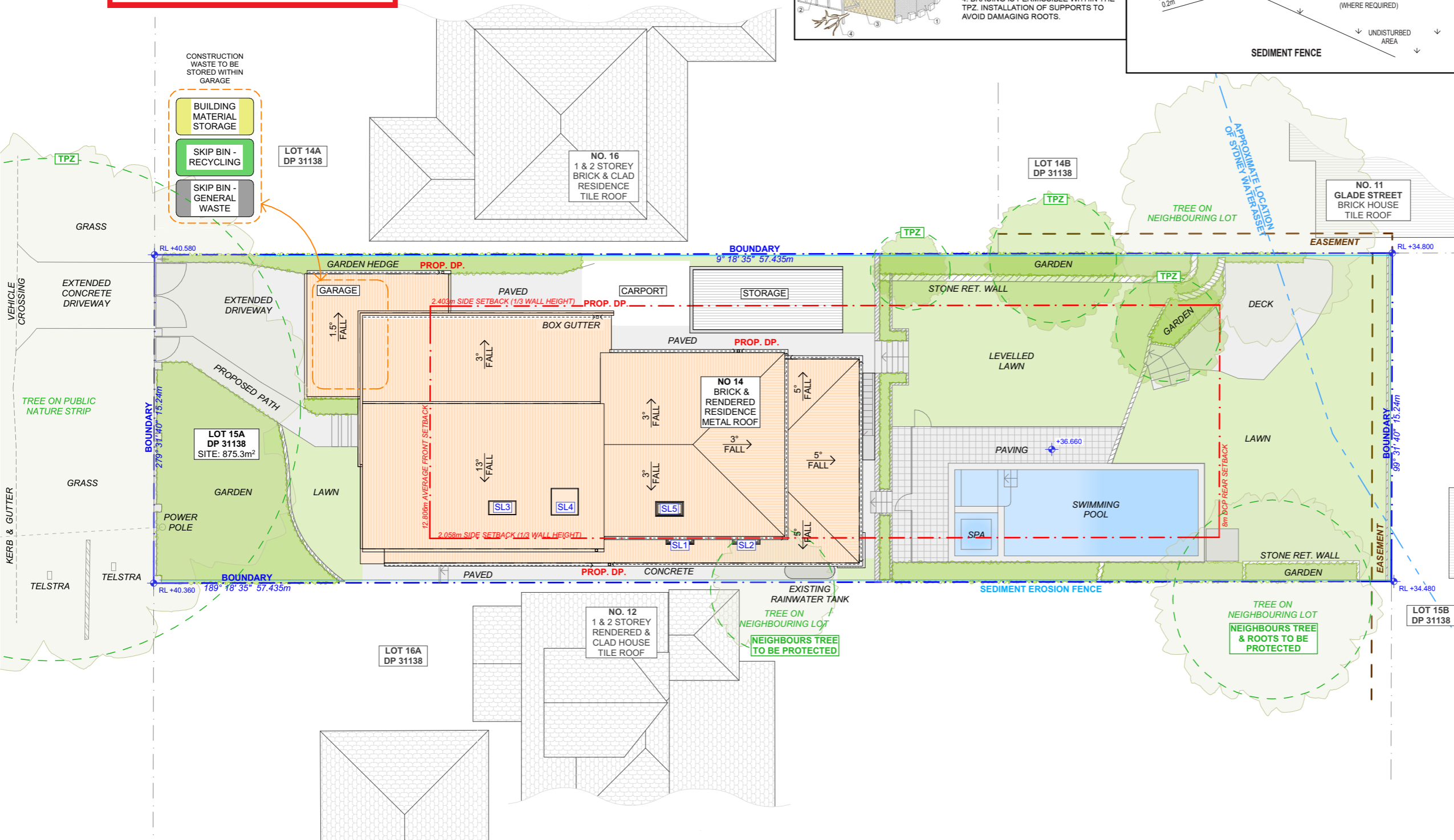


**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2020/1173



NOTES REGARDING BOUNDARY
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

1

SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

1:200








ACTION PLANS

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w: www.actionplans.com.au

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B	18.03.2021	DA: REV A	AM	

LEGEND

	SOFT LANDSCAPE
	HARD LANDSCAPE
	PROPOSED
	EXISTING
	DEMOLISHED

EX.	EXISTING
DP.	DOWNPIPE
PROP.	PROPOSED
DP.	DOWNPIPE

CLIENT

KATE & JAMES MARTIN

PROJECT ADDRESS

14 ERNEST STREET,
BALGOWLAH HEIGHTS
NSW 2093

DRAWING NO.

DA02

DATE

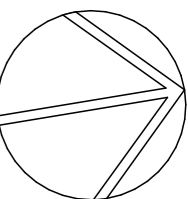
Thursday, 18 March
2021

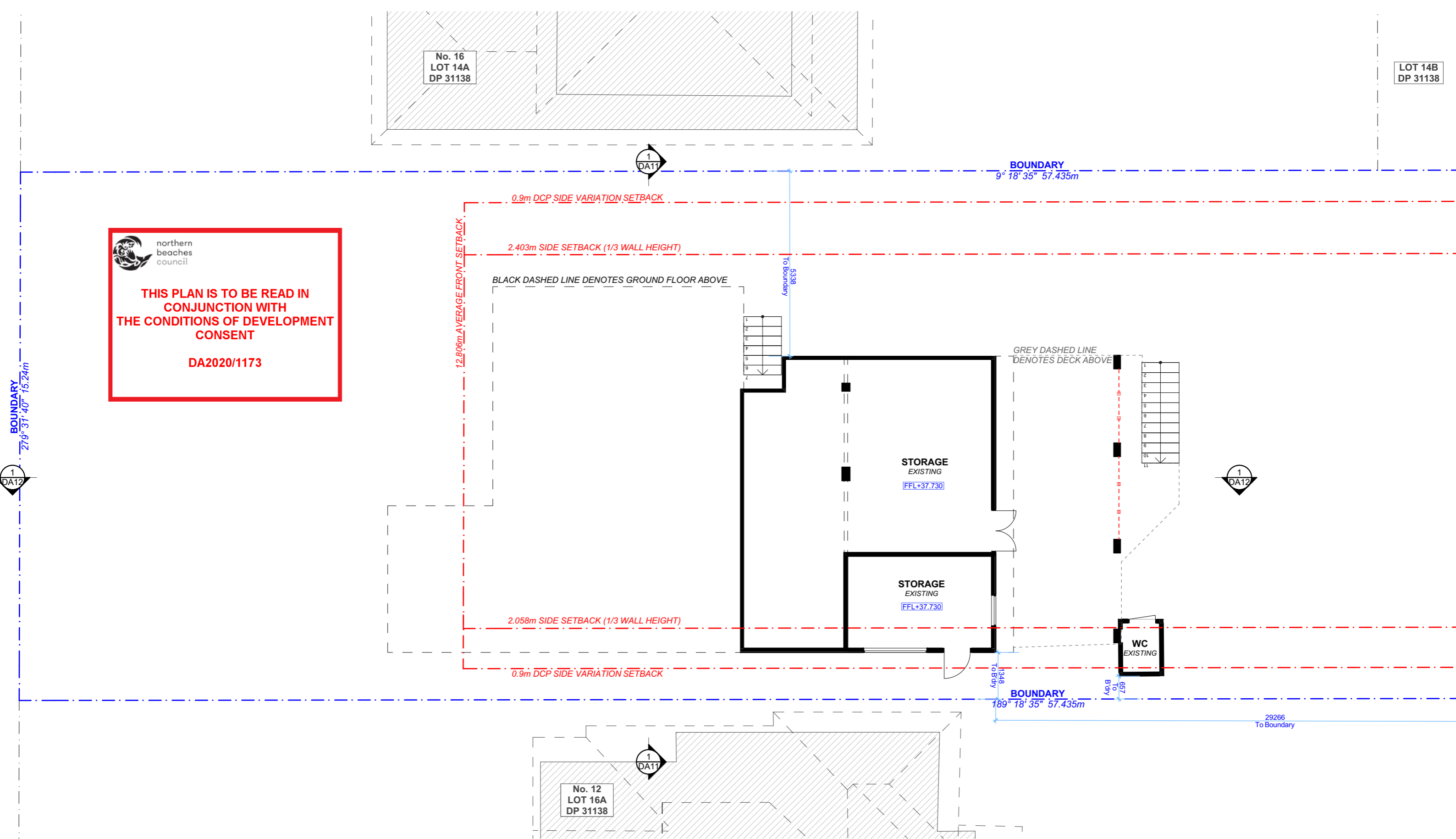
DRAWING NAME

SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

SCALE

1:200 @A3





1

EXISTING LOWER GROUND FLOOR PLAN

1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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LEGEND

EXISTING

PROPOSED

DEMOLISHED

CLIENT

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14 ERNEST STREET,
BALGOWLAH HEIGHTS
NSW 2093

DRAWING NO.

DA03

DATE

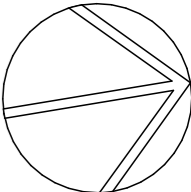
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2021

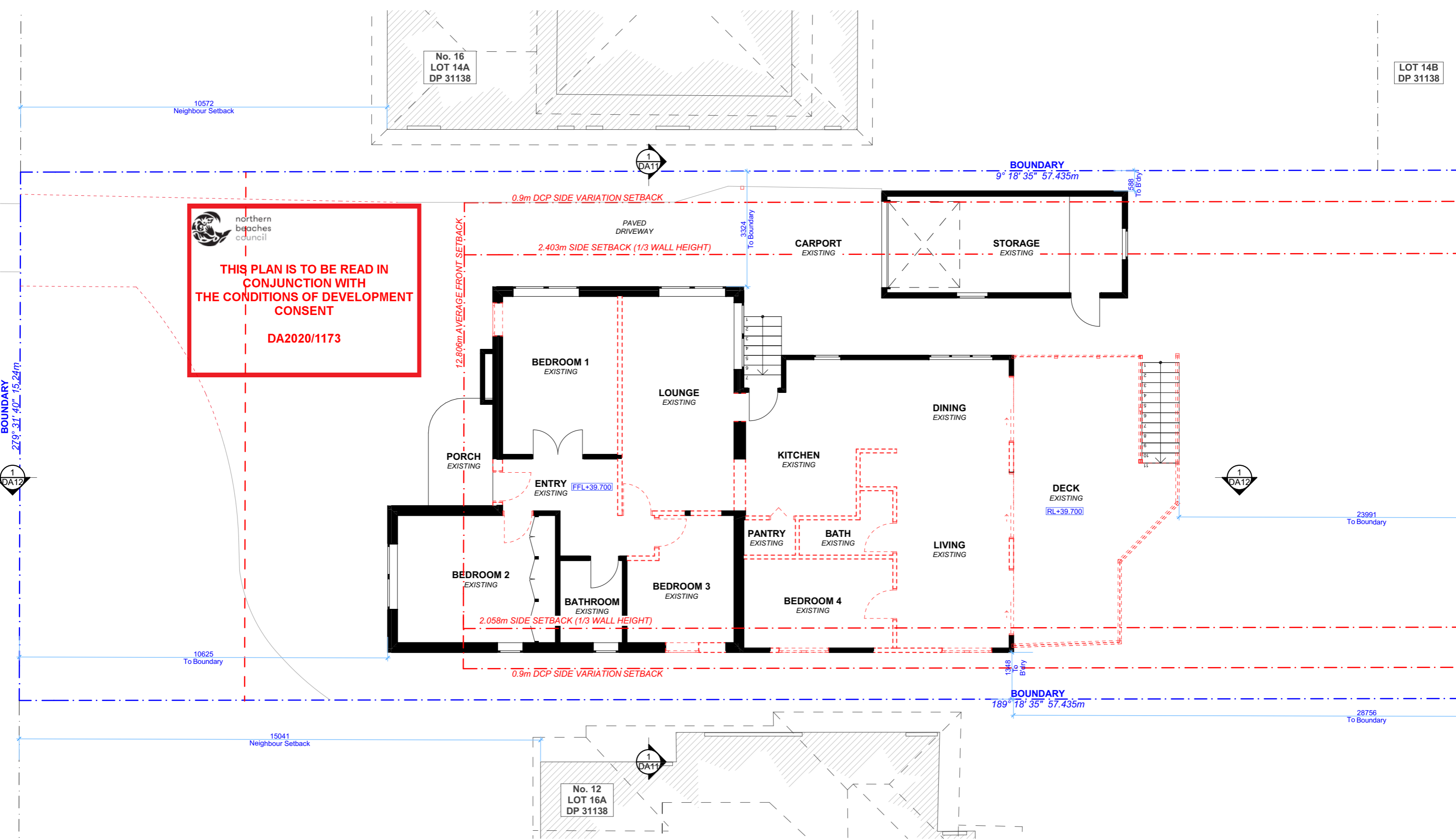
DRAWING NAME

EXISTING LOWER GROUND
FLOOR PLAN

SCALE

1:100 @A3





1

EXISTING GROUND FLOOR PLAN

1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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LEGEND

EXISTING

PROPOSED

DEMOLISHED

CLIENT

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PROJECT ADDRESS

14 ERNEST STREET,
BALGOWLAH HEIGHTS
NSW 2093

DRAWING NO.

DA04

DATE

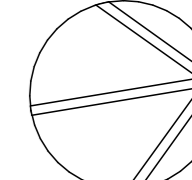
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2021

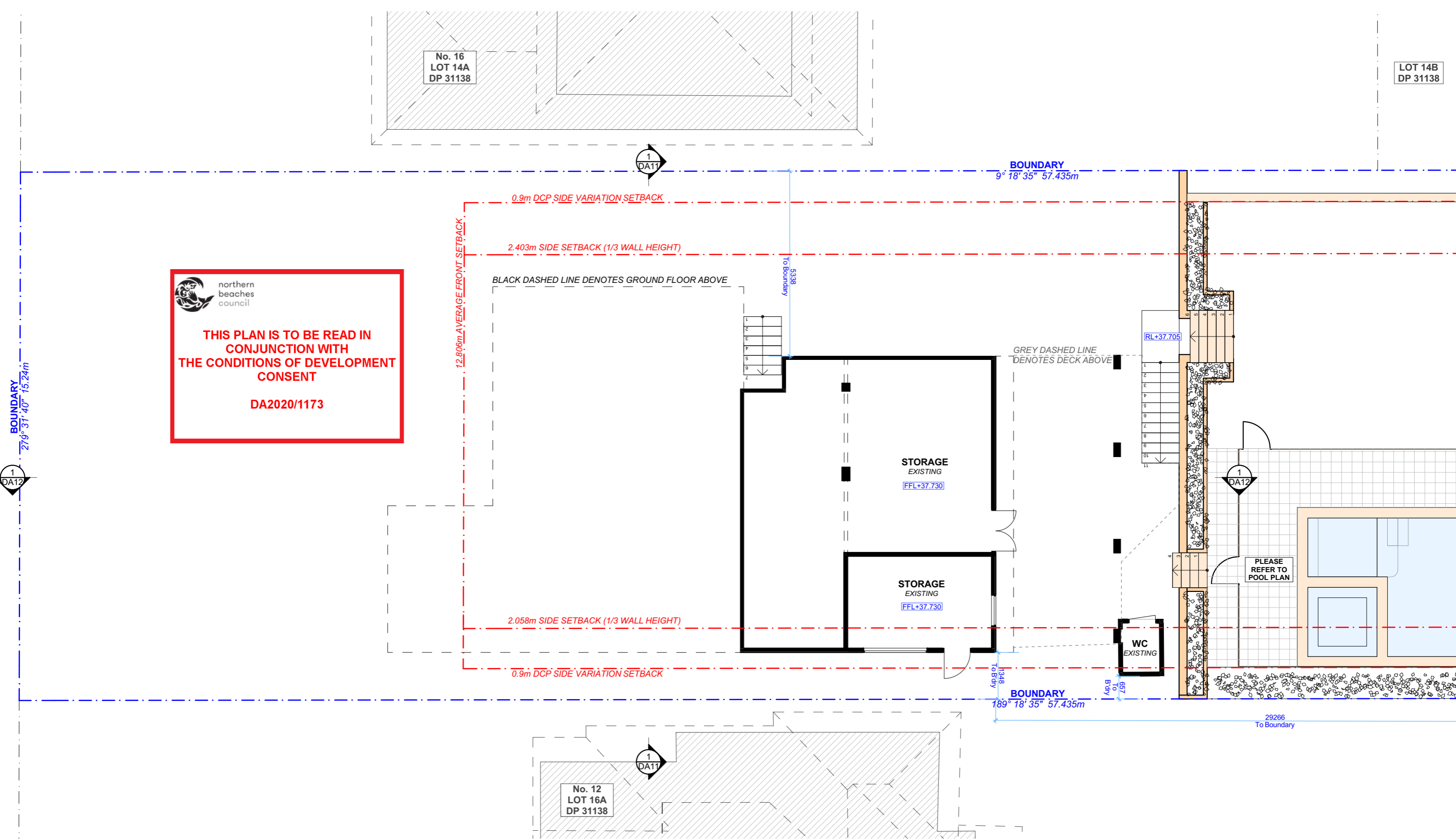
DRAWING NAME

EXISTING GROUND FLOOR
PLAN

SCALE

1:100 @A3





1

PROPOSED LOWER GROUND FLOOR PLAN

1:100

NOTE: SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF THE NCC



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CLIENT
KATE & JAMES MARTIN

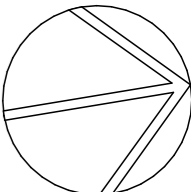
PROJECT ADDRESS
14 ERNEST STREET,
BALGOWLAH HEIGHTS
NSW 2093

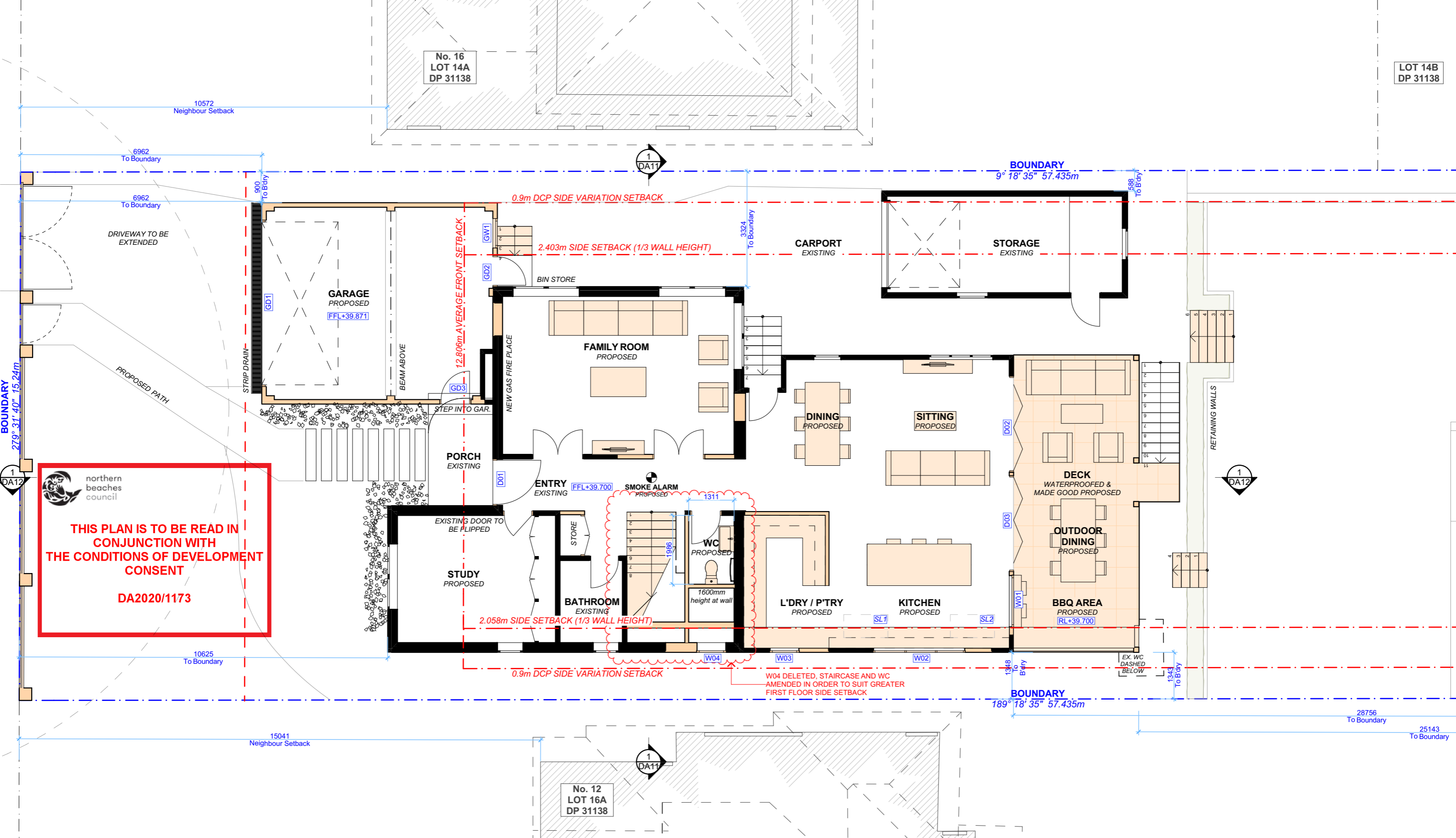
DRAWING NO.
DA05

DATE
Thursday, 18 March
2021

DRAWING NAME
PROPOSED LOWER GROUND
FLOOR PLAN

SCALE
1:100 @A3





1

PROPOSED GROUND FLOOR PLAN

1:100

NOTE: SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF THE NCC



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B	18.03.2021	DA: REV A	AM	

LEGEND

EXISTING

PROPOSED

DEMOLISHED

CLIENT

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PROJECT ADDRESS

14 ERNEST STREET,
BALGOWLAH HEIGHTS
NSW 2093

DRAWING NO.

DA06

DATE

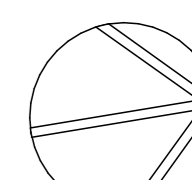
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2021

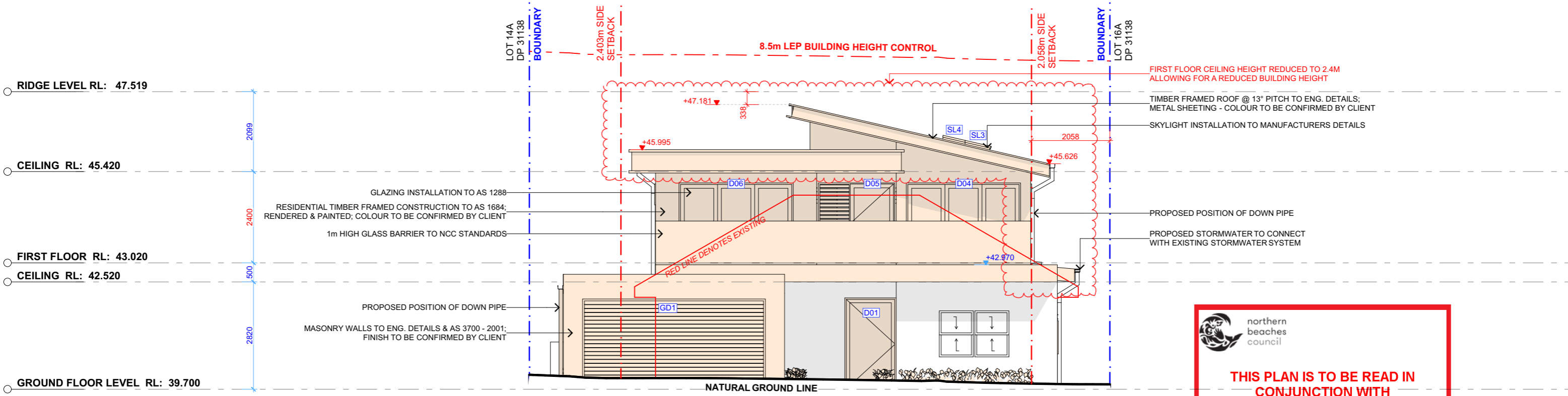
DRAWING NAME

PROPOSED GROUND FLOOR
PLAN

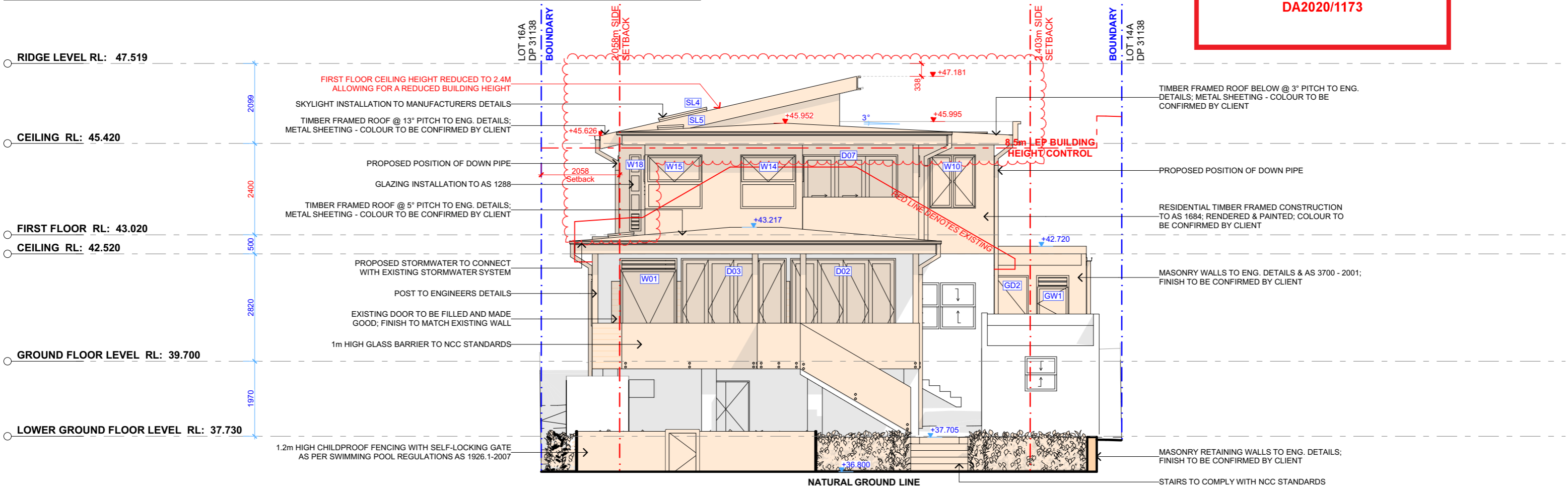
SCALE

1:100 @A3






1 SOUTH ELEVATION 1:100



2 NORTH ELEVATION 1:100





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LEGEND

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 PROPOSED

CLIENT

KATE & JAMES MARTIN

PROJECT ADDRESS

14 ERNEST STREET,
BALGOWLAH HEIGHTS
NSW 2093

DRAWING NO.

DA08

DATE

Thursday, 18 March
2021

DRAWING NAME

NORTH / SOUTH ELEVATION

SCALE

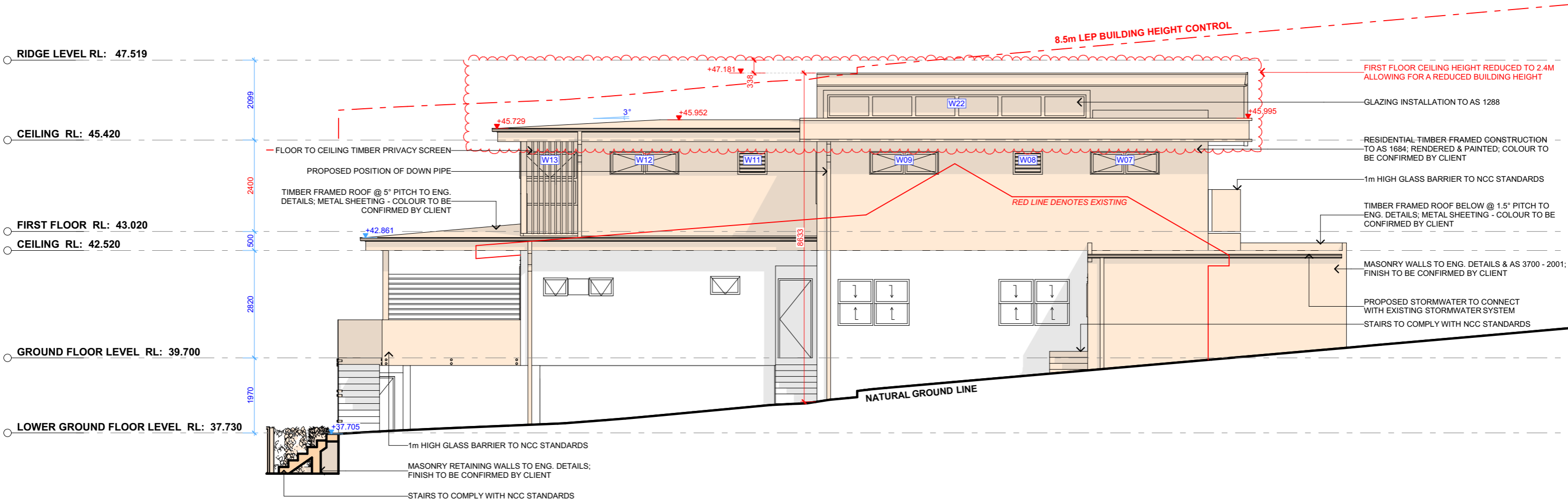
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northern
beaches
council

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DA2020/1173



1

WEST ELEVATION

1:100



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LEGEND

 EXISTING

 PROPOSED

CLIENT

KATE & JAMES MARTIN

PROJECT ADDRESS

14 ERNEST STREET,
BALGOWLAH HEIGHTS
NSW 2093

DRAWING NO.

DA09

DATE

Thursday, 18 March
2021

DRAWING NAME

WEST ELEVATION

SCALE

1:100 @A3



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DA2020/1173

ERNEST STREET
BOUNDARY

RIDGE LEVEL RL: 47.519

CEILING RL: 45.420

FIRST FLOOR RL: 43.020

CEILING RL: 42.520

GROUND FLOOR LEVEL RL: 39.700

LOWER GROUND FLOOR LEVEL RL: 37.730

TIMBER FRAMED ROOF @ 13° PITCH TO ENG. DETAILS;
METAL SHEETING - COLOUR TO BE CONFIRMED BY CLIENT

FIRST FLOOR CEILING HEIGHT REDUCED TO 2.4M
ALLOWING FOR A REDUCED BUILDING HEIGHT

SKYLIGHT INSTALLATION TO MANUFACTURERS DETAILS

PROPOSED STORMWATER TO CONNECT
WITH EXISTING STORMWATER SYSTEM

GLAZING INSTALLATION TO AS 1288

RESIDENTIAL TIMBER FRAMED CONSTRUCTION TO AS 1684;
RENDERED & PAINTED; COLOUR TO BE CONFIRMED BY CLIENT

1m HIGH GLASS BARRIER TO NCC STANDARDS

PROPOSED POSITION OF DOWN PIPE

EXISTING WINDOW TO BE FILLED AND MADE
GOOD; FINISH TO MATCH EXISTING WALL

NATURAL GROUND LINE

RED LINE DENOTES EXISTING

8.5m LEP BUILDING HEIGHT CONTROL

7273 WALL HEIGHT

8555 BUILDING HEIGHT

2.2m HIGH TIMBER PRIVACY SCREEN

1m HIGH BARRIER TO NCC STANDARDS

EXISTING WINDOW TO BE FILLED AND MADE
GOOD; FINISH TO MATCH EXISTING WALL

W01, W02, W03, W04, W05, W06, W07, W08, W09, W10, W11, W12, W13, W14, W15, W16, W17, W18, W19, W20, W21

SL1, SL2, SL3, SL4, SL5

2099, 2400, 500, 2820, 1970

42.970, 45.952, 47.181, 42.861

1 EAST ELEVATION 1:100

1

EAST ELEVATION

1:100



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B	18.03.2021	DA: REV A	AM	

LEGEND

EXISTING

PROPOSED

CLIENT

KATE & JAMES MARTIN

PROJECT ADDRESS

14 ERNEST STREET,
BALGOWLAH HEIGHTS
NSW 2093

DRAWING NO.

DA10

DATE

Thursday, 18 March
2021

DRAWING NAME

EAST ELEVATION

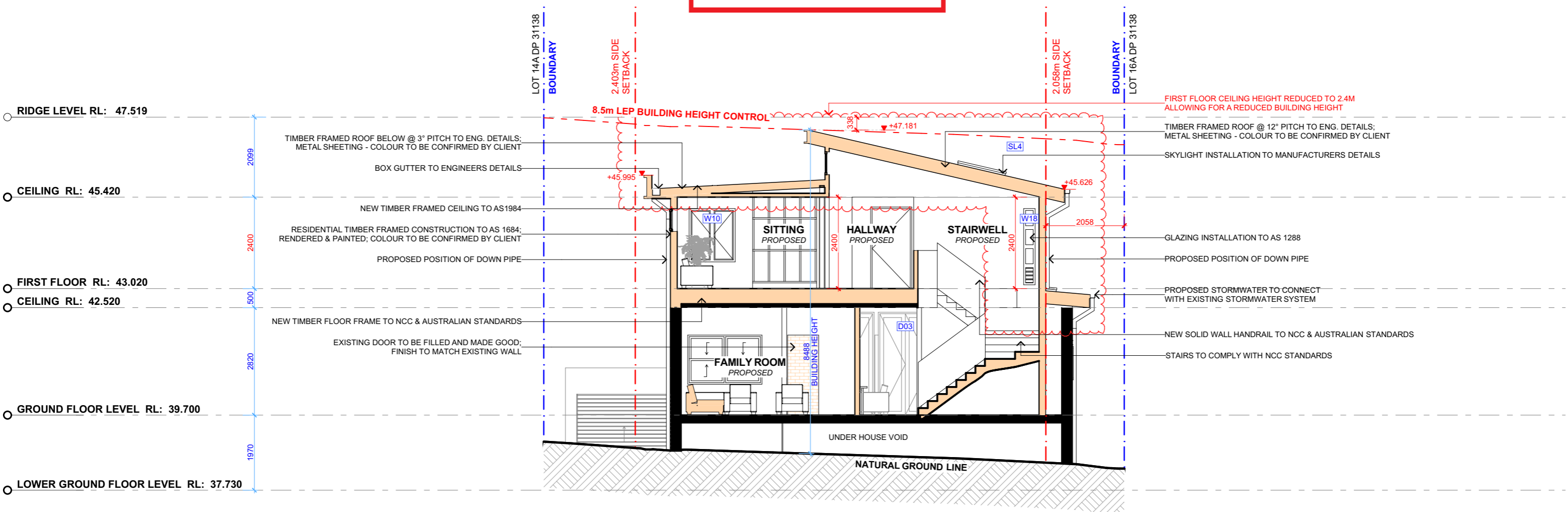
SCALE

1:100 @A3



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DA2020/1173



1

CROSS SECTION

1:100



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LEGEND

 EXISTING
 PROPOSED

CLIENT

KATE & JAMES MARTIN

PROJECT ADDRESS

14 ERNEST STREET,
BALGOWLAH HEIGHTS
NSW 2093

DRAWING NO.

DA11

DATE

Thursday, 18 March
2021

DRAWING NAME

CROSS SECTION

SCALE

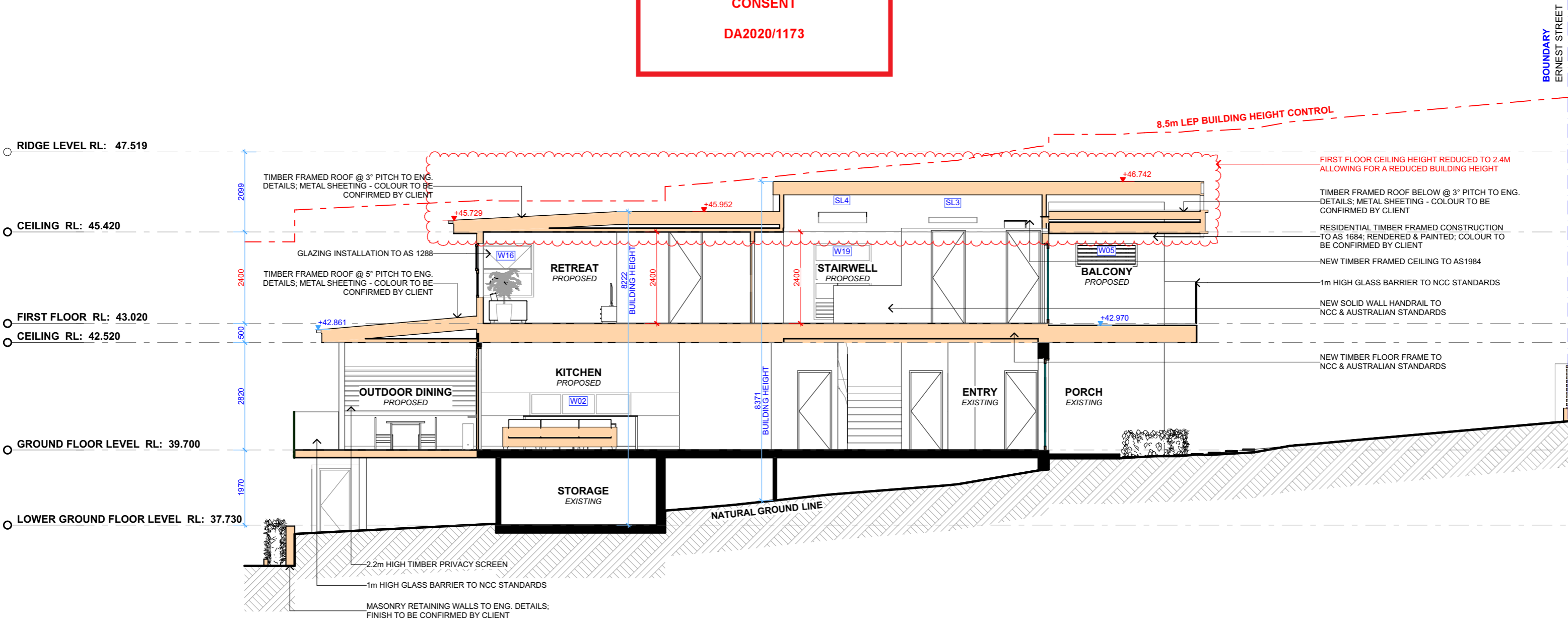
1:100 @A3



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DA2020/1173



1

LONG SECTION

1:100

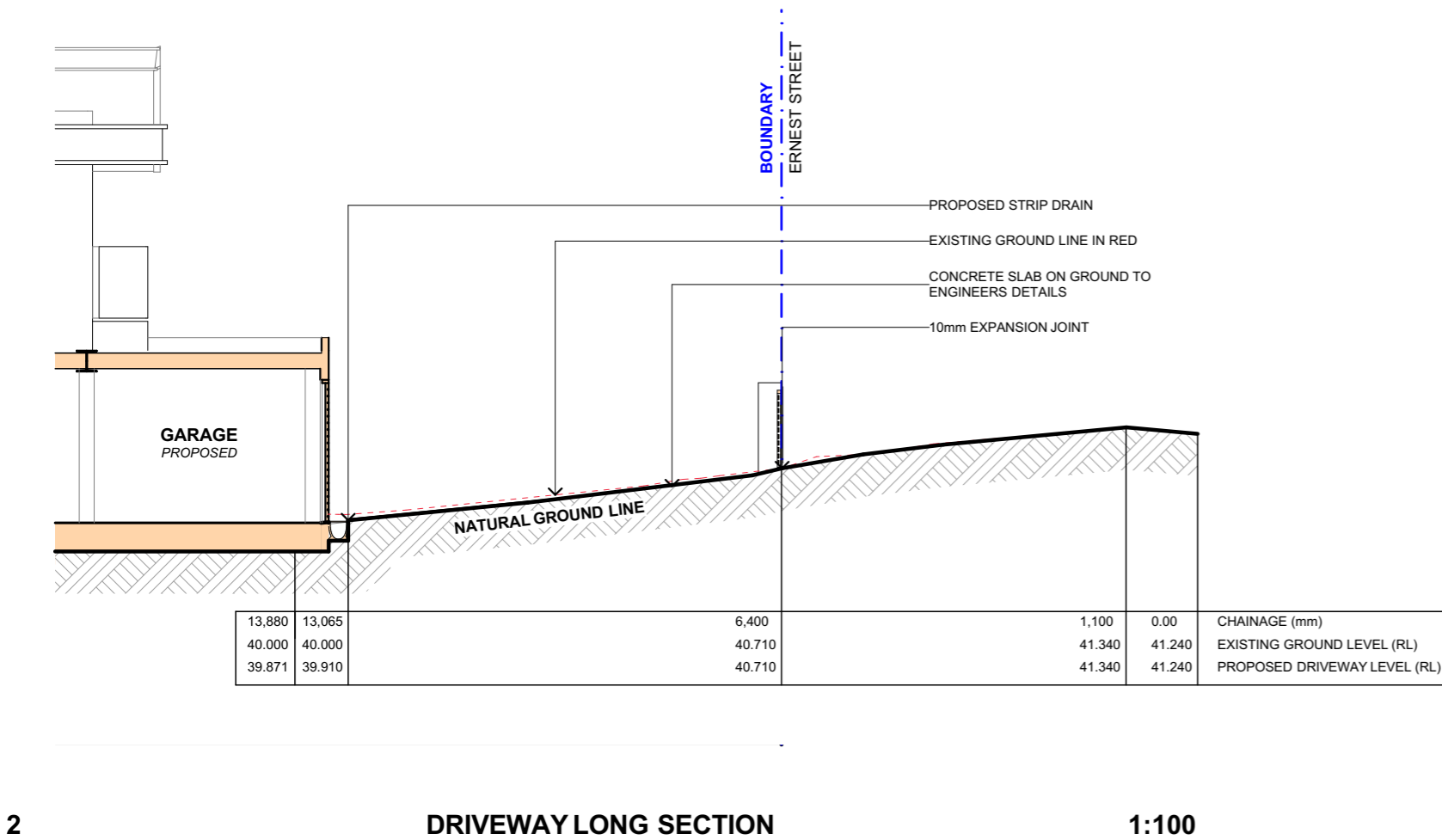
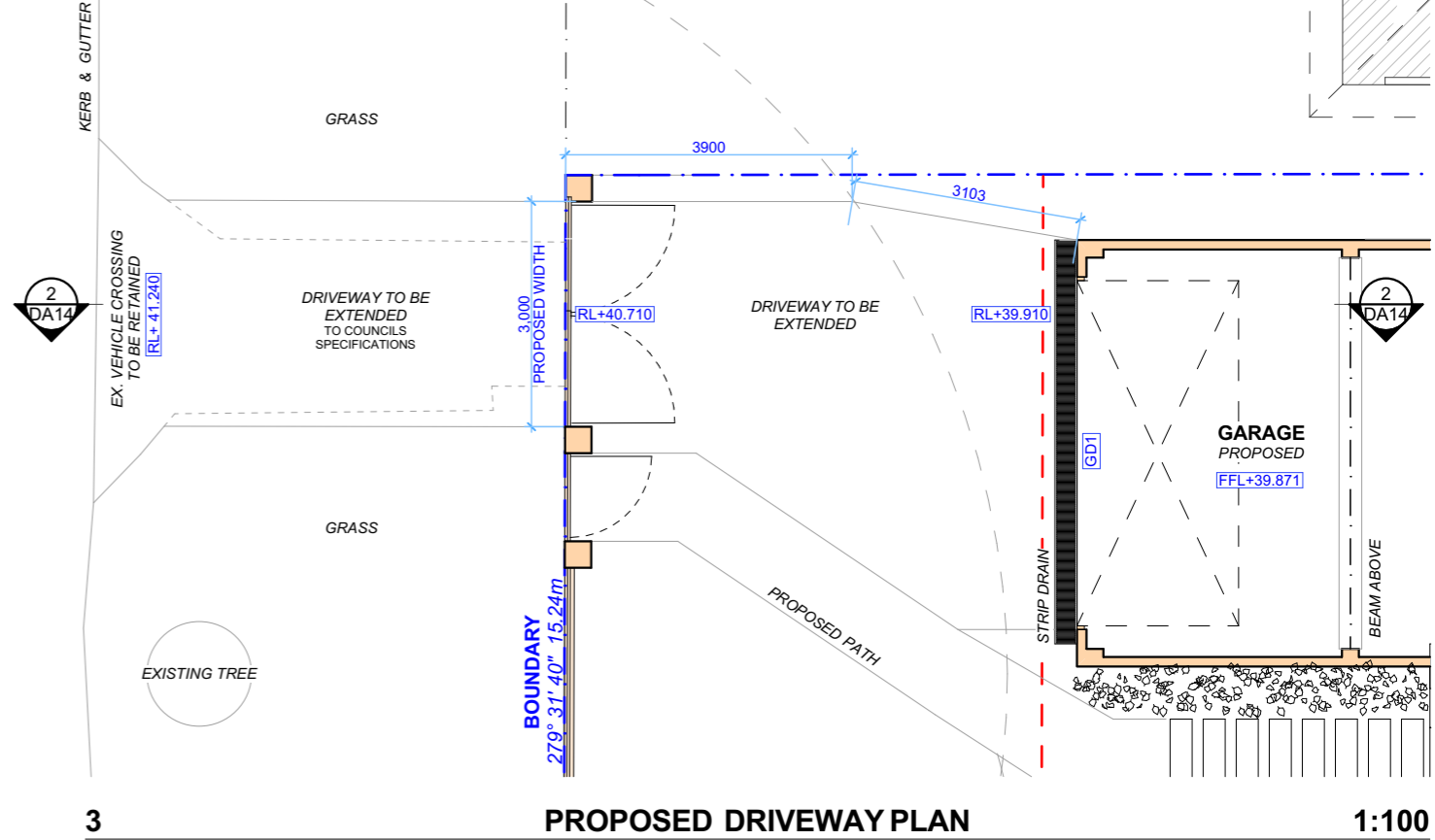
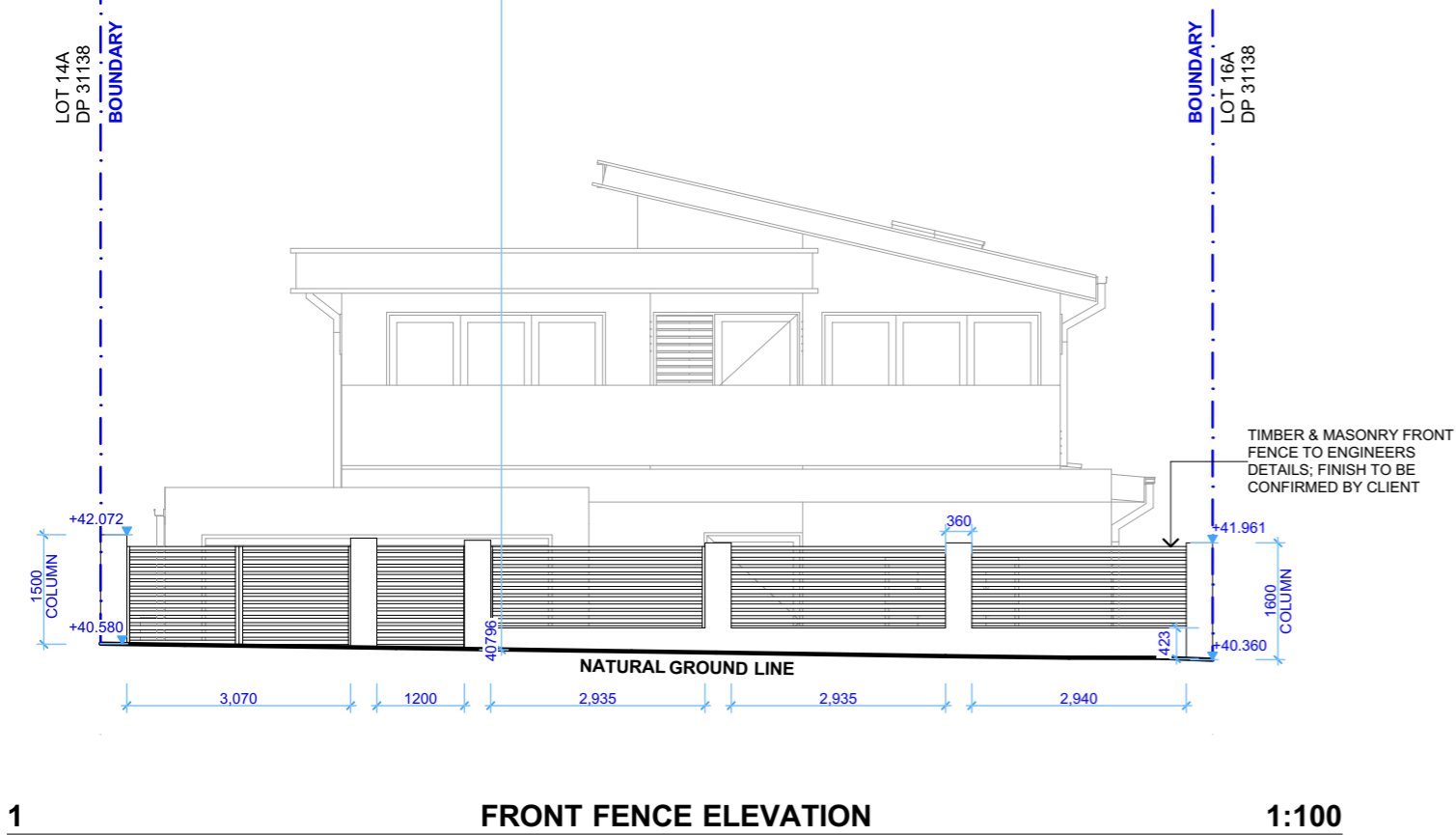


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A	22.07.20	DA DOCUMENTATION	EAS	<div>LEGEND</div> <div><div><div></div>EXISTING</div><div><div></div>PROPOSED</div></div> <div>CLIENT KATE & JAMES MARTIN</div> <div>PROJECT ADDRESS 14 ERNEST STREET, BALGOWLAH HEIGHTS NSW 2093</div> <div>DRAWING NO. DA12</div> <div>DATE Thursday, 18 March 2021</div> <div>DRAWING NAME LONG SECTION</div> <div>SCALE 1:100 @A3</div>
B	18.03.2021	DA: REV A	AM	

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 northern beaches council

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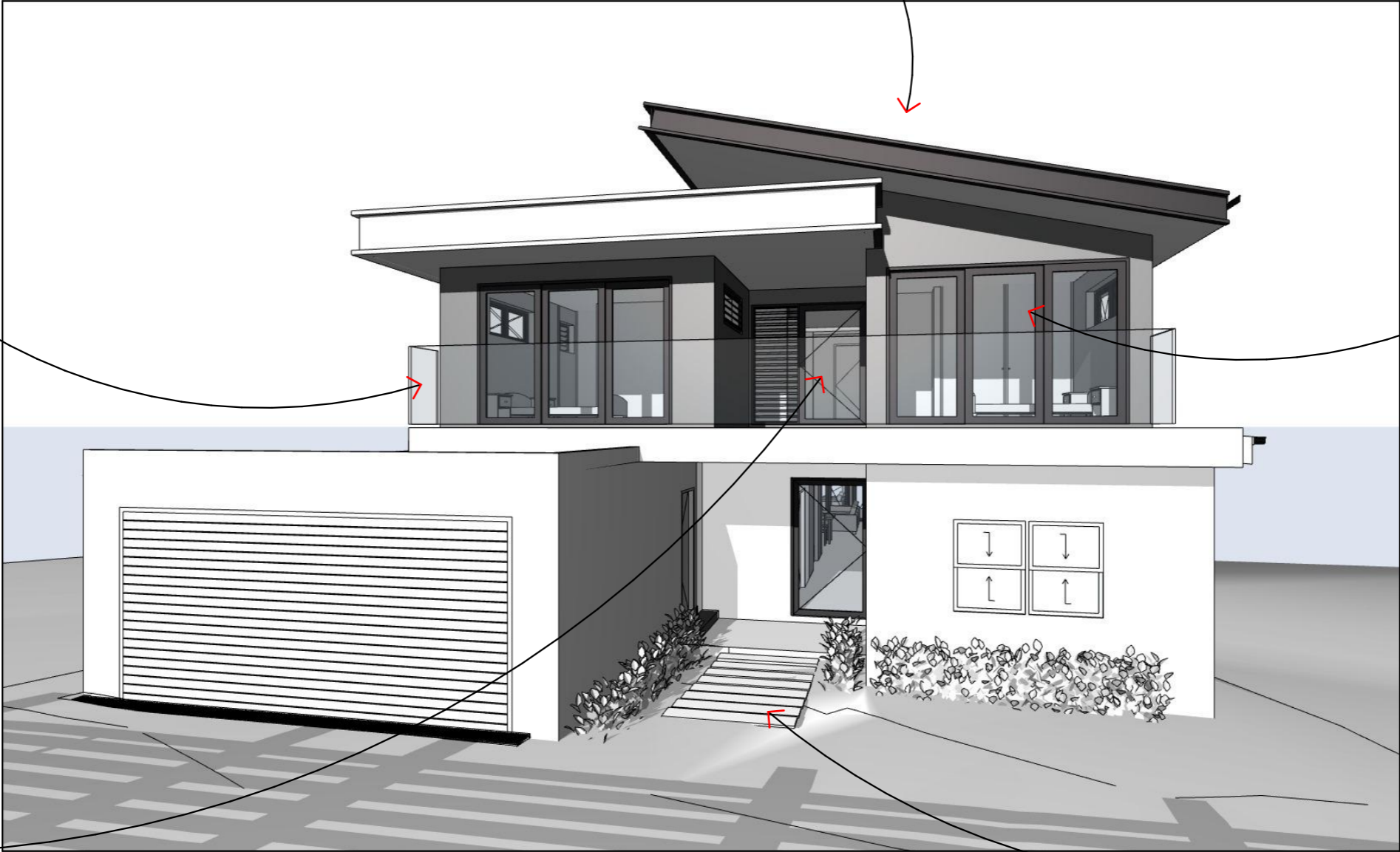
DA2020/1173



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CONSENT

DA2020/1173



Alterations and Additions

Certificate number: A383818_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 21, July 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	14 Ernest Street Balgowlah Heights_02
Street address	14 Ernest Street Balgowlah Heights 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 31138
Lot number	15A
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 2843 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 245 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 55 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✓	✓
Outdoor spa			
The spa must not have a capacity greater than 5 kilolitres.	✓	✓	✓
The spa must have a spa cover.		✓	✓
The applicant must install a spa pump timer.		✓	✓
The applicant must install the following heating system for the outdoor spa that is part of this development: electric heat pump.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
external wall: other/undecided	R1.70 (including construction)		
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	2.7	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	E	1.59	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3	E	1.27	0	0	eave/verandah/pergola/balcony	standard aluminium, single pyrolytic low-e,

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
					>=600 mm	(U-value: 5.7, SHGC: 0.47)		
W4	E	1.2	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W5	W	0.96	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W6	E	0.96	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W7	W	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W8	W	0.46	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W9	W	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W10	N	1.69	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W11	W	0.46	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W12	W	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W13	W	2.04	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W14	N	2.04	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W15	N	2.04	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W16	E	2.04	0	0	eave/verandah/pergola/balcony	standard aluminium, single pyrolytic low-e,		

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
					>=750 mm	(U-value: 5.7, SHGC: 0.47)			
W17	E	2.17	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W18	N	1.7	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W19	E	3	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W20	E	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W21	E	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D1	S	3.24	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D2	N	7.45	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D3	N	7.45	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D4	S	7.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D5	S	4.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D6	S	7.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D7	N	6	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W22	W	4.06	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
						U-value: 7.63, SHGC: 0.75)			

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.

	✓	✓	✓
		✓	✓
		✓	✓
		✓	✓

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.847	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S2	0.847	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S3	0.847	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S4	1.625	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S5	0.847	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1173



ACTION PLANS

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REV.	DATE	COMMENTS	DRWN
A	22.07.20	DA DOCUMENTATION	EAS
B	18.03.2021	DA: REV A	AM

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
Do not scale measure from drawings. Figured dimensions are to be used only.
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.
All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.
U value takes precedence over glazing type/colour in all cases.
All new glazing must meet the BASIX specified frame and glass type, **QR** meet the certified U value and SHGC value.

CLIENT
KATE & JAMES MARTIN

PROJECT ADDRESS
14 ERNEST STREET,
BALGOWLAH HEIGHTS
NSW 2093

DRAWING NO.

DA21

DATE

Thursday, 18 March
2021

DRAWING NAME

BASIX COMMITMENTS