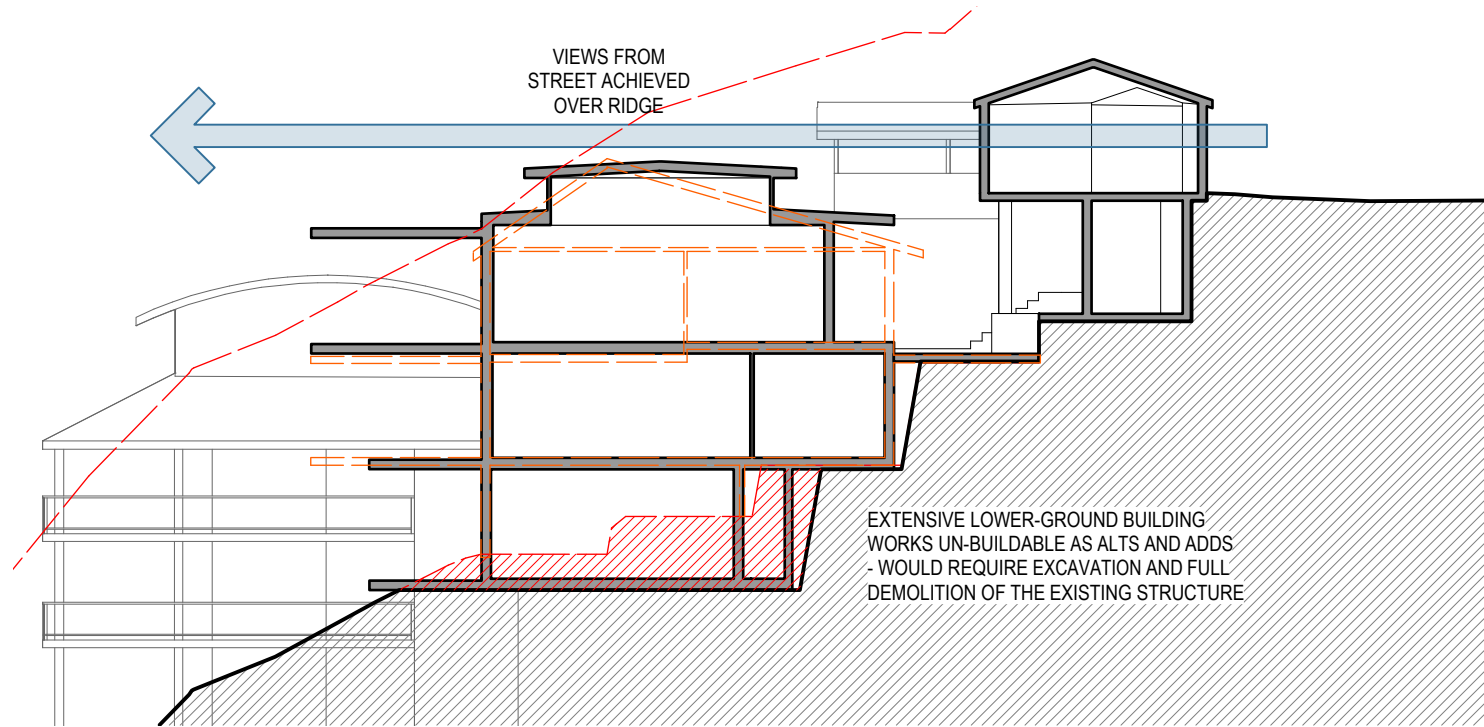
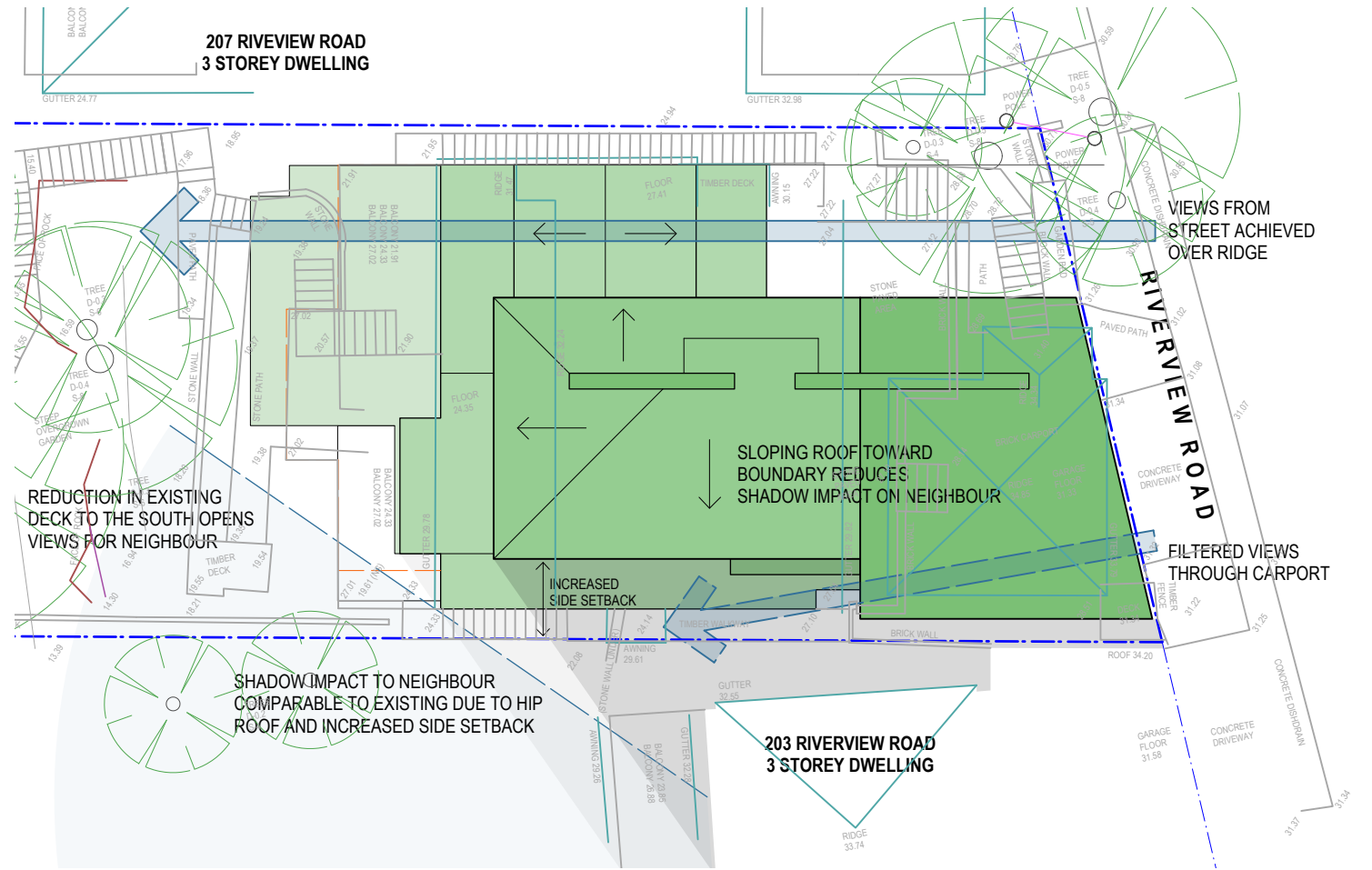
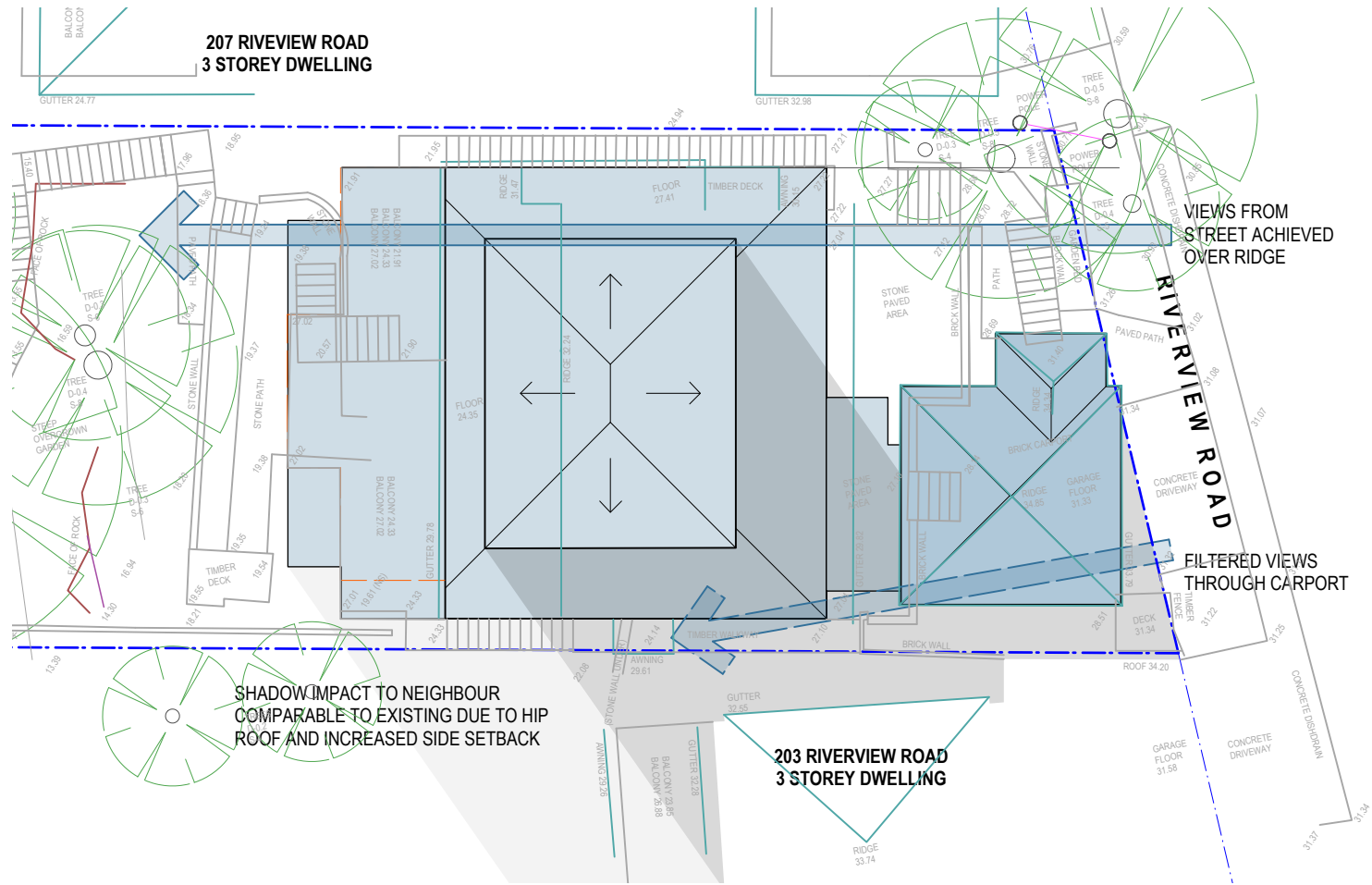
ALTERATIONS AND ADDITIONS

1824 SK12 B

205 RIVERVIEW ROAD AVALON BEACH

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- 3 DA N0334/15 - APPROVED
- VIEWS ACHIEVED FROM STREET
 - SHADOW IMPACT COMPARABLE WITH EXISTING
 - AMOUNT OF EXCAVATION MAKES SCHEME ENTIRELY UN-BUILDABLE

- 4 PROPOSED DA
- VIEWS ACHIEVED FROM STREET
 - CONSIDERED SHADOW IMPACT WITH SLOPED ROOF
 - BUILDABLE SCHEME RETAINING EXISTING FOOTINGS

FOR SECTION 8.2 REVIEW

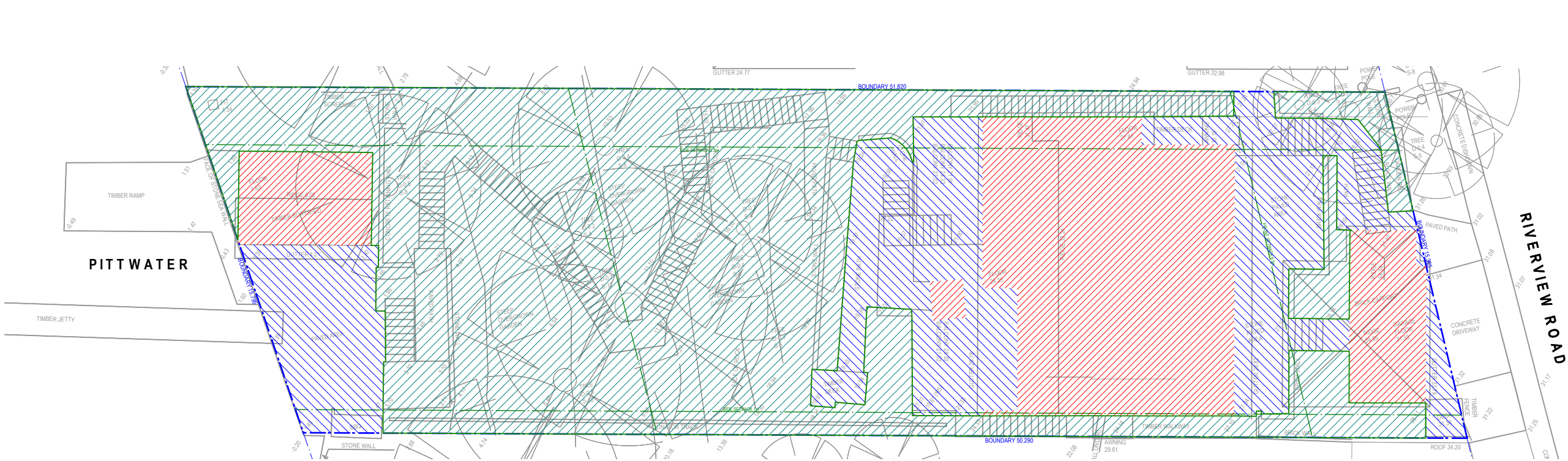
DESIGN RESPONSE - PART 2

ALTERATIONS AND ADDITIONS

1824 SK13 B

205 RIVERVIEW ROAD AVALON BEACH

SCALE: 1:200
JANUARY 2019



LEGEND

- LANDSCAPED AREA
- HARD PAVED AREA
- BUILT-UPON AREA

SITE AREA = 762.4m²

REQUIRED LANDSCAPED AREA (DCP D1.14)
60% OF SITE AREA = 457.4m²

VARIATIONS
Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:
impervious areas less than 1 metre in width (e.g. pathways and the like);
for single dwellings on land zoned R2 Low Density Residential, R3 Medium Density Residential or E4 Environmental Living, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing)).

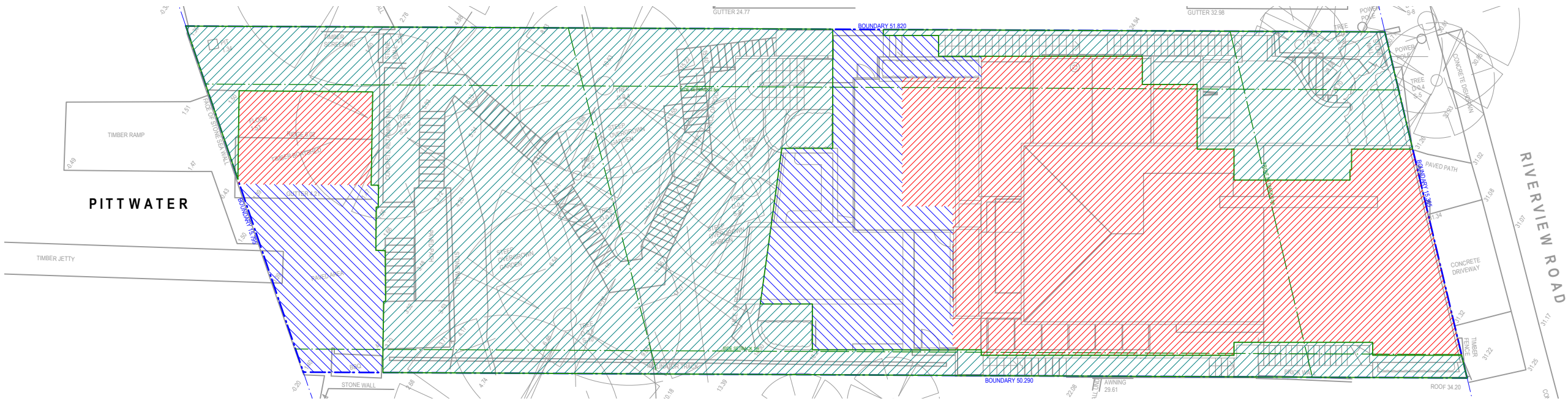
EXISTING

SOFT LANDSCAPED AREA = 406.8m²
VARIATION 6% IMPERVIOUS = 45.7m²
TOTAL LANDSCAPE OPEN SPACE = 452.5m² (59%)
MINOR NON-COMPLIANCE

PROPOSED

SOFT LANDSCAPED AREA = 394.9m²
VARIATION 6% IMPERVIOUS = 45.7m²
TOTAL LANDSCAPE OPEN SPACE = 440.6m² (58%)
MINOR NON-COMPLIANCE

1 LANDSCAPED AREA - EXISTING



2 LANDSCAPED AREA - PROPOSED

FOR SECTION 8.2 REVIEW

PLANNING COMPLIANCE
LANDSCAPE AREA

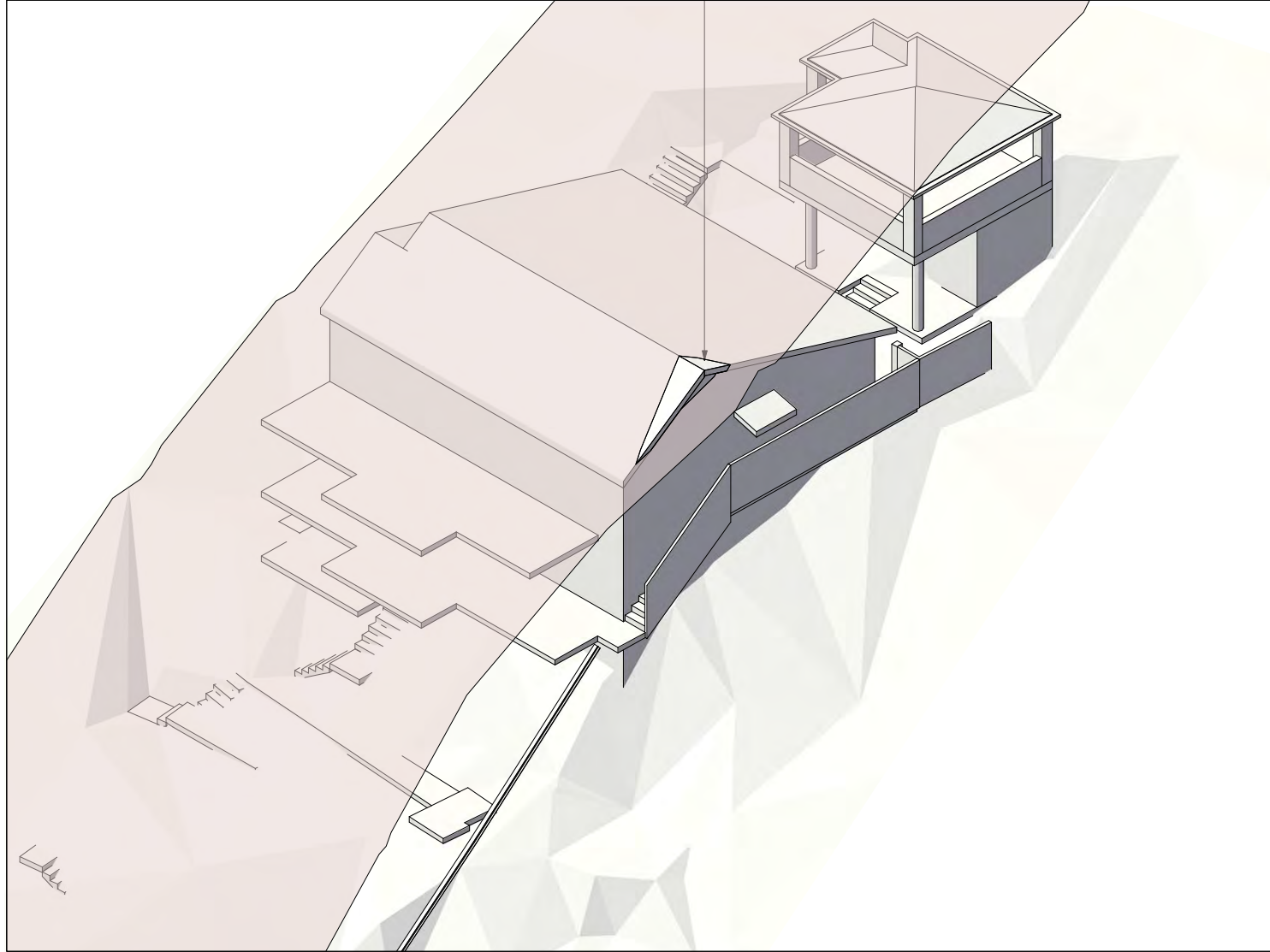
ALTERATIONS AND ADDITIONS

1824 SK14 B

205 RIVERVIEW ROAD AVALON BEACH

SCALE: 1:200
JANUARY 2019

EXTENT OF EXISTING BUILDING
BEYOND 8.5m HEIGHT PLANE

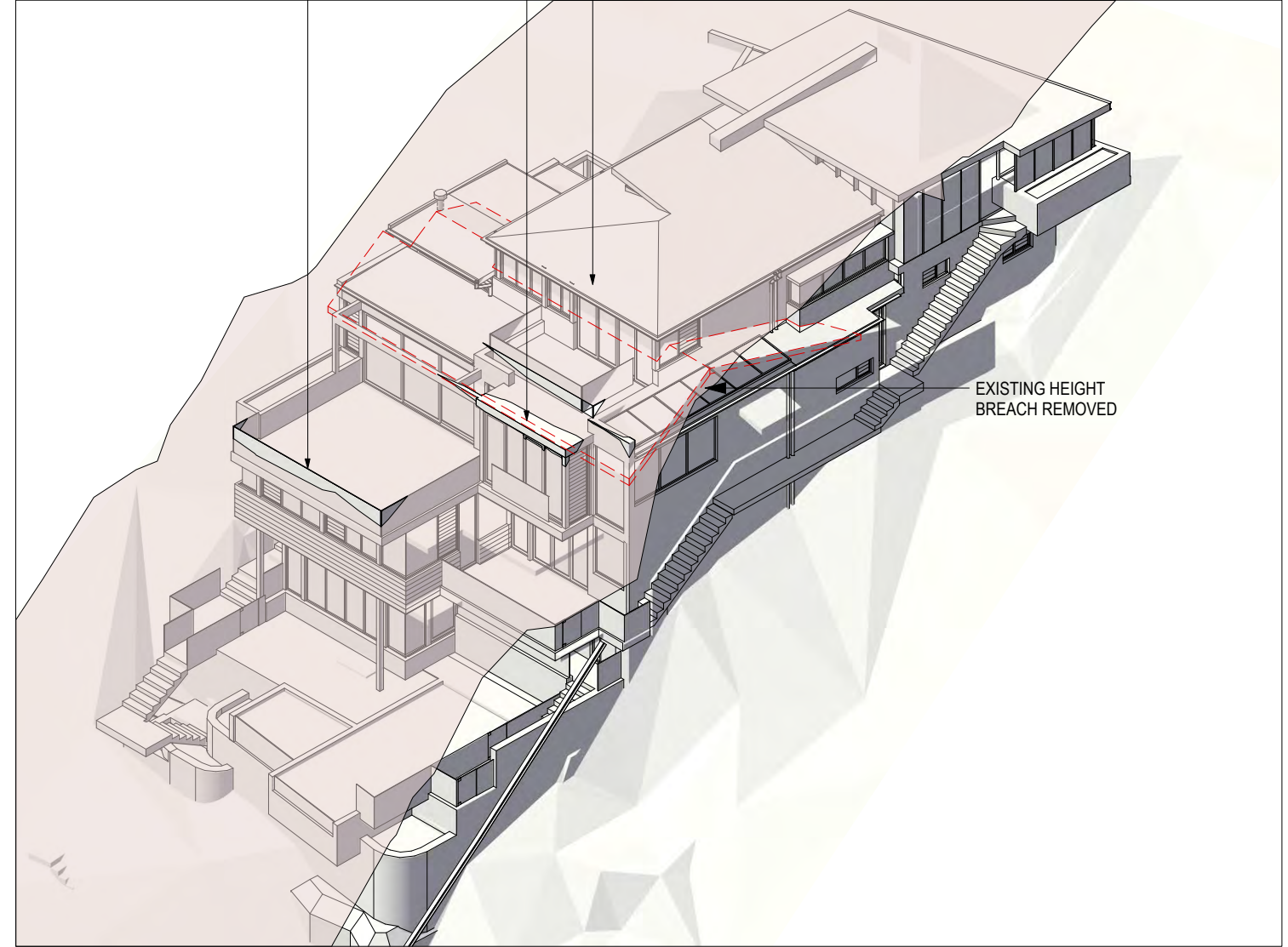


1

ORTHOGONAL VIEW FROM SOUTH-WEST
EXISTING

EXTENT OF PROPOSED BUILDING BEYOND 8.5m HEIGHT PLANE
DOES NOT RESULT IN ANY VIEW LOSS FROM A PUBLIC SPACE
OR NEIGHBOURING PROPERTIES

TOP LEVEL ROOF DOES NOT EXTEND
BEYOND 8.5m HEIGHT PLANE



2

ORTHOGONAL VIEW FROM SOUTH-WEST
PROPOSED

FOR SECTION 8.2 REVIEW

PLANNING COMPLIANCE
BUILDING HEIGHT

ALTERATIONS AND ADDITIONS

1824 SK15 C

205 RIVERVIEW ROAD AVALON BEACH

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JANUARY 2019

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NORTH SYDNEY NSW 2060
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TELEPHONE 021 9955 5608

JULY 2020
DATE

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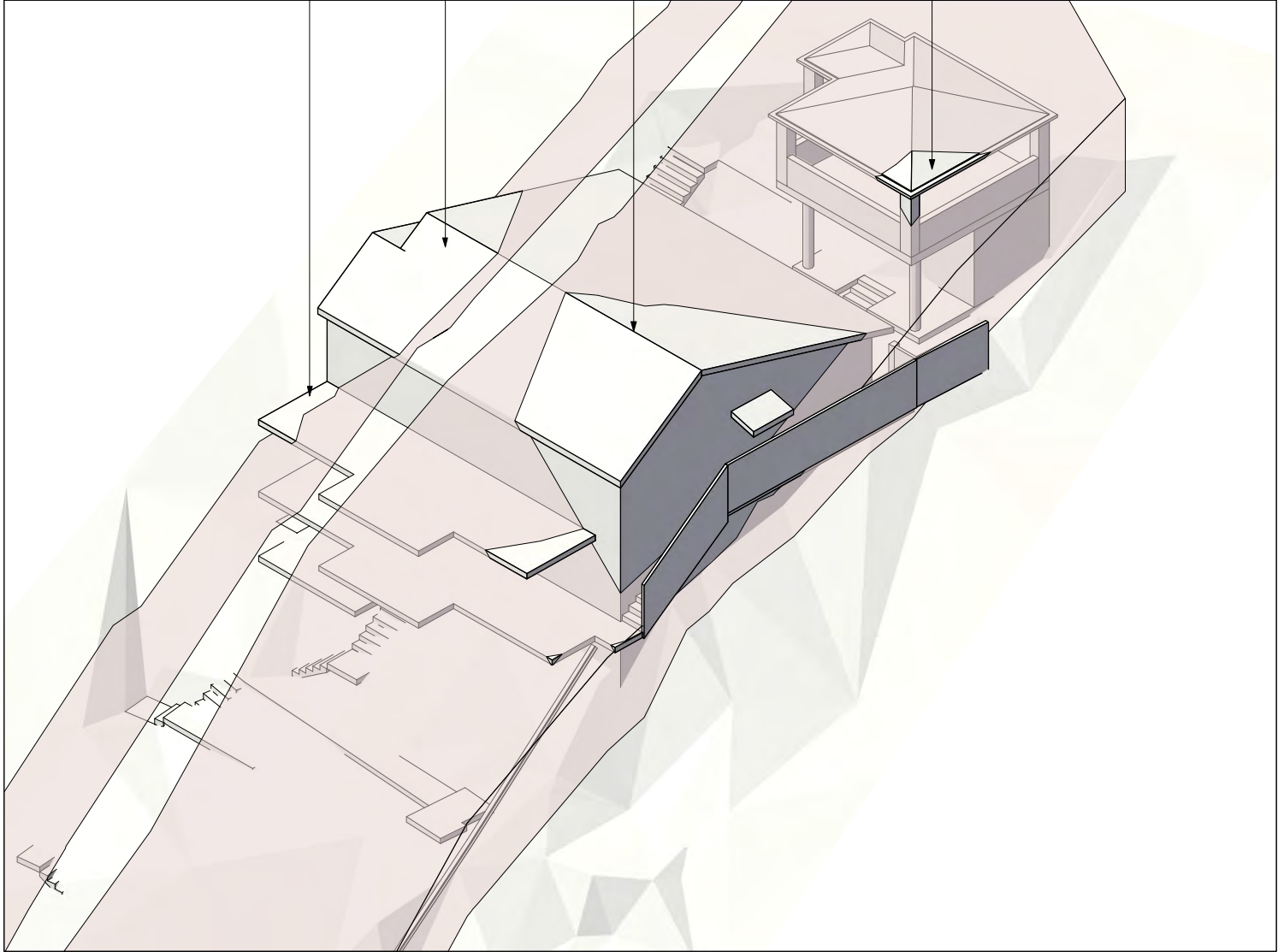
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Tuesday, 7 July 2020

EXTENT OF EXISTING BUILDING
BEYOND BUILDING ENVELOPE



1

ORTHOGONAL VIEW FROM SOUTH-WEST
EXISTING

EXTENT OF PROPOSED BUILDING
BEYOND BUILDING ENVELOPE



2

ORTHOGONAL VIEW FROM SOUTH-WEST
PROPOSED

FOR SECTION 8.2 REVIEW

PLANNING COMPLIANCE
SIDE BOUNDARY BUILDING ENVELOPE SW

ALTERATIONS AND ADDITIONS

205 RIVERVIEW ROAD AVALON BEACH

1824 SK16.1 B

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JANUARY 2019

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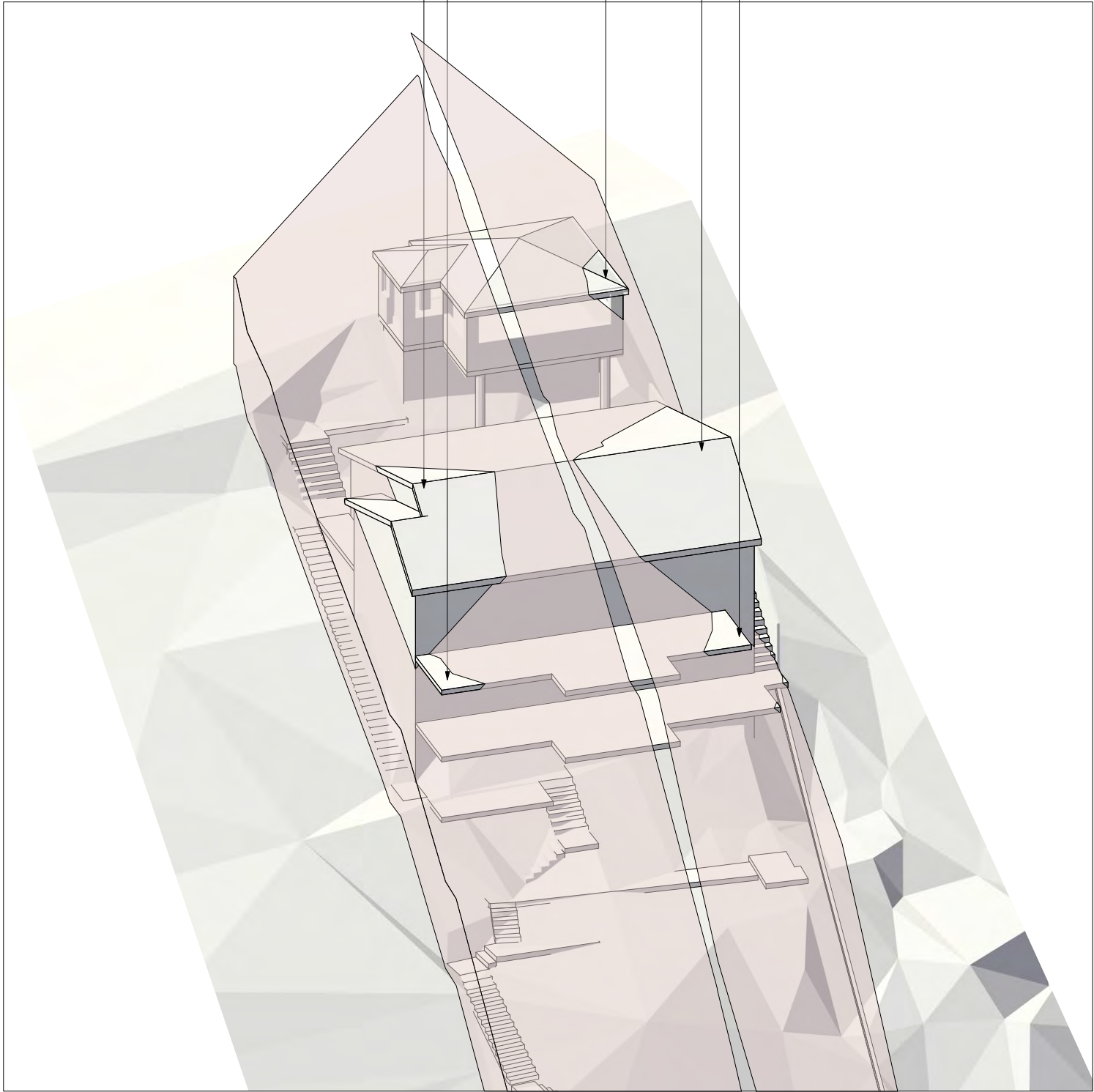
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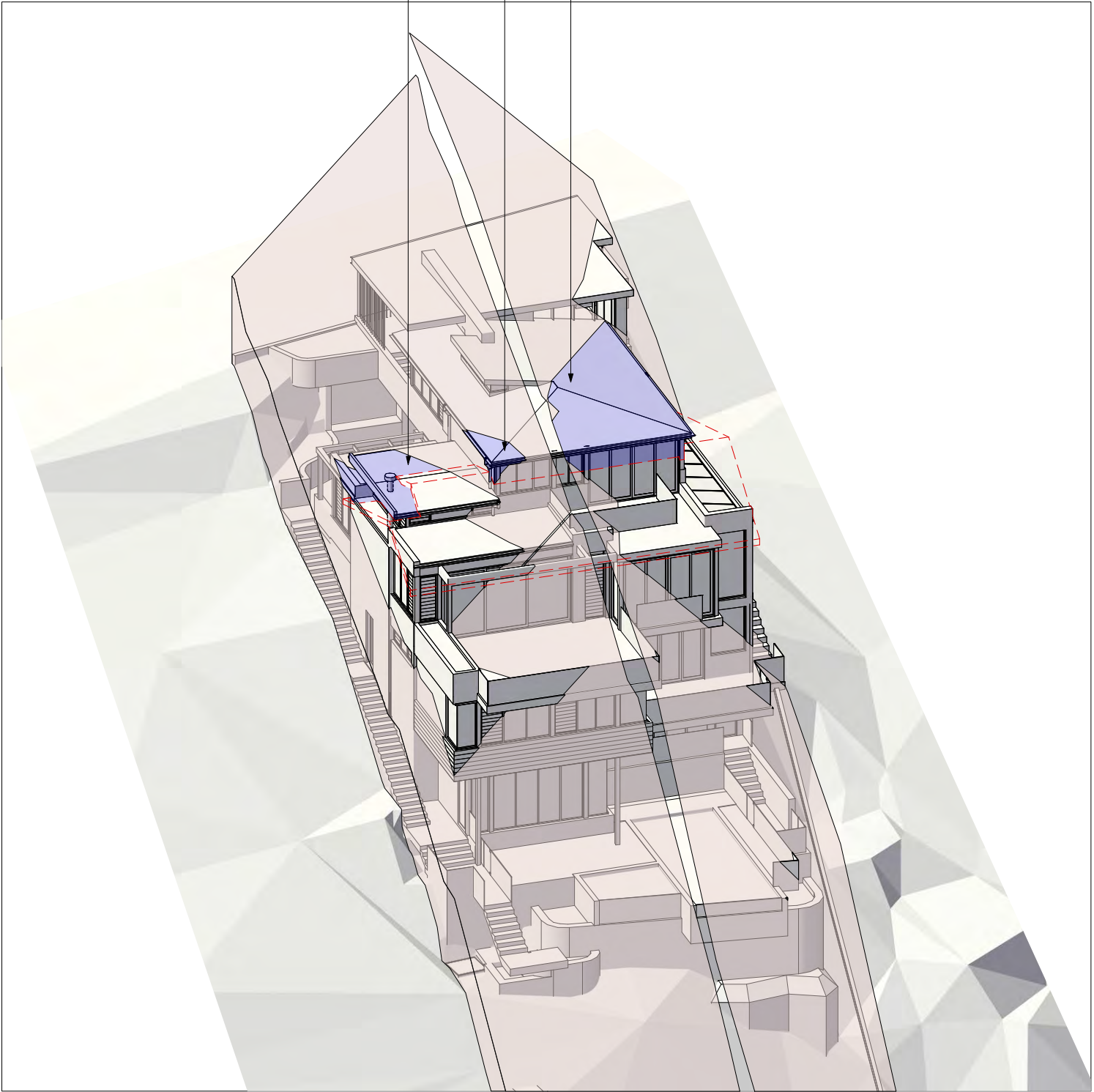
Tuesday, 7 July 2020

EXTENT OF EXISTING BUILDING
BEYOND BUILDING ENVELOPE



1 ORTHOGONAL VIEW FROM NORTH-EAST
EXISTING

EXTENT OF PROPOSED BUILDING
BEYOND BUILDING ENVELOPE



2 ORTHOGONAL VIEW FROM NORTH-EAST
PROPOSED

FOR SECTION 8.2 REVIEW

PLANNING COMPLIANCE
SIDE BOUNDARY BUILDING ENVELOPE NE

ALTERATIONS AND ADDITIONS

205 RIVERVIEW ROAD AVALON BEACH

1824 SK16.2 B

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JANUARY 2019

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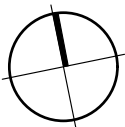
Wednesday, 8 July 2020

1 EXISTING - WINTER 0900

2 PROPOSED - WINTER 0900

FOR SECTION 8.2 REVIEW

SHADOW DIAGRAMS - WINTER 9AM



ALTERATIONS AND ADDITIONS

205 RIVERVIEW ROAD AVALON BEACH

1824 SK17 B

Scale 1:400 @ A3
JANUARY 2019

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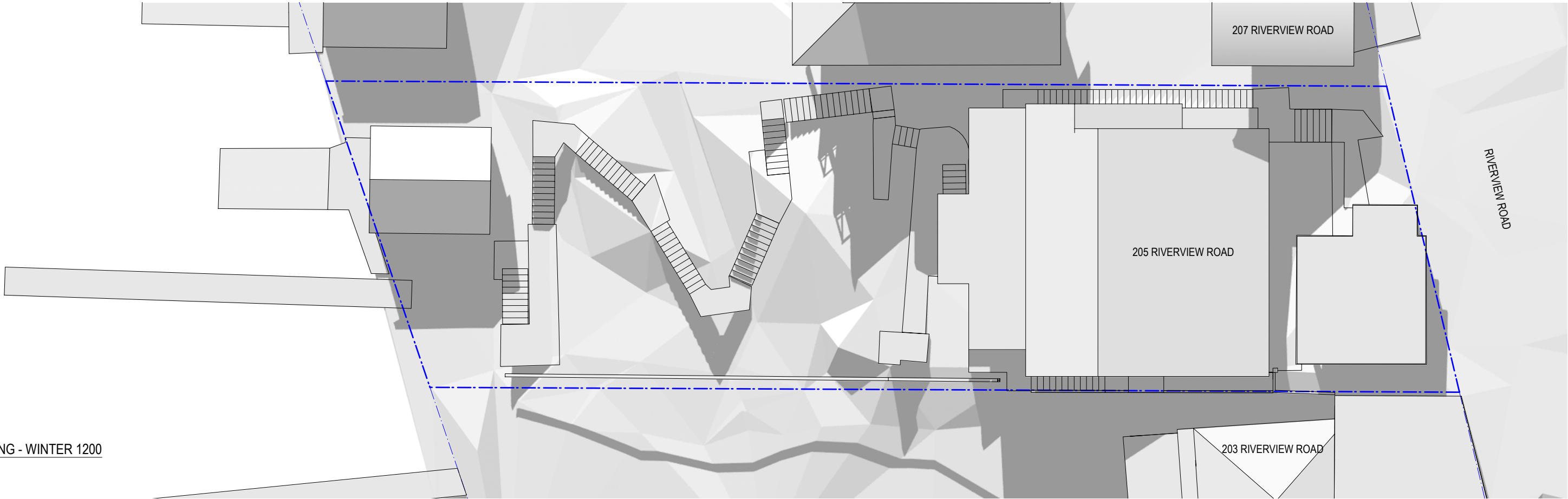
Tue, 7 Jul 2020

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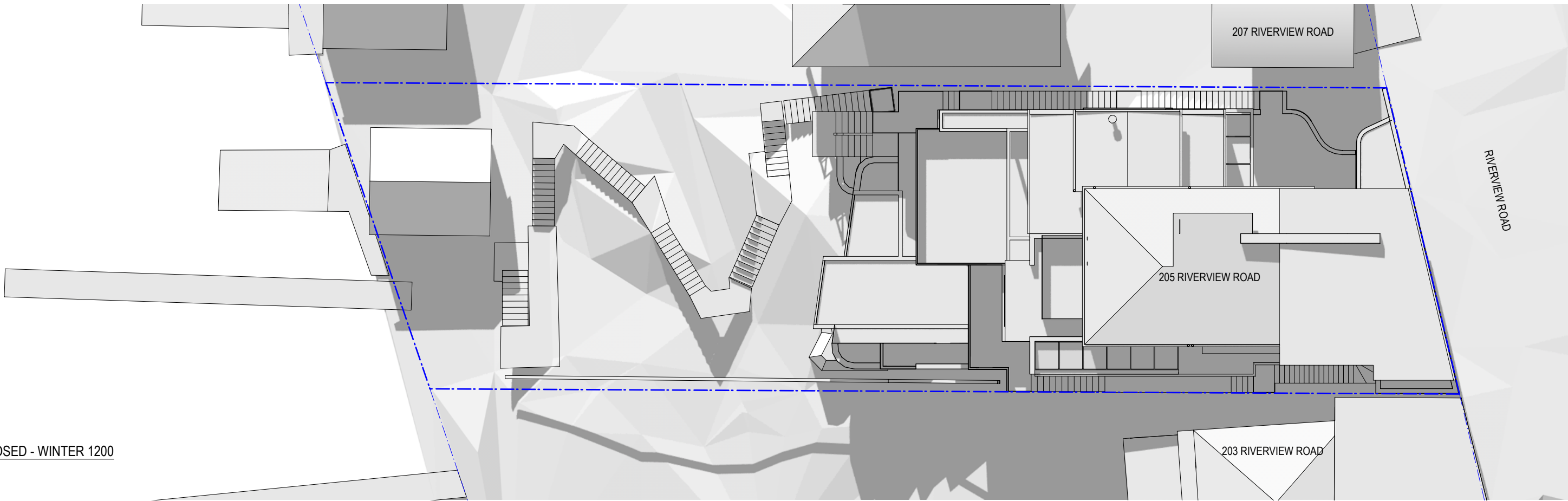
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1824 SK Shadows & Sketch Drawings.vwx

1 EXISTING - WINTER 1200

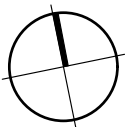


2 PROPOSED - WINTER 1200



FOR SECTION 8.2 REVIEW

SHADOW DIAGRAMS - WINTER 12PM



ALTERATIONS AND ADDITIONS

205 RIVERVIEW ROAD AVALON BEACH

1824 SK18 B

Scale 1:400 @ A3
JANUARY 2019

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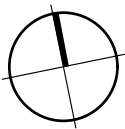
Tue, 7 Jul 2020

1 EXISTING - WINTER 1500

2 PROPOSED - WINTER 1500

FOR SECTION 8.2 REVIEW

SHADOW DIAGRAMS - WINTER 3PM



ALTERATIONS AND ADDITIONS

205 RIVERVIEW ROAD AVALON BEACH

1824 SK19 B

Scale 1:400 @ A3
JANUARY 2019

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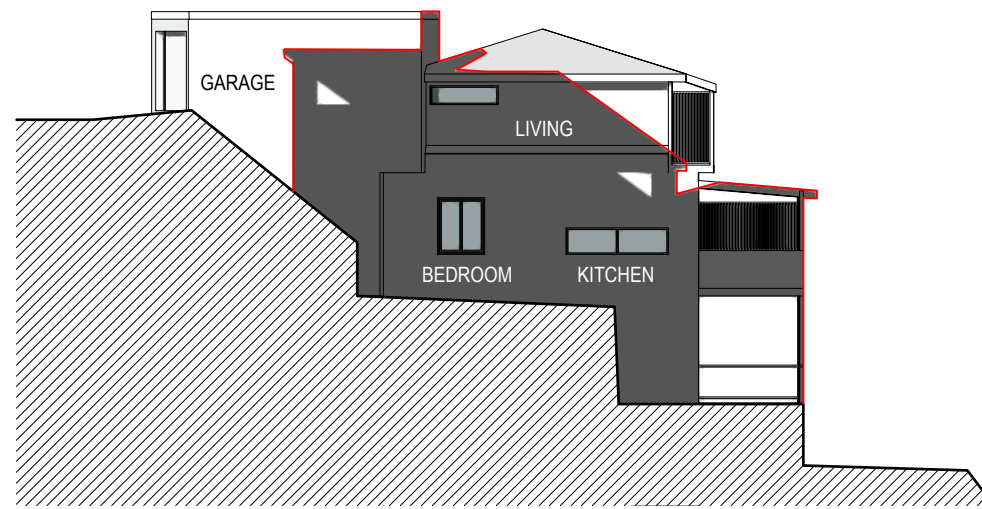
DESIGN PRACTICE

Tue, 7 Jul 2020

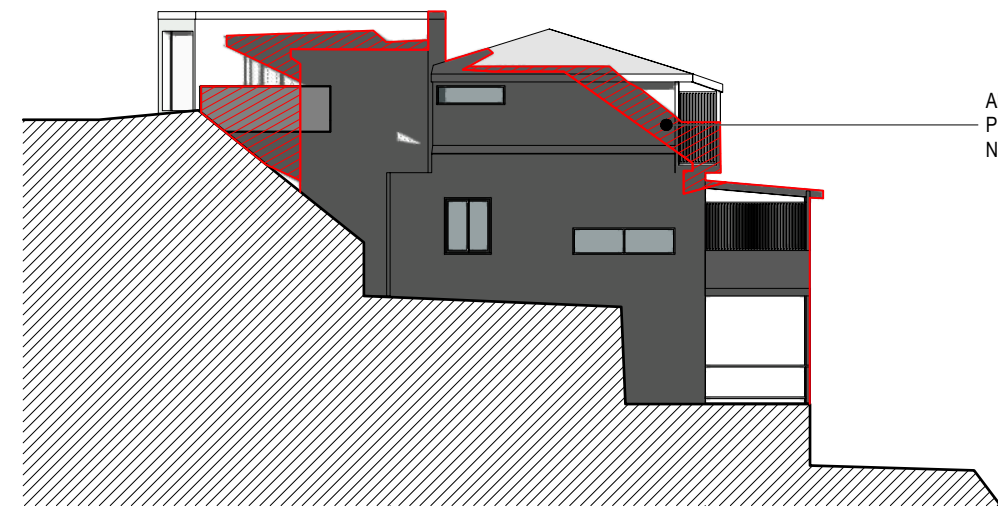
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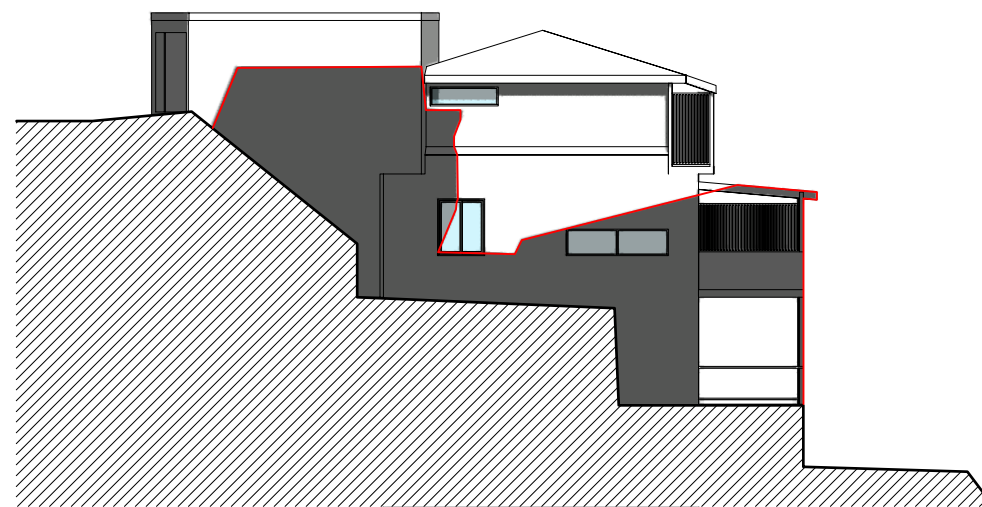
1824 SK Shadows & Sketch Drawings.vwx



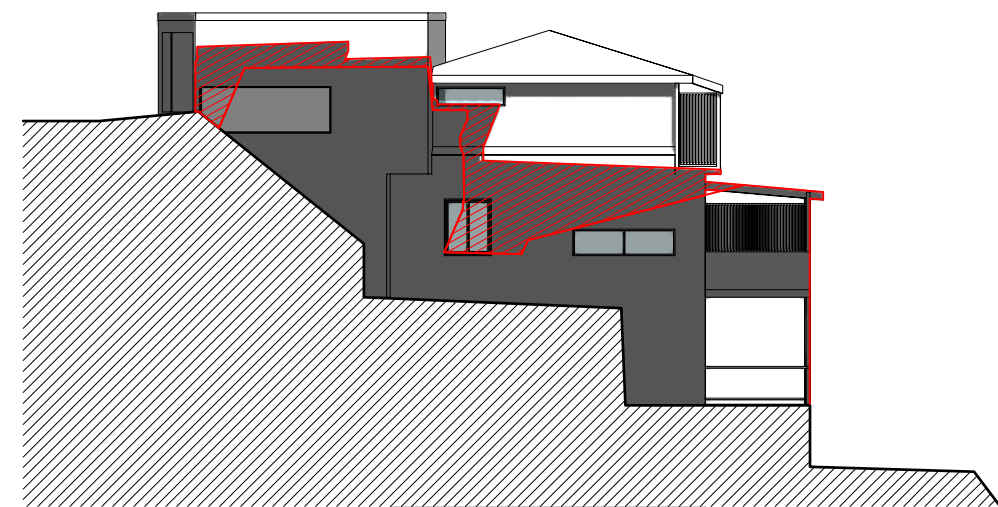
1 EXISTING - JUNE 21 - 9AM
No. 203 RIVERVIEW ROAD



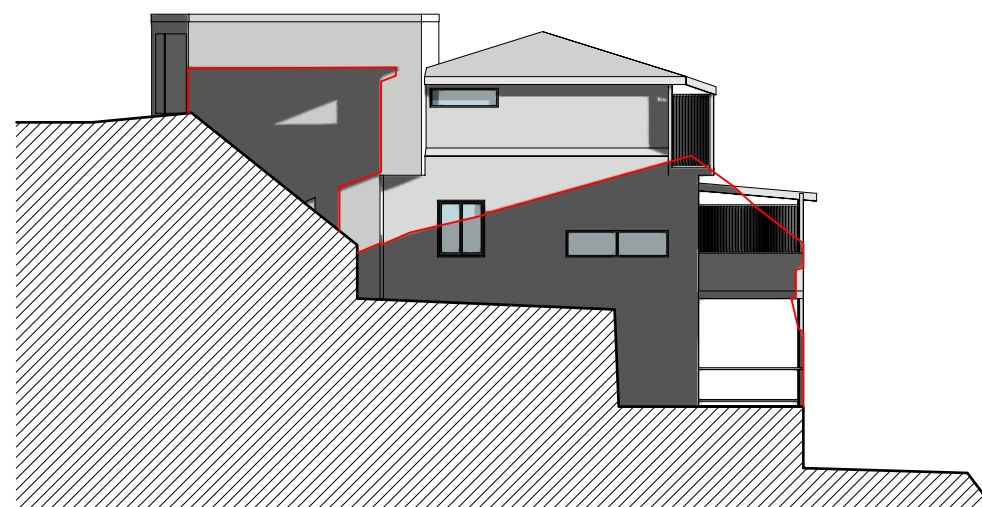
2 PROPOSED - JUNE 21 - 9AM
No. 203 RIVERVIEW ROAD



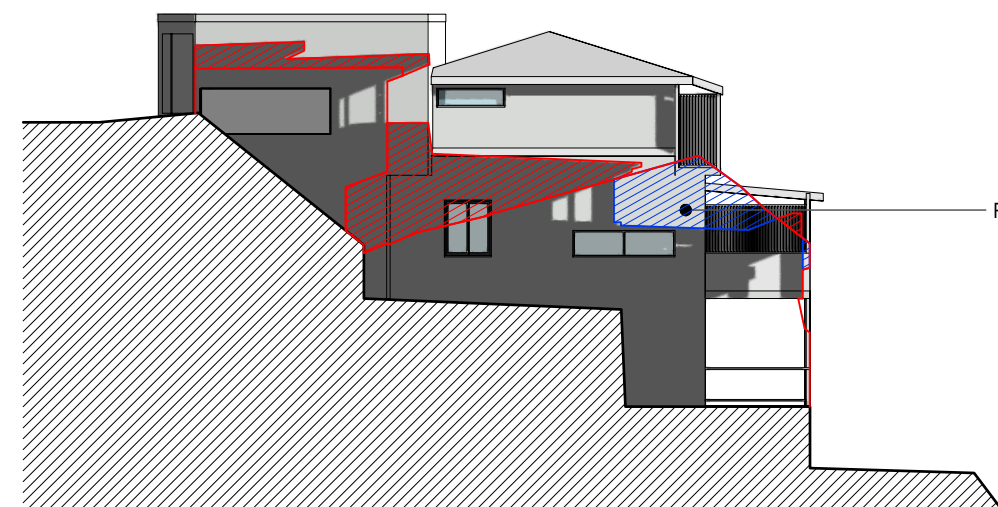
3 EXISTING - JUNE 21 - 12PM
No. 203 RIVERVIEW ROAD



4 PROPOSED - JUNE 21 - 12PM
No. 203 RIVERVIEW ROAD



5 EXISTING - JUNE 21 - 3PM
No. 203 RIVERVIEW ROAD



6 PROPOSED - JUNE 21 - 3PM
No. 203 RIVERVIEW ROAD

FOR SECTION 8.2 REVIEW

SHADOW ELEVATIONS - 203 RIVERVIEW ROAD WINTER

ALTERATIONS AND ADDITIONS

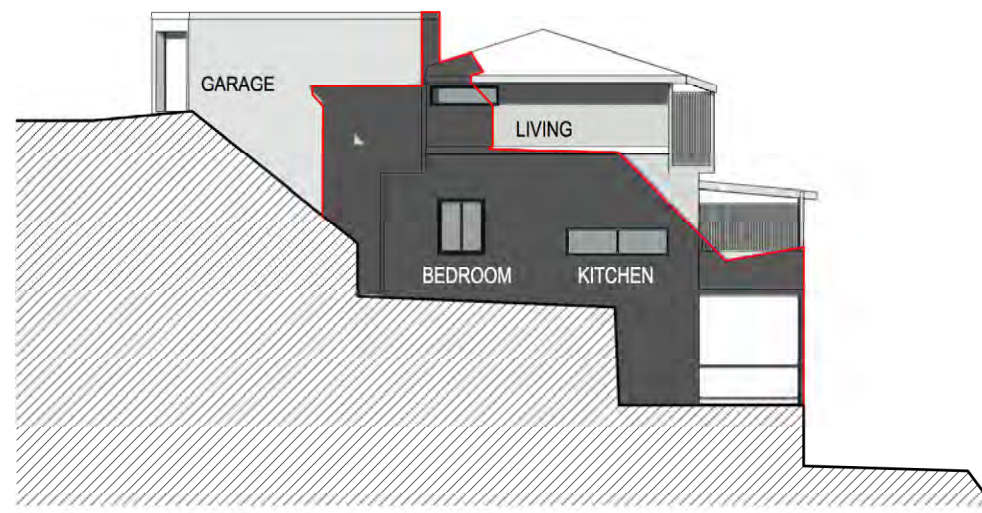
205 RIVERVIEW ROAD AVALON BEACH

1824 SK20 C

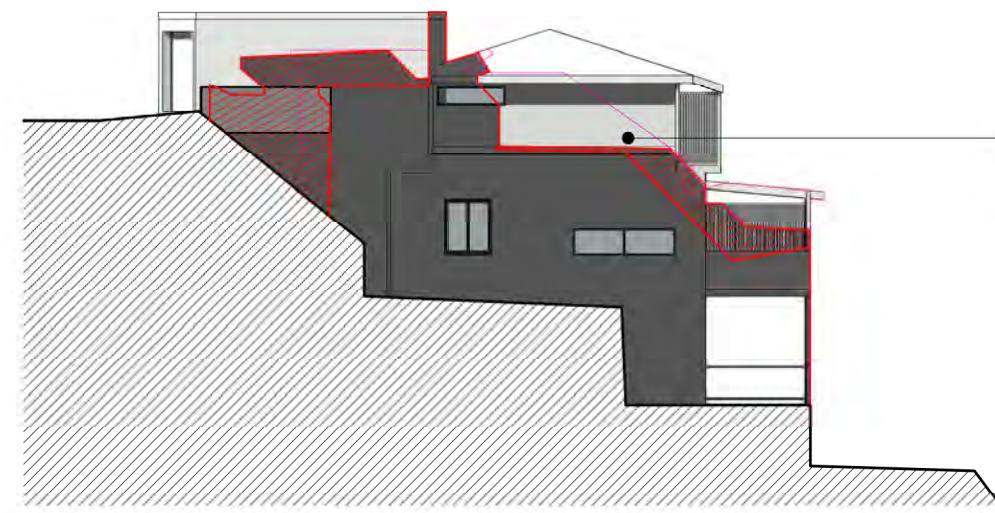
Scale 1:200 @ A3
JANUARY 2019

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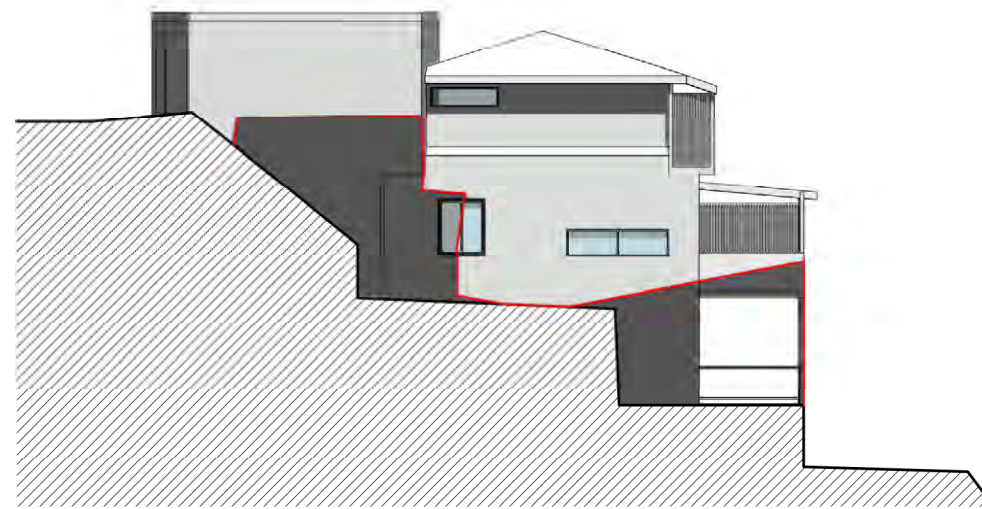
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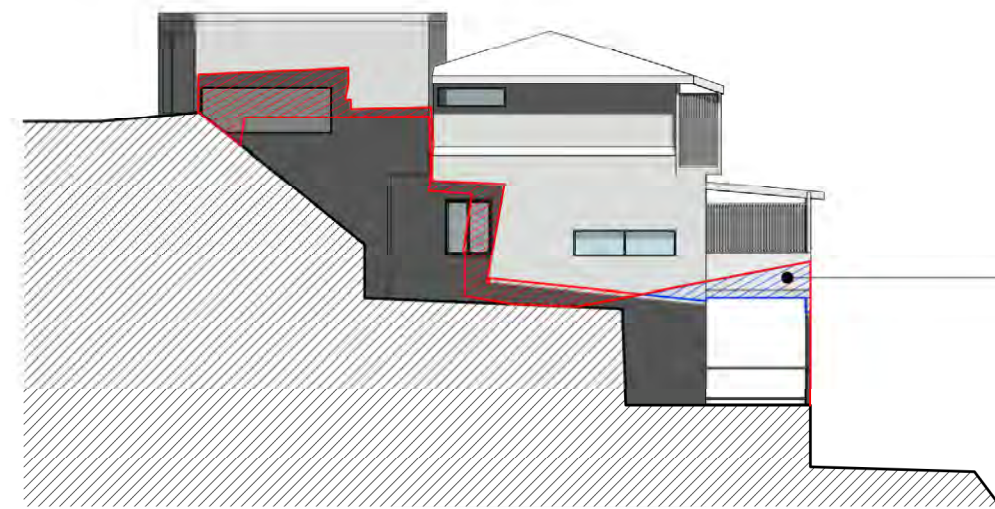
1 EXISTING - SEPTEMBER 21 - 9AM
No. 203 RIVERVIEW ROAD



2 PROPOSED - SEPTEMBER 21 - 9AM
No. 203 RIVERVIEW ROAD



3 EXISTING - SEPTEMBER 21 - 12PM
No. 203 RIVERVIEW ROAD



4 PROPOSED - SEPTEMBER 21 - 12PM
No. 203 RIVERVIEW ROAD



5 EXISTING - SEPTEMBER 21 - 3PM
No. 203 RIVERVIEW ROAD



6 PROPOSED - SEPTEMBER 21 - 3PM
No. 203 RIVERVIEW ROAD

FOR SECTION 8.2 REVIEW

SHADOW ELEVATIONS - 203 RIVERVIEW ROAD EQUINOX

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ALTERATIONS AND ADDITIONS

205 RIVERVIEW ROAD AVALON BEACH

1824 SK33 B

Scale 1:200 @ A3
NOVEMBER 2019

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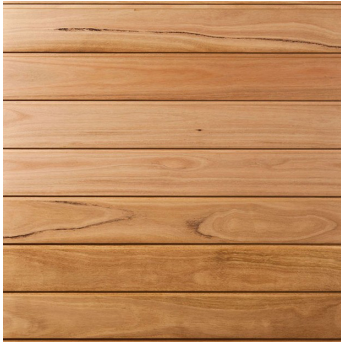
SANDSTONE CLADDING
SSC



RENDERED MASONRY
COLOUR : MID GREY 1
EP2



PAINTED BRICKWORK
COLOUR : LIGHT GREY
BRK1



TIMBER CLADDING - NATURAL
FINISH
TC1



TIMBER CLADDING - PAINTED
COLOUR: GREY
TC2



METAL ROOF SHEETING
GUTTERS & DOWNPIPES TO
MATCH
MR1



ALUMINIUM FRAMED
WINDOWS/DOORS
GL1

FOR SECTION 8.2 REVIEW

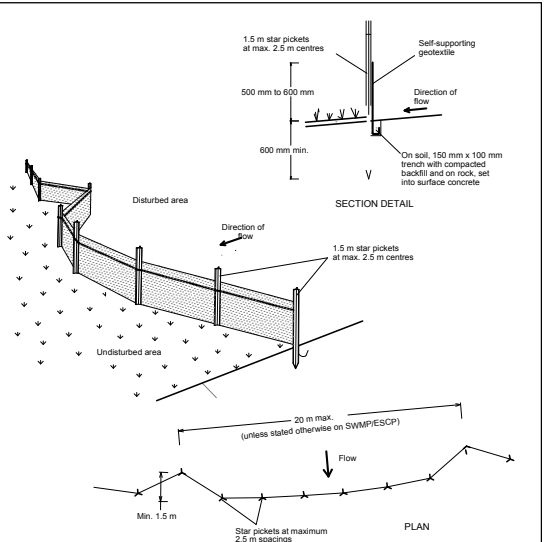
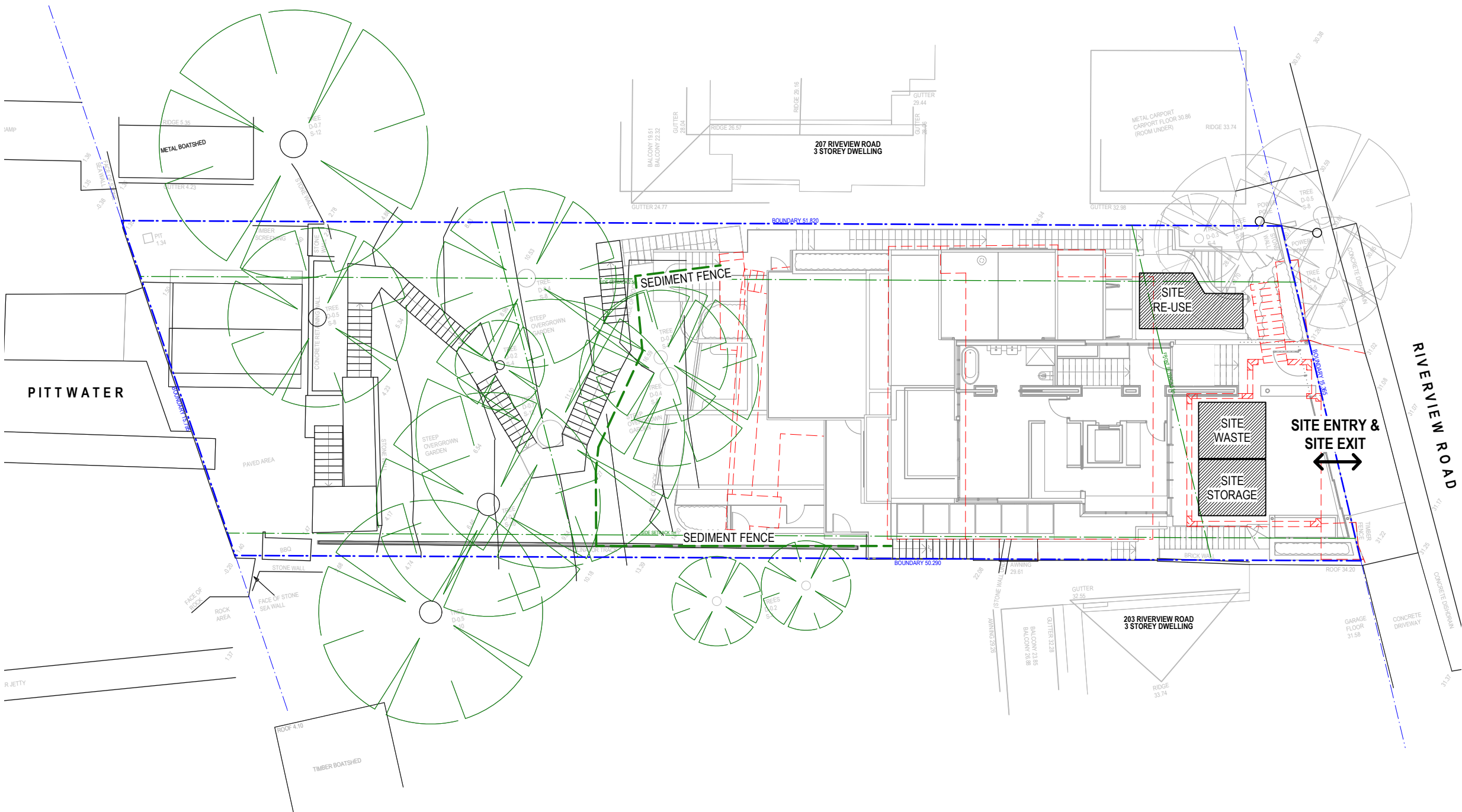
EXTERNAL FINISHES SCHEDULE

ALTERATIONS AND ADDITIONS

205 RIVERVIEW ROAD AVALON BEACH

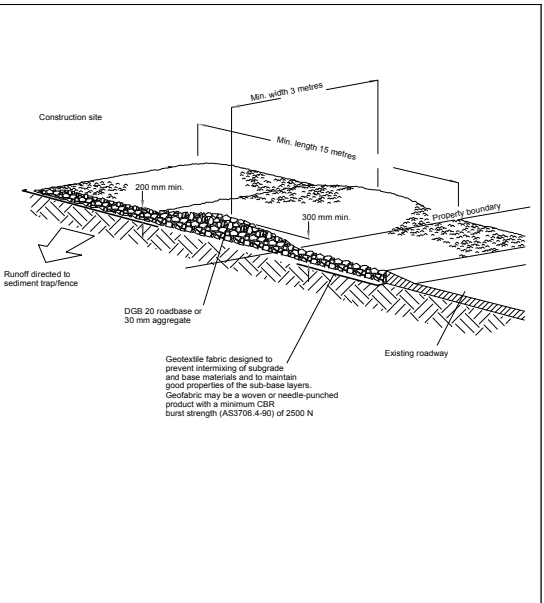
1824 SK21 B

Scale 1:100 @ A3
JANUARY 2019



- Construction Notes**
- Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
 - Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
 - Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
 - Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
 - Join sections of fabric at a support post with a 150-mm overlap.
 - Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE SD 6-8



- Construction Notes**
- Strip the topsoil, level the site and compact the subgrade.
 - Cover the area with needle-punched geotextile.
 - Construct a 200 mm thick pad over the geotextile using road base or 30 mm aggregate.
 - Ensure the structure is at least 15 metres long or to building alignment and at least 3 metres wide.
 - Where a sediment fence joins onto the stabilised access, construct a hump in the stabilised access to divert water to the sediment fence

STABILISED SITE ACCESS SD 6-14

FOR SECTION 8.2 REVIEW

SEDIMENT AND EROSION CONTROL PLAN

ALTERATIONS AND ADDITIONS

1824 SK22 B

205 RIVERVIEW ROAD AVALON BEACH

1:200 @ A3
JANUARY 2019



1 EXISTING STREETFRONT



2 PROPOSED STREETFRONT

FOR SECTION 8.2 REVIEW

STREET VIEW ANALYSIS - LOOKING NORTH

ALTERATIONS AND ADDITIONS

1824 SK23 B

205 RIVERVIEW ROAD AVALON BEACH



1 EXISTING STREETFRONT



2 PROPOSED STREETFRONT

FOR SECTION 8.2 REVIEW

STREET VIEW ANALYSIS - LOOKING SOUTH

ALTERATIONS AND ADDITIONS

1824 SK24 B

205 RIVERVIEW ROAD AVALON BEACH



FOR SECTION 8.2 REVIEW

WATERFRONT - EXISTING

ALTERATIONS AND ADDITIONS

1824 SK25 B

205 RIVERVIEW ROAD AVALON BEACH

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JULY 2020
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207 RIVERVIEW ROAD

205 RIVERVIEW ROAD

203 RIVERVIEW ROAD

GROUND FLOOR

GROUND FLOOR DECK

LOWER GROUND FLOOR

POOL LEVEL

FOR SECTION 8.2 REVIEW

WATERFRONT - PROPOSED

ALTERATIONS AND ADDITIONS

1824 SK26 B

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FOR SECTION 8.2 REVIEW

PERSPECTIVE - STREET FRONT 1

ALTERATIONS AND ADDITIONS

1824 SK27 C

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FOR SECTION 8.2 REVIEW

PERSPECTIVE - STREET FRONT 2

ALTERATIONS AND ADDITIONS

1824 SK28 C

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FOR SECTION 8.2 REVIEW

NOTE: SIDE FENCES, LANDSCAPING, TREES, NEIGHBOURING BUILDINGS AND OTHER TYPES OF SCREENING NOT SHOWN FOR CLARITY

PERSPECTIVE - AERIAL 1

ALTERATIONS AND ADDITIONS

1824 SK29 C

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FOR SECTION 8.2 REVIEW

PERSPECTIVE - AERIAL 2

ALTERATIONS AND ADDITIONS

1824 SK30 C

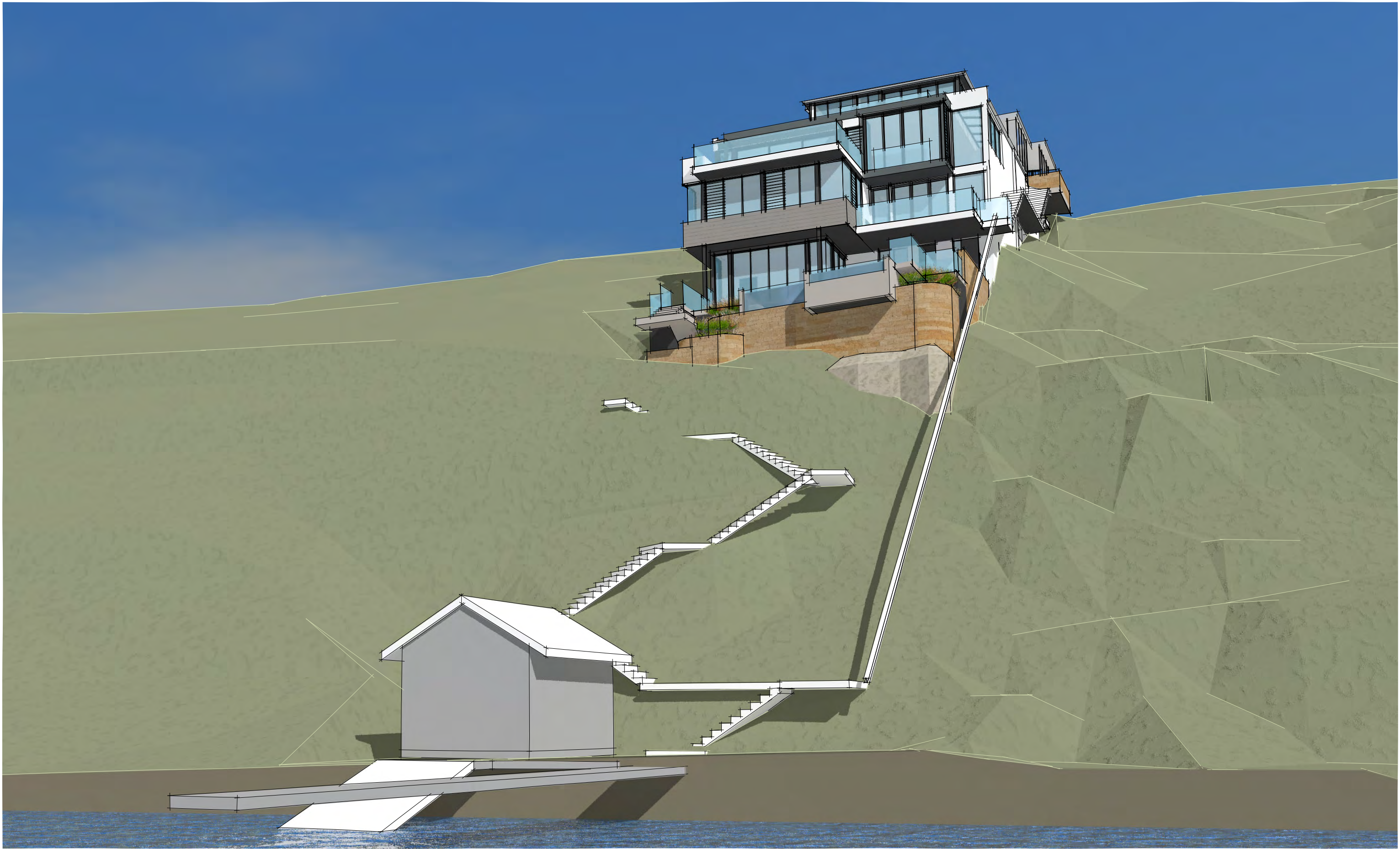
205 RIVERVIEW ROAD AVALON BEACH

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FOR SECTION 8.2 REVIEW

PERSPECTIVE - WATERFRONT

ALTERATIONS AND ADDITIONS

1824 SK32 C

205 RIVERVIEW ROAD AVALON BEACH

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JULY 2020
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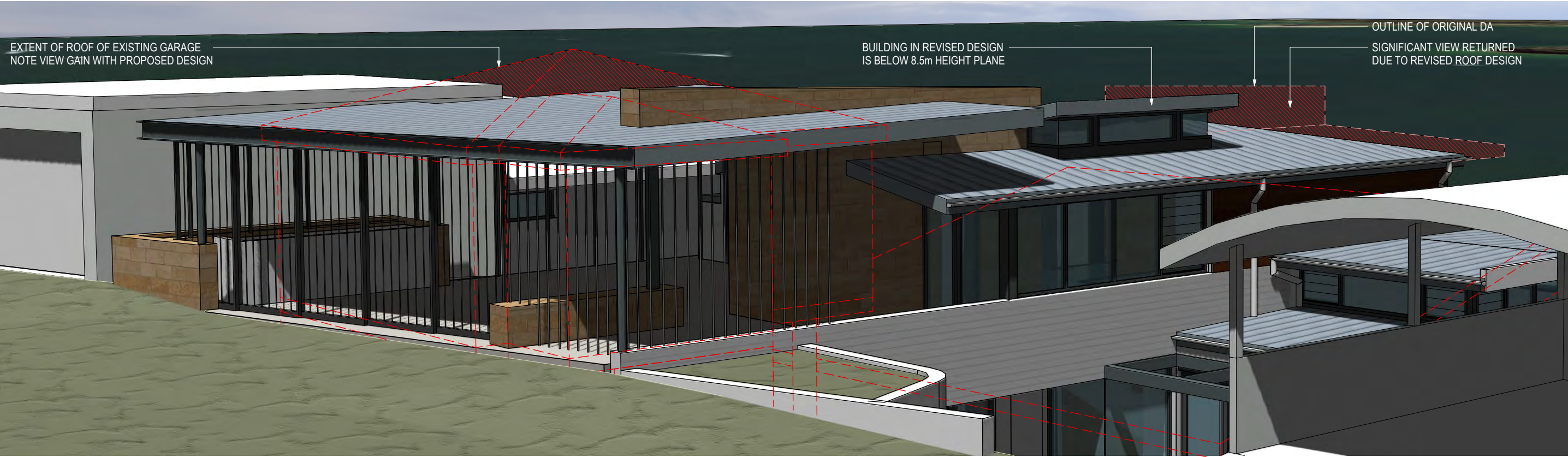
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Tuesday, 7 July 2020



1 VIEW FROM VERANDAH - 188 RIVERVIEW ROAD
RL 34.05 - EYE HEIGHT RL35.55 (1.5m)



2 PHOTOGRAPH - VIEW FROM 188 RIVERVIEW ROAD

FOR SECTION 8.2 REVIEW

VIEW ANALYSIS - REVISED DESIGN

ALTERATIONS AND ADDITIONS

1824 SK40 B

205 RIVERVIEW ROAD AVALON BEACH



1 EXISTING - FROM STREET LEVEL

2 PROPOSED - FROM STREET LEVEL

FOR SECTION 8.2 REVIEW

VIEW ANALYSIS - FROM STREET LEVEL

ALTERATIONS AND ADDITIONS

1824 SK41 A

205 RIVERVIEW ROAD AVALON BEACH



1 EXISTING - FROM STREET LEVEL

2 PROPOSED - FROM STREET LEVEL

FOR SECTION 8.2 REVIEW

VIEW ANALYSIS - FROM STREET LEVEL

ALTERATIONS AND ADDITIONS

1824 SK42 A

205 RIVERVIEW ROAD AVALON BEACH



VIEW LOSS IS OFFSET BY VIEW GAIN

HEAVY BRICK PILLARS AND BALUSTRADES REMOVED
TO OPEN VIEWS TO PITTWATER

1 EXISTING - THROUGH CARPORT

2 PROPOSED - THROUGH CARPORT

FOR SECTION 8.2 REVIEW
VIEW ANALYSIS - THROUGH CARPORT

ALTERATIONS AND ADDITIONS

1824 SK43 A

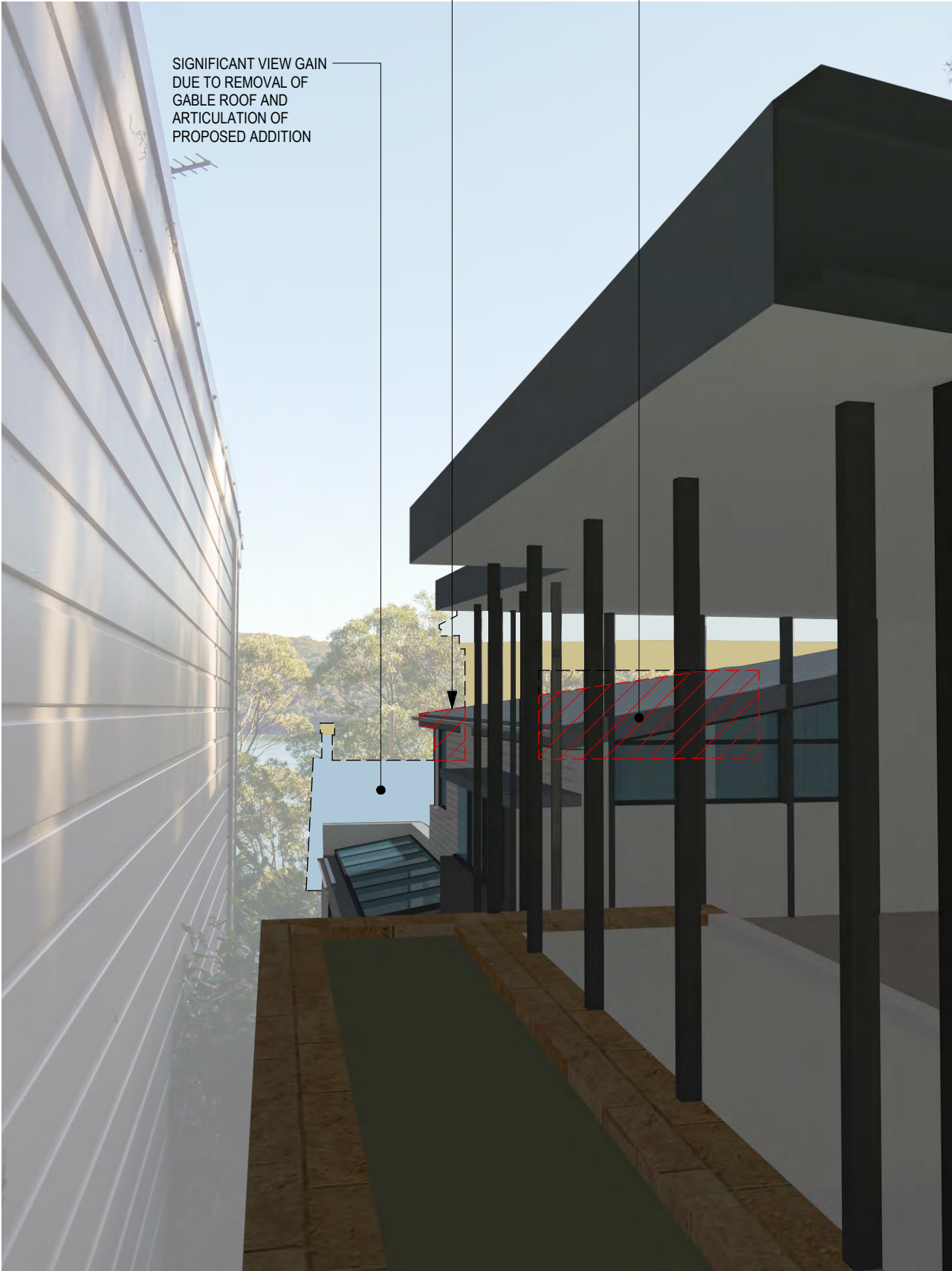
205 RIVERVIEW ROAD AVALON BEACH

GARAGE ON STREET BOUNDARY AT 203 RIVERVIEW ROAD
LIMITS ANGLE OF VIEW TO PITTWATER



1 EXISTING - DOWN SIDE BOUNDARY

FIRST FLOOR ADDITION DOES NOT CONTRIBUTE
TO BULK AND SCALE FROM STREET LEVEL



2 PROPOSED - DOWN SIDE BOUNDARY

FOR SECTION 8.2 REVIEW

ANALYSIS - VIEWS & BULK AND SCALE

ALTERATIONS AND ADDITIONS

1824 SK44 A

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1 EXISTING - FROM STREET LEVEL

2 PROPOSED - FROM STREET LEVEL

FOR SECTION 8.2 REVIEW

VIEW ANALYSIS - FROM STREET LEVEL

ALTERATIONS AND ADDITIONS

1824 SK45 A

205 RIVERVIEW ROAD AVALON BEACH