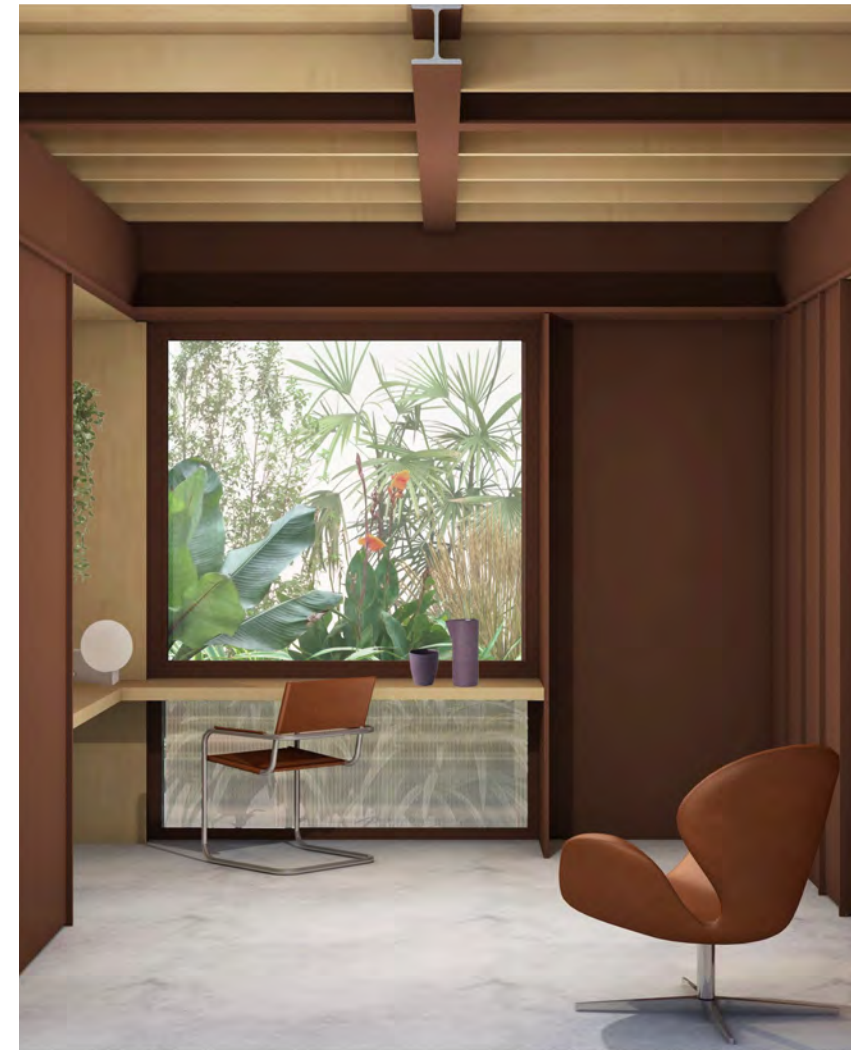


92 Addison Road, Manly NSW 2095

DRAWING LIST			
Drawing No	Sheet Name	Scale	Rev
DA.00	COVERSHEET		A
DA.01	SITE ANALYSIS	1:100	A
DA.02	EXISTING STREET LEVEL PLAN	1:100	A
DA.03	DEMOLITION LOWER GROUND FLOOR PLAN	1:100	A
DA.04	CONCEPT DEVELOPMENT		A
DA.05	PROPOSED LOWER GROUND FLOOR PLAN	1:100	A
DA.06	EAST ELEVATION	1:100	A
DA.07	SECTION A	1:100	A
DA.08	SECTION B	1:100	A
DA.09	AREA CALCULATIONS	1:150	A
DA.10	SCHEDULE OF EXTERNAL FINISHES	1:20	A



<b>COMPLIANCE TABLE</b>		
<b>LGA</b>	Northern Beaches Council	
<b>LOT + DP NO</b>	LOT 4 DP258309	
<b>ZONING</b>	ZONE R1 GENERAL RESIDENTIAL	
<b>SITE AREA</b>	313.30 m <sup>2</sup>	
<b>HERITAGE</b>	Listed as Item 175 "Group of Dwellings"	
<b>SIGNIFICANT AREA</b>	Bandicoots Scenic Protection Area Biodiversity Class 5	
<b>SOIL SULFATES</b>		
<b>CONTROLS</b>	Manly LEP 2013 and MANLY DCP 2013	<b>PROPOSAL</b>
<b>FSR</b>	0.6:1 (187.98 m <sup>2</sup> ) / 0.73:1 (230.83m <sup>2</sup> ) EXISTING	0.79:1 (249.94 m <sup>2</sup> )
<b>BUILDING HEIGHT</b>	8.5 m	EXISTING - UNCHANGED
<b>FRONT SETBACK</b>	PREVAILING STREET SETBACK	EXISTING - UNCHANGED
<b>SIDE SETBACK</b>	1/3 OF WALL HEIGHT	EXISTING - UNCHANGED
<b>REAR SETBACK</b>	8.0m	EXISTING - UNCHANGED
<b>OPEN SPACE</b>	OS03 55% (000.00 m <sup>2</sup> )	EXISTING - UNCHANGED
<b>LANDSCAPING</b>	35% from OS	EXISTING - UNCHANGED

**NOTES:**

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[illegible]

**REFERENCES:**

- SURVEY PLAN BY **CMS SURVEYORS**
- SEE AND VARIATION TO CLAUSE 4.4 BY **PLACE DESIGN GROUP**
- FINISHES SCHEDULE BY **LINTEL**

DRAWN/CHECKED:EM / EM

**PROJECT: 2005**  
MANLY WORK FROM HOME

**CLIENT:**  
Angela Holm & Robert Chapman

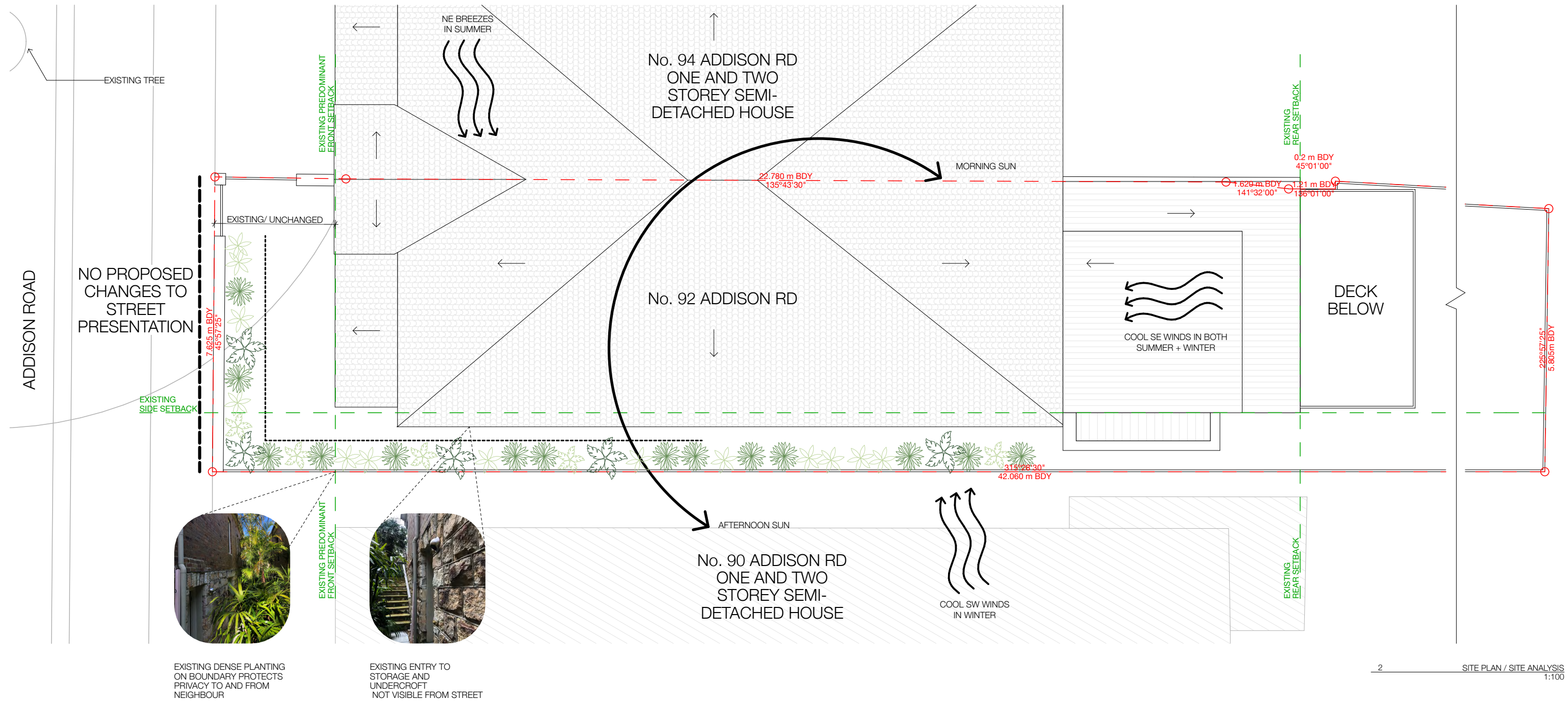
92 Addison Road,  
Manly 2095 NSW  
LOT 4 DP258309

# DRAWING COVERSHEET

**SCALE:**  
@A3

**DRAWING NO.**  
2005\_DA.00

REV.  
A



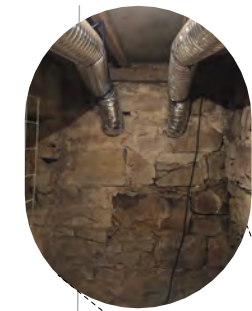
GENERAL CODES		FINISHES CODES		LEGEND-DEMOLITION AND NEW	
AHD	AUSTRALIAN HEIGHT DATUM	CONC-	CONCRETE TYPE -		EXISTING CONSTRUCTION
D-	DOOR TYPE-	F-	FENCE TYPE -		TO BE DEMOLISHED
EX	EXISTING	FT-	FLOOR TILE TYPE-		NEW CONSTRUCTION
FCL	FINISHED CEILING LEVEL	PAV-	PAVER TYPE		NO WORKS PROPOSED
FRL	FINISHED FLOOR LEVEL	PS-	PAINTED STEEL TYPE-		
RL	REDUCED LEVEL	ST	STORAGE		
TOP	TOP OF FENCE	TD-	TIMBER DECK TYPE-		
TOW	TOP OF WALL	TF-	TIMBER FLOORING TYPE-		
W-	WINDOW TYPE	DP-	DOWN PIPE TYPE		







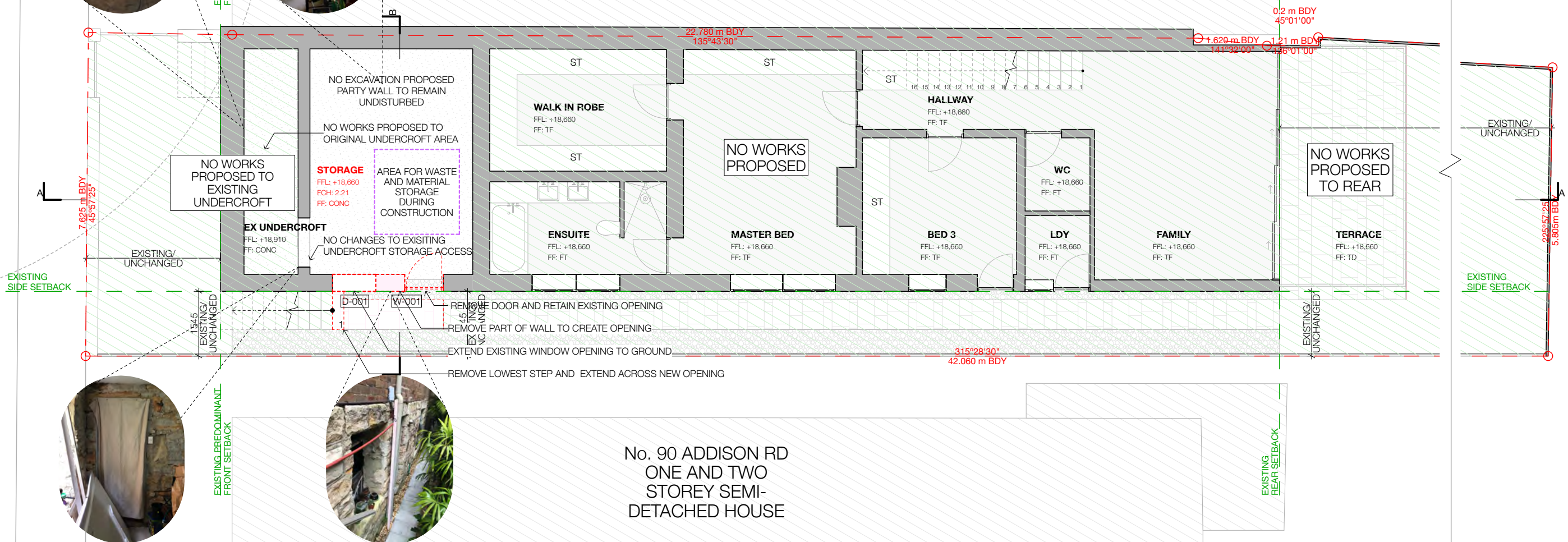
ORIGINAL SANDSTONE UNDERCROFT SPACE HOLDING ORIGINAL VERANDAH ABOVE. NO WORKS PROPOSED TO THIS AREA



EXISTING PREDOMINANT FRONT SETBACK



## No. 94 ADDISON RD ONE AND TWO STOREY SEMI- DETACHED HOUSE



EXISTING ENTRY TO UNDERCROFT

## No. 90 ADDISON RD ONE AND TWO STOREY SEMI- DETACHED HOUSE

EXISTING REAR SETBACK

2 DEMOLITION GROUND LEVEL PLAN  
1:100

GENERAL CODES		FINISHES CODES		LEGEND-DEMOLITION AND NEW	
AHD	AUSTRALIAN HEIGHT DATUM	CONC-	CONCRETE TYPE -		EXISTING CONSTRUCTION
D-	DOOR TYPE-	F-	FENCE TYPE -		TO BE DEMOLISHED
EX	EXISTING	FT-	FLOOR TILE TYPE-		NEW CONSTRUCTION
FCL	FINISHED CEILING LEVEL	PAV-	PAVER TYPE		NO WORKS PROPOSED
FFL	FINISHED FLOOR LEVEL	PS-	PAINTED STEEL TYPE-		
RL	REDUCED LEVEL	ST	STORAGE		
TOP	TOP OF FENCE	TD-	TIMBER DECK TYPE-		
TOW	TOP OF WALL	TF-	TIMBER FLOORING TYPE-		
W-	WINDOW TYPE	DP-	DOWN PIPE TYPE		

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Nominated Architect Emiliano Miranda 10022

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DATE	REV.	ISSUE	FOR DA
14/12/20	A		

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- FINISHES SCHEDULE BY LINTEL

DRAWN/CHECKED:EM / EM

PROJECT: 2005  
MANLY WORK FROM HOME

CLIENT:  
Angela Holm & Robert Chapman

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Manly 2095 NSW/  
LOT 4 DP258309

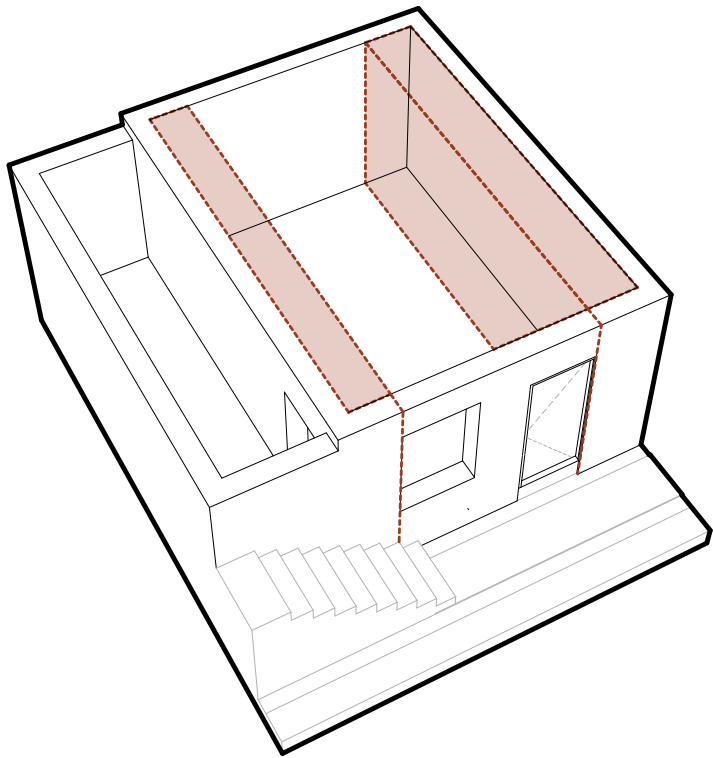
DRAWING  
DEMOLITION LOWER GROUND FLOOR  
PLAN  
SCALE:  
1:100 @A3

DRAWING NO.  
2005\_DA.03

REV.  
A

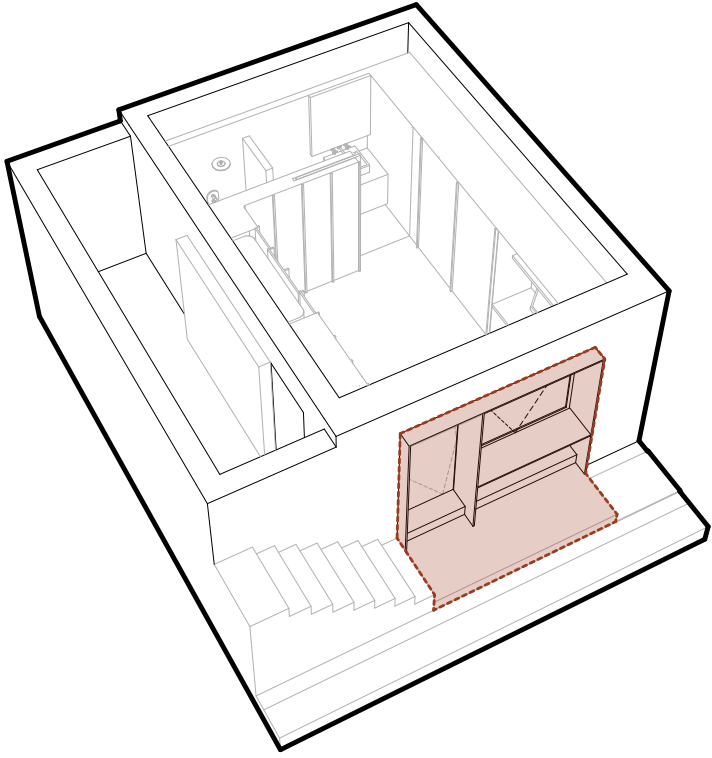
SPATIAL  
ALIGNMENTS

Taking the openings' extremities as a guide, we have determined a sympathetic proportion for the space and its primary functions. To the right the space is deep enough for a workstation. To the left the space is enough for storage and access to the existing undercroft services void



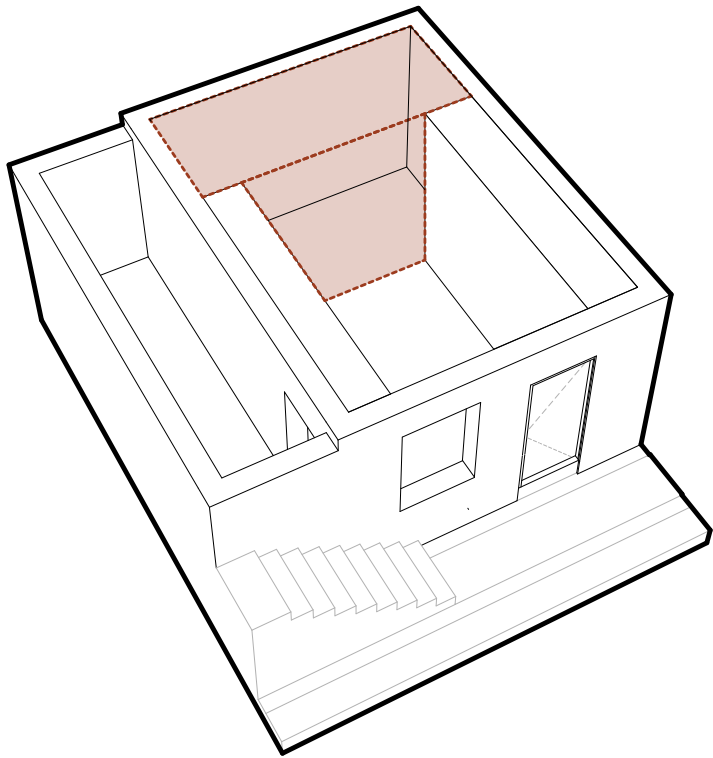
ELEVATION  
RESPONSE

Reversing the arrangement of the facade's openings offers us an opportunity to extend the desk along a second wall. The now 'L' shaped desk will caress the window sill, framing garden views for its occupant. Such an approach will unite inside and out, casting filtered light about the space

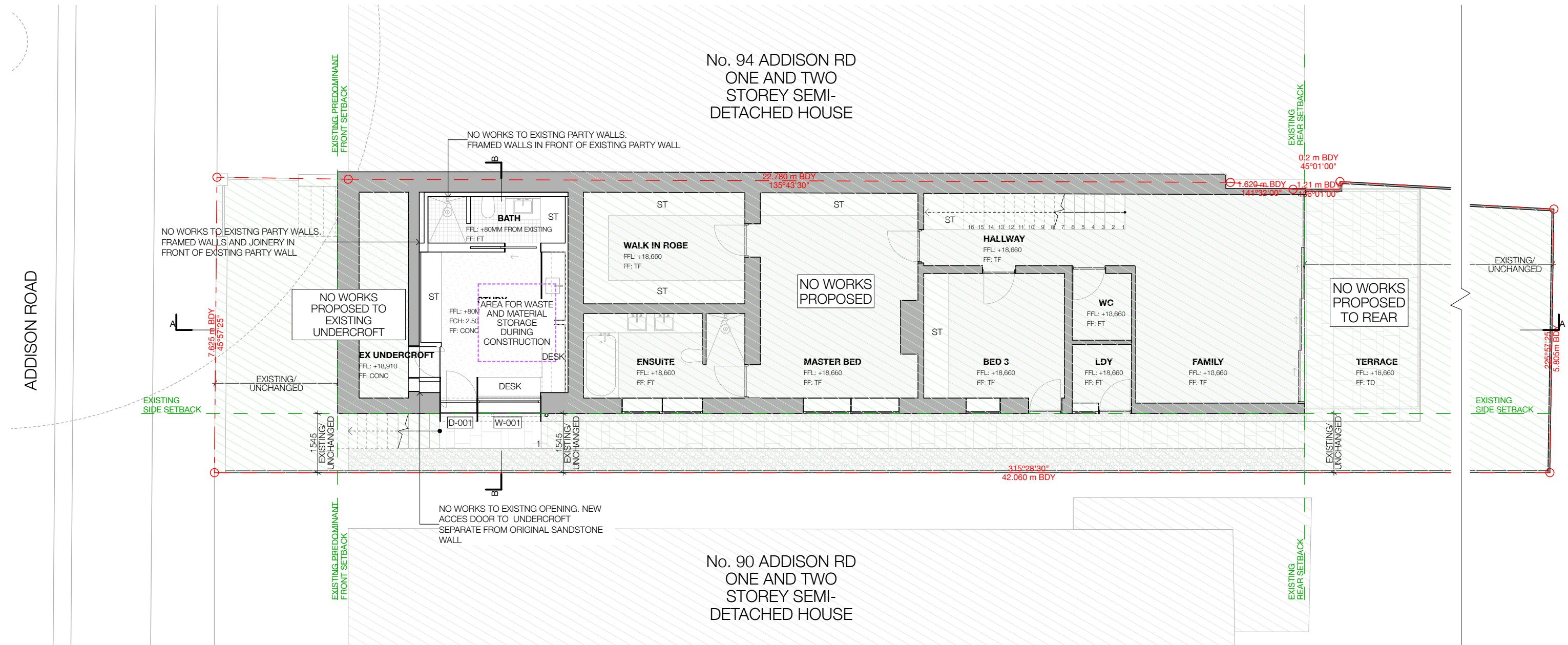


ROOM  
CONFIGURATION

By placing a bathroom in the rear, we can maximise usable space and easily conceal existing ducting.







2 PROPOSED GROUND LEVEL PLAN  
1:100

GENERAL CODES		FINISHES CODES		LEGEND-DEMOLITION AND NEW	
AHD	AUSTRALIAN HEIGHT DATUM	CONC-	CONCRETE TYPE -		EXISTING CONSTRUCTION
D-	DOOR TYPE-	F-	FENCE TYPE -		TO BE DEMOLISHED
EX	EXISTING	FT-	FLOOR TILE TYPE-		NEW CONSTRUCTION
FCL	FINISHED CEILING LEVEL	PAV-	PAVER TYPE		NO WORKS PROPOSED
FFL	FINISHED FLOOR LEVEL	PS-	PAINTED STEEL TYPE-		
RL	REDUCED LEVEL	ST	STORAGE		
TOP	TOP OF FENCE	TD-	TIMBER DECK TYPE-		
TOW	TOP OF WALL	TF-	TIMBER FLOORING TYPE-		
W-	WINDOW TYPE	DP-	DOWN PIPE TYPE		

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DRAWN/CHECKED:EM / EM

**PROJECT: 2005**  
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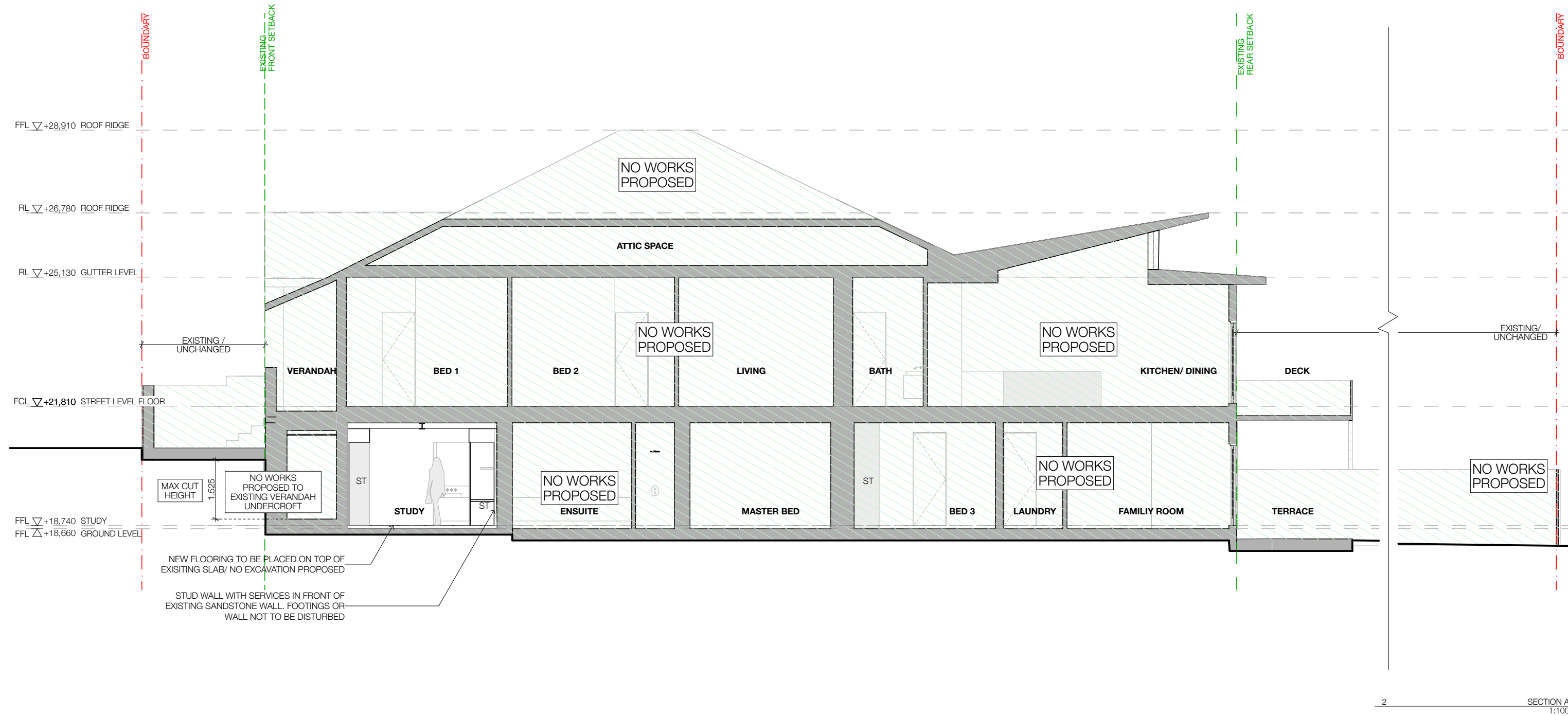
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LOT 4 DP258309

**DRAWING**  
PROPOSED LOWER GROUND FLOOR  
PLAN  
**SCALE:**  
1:100 @A3

**DRAWING NO.**  
2005\_DA.05

**REV.**  
A





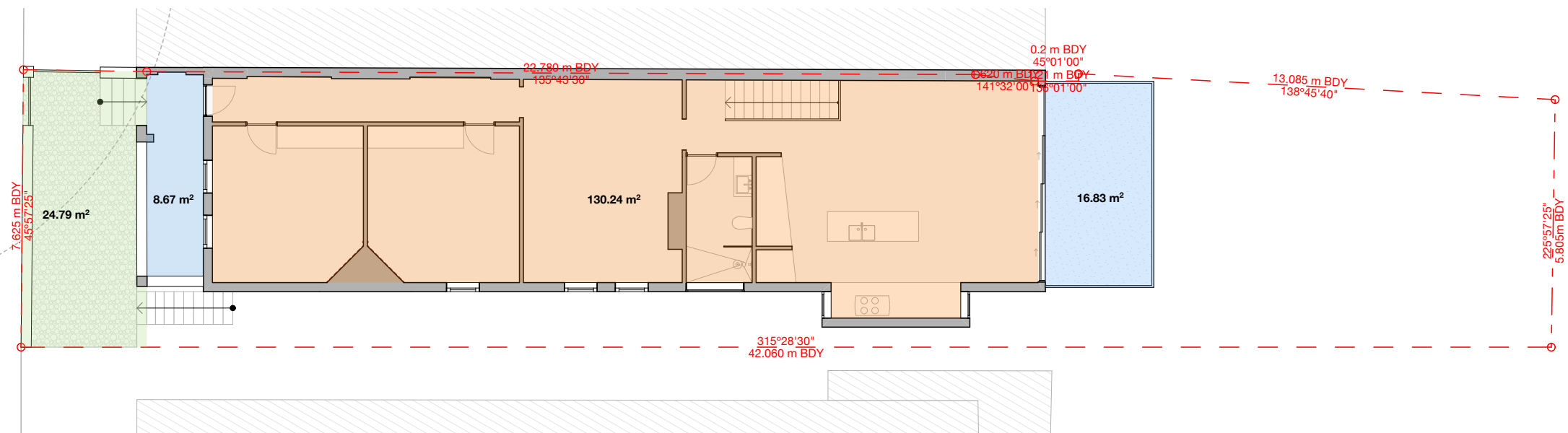
GENERAL CODES	
AHD	AUSTRALIAN HEIGHT DATUM
D-	DOOR TYPE-
EX	EXISTING
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
RL	REDUCED LEVEL
TOP	TOP OF FENCE
TOW	TOP OF WALL
W-	WINDOW TYPE

FINISHES CODES	
CONC-	CONCRETE TYPE -
F-	FENCE TYPE -
FT-	FLOOR TILE TYPE-
PAV-	PAVER TYPE-
PS-	PAINTED STEEL TYPE-
ST	STORAGE
TD-	TIMBER DECK TYPE-
TF-	TIMBER FLOORING TYPE-
DP-	DOWN PIPE TYPE

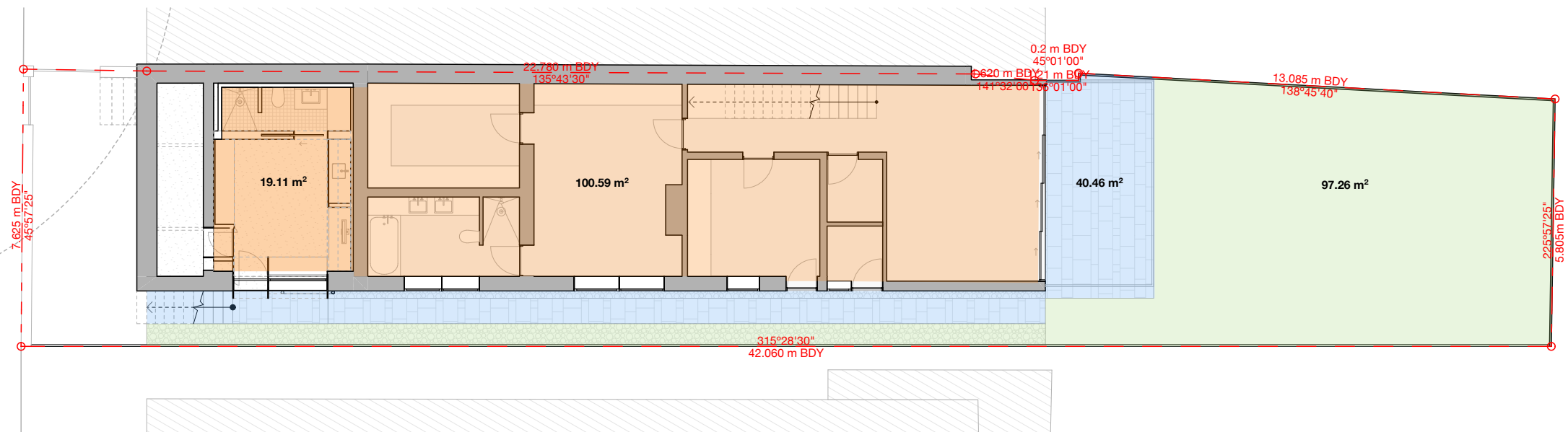
LEGEND-DEMOLITION AND NEW	
	EXISTING CONSTRUCTION
	TO BE DEMOLISHED
	NEW CONSTRUCTION
	NO WORKS PROPOSED







2 AREAS STREET LEVEL FLOOR 1:150



1 AREAS GROUND LEVEL FLOOR 1:150

GENERAL CODES				FINISHES CODES				GFA CALCULATIONS				LANDSCAPE OPEN SPACE AND CALCULATIONS							
AHD	DOOR TYPE -	CONC	CONCRETE TYPE -	<b>CONTROL</b> SITE AREA: 313.30 m <sup>2</sup>  ALLOWABLE FSR: 0.6:1 (187.98 m <sup>2</sup> )  EXISTING FSR: 0.73:1 (230.83 m <sup>2</sup> )				<b>PROPOSED</b> EXISTING GROUND FLOOR AREA: 100.59 m <sup>2</sup>  NEW STREET LEVEL FLOOR AREA: 19.11 m <sup>2</sup> <u>EXISTING STREET LEVEL FLOOR AREA: 130.24 m<sup>2</sup></u>  TOTAL GFA: 249.94 m <sup>2</sup>  PROPOSED FSR: 0.79:1				<b>CONTROL</b> LANDSCAPE AREA 35% OF OPEN SPACE - 60.30 m <sup>2</sup>				<b>PROPOSED</b> LANDSCAPE AREA -70.8% OF OPEN SPACE - 122.05 m <sup>2</sup> UNCHANGED FROM EXISTING			
D-	EXISTING	FT	FENCE TILE TYPE:																
FOL	FINISHED CEILING LEVEL	PKW-	PAVER TYPE																
FFL	FINISHED FLOOR LEVEL	PS-	PAINTED STEEL TYPE:																
RL	REDUCED LEVEL	ST	STORAGE																
TOP	TOP OF FENCE	TD	TIMBER DECK TYPE:																
TOW	TOP OF WALL	TF-	TIMBER FLOORING TYPE:																
W-	WINDOW TYPE	DP-	DOWN PIPE TYPE																
												</							



