

Town Planning:

Site Area: 543.8m²

Floor space Ratio: 0.6
543.8x0.6= 326.3m²

Zone: E4 Environmental Living

Max. Wall Height: 7.2m and 8m calculated for gradient

Max. Building Height: 8.5m

Max. Roof Slope: 35°

Lot size C: Min. 250m²

Setback: 1/3 Wall Height

Foreshore Scenic Protection Area
Bandicoot and Penguin Significant Area
Biodiversity Overlay

Dwelling Gross Floor Area

Boat shed	22.0m ²
Lower Floor	89.8m ²
Ground Floor	109.8m ²
First Floor	96.0m ²
TOTAL: (excludes plant, vertical circulation & basement storage)	317.6m²
Storage Shed	5m ²

NOTE: Drawings subject to Architects Developed and Detail Design revisions. Not for Construction. To be read in conjunction with Specification and Consultant Drawings

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16 Addison Rd, Sydney

Consultants

Quantity Surveyors	Dean, Murray & Partners Ltd.
Structural Engineers	Law Sue Davison Ltd.
Truss Designer	Buildable Layouts Ltd.
Geotechnical Engineer	Chambers Consultants Ltd.

designed	**	peer review	**
drawn	**	checked	**

scale **1:100 @ A1** date **19/09/2023**

title
Site Plan 1:200 @ A3

drawing set

New Development Application
Not For Construction

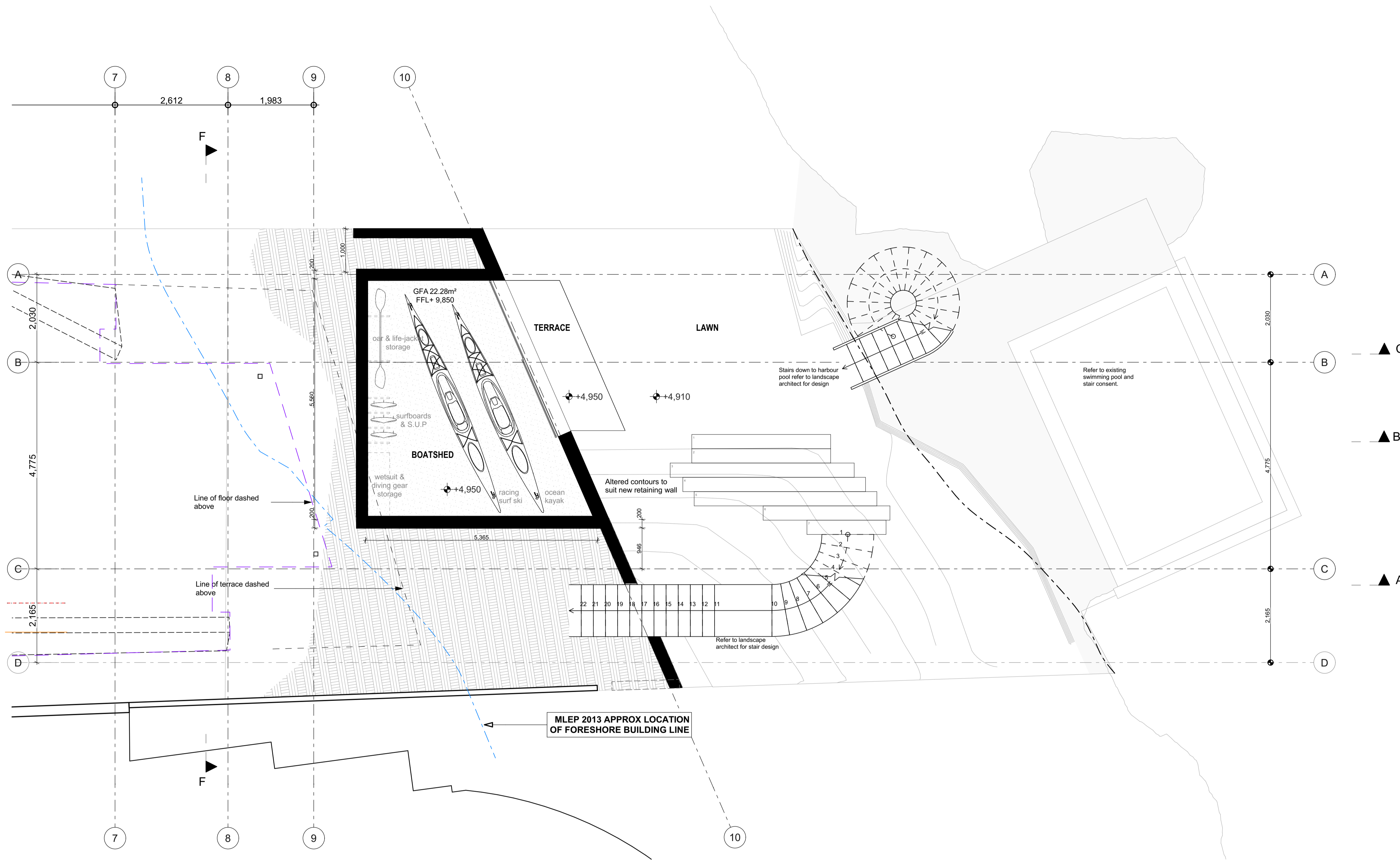
ref no.
18010

sheet no. rev.
1.2 A

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SITE PLAN 1:100

Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	16	GFA altered
			08	Replace existing approved internal gas fireplace with solid fuel fireplace in same location
			07	Small extension of external wall to new powder room, opaque glass to window
			06	Northern ground level glazing & front door relocated



BOAT SHED PLAN 1:50 01

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title
Boat Shed Plan - 1:100 @ A3

drawing set

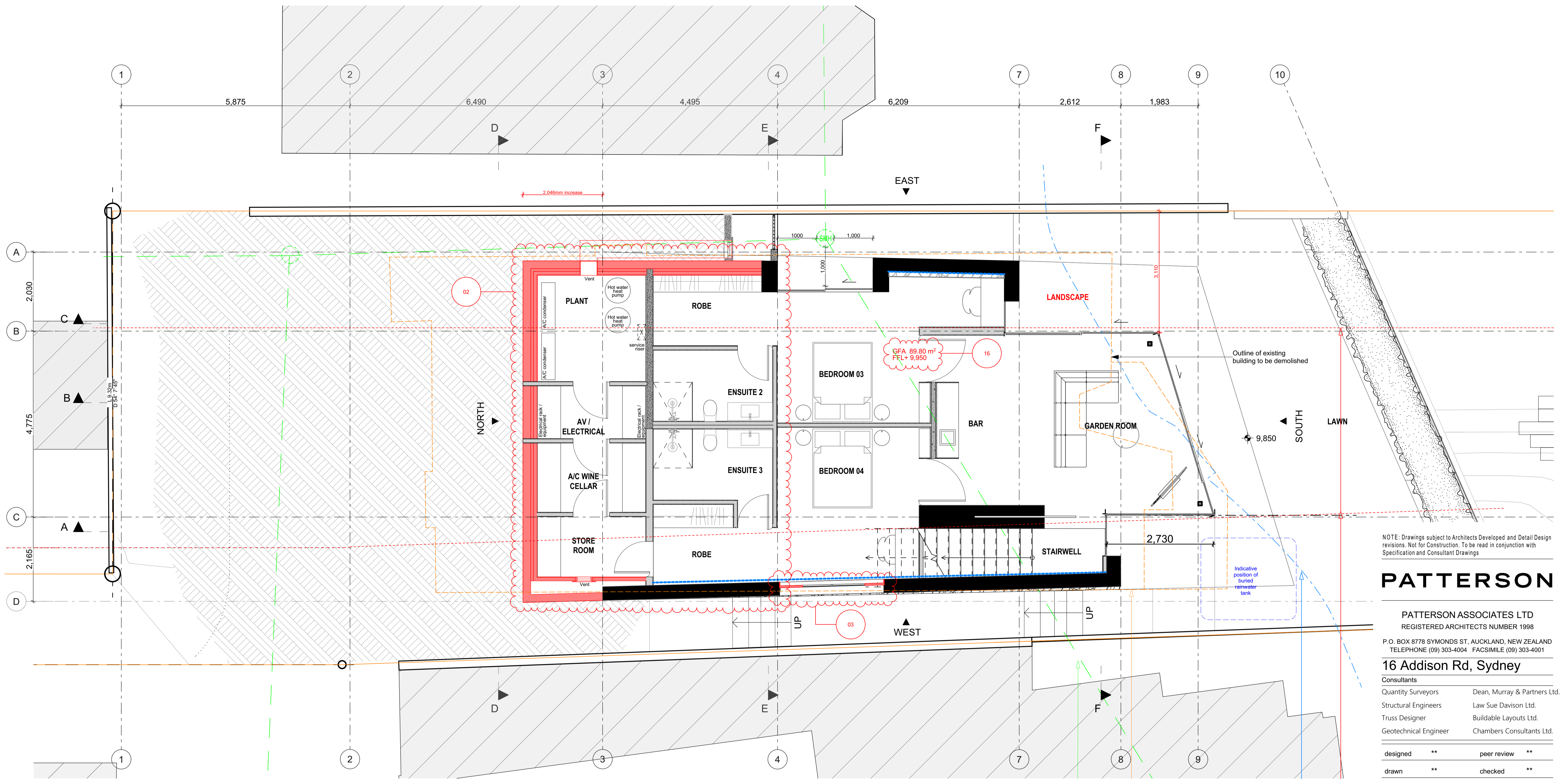
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sheet no. 1.3 rev. A

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Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	01	NO CHANGE



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designed ** peer review **
drawn ** checked **

scale 1:50 @ A1 date 19/09/2023

title
Lower Floor Plan - 1:100 @ A3

drawing set

New Development Application
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ref no.
18010

sheet no. 1.4 rev. A

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LOWER FLOOR PLAN 1:50

1400mm Wall Height

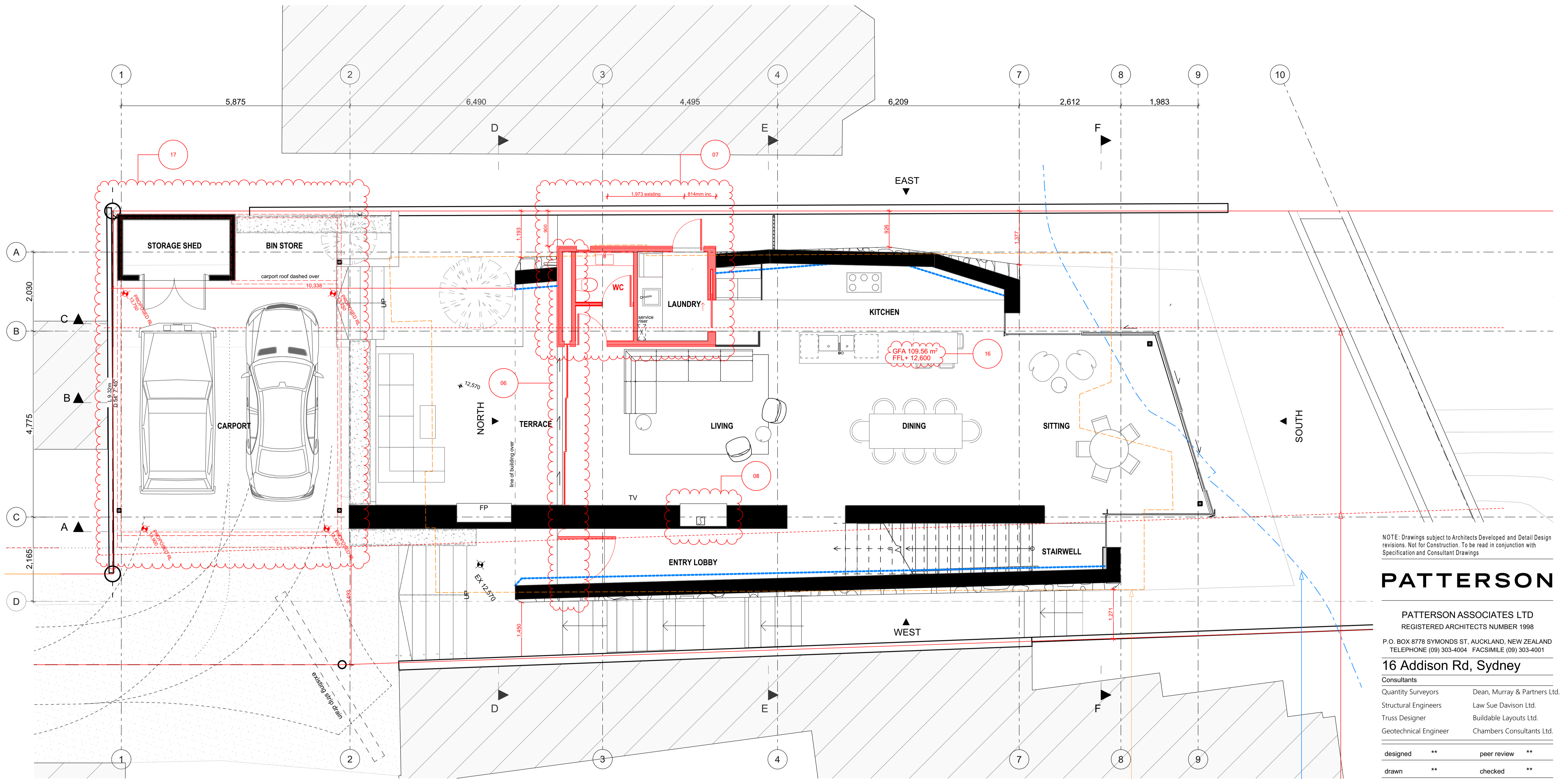
Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	16	GFA altered
			03	Increased window in western facade
			02	Basement excavation extended for plant equipment, internal layout altered

APPROX LOCATION OF BOARDS SEWER CONNECTION SHOWN DASHED

OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

MLEP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE

SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY



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drawn ** checked **

scale 1:50 @ A1 date 19/09/2023

title
Ground Floor Plan - 1:100 @ A3

drawing set

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ref no.
18010

sheet no. 1.5 rev. A

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GROUND FLOOR PLAN 1:50

1400mm Wall Height

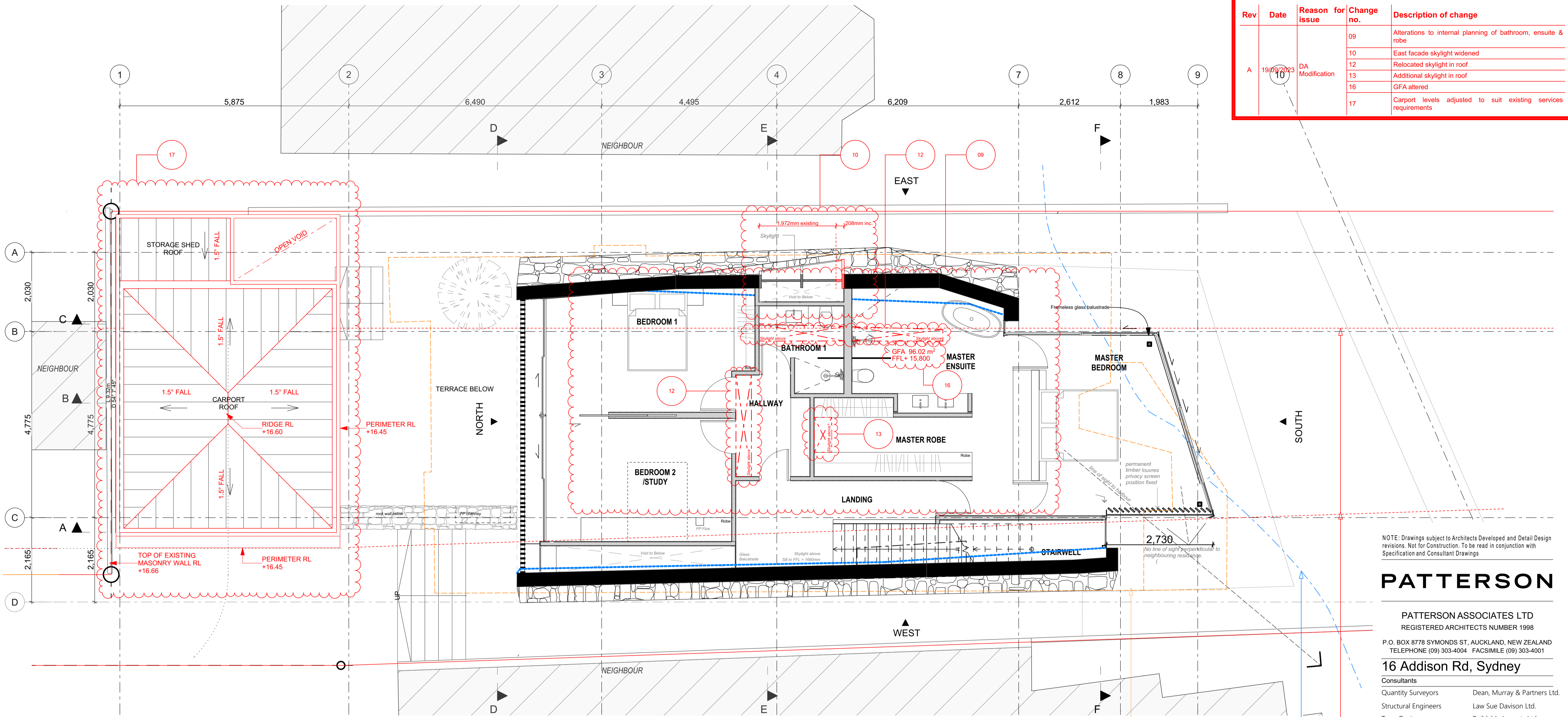
OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

MLEP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE

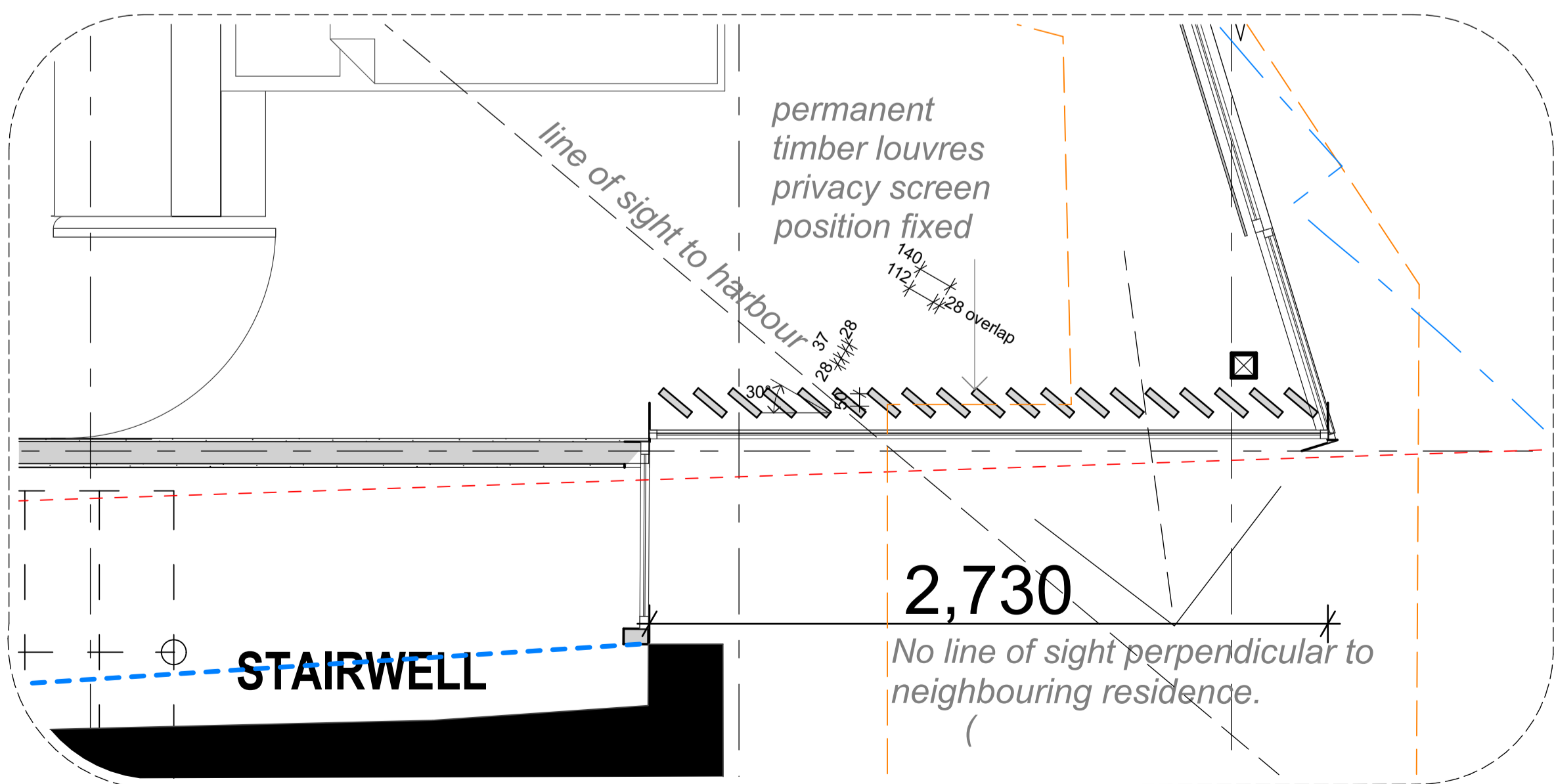
SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	17	Carport levels adjusted to suit existing services requirements
			16	GFA altered
			08	Replace existing approved internal gas fireplace with solid fuel fireplace in same location
			07	Small extension of external wall to new powder room, opaque glass to window
			06	Northern ground level glazing & front door relocated

Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	09	Alterations to internal planning of bathroom, ensuite & robe
			10	East facade skylight widened
			12	Relocated skylight in roof
			13	Additional skylight in roof
			16	GFA altered
			17	Carport levels adjusted to suit existing services requirements



FIRST FLOOR PLAN 1:50



TIMBER PRIVACY SCREEN 1:20

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designed ** peer review **
drawn ** checked **

scale 1:50 @ A1 date 19/09/2023

title
First Floor Plan - 1:100 @ A3

drawing set

New Development Application
Not For Construction

ref no.
18010

sheet no. 1.6 rev. A

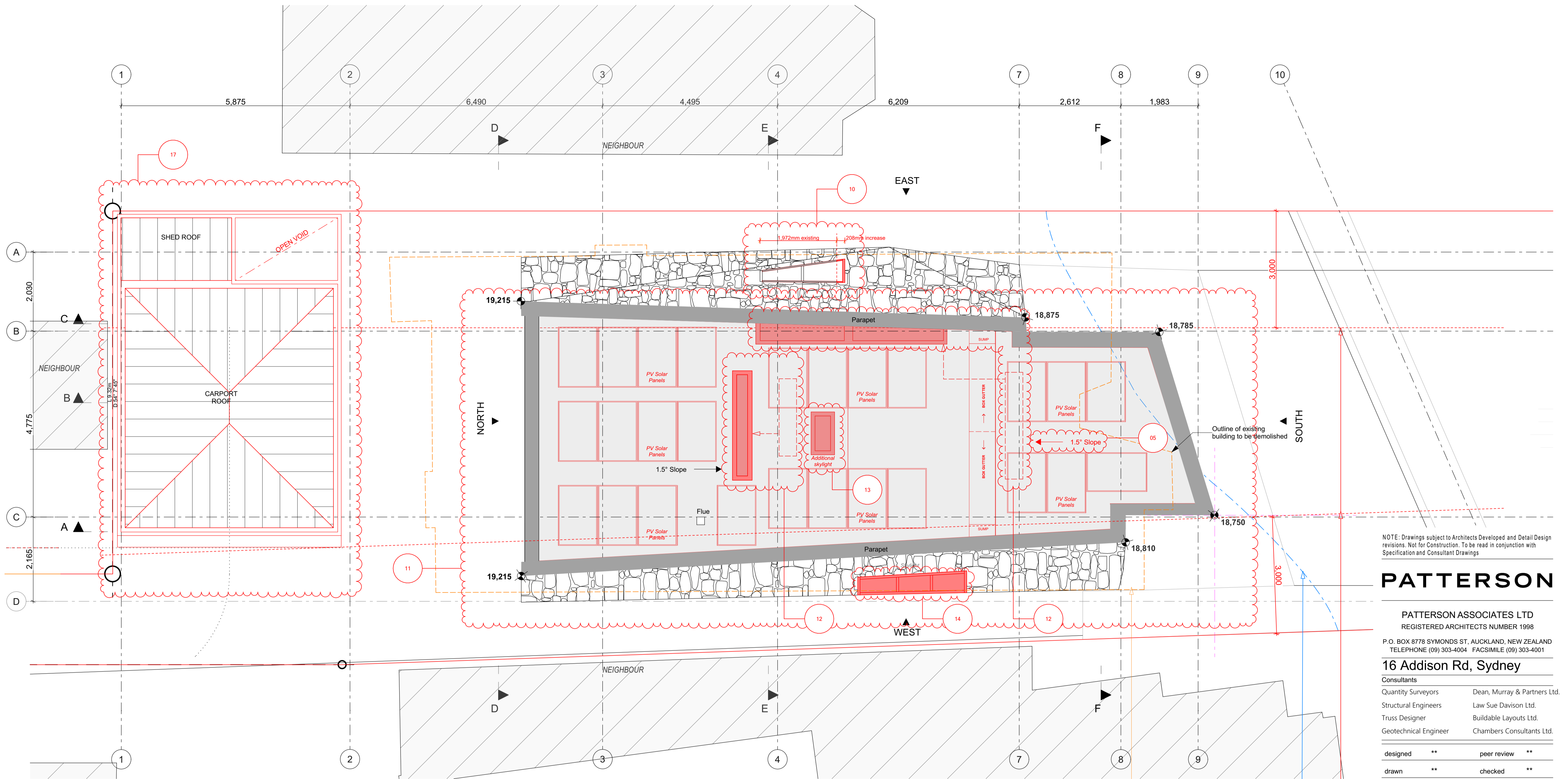
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OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

MLEP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE

SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

1400mm Wall Height



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designed ** peer review **
drawn ** checked **

scale 1:50 @ A1 date 19/09/2023

title
Roof Plan - 1:100 @ A3

drawing set

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ref no.
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sheet no. 1.7 rev. A

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OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

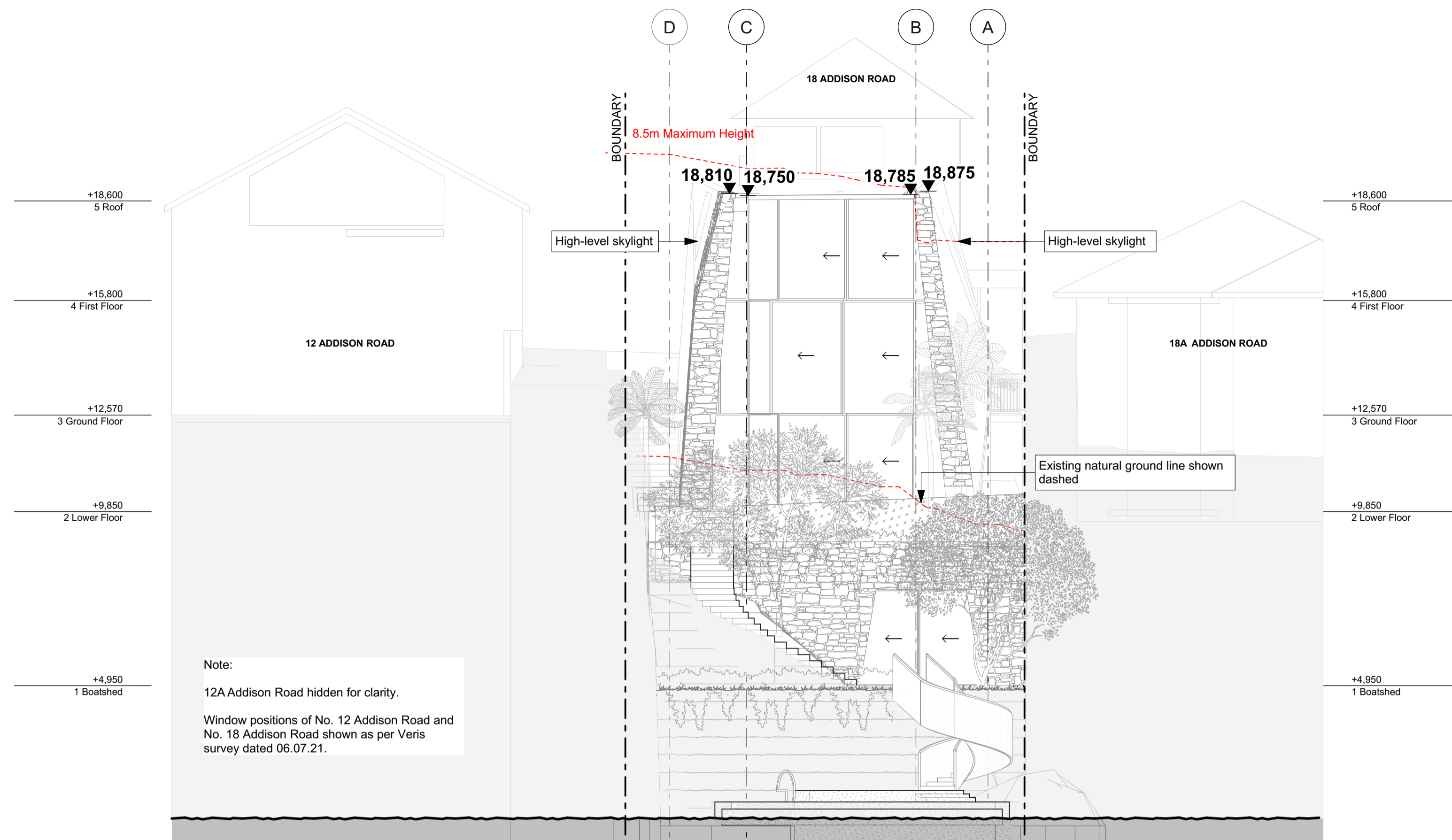
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SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

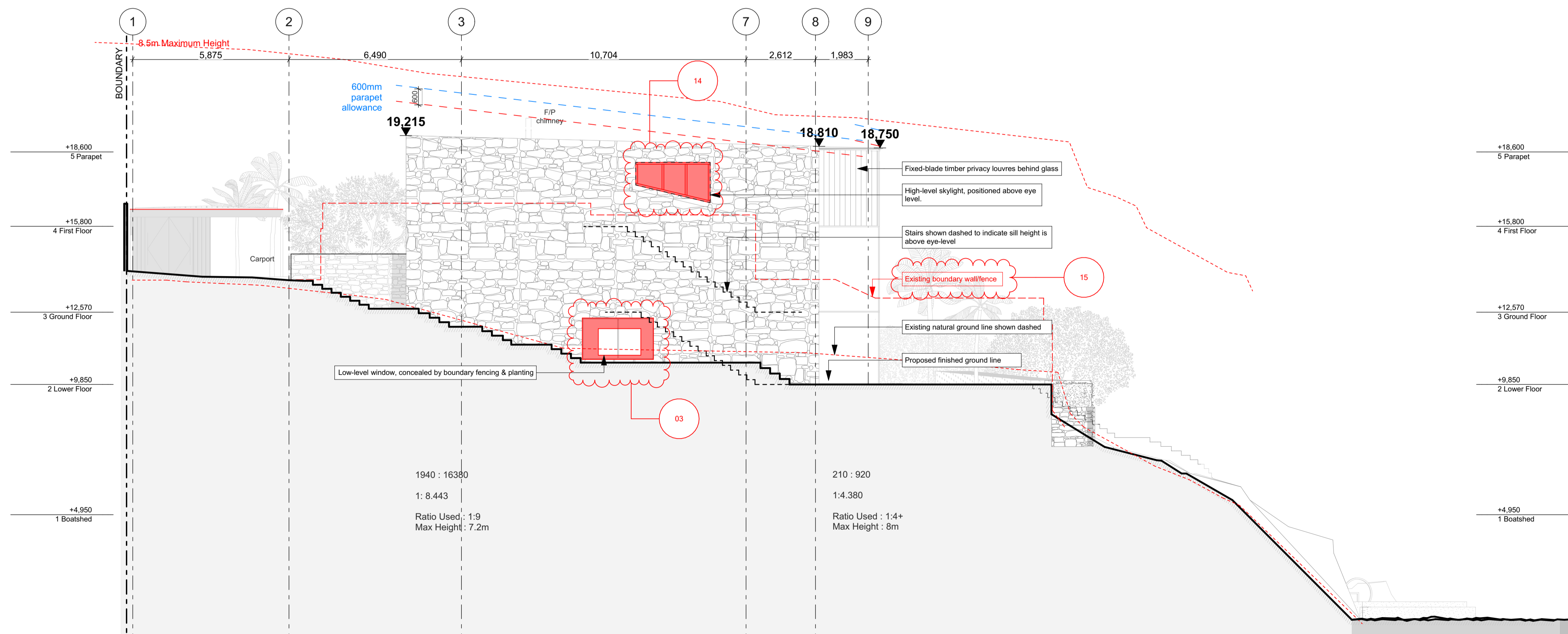
ROOF PLAN 1:50

Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	17	Carport levels adjusted to suit existing services requirements
			14	Relocated skylight in west facade, same size
			13	Additional skylight in roof
			12	Relocated skylight in roof
			11	PV solar panels added to roof
			10	East facade skylight widened
			05	Direction of roof slope adjusted

Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	01	NO CHANGE
			03	Increased window in western facade
			14	Relocated skylight in west facade, same size
			15	Line of existing boundary wall / fence added to drawings



SOUTH ELEVATION 1:100 01



WEST ELEVATION 1:100

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designed ** peer review **
drawn ** checked **

scale 1:100 @ A1 date 19/09/2023

title
Elevations - 1:200 @ A3

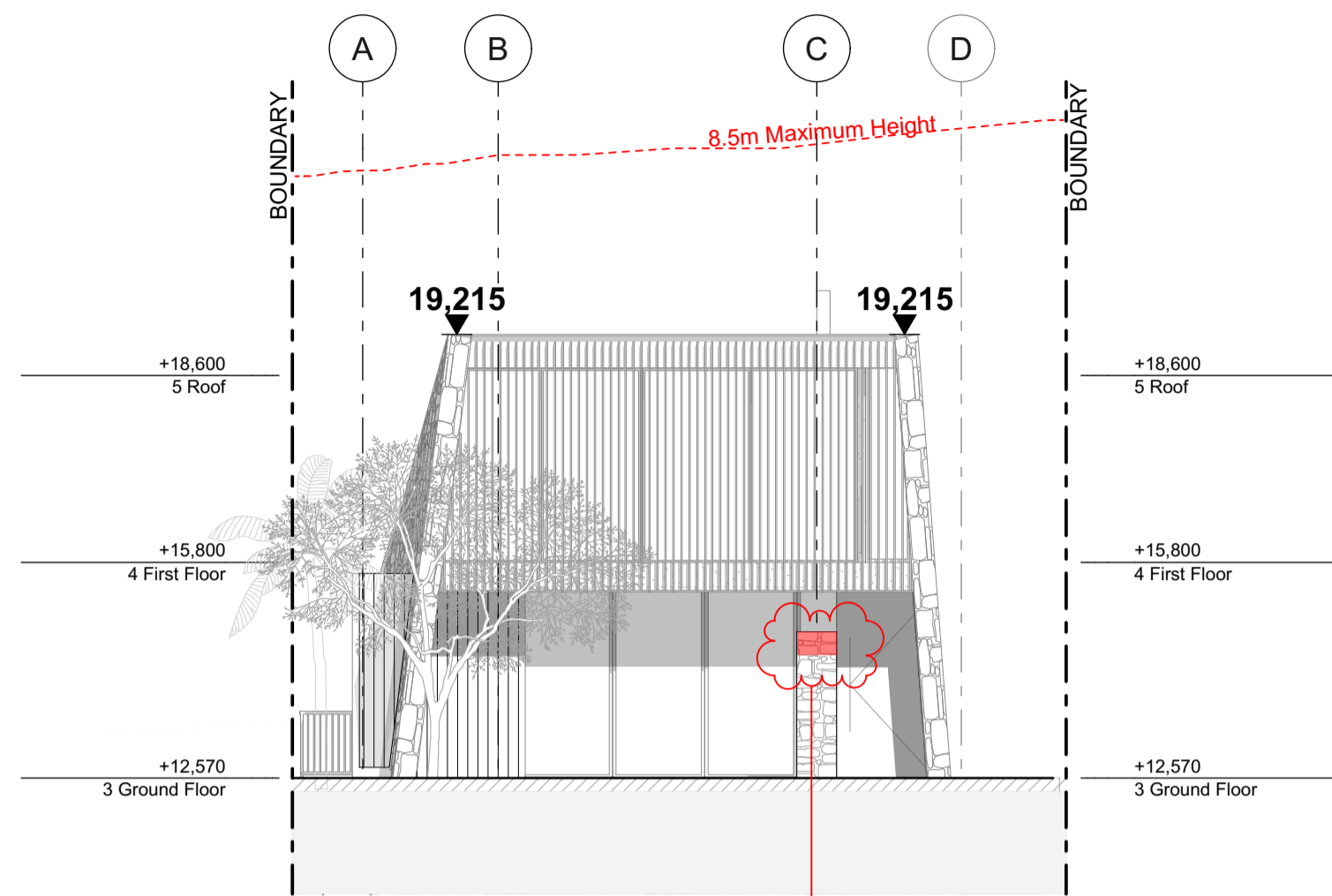
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sheet no. rev.
2.1 A

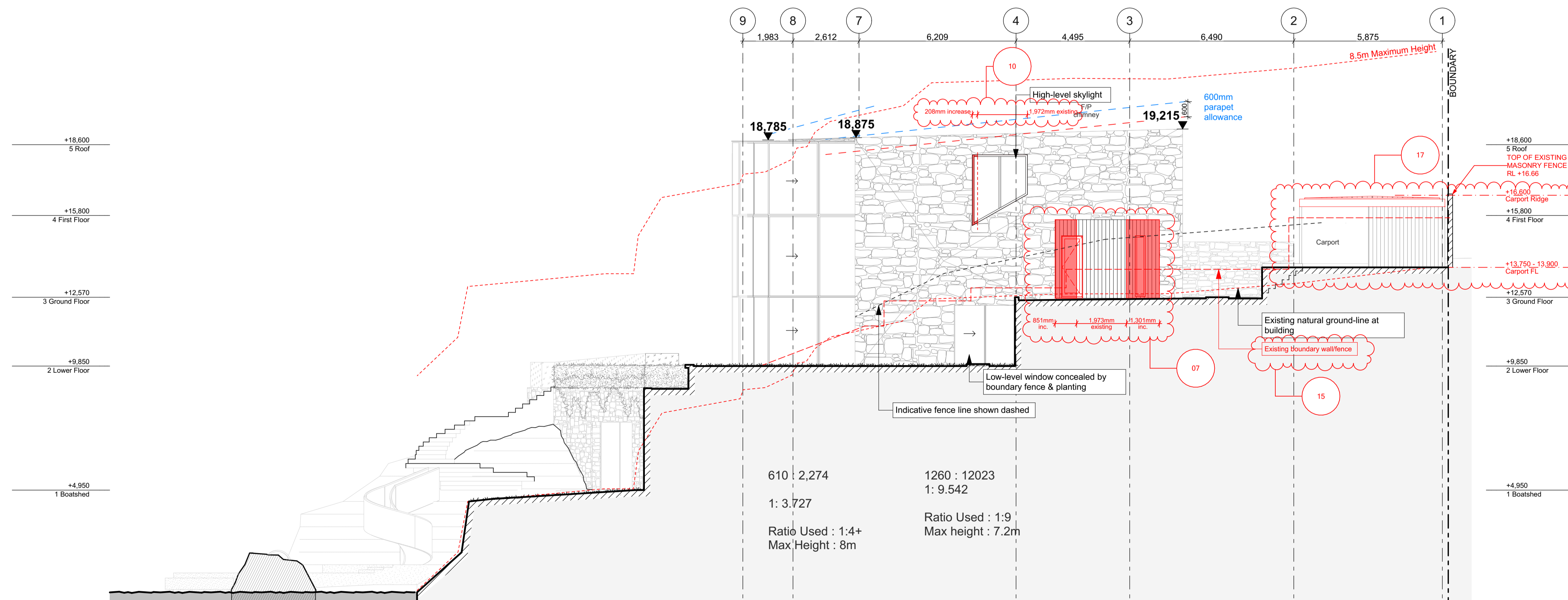
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Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	04	Increase height of landscape wall 400mm
			06	Northern ground level glazing & front door relocated
			07	Small extension of external wall to new powder room, opaque glass to window
			10	East facade skylight widened
			15	Line of existing boundary wall / fence added to drawings
17	Carpport levels adjusted to suit existing services requirements			



NORTH ELEVATION 1:100

04



EAST ELEVATION 1:100

610 : 2,274
1: 3.727
Ratio Used : 1:4+
Max Height : 8m

1260 : 12023
1: 9.542
Ratio Used : 1:9
Max height : 7.2m

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designed ** peer review **
drawn ** checked **

scale 1:100 @ A1 date 19/09/2023

title
Elevations - 1:200 @ A3

drawing set

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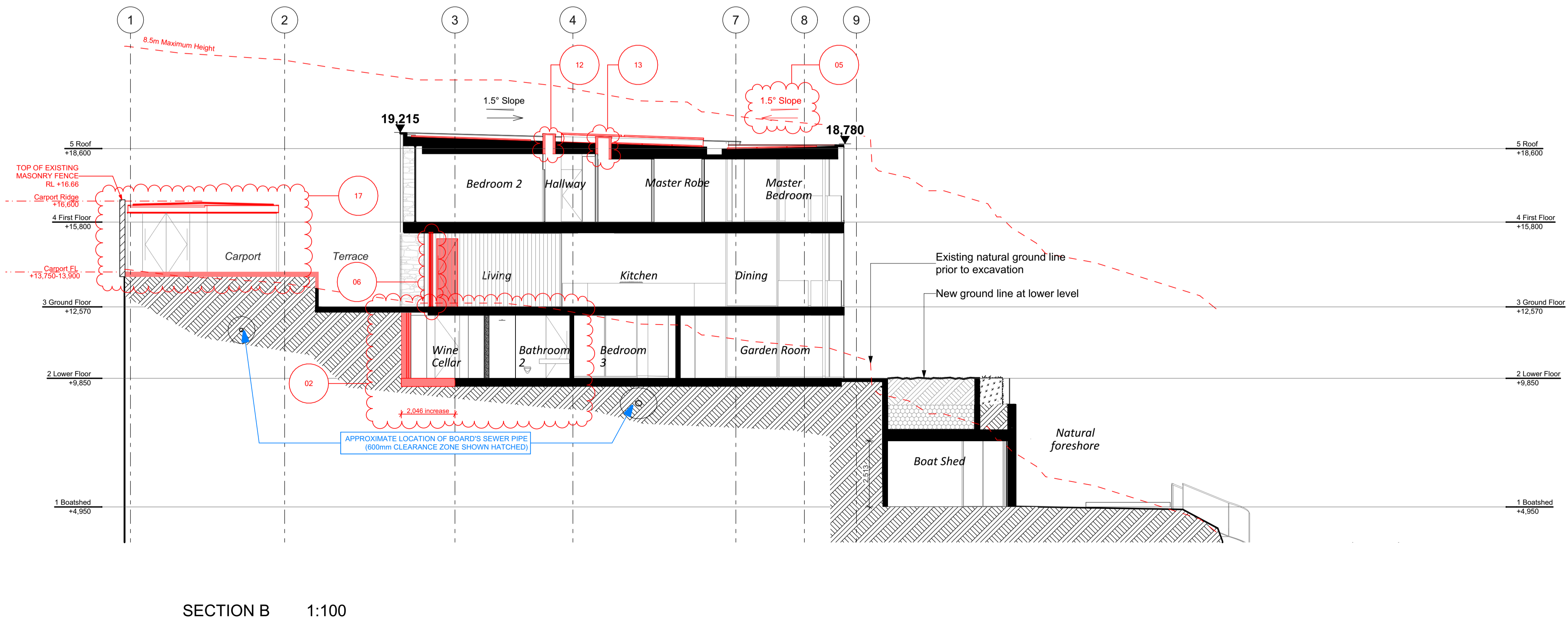
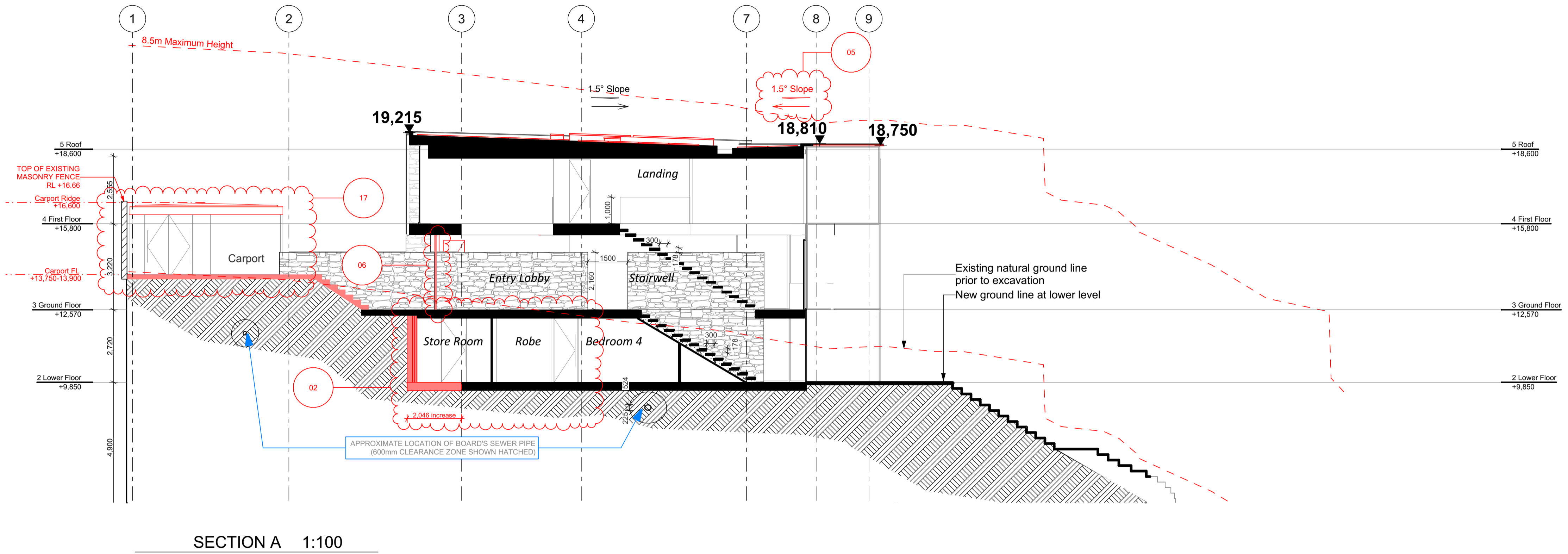
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Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	02	Basement excavation extended for plant equipment, internal layout altered
			05	Direction of roof slope adjusted
			06	Northern ground level glazing & front door relocated
			12	Relocated skylight in roof
			13	Additional skylight in roof
			17	Carport levels adjusted to suit existing services requirements



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title
Sections - 1:200 @ A3

drawing set

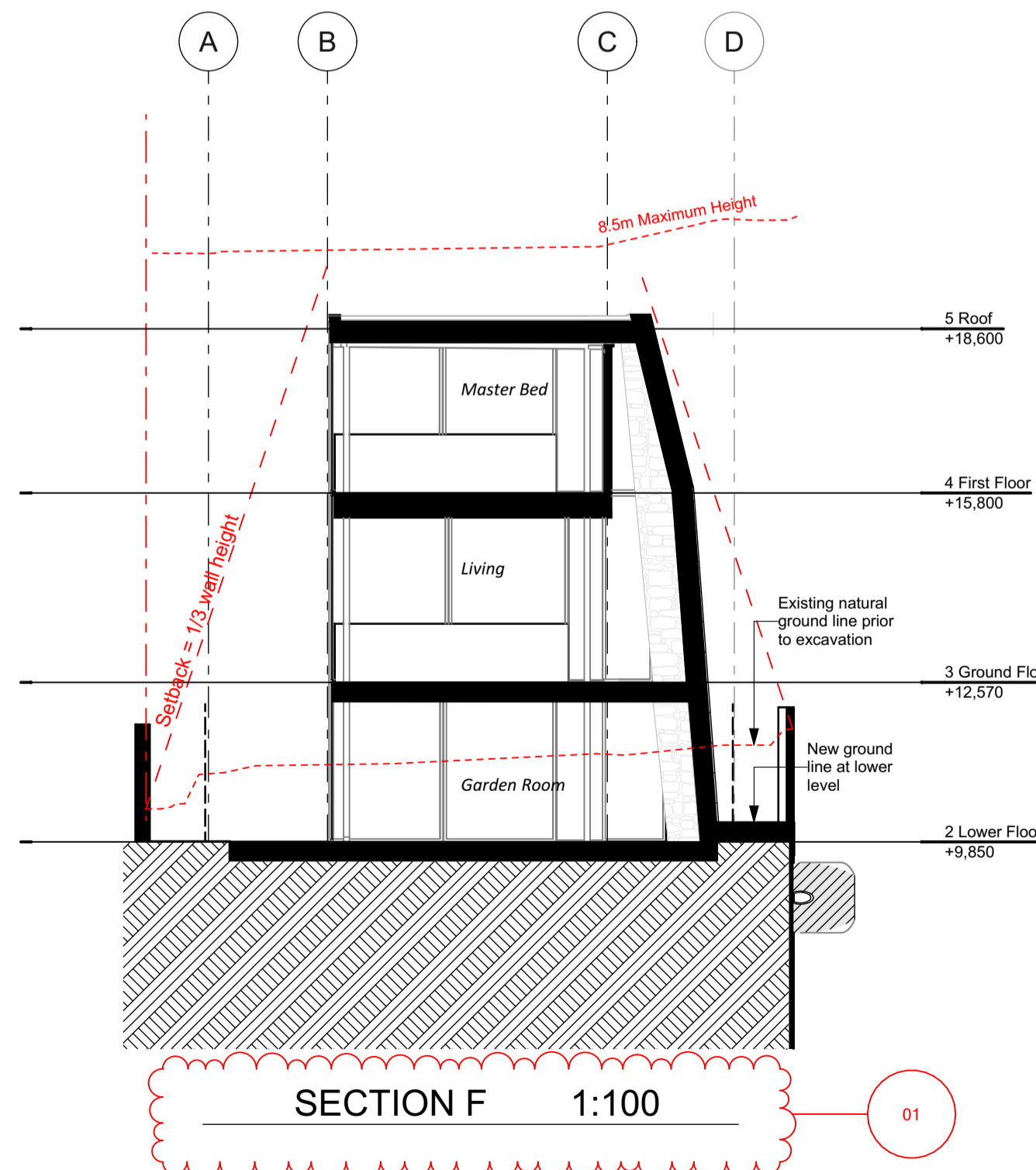
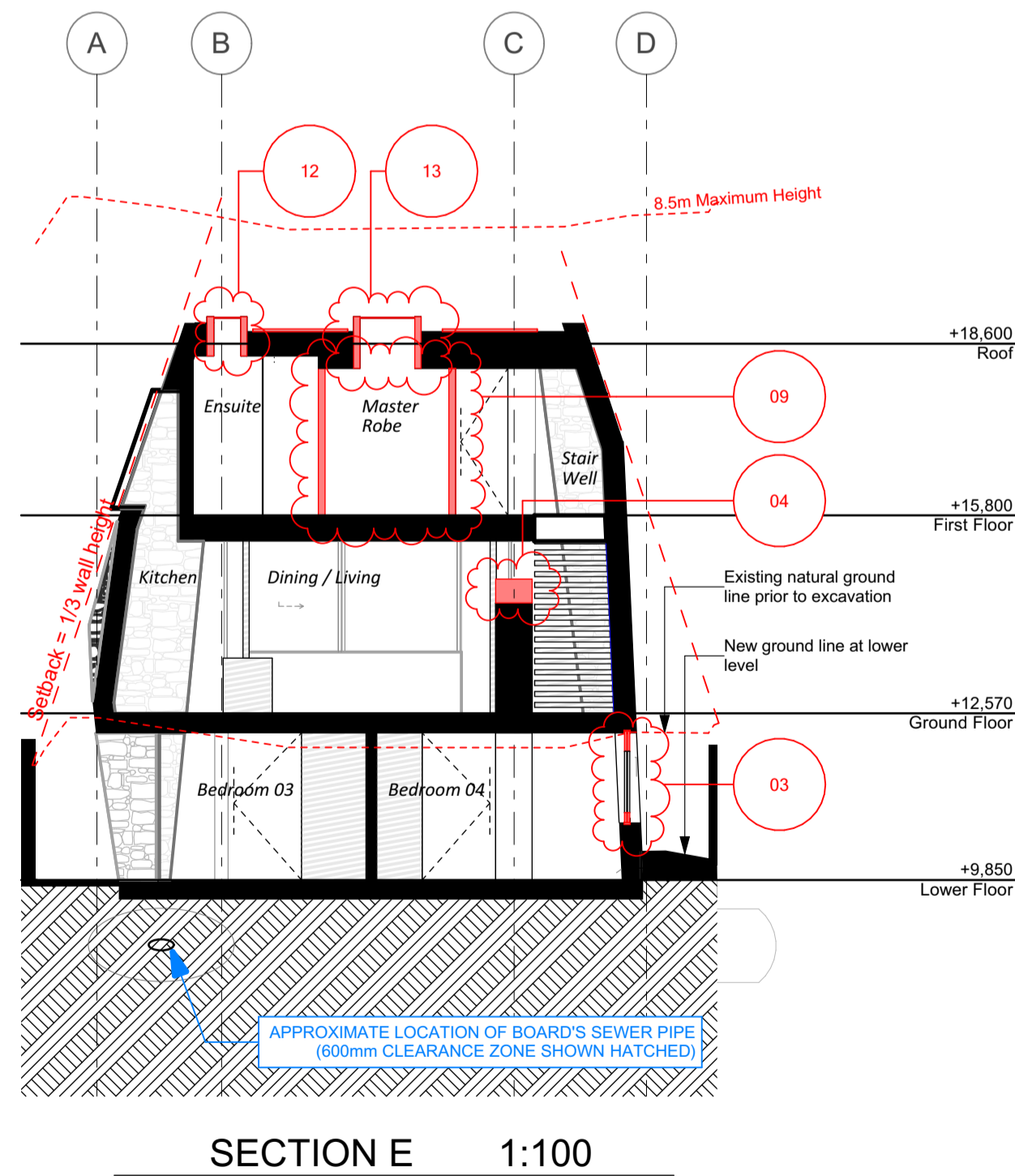
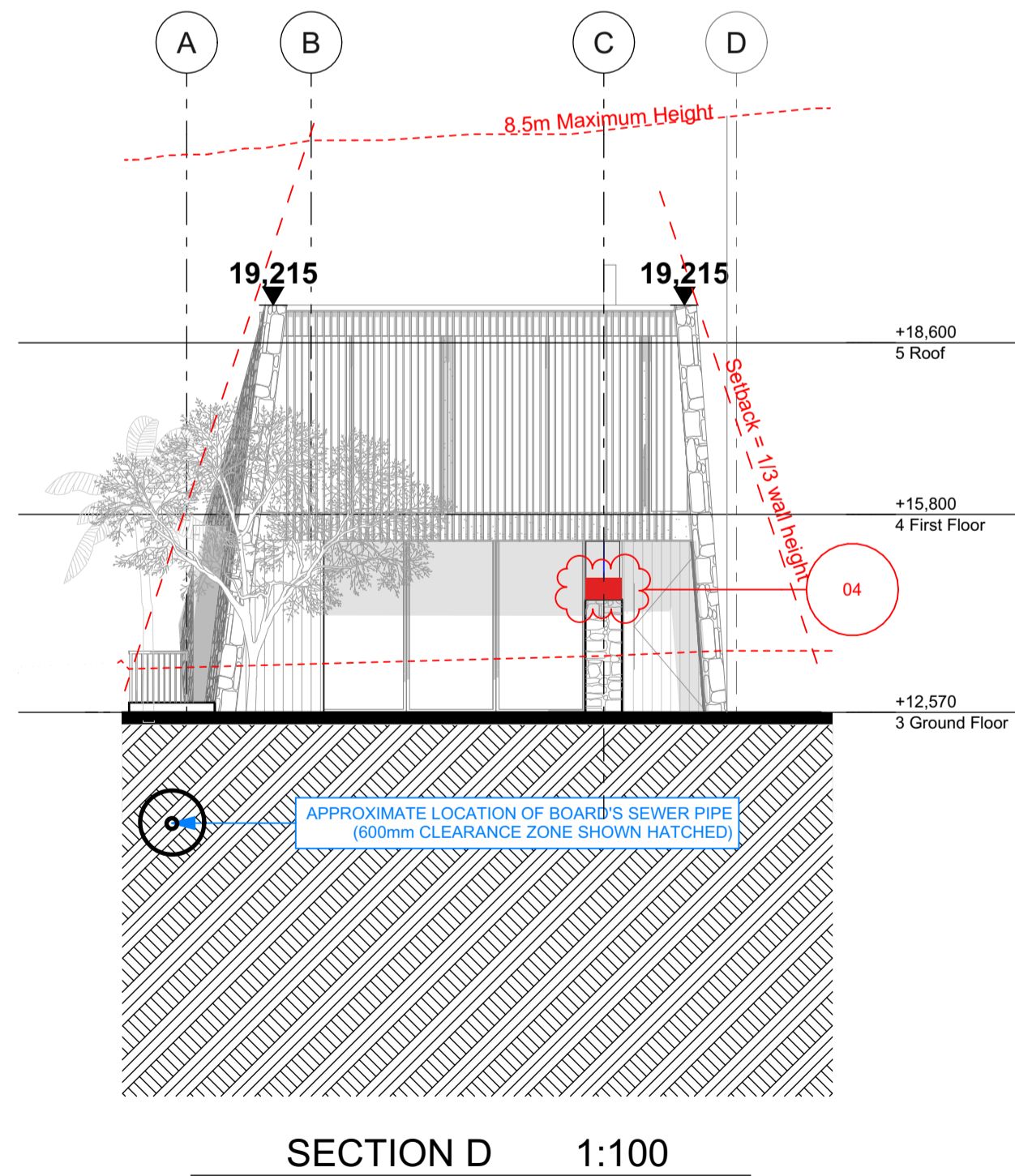
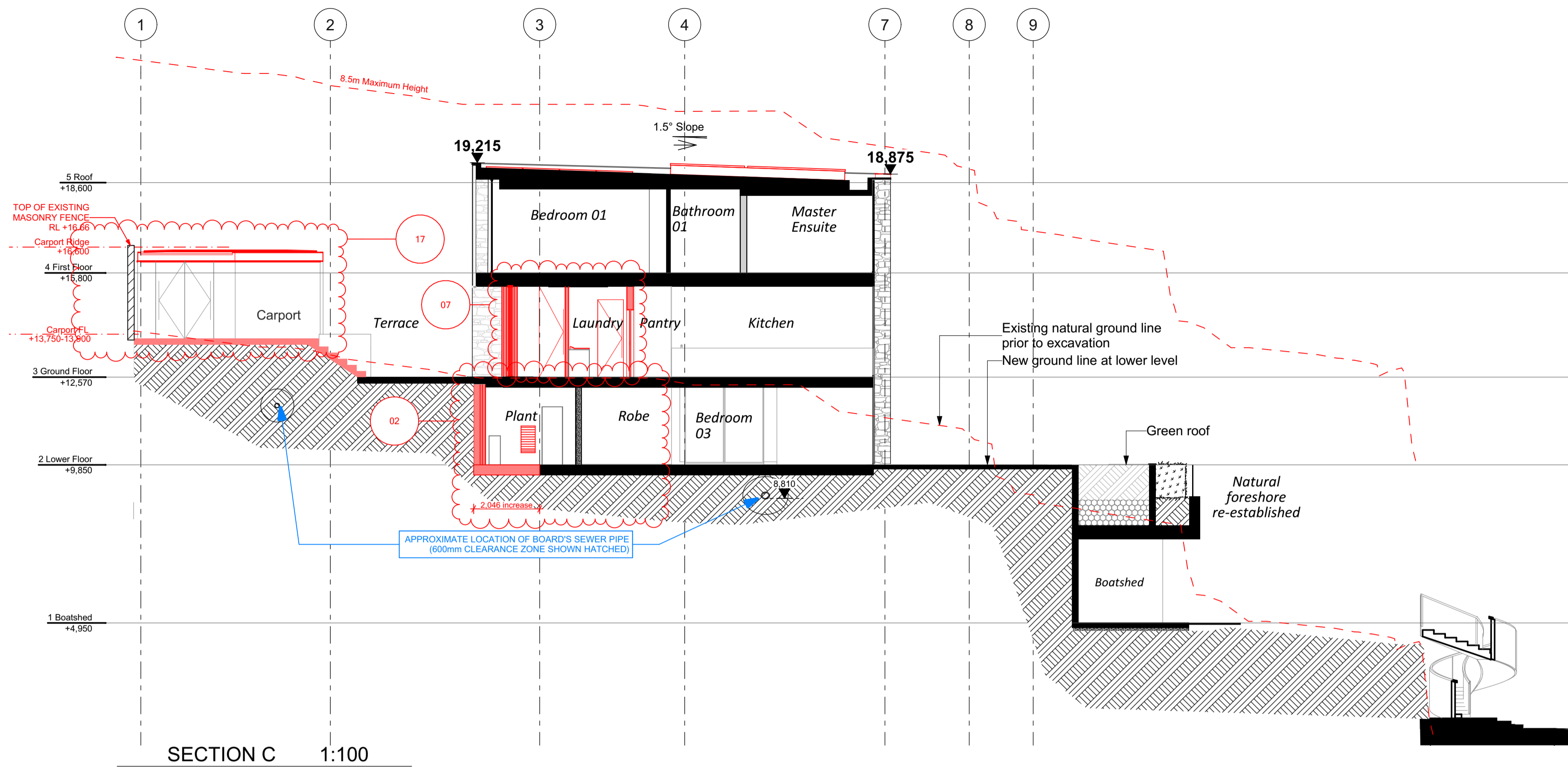
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			01	NO CHANGE
			02	Basement excavation extended for plant equipment, internal layout altered
			03	Increased window in western facade
			04	Increase height of landscape wall 400mm
			05	Direction of roof slope adjusted
A	19/09/2023	DA Modification	07	Small extension of external wall to new powder room, opaque glass to window
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designed: ** peer review: **
drawn: ** checked: **

scale: 1:100 @ A1 date: 19/09/2023

title: Sections - 1:200 @ A3

drawing set
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ref no.: 18010
sheet no.: 3.2 rev.: A

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