

NOTES:

CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY. DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY LAND AND PROPERTY INFORMATION PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.

SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.

DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROX.

GENERAL SITING NOTES

- ALL PROPOSED FINISH FLOOR LEVELS AND CUT/FILL REQUIREMENTS SUBJECT TO CONFIRMATION UPON COMPLETION OF ARCHITECTURAL PLANS.
- ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO CONFIRMATION WITH STEP-DOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.
- ALL FLOOR AREA CALCULATIONS ARE TO BE CONFIRMED UPON THE COMPLETION OF FINAL ARCHITECTURAL PLANS.
- ALL ALLOWANCES FOR STEPS/STAIRS THAT MAY BE REQUIRED ARE SUBJECT TO FINAL ARCHITECTURAL PLANS.
- ALL ALLOWANCES FOR RETAINING WALLS ARE SUBJECT TO FINAL ARCHITECTURAL PLANS.

NOTE:
DRIVEWAY & FRONT PATH
TO COMPLY WITH AS2890

0.93M FALL ACROSS
BUILDING ENVELOPE

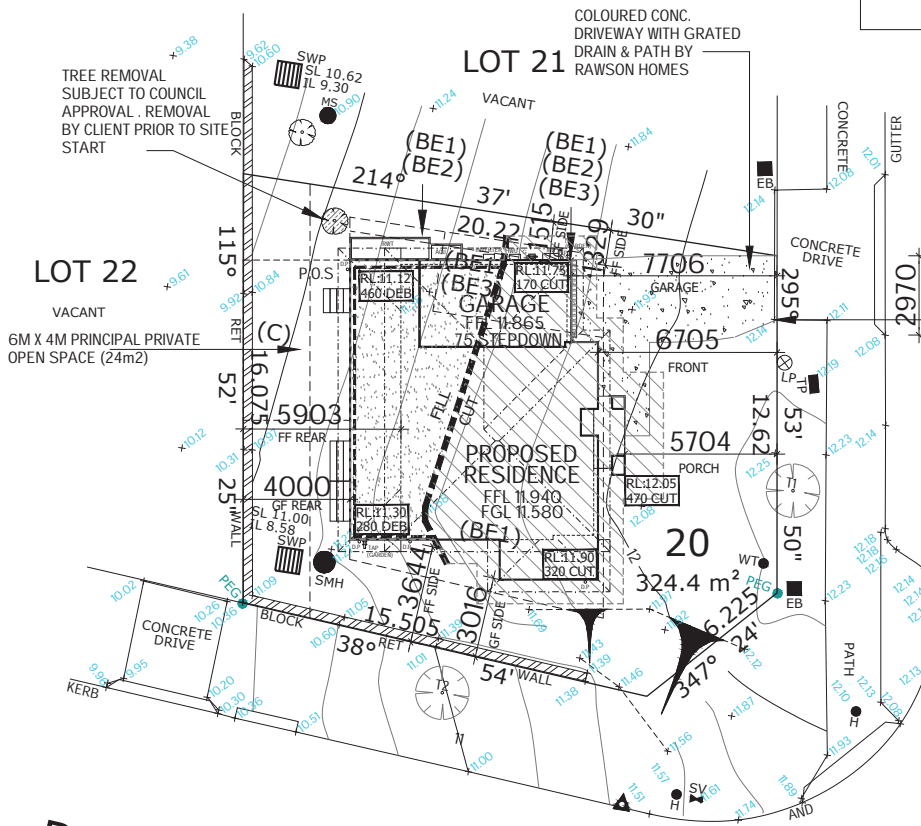
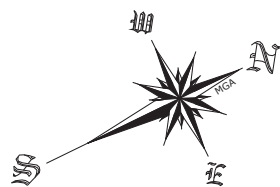
SITE CALCULATIONS DA

GROUND FLOOR	80.50 m ²
FIRST FLOOR	71.63 m ²
TOTAL LIVING AREA	152.13 m ²
SITE AREA	324.00 m ²
BUILDING FOOTPRINT	102.38 m ²
DRIVEWAY & PATH (EXC. CROSSOVER)	27.13 m ²
TOTAL LANDSCAPE AREA	194.49 m ²
LANDSCAPE AREA (%)	60.03 %
FLOOR SPACE RATIO	0.47 :1
SITE COVERAGE	31.60 %



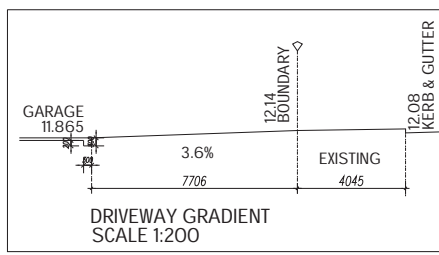
NOTE:
PROVIDE UNDERGROUND ELECTRICAL CONNECTION FROM NEAR SIDE TURRET TO METERBOX LOCATED ON SIDE OF DWELLING

(C): EASEMENT TO DRAIN WATER 2.5 WIDE
(BE1): RESTRICTION ON THE USE OF LAND
(BE2): RESTRICTION ON THE USE OF LAND
(BE13): RESTRICTION ON THE USE OF LAND



BUBALO STREET

BENCH MARK
BM 45 DH & W
RL 11.43 (A.H.D)



SITE NOTE:
BEFORE STARTING WORK ON SITE CHECKING FOLLOWING:
1. SERVICE LOCATIONS.
2. SEWER CONNECTION POSITION.
3. DRIVEWAY ALIGNMENT & LEVELS
DP INDICATES DOWNPIPE LOCATION
N2 WIND CATEGORY

THE EXISTING CROSSOVER WIDTH AT THE LOT BOUNDARY IS 2.5M. WE HAVE NOT ALLOWED FOR AN EXTENSION TO CROSSOVER. STCA

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POSSIBLE BAS

SCHEDULE OF TREES

	DIAMETER	HEIGHT	TYPE
T1	0.10	3m	-
T2	0.10	3m	-

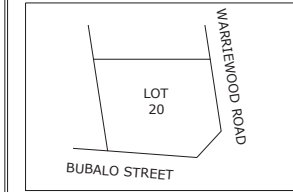
SEWER NOTE

SEWER INFORMATION NOT AVAILABLE AT TIME OF SURVEY

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LOCATION PLAN

LAT: -33.6866
LONG: 151.2995



LEGEND

	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR CROSSING
	TOP OF BANK
	BOTTOM OF BANK

ABBREVIATIONS

EB - ELECTRICAL BOX
EM - ELECTRICAL METER
MS - METER SHAFT
HP - HYDRANT
KO - KERB OUTLET
LH - LAMP HOLE
LP - LIGHT POLE
MH - MAN HOLE
MS - MAIN TENANCE SHAFT
PP - POWER POLE
R - HYDRANT RECYCLED
SH - SHRUB
SIO - SEWER INSPECTION OPENING
SMH - SEWER MAN HOLE
SR - STOP VALVE RECYCLED
SV - STOP VALVE
SVP - SEWER VENT PIPE
SWP - STORM WATER PIT
T - TREE
TP - TELECOMMUNICATIONS PIT
VER - VERANDAH
WT - WATER TAG
WM - WATER METER
WMR - WATER METER RECYCLED
WC, GC, EC, TC - SERVICE CONDUIT
W/C - WATER CLOSET

SOURCE OF LEVELS

SSM 24845 RL 12.835
S.C.I.M.S

NOTES:

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- * ALL DIMENSIONS ARE IN MILLIMETRES
- * DO NOT SCALE - USE WRITTEN DIMENSIONS
- * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

RAWSON HOMES

1 HOMEBUSH BAY DRIVE
BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C



CLIENT:
MR. K. B. RAYAMAJHI & MS. S. SHAH

SITE ADDRESS:
LOT 20, DP 271139
WARRIEWOOD ROAD
WARRIEWOOD

HOUSETYPE:
MODEL: DENBY 22
FACADE: VOGUE
TYPE: SINGLE GARAGE
SPECIFICATION: LUX
DRAWING TITLE:
SITE PLAN

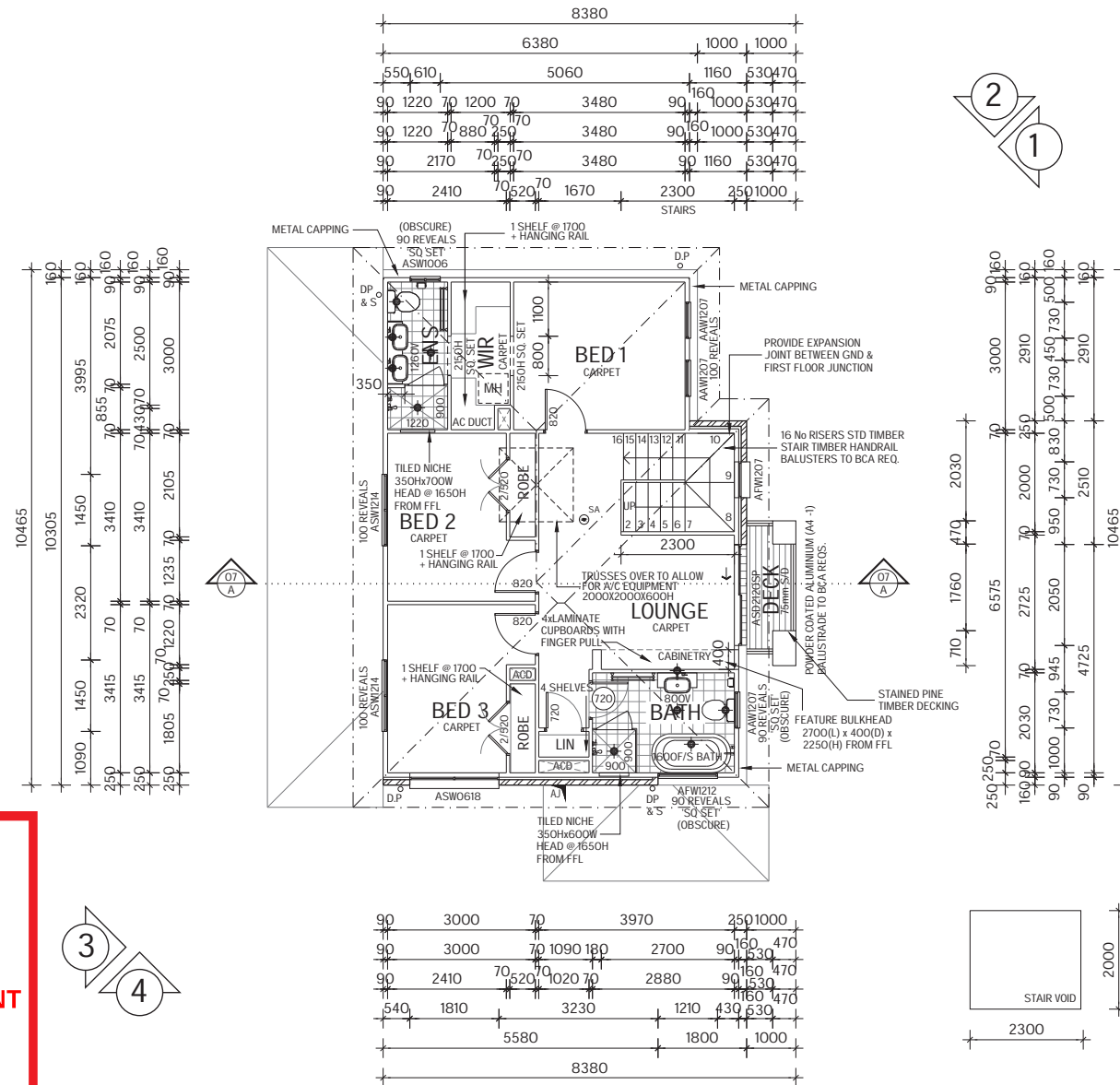
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COUNCIL AREA: NORTHERN BEACHES	SCALE: 1:200	JOB No: A008398	DRWG No.: 02
			ISSUE: C

JOB No:	DRWG No.:	ISSUE:
A008398	03	C



NOTE:
RESTRICTORS TO BE FITTED TO ALL 1st FLOOR
OPENABLE WINDOWS WITH A SILL HEIGHT LESS
THAN 1.7m ABOVE IN ACCORDANCE WITH BCA
CLAUSE 3.9.2.5

- HEIGHT OF ALL SQ. SETS 2150mm
FROM FFL UNLESS OTHERWISE SHOWN
-HEIGHT OF ALL INTERNAL DOORS
2040H TO FIRST FLOOR ONLY



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SITE ADDRESS:
LOT 20, DP 271139
WARRIEWOOD ROAD
WARRIEWOOD

DRAWING TITLE:
FIRST FLOOR PLAN

JOB No: A008398	DRWG No.: 04	ISSUE: C
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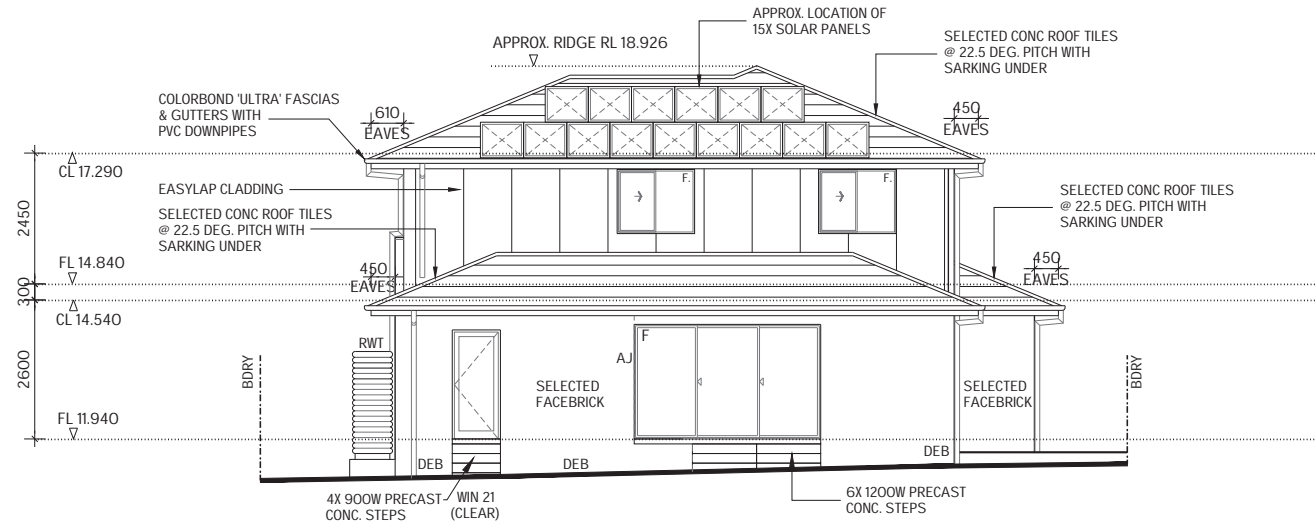
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council

**THIS PLAN IS TO BE READ IN
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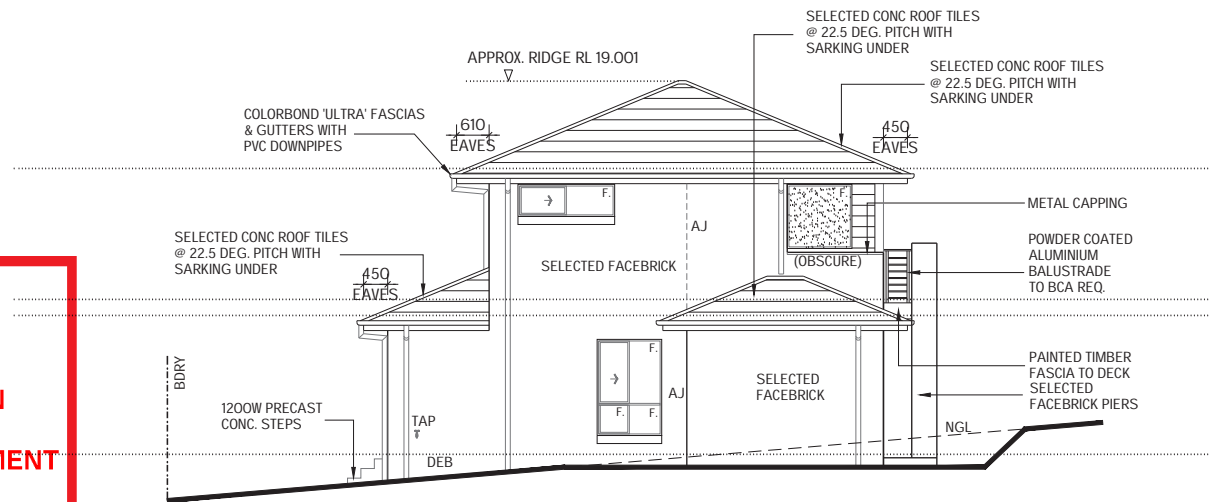
DA2020/0338

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COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:100	
JOB No: A008398		DRWG No.: 05	ISSUE: C

NOTE:
COLORBOND 'ULTRA' FLYSCREENS TO
ALL OPENING WINDOWS, STACKER AND
SLIDING DOORS (EXCLUDING HINGED
DOORS)



ELEVATION - 3



ELEVATION - 4



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SITE ADDRESS:
LOT 20, DP 271139
WARRIEWOOD ROAD
WARRIEWOOD

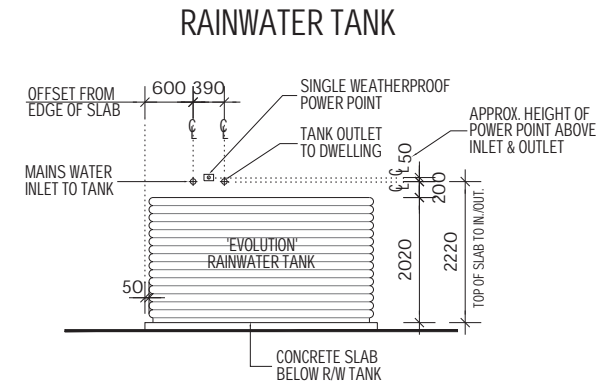
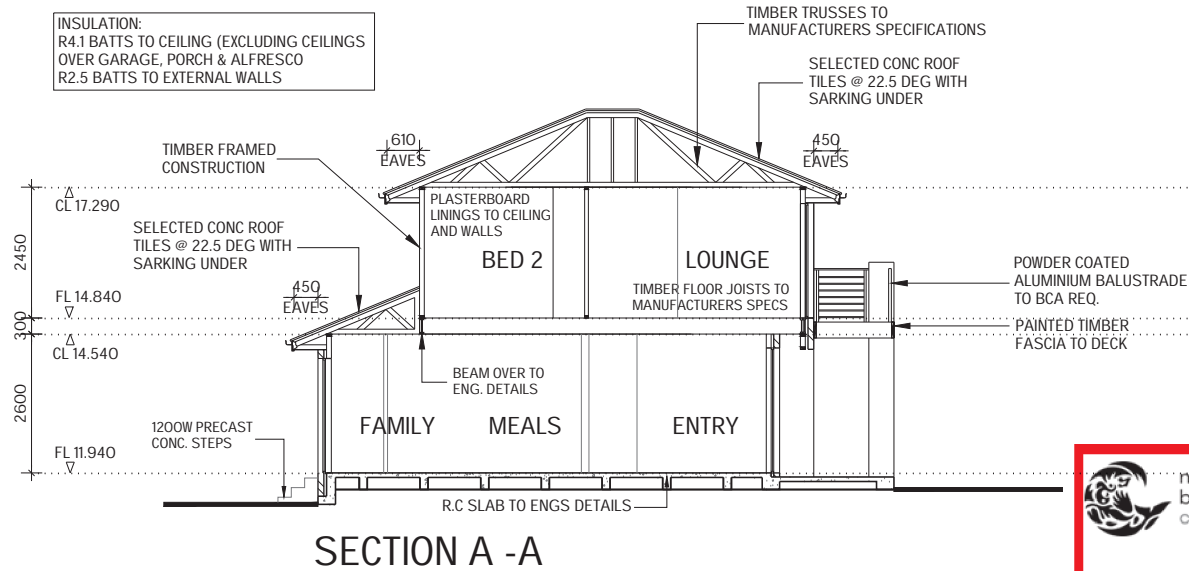
HOUSETYPE:
MODEL: DENBY 22
FACADE: VOGUE
TYPE: SINGLE GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
ELEVATIONS 3 & 4

DRAWN BY: MTT
DATE DRAWN: 28.05.18
CHECKED BY: MTT
APPROVED FOR CONSTRUCTION:

COUNCIL AREA:
NORTHERN BEACHES
SCALE:
1:100

JOB No:
A008398
DRWG No.: **06**
ISSUE: **C**



NOTE:
DETAIL NOT TO SCALE



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BASIS COMMITMENTS								
PROJECT DETAILS			RAINWATER		ENERGY		ALTERNATIVE ENERGY	
Site area	324	m2	Rainwater tank capacity of 3000L to collect rain runoff of atleast 119 sq.m of the roof area & connected to all toilets, cold water taps connected to clothes washers & at least one outdoor tap on development.		ACTIVE COOLING/HEATING		The applicant must install a photovoltaic system with the capacity to generate at least 5.4 peak kilowatts of electricity as part of the development	
Roof area	119	m2	WATER		Provide fully ducted reverse cycle 3 phase air conditioner with EER 2.5 - 3.0		COOKING (KITCHEN APPLIANCES)	
number of bedrooms	3	Provide fully ducted reverse cycle 3 phase air conditioner with EER 3.0 - 3.5			Install a gas cooktop and electric oven			
Total area of vegetation (garden & lawn)	193	m2	All showers with in the development are to have a minimum rating of 3 star showheads		VENTILATION		DESIGN ENHANCEMENTS	
ABSA Certificate Number (if applicable)	0003007895		Each toilet is to have a flushing system of no less than a 4 star rating		Exhaust systems kitchen, bathrooms with manual switch on/off ducted to roof & facade.		Install an outdoor clothes drying line	
Net conditioned floor area	118.0	m2	All taps in the kitchen and bathrooms are to have a minimum rating of 3 star		Natural Ventilation to laundry.		Install an indoor sheltered clothes drying line.	
Net unconditioned floor area	10.0	m2	HOT WATER		LIGHTING		INSULATION	
Cooling load (if applicable)	26	MJ/m2/pa	Gas Instantaneous hot water system with a performance of 6 stars		Provide standard lighting		External wall R2.5 (including garage)	
Heating load (if applicable)	31	MJ/m2/pa			Provide window(s) and/or skylight to 3 bathroom(s) & toilet(s)		Ceiling R4.1 (excluding garage)	
					Provide window(s) and/or skylight to the kitchen			

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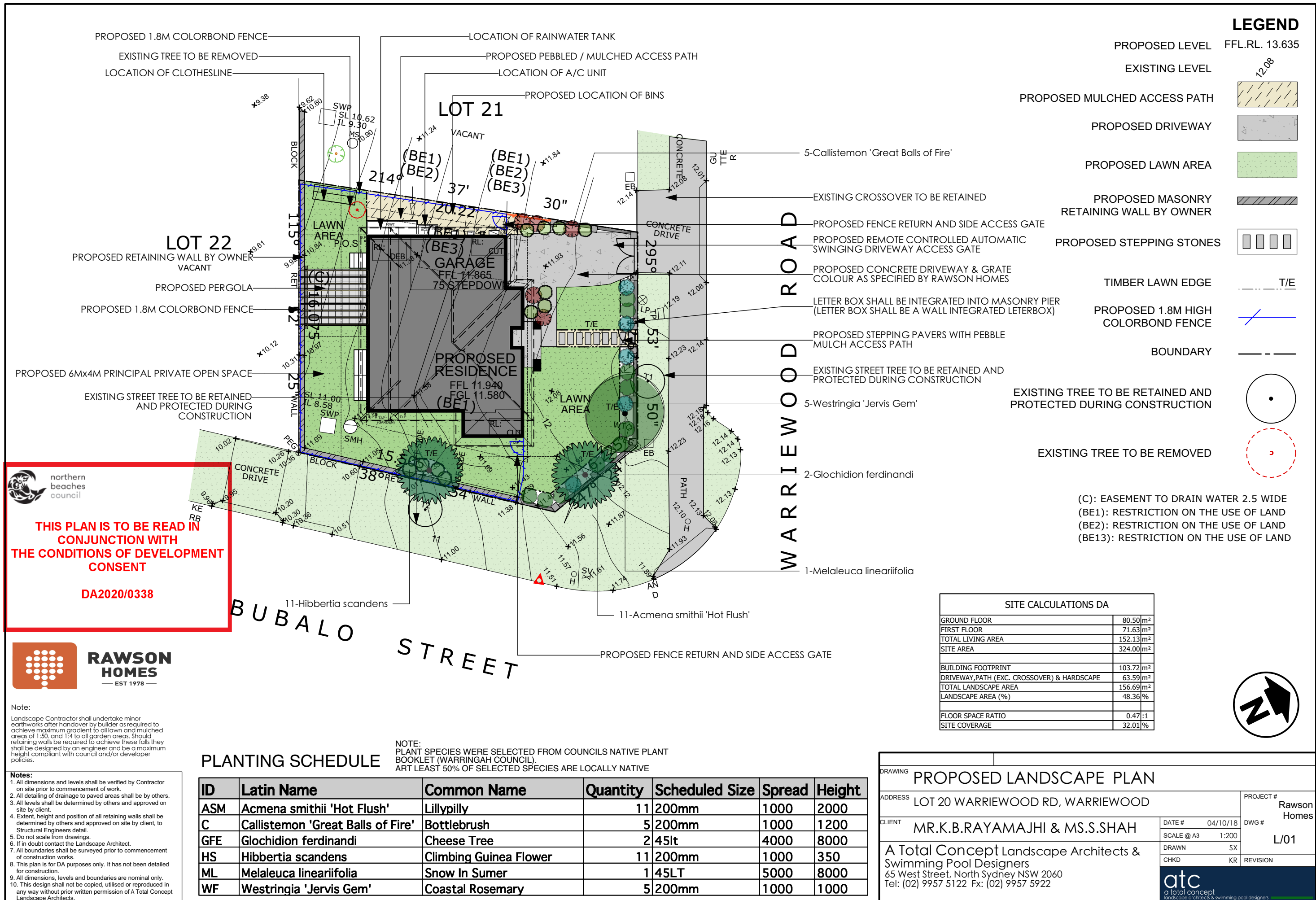
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SPECIFICATION: LUX

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COUNCIL AREA:
NORTHERN BEACHES
SCALE:
1:100

JOB No:
A008398
DRWG No.: **07**
ISSUE: **C**



PROPOSED BLACK POWDER COATED STEEL INFILL PANEL

PROPOSED 1000mm HIGH BRICK PIERS. HEIGHT SHALL DECREASE IN EQUAL HEIGHT INCREMENTS. FINAL COLOUR AND FINISH SHALL MATCH RESIDENCE

PROPOSED PEDESTRIAN ACCESS GATE

LETTER BOX SHALL BE INTEGRATED INTO MASONRY PIER (LETTER BOX SHALL BE A WALL INTEGRATED LETERBOX)

PROPOSED REMOTE CONTROLLED AUTOMATIC SWINGING DRIVEWAY ACCESS GATE

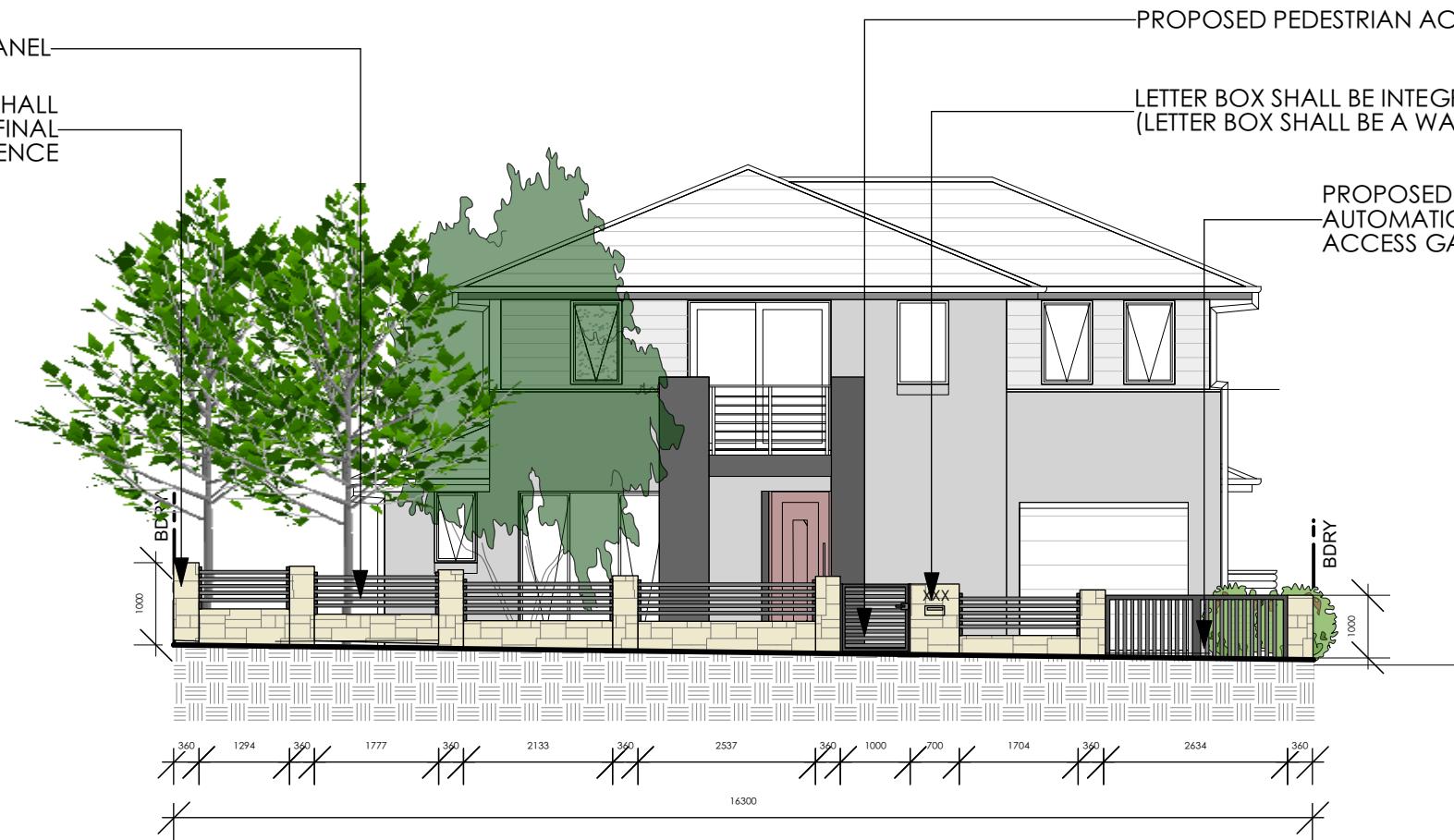


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NORTH ELEVATION

SCALE 1:100
(DIAGRAMMATIC ONLY)



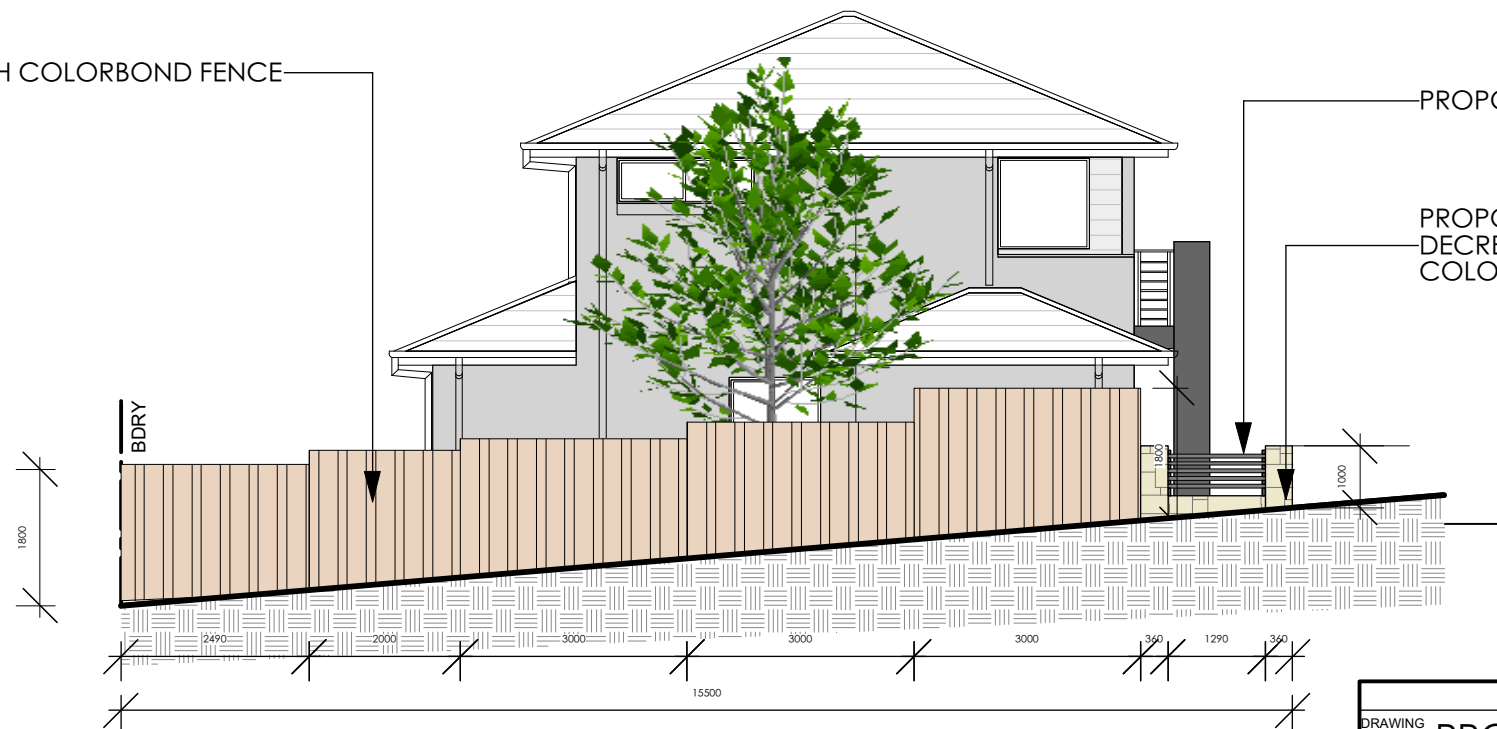
PROPOSED 1.8M HIGH COLORBOND FENCE

PROPOSED BLACK POWDER COATED STEEL INFILL PANEL

PROPOSED 1000mm HIGH BRICK PIERS. HEIGHT SHALL DECREASE IN EQUAL HEIGHT INCREMENTS. FINAL COLOUR AND FINISH SHALL MATCH RESIDENCE

EAST ELEVATION

SCALE 1:100
(DIAGRAMMATIC ONLY)



Note:

Landscape Contractor shall undertake minor earthworks after handover by builder as required to achieve maximum gradient to all lawn and mulched areas of 1:50, and 1:4 to all garden areas. Should retaining walls be required to achieve these falls they shall be designed by an engineer and be a maximum height compliant with council and/or developer policies.

Notes:

1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
2. All detailing of drainage to paved areas shall be by others.
3. All levels shall be determined by others and approved on site by client.
4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
5. Do not scale from drawings.
6. If in doubt contact the Landscape Architect.
7. All boundaries shall be surveyed prior to commencement of construction works.
8. This plan is for DA purposes only. It has not been detailed for construction.
9. All dimensions, levels and boundaries are nominal only.
10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

DRAWING PROPOSED ELEVATIONS				
ADDRESS LOT 20 WARRIEWOOD RD, WARRIEWOOD			PROJECT #	Rawson Homes
CLIENT MR.K.B.RAYAMAJHI & MS.S.SHAH			DWG #	L/02
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922			DATE #	04/10/18
			SCALE @ A3	1:100
			DRAWN	SX
			CHKD	KR
			REVISION	
 a total concept landscape architects & swimming pool designers				



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EXAMPLE OF PERGOLA

PERGOLA EAST ELEVATION

SCALE 1:100
(DIAGRAMMATIC ONLY)

DRAWING	PROPOSED PERGOLA ELEVATIONS		
ADDRESS	LOT 20 WARRIEWOOD RD, WARRIEWOOD		PROJECT # Rawson Homes
CLIENT	MR.K.B.RAYAMAJHI & MS.S.SHAH	DATE # 04/10/18	DWG # L/03
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922		SCALE @ A3 1:100	
		DRAWN SX	
		CHKD KR	REVISION
 a total concept landscape architects & swimming pool designers			