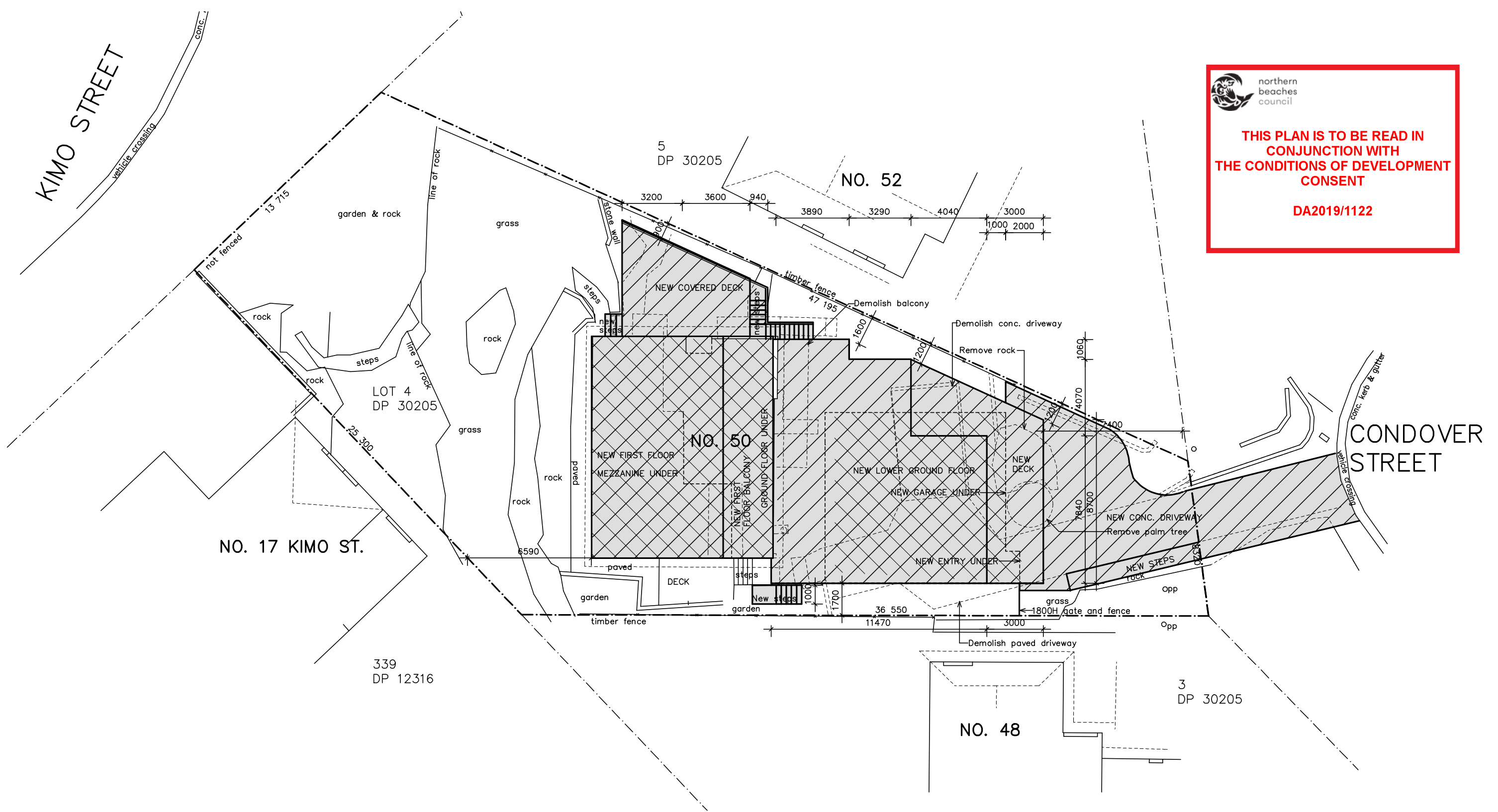




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KEY

S → PREVAILING WINDS (SUMMER)

W → PREVAILING WINDS (WINTER)

P → PRIVACY CONSIDERATIONS

N → NOISE CONSIDERATIONS

V → VIEWS TO RESERVE

A — BALCONY, DECK, PATIO

→ FALLS FOR DRAINAGE

— BOUNDARY

▲ CAR ENTRY POINT

INDICATES GROUND FLOOR

INDICATES FIRST FLOOR

SITE AREA: 847.2 sq.m.
EXISTING STORAGE: 19.6 sq.m.
EXISTING GROUND FLOOR: 103.3 sq.m.
EXISTING STUDY: 7.8 sq.m.
EXISTING DECK: 12.7 sq.m.
EXISTING CARPORT: 20.4 sq.m.
NEW FIRST FLOOR: 86.9 sq.m.
NEW FIRST FLOOR BALCONY: 24.9 sq.m.
NEW LOWER GROUND FLOOR: 122.9 sq.m.
NEW GROUND FLOOR COVERED DECK: 34.5 sq.m.
NEW LOWER GROUND FLOOR DECK: 40.9 sq.m.
NEW GARAGE, ENTRY & CORRIDOR: 88.4 sq.m.

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Project: ALTERATIONS & ADDITIONS

Job. No. 639/19

for: C. Rose
at: 50 Condoever Street, North Balgowlah

Title:
SITE PLAN

Scale: 1:200 @ A3

Revision:

Date: SEPT 2019

Drawn: D.R.

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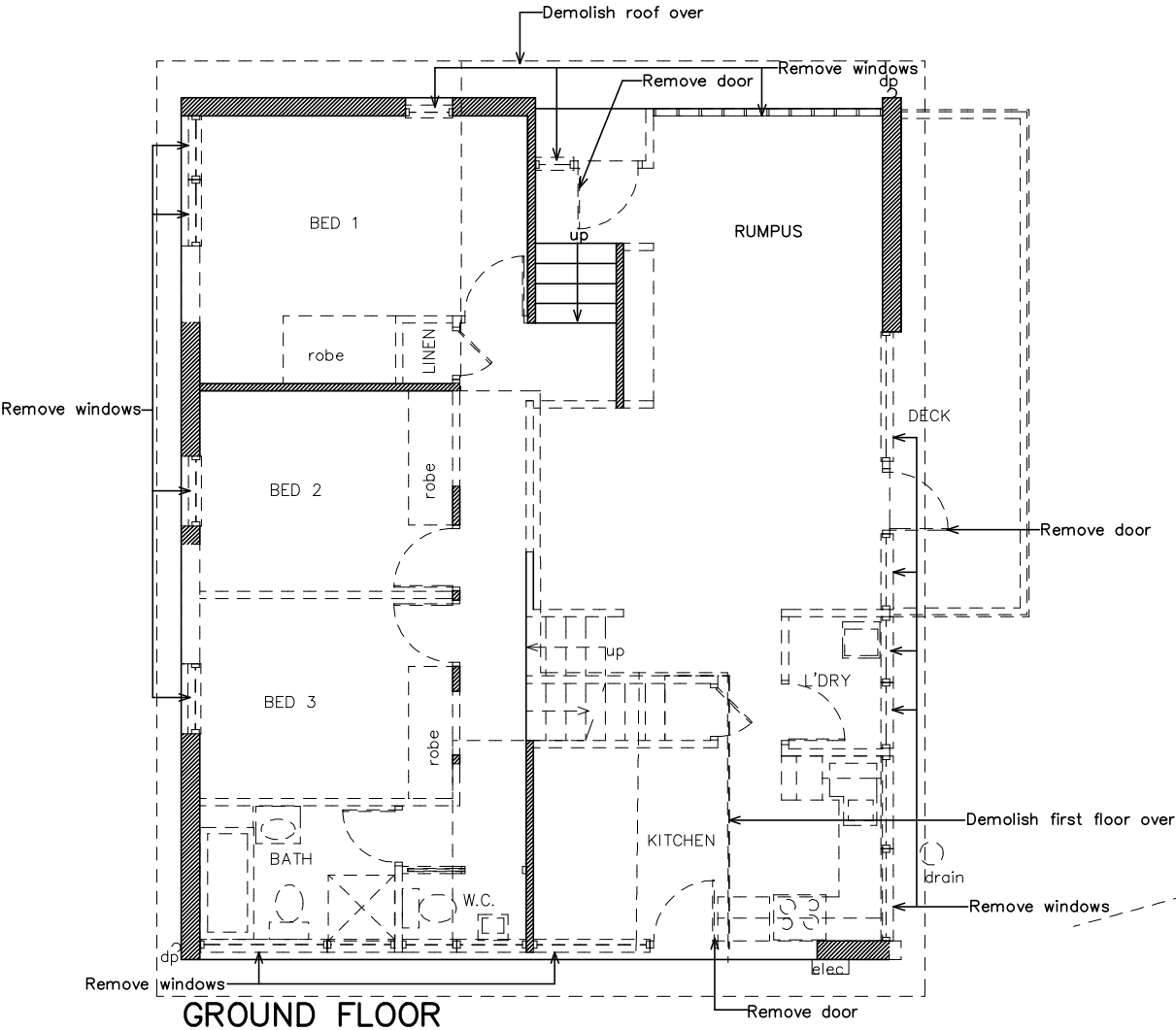
Telephone: (02) 9905 6009
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Email: dregandesign@gmail.com

Drawing No. DA-01

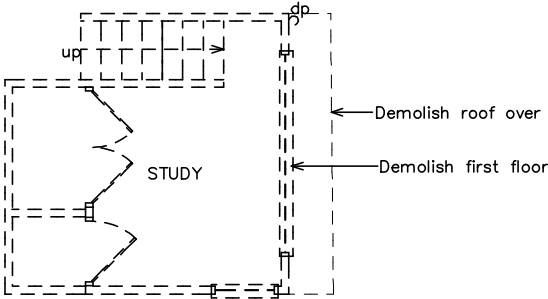


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GROUND FLOOR



FIRST FLOOR

LEGEND

- Demolish timber frame wall
- Demolish brick veneer wall
- Existing brick veneer wall
- Existing timber frame wall

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Project: ALTERATIONS & ADDITIONS

Job. No. 639/19

for: C. Rose
at: 50 Condoover Street, North Balgowlah

Title:

Scale: 1:100 @ A3

Revision:

DEMOLITION PLANS

Date: SEPT 2019

Drawn: D.R.

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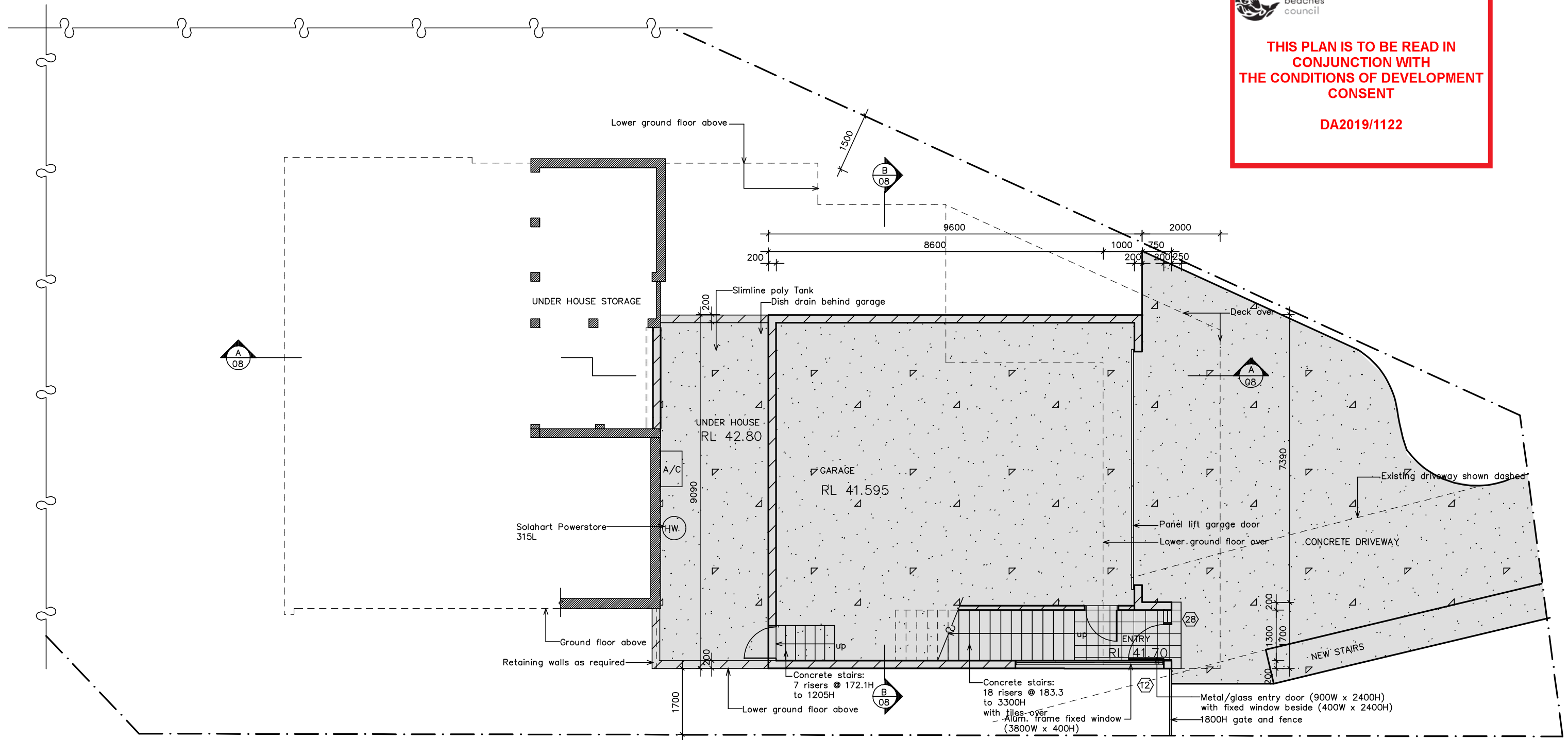
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Drawing No. DA-02



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LEGEND

	Existing brickwork
	Block wall (200mm)
	Block wall (110mm)

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Project: ALTERATIONS & ADDITIONS

Job. No. 639/19

for: C. Rose
at: 50 Condoover Street, North Balgowlah

Title:

Scale: 1:100 @ A3

Revision:

Date: SEPT 2019

Drawn: D.R.

GARAGE FLOOR PLAN

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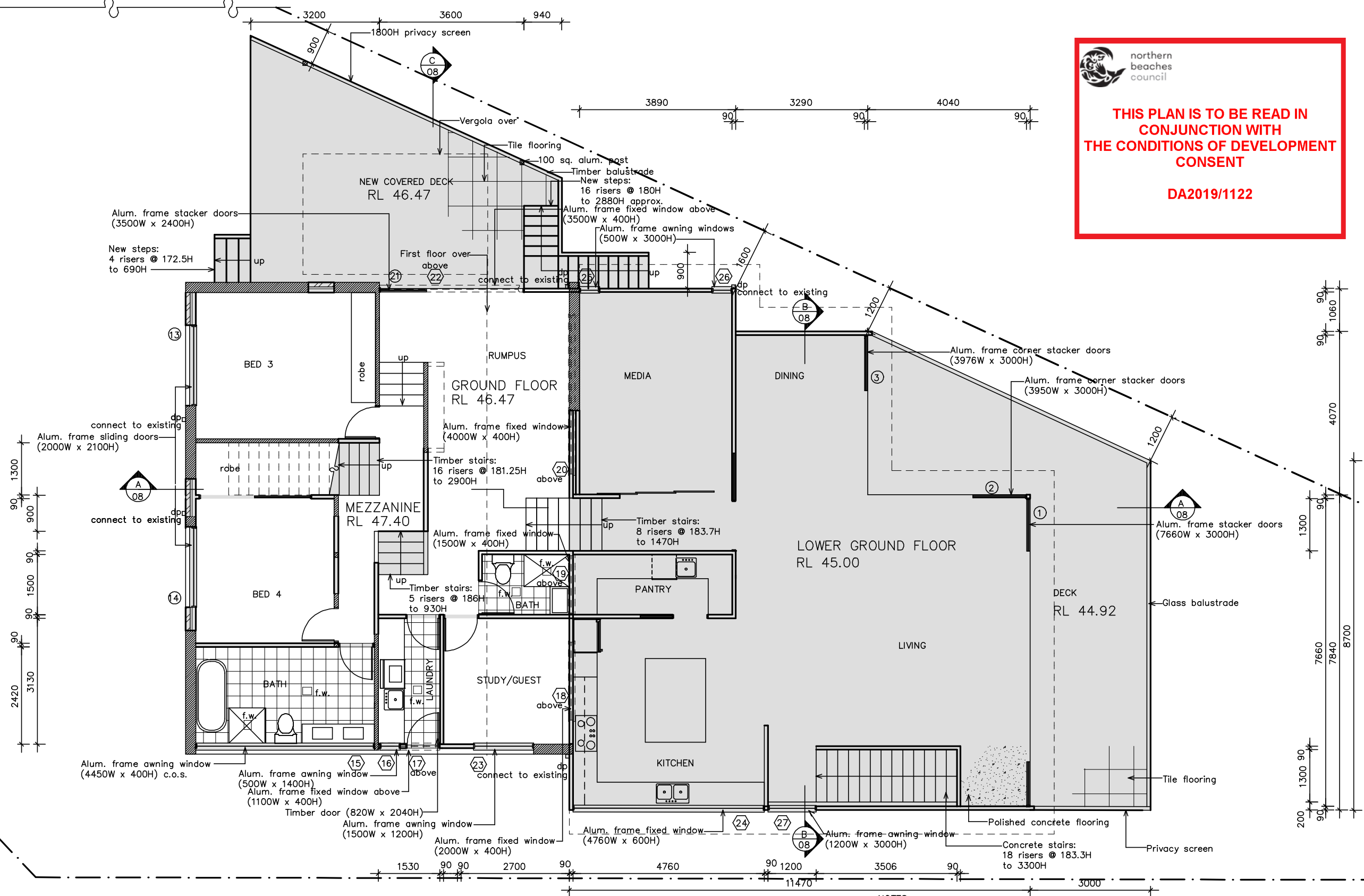
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Drawing No. DA-03



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LEGEND

	Demolish timber frame wall
	Demolish brick veneer wall
	Existing brick veneer wall
	Existing timber frame wall
	New brick veneer wall
	New steel frame wall
	Window number (basix)
	Door number (basix)

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Project: ALTERATIONS & ADDITIONS

Job. No. 639/19

for: C. Rose
at: 50 Condoover Street, North Balgowlah

Title:
**MEZZANINE, GROUND &
LOWER GROUND FLOOR PLANS**

Scale: 1:100 @ A3

Revision:

Date: SEPT 2019

Drawn: D.R.

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Drawing No. **DA-04**



Architectural Floor Plan Details:

- Rooms and Features:**
 - Master Bedroom (RL 50.30):** Includes a walk-in-robe, timber stairs (16 risers @ 181.25H to 2900H), and carpet over timber flooring.
 - Bed 2:** Includes a robe and a walk-in-robe.
 - Ensuite:** Two ensuite bathrooms, each with a toilet, sink, and shower.
 - Balcony:** Accessible from the Master Bedroom, featuring a box gutter and tile flooring.
- Windows and Doors:**
 - Alum. frame awning windows:** (2720W x 500H), (1300W x 2760H), (3500W x 500H), and (2000W x 500H).
 - Alum. frame stacker doors:** (3900W x 2800H) and (4528W x 2800H).
 - 1800H privacy screen:** Located on the deck roof below and near the balcony.
 - Rain head:** Located near the balcony and the deck below.
- Dimensions and Levels:**
 - Levels:** RL 50.22 (Balcony), RL 50.30 (Master Bedroom).
 - Deck Roof Below:** Dimensions include 2000, 2490, and 2150.
 - Roof Below:** Dimensions include 11590, 1300, 90, 2530, 94090, 600, 900, 90, 3500, and 90.
 - Deck Below:** Dimensions include 90, 2000, 90, 4400, 5230, 190, 7500, and 2150.
- Other Annotations:**
 - Solahart panels x 34 (1670 x 1000 x 34):** Located on the roof below.
 - Box gutter:** Located on the balcony.
 - Tile flooring:** Located on the balcony.
 - Connect to existing:** Indicated for the timber stairs and the deck roof below.

Drawing No. DA-05

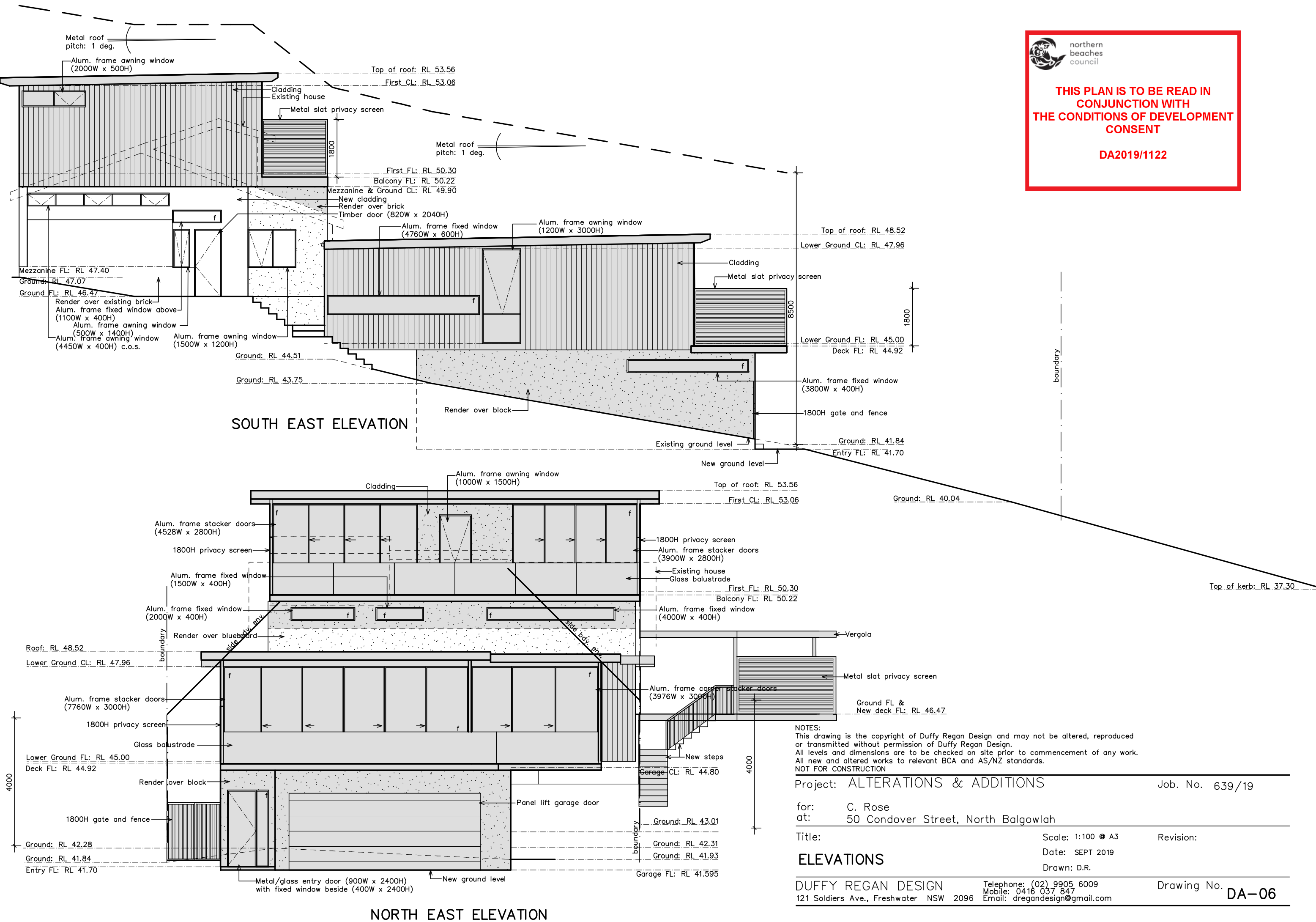




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beaches
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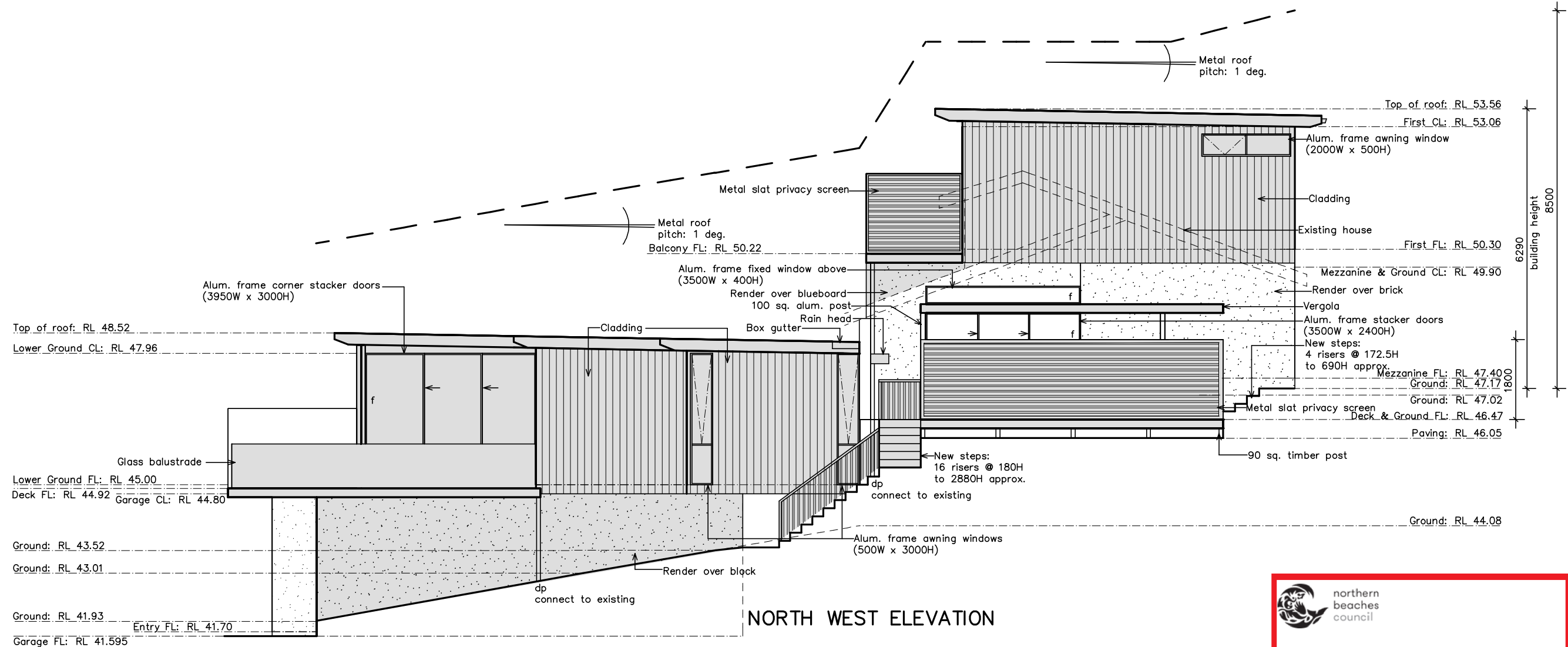
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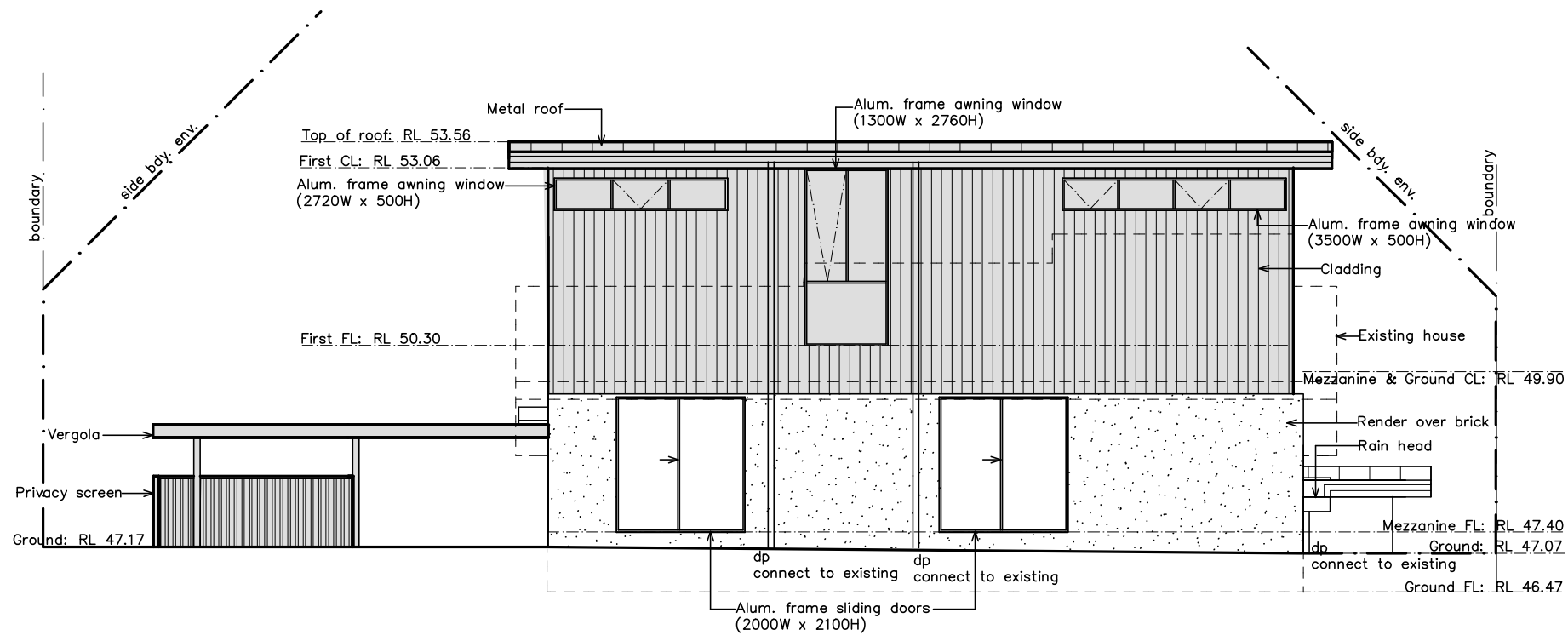


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Project: ALTERATIONS & ADDITIONS		Job. No. 639/19	
for: C. Rose			
at: 50 Condover Street, North Balgowlah			
Title:		Scale: 1:100 @ A3	Revision:
		Date: SEPT 2019	
		Drawn: D.R.	
DUFFY REGAN DESIGN		Telephone: (02) 9905 6009	Drawing No. DA-06
121 Soldiers Ave., Freshwater NSW 2096		Mobile: 0416 037 847 Email: dregandesign@gmail.com	



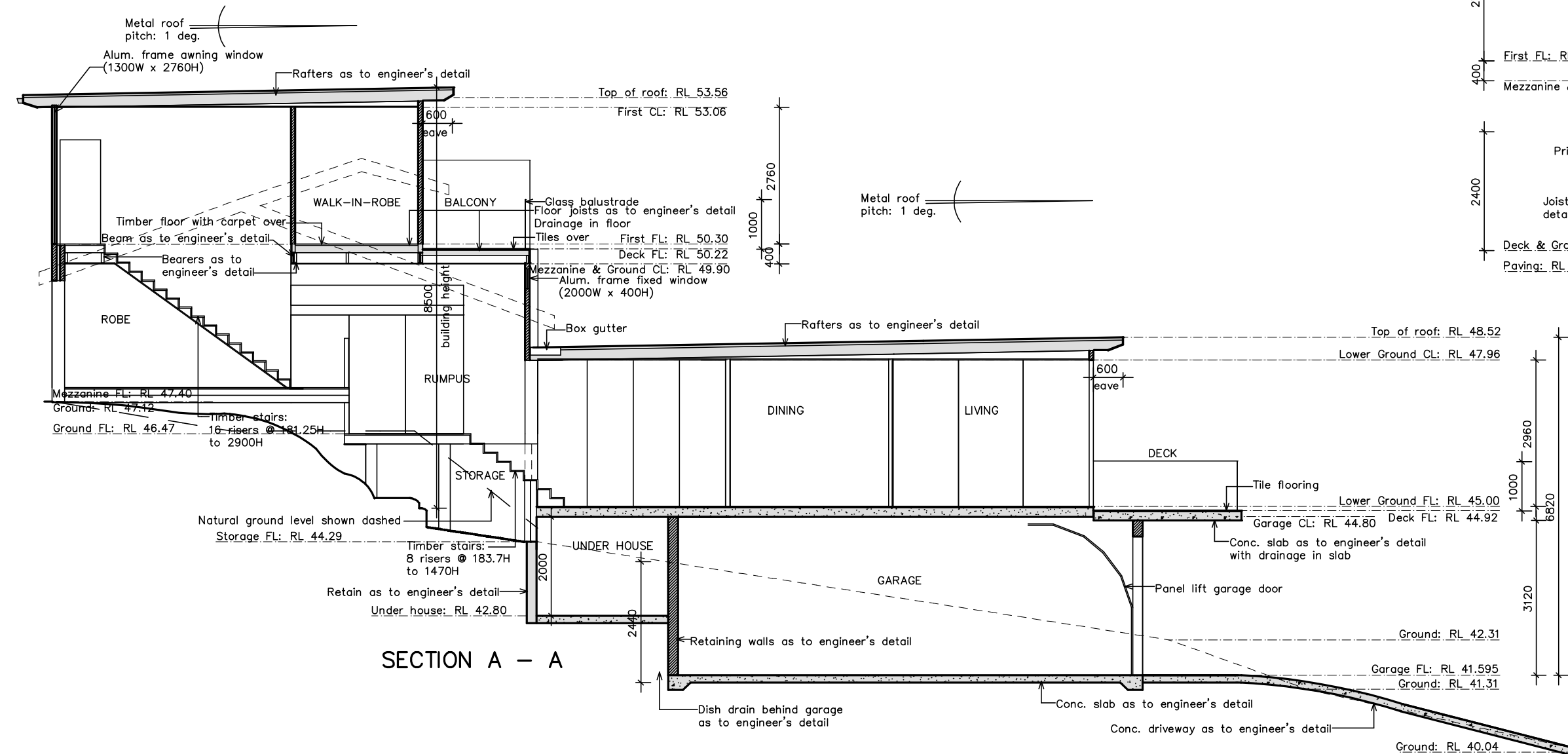
NORTH WEST ELEVATION



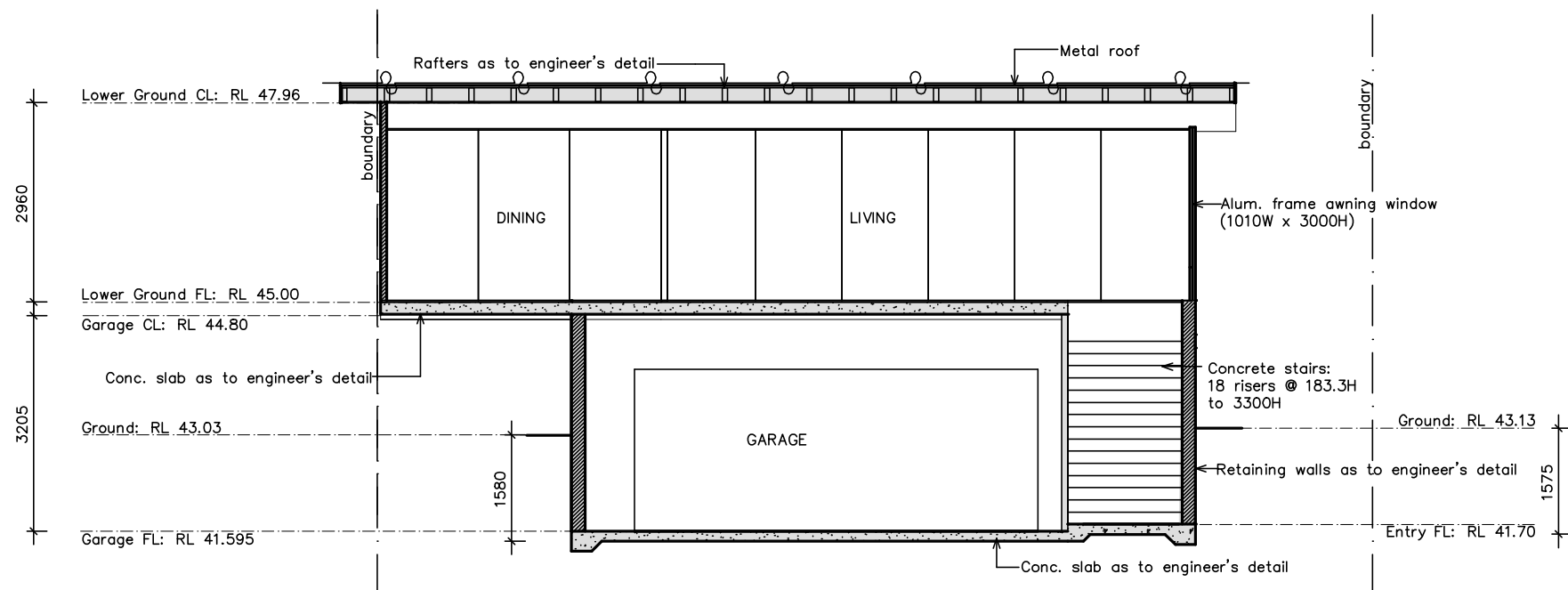
SOUTH WEST ELEVATION

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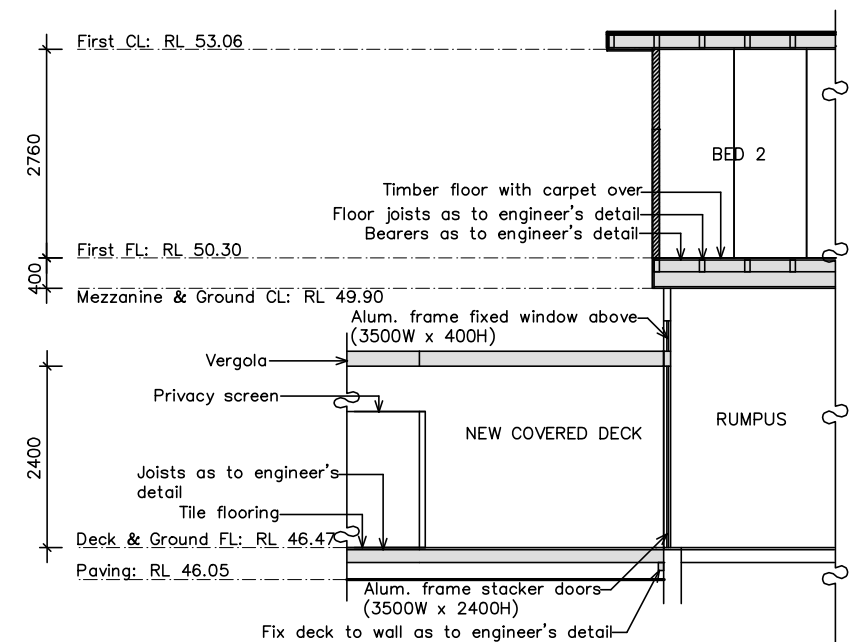
Project: ALTERATIONS & ADDITIONS		Job. No. 639/19	
for: C. Rose		Scale: 1:100 @ A3	
at: 50 Condoever Street, North Balgowlah		Revision:	
Title:		Date: SEPT 2019	
		Drawn: D.R.	
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SECTION A - A



SECTION B - B



SECTION C



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Project: ALTERATIONS & ADDITIONS

Job. No. 639/19

for: C. Rose
at: 50 Condoever Street, North Balgowlah

Title:

Scale: 1:100 @ A3

Revision:

Date: SEPT 2019

Drawn: D.R.

SECTIONS

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121 Soldiers Ave., Freshwater NSW 2096
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Drawing No. **DA-08**