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EXISTING TREE / PLANT SCHEDULE (based on the DRAFT AIA prepared by Growing My Way Tree Consultants dated June 2021):

Tree	Botanical Name:	Common Name:	Height	Canopy	Diameter	SRZ	TPZ	Condition:	Impacted by	Proposed Action:	Comments:
ID "			m:	diam	at breast	radius	radius		proposed		
#:				m:	height m:	m:	m:		development:		
T1*	Callistemon viminalis	Bottlebrush	<6.0	<9.0	0.380	2.45	4.56	Good	yes	Retain	Street tree under Council care and management
T2*	Photinia x fraseri 'Robusta"	Photinia	<6.0	<6.5	0.340	2.25	4.08	Good	yes	Remove and replace	Onsite
T3*	Angphora floribunda	Rough-barked Apple	<15.5	<14.0	0.900	3.31	10.80	Fair to good	yes	Retain	Significant tree in the neighbouring property
T4*	Howea forsteriana	Kentia Palm	<4.0	<5.02	0.290	n/a	3.48	Good	yes	Retain	Located on neighbouring property
T5*	Callistemon viminalis	Bottlebrush	<9.5	<8.0	0.440	2.47	5.28	Good	yes	Replace	Located on neighbouring property
T6*	Unknown							Nearly dead	yes	N/A	Located on neighbouring property
T7*	Callistemon viminalis	Bottlebrush	<8.0	<4.50	0.240	1.94	2.88	Poor	not	Replace	Located on neighbouring property
T8*	Syzygium jambos	Lillypilly	<7.5	<7.5	0.250	2.05	3.00	Good	marginally	Replace	Located on neighbouring property
T9*	Tibouchina lepidota	Tibouchina	<8.0	<6.0	0.260	2.05	3.12	Fair	marginally	Retain	Located on neighbouring property
T10*	Syzygium jambos	Lillypilly	<8.0	<6.0	0.260	2.05	3.12	Good	marginally	Replace	Located on neighbouring property
T11*	Callistemon viminalis	Bottlebrush	<6.0	<6.0	0.160	1.94	2.00	Good	yes	Remove and replace	Onsite
T12	Jacaranda mimosiifolia	Jacaranda***	13.0	16.0	0.700	8.40**	2.80**		marginally	Retain	Onsite – significant tree
T13	Unknown	Pine***	6.0	5.0	0.300	3.60**	2.00**		yes	Retain	Onsite
T14	Schefflera actinophylla	Umbrella Tree***	6.0	6.0	0.400	4.80**	2.30**		yes	Remove	Onsite (environmental weed)
T15	Mangifera indica	Mango	6.0	8.0	0.300	3.60**	2.00**		yes	Remove	Onsite
T16	Lagerstroemia indica	Crepe Myrtle***	5.0	5.0	0.200	2.40**	1.70**		yes	Remove	Onsite
T17	Callistemon viminalis	Bottlebrush	4.0	4.0	0.300	3.60**	2.00**		yes	Retain	Street tree under Council care and
											management
T18	Plumeria alba	Franjipani	4.0	4.0					yes	Remove	Onsite
T19	Unknown								not	Dead	Located on neighbouring property

Trees subject of AIA ** Estimated from surveyor's dimensions

*** exempt tree does not require approval for removal (Northern Beaches Council)

Existing trees to be retained (refer to Existing Tree /

Existing trees located offsite to be replaced (refer to

Proposed tree protection zone for each tree (refer to Existing Tree / Plant Schedule on this sheet for details) Proposed structural root zone for each tree (refer to Existing Tree / Plant Schedule on this sheet for details)

Proposed Tree Protection (TPZ) fencing as identified in

Tree numbering (1 to 11) as identified in the Arborist's

Tree numbering (12 to 17) as added on the

Items to be demolished / removed

Existing Tree / Plant Schedule on this sheet for details)

Existing trees onsite to be removed and replaced (refer to Existing Tree / Plant Schedule on this sheet for

Plant Schedule on this sheet for details)

the Arborist's Report)

Landscape Plan

Based on the Arborist Report prepared by Growing My Way (dated Nov 2020). **NOTE:** Print in colour for accuracy of

19.05.2021 DRAFT issued electronically as PDF for FEEDBACK 25.05.2021 DRAFT amended / issued electronically as PDF 3.06.2021 DRAFT amended / issued electronically as PDF
4.06.2021 FINAL SET issued electronically as PDF
8.06.2021 FINAL SET issued electronically as PDF

Proposed Four Unit Development

3 Brookvale Ave Brookvale NSW 2100

Primo Design Pty Ltd

www.pamfletcher.com

Existing Tree and Site Plan

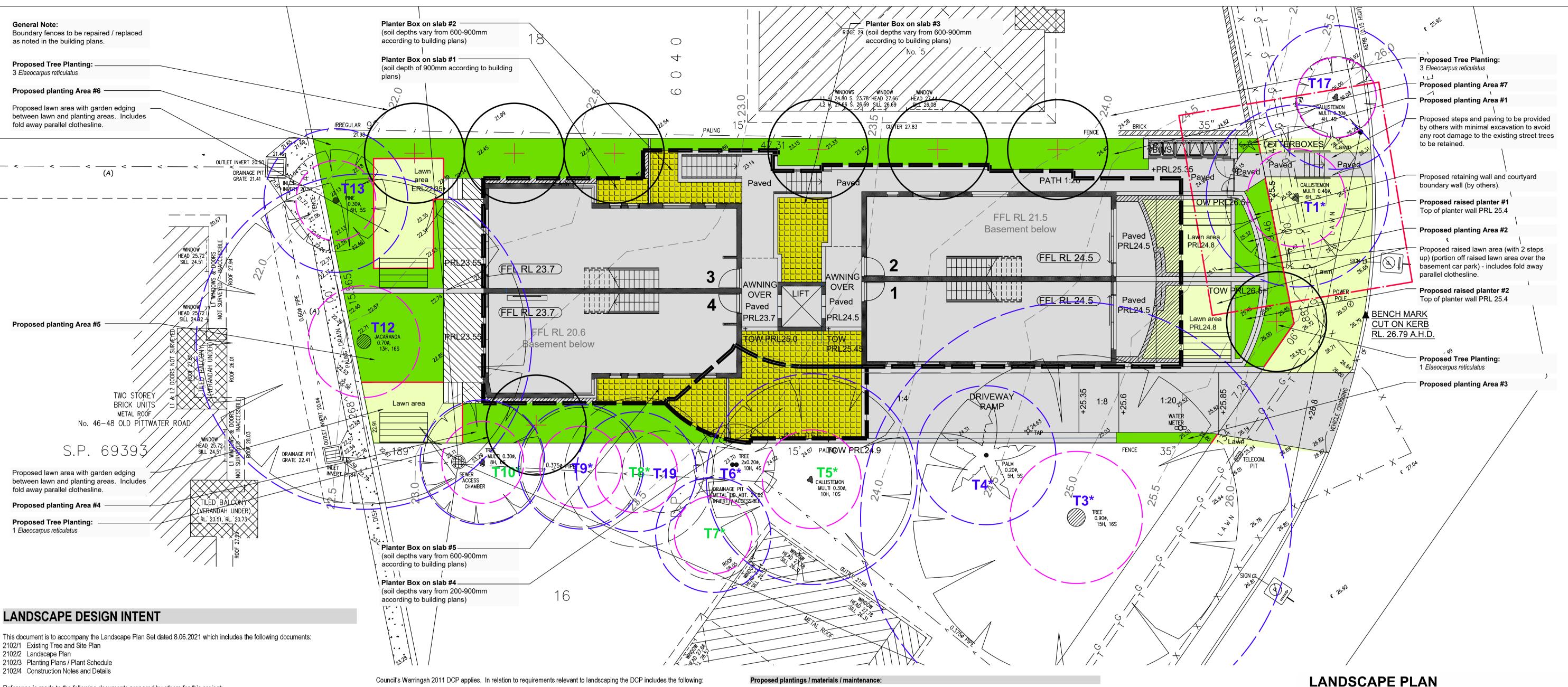
Scale: Plan and Bar Scale @ 1:100 @ A1 sheet size

0 1m 5m Base drawing supplied by Bee & Lethbridge Pty Ltd Date: May 2021 (refer amends table)

Dwg no: 2102/1

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Reference is made to the following documents prepared by others for this project:

- Architectural Plans prepared by Barry Rush and Associated Pty Ltd dated 18 May 2021; • Arboricultural Impact Assessment prepared by Growing My Way Tree Consultants dated June 2021;
- Slope Stability Risk Assessment prepared by JKGeotechnics dated 12 May 2021.

3 Brookvale Ave Brookvale - Proposed 4 Unit Development. A development that will include the demolition of the existing structures and replacement with two new three storey buildings, one behind the other, over a basement car park. The building plans show an 8.5m height limit with a ridge level of 33.15m.

Existing site description:

Proposed development:

Brookvale Ave borders the property to the north. The property is located on the inside of a bend in Brookvale Ave. The site generally runs north / south along the longest axis. The naturestrip (on average 4.5m wide) in Brookvale Ave falls approximately a metre in height from the kerb to the front property boundary, whilst the site falls approximately 3m over it's length to the southern boundary (around 45m).

The site currently contains an aging single storey weatherboard clad cottage with tiled roof located on the southern half of the site. A metal roofed and clad studio with adjacent car port is located in the NW quarter of the site. A short section of concrete driveway enters the site from Brookvale Ave on the eastern side of the lot. Narrow concrete paths link the driveway to the southern cottage and to the studio. The front boundary is partially fenced with a brushwood fence. The other three boundaries are fenced with failing timber paling fences. There is a small area of paving in the SE corner of the block and a metal shed and clothesline located close to the western boundary. There are eight existing trees within the property, of which four are of a species that do not require Council consent for removal. A single mature street tree (bottlebrush) is located in the naturestrip.

The adjacent eastern property contains a single storey brick house, sited diagonally to the site's dwelling and is 4.2m from the side boundary at it's closest point. The house is clad in red textured brick and the front boundary is partially planted with 2 to 3m high screen hedging. A large and significant Angophora is sited in the NW corner of this property and is wholly visible from the street. Several trees are located along the western boundary of this property, some of which will be impacted by the proposed development.

The western property contains a one and two storey brick dwelling that is setback 1.3m from the common boundary. The building appears to be the same vintage as the eastern property. Three mature street trees (bottlebrush) are located in front of this property and assist to partially screen the dwelling. The naturestrip is less steep in this section.

recent construction. Brookvale Ave is a no through road and a number of redevelopments have occurred including apartment buildings. Number 3,

The property to the south contains a two storey brick apartment building, setback 6m from the common boundary, and is a more

Council requirements:

Summary of matters relating to this property: • The land is zoned R3 Medium Density Residential;

subject of this application, appears to be one of narrower lots in the street.

- Predominantly located within Land Slip Risk Map Area B (flanking slopes from 5-25°) with a small portion in the SE as Area A (slope <5°). Under the Warringah LEP 2011 clause 6.4 applies re development on sloping land. Further, clause E10 of the Warringah DCP 2011 also applies (re need for a geotech report); and,
- The land is sited within the area requiring 50% of the site to be landscaped open space and bushland setting. Under clause D1 of the Warringah DCP 2011 the minimum soil depth of land to be included as landscaped open space is 1m.

Topic / Requirements	ction #: Topic	Topic / Requirements
At least 50% of open space to rece	Access to sunlight At lea	At least 50% of open space to receive 3 hours of sunlight in winter.
Apply as possible in landscaping pr	2 Conservation of Energy and Water Apply	and Water Apply as possible in landscaping proposals
Tree Protection Plan required prepare	Appendix 12 Tree	Tree Protection Plan required prepared by an Arborist
Tree i Totection i lairrequired prepi	Appendix 12	Tree i Totection i fair required prepared by an Arbonst

Design intent:

A Tree Assessment Report was prepared to review the existing trees located on 3 Brookvale Ave plus to review the several trees located along the boundary of the adjacent eastern property. The Tree Report indicated that a number of the neighbouring trees may be impacted by the development, and proposed replacement in consultation with the property owner. It is proposed to offer the owner a one for one replacement – a total of four trees. Further, root investigation of the Angophora (tree T3), located on the adjacent eastern property, is to be undertaken prior to development to ensure its ongoing health and retention.

Within the site, five trees will require removal due to proposed building works and an additional tree will be removed as it is an environmental weed (an Umbrella Tree). Of the six trees to be removed, two are exempt and do not require approval (an Umbrella Tree and a Crepe Myrtle). It is proposed to replace these six trees with at least six new native trees (Blueberry Ash – listed on Council's website as a recommended species for planting). Two additional trees, a Pine and a Jacaranda, exempt from requirement for Council approval to remove, will be retained as they are located close to the southern boundary and provide valuable existing tree canopy. Given the drive to increase tree canopy across Sydney it is considered worthwhile to retain these two trees. The Jacaranda is a significant tree in the local landscape.

Plant selection:

Criteria for selection of species:

Category:	Subcategory:	Details:			
Site Existing soils:		Modified / sandy loam / most likely with some introduced material / fill and residual			
characteristics:		soils overlaying sandstone bedrock / soils possibly <1m deep			
	Location:	coastal hinterland / approximately 2.6km from Curl Curl Beach / Located on the boundary of relatively low lying land to the south and hilly topography			
	Aspect:				
		to the north. The site gently slopes to the south and is located on the southern side of			
		the ridgeline that runs SE from Beacon Hill situated to the NW.			
	Existing vegetation:	The site contains exotic tree species generally around the perimeter. The street tree			
		is a native Bottlebrush.			
Proposed	Uses:	For winter solar access and summer shade (to assist with maximising energy			
plants:		efficiencies) / for biodiversity / for habitat / for visual amenity			
	Issues to avoid:	invasive roots / sharp edges hazardous to pedestrian access / limb drop			
	Management: low water requirements / minimal maintenance eg pruning / resistance to				
		disease / longevity			
	Provenance:	Selection of locally occurring species within the context of the anticipated			
		performance of the plant given predicted changes to climate			
	Availability:	Consideration of ease to source selected species			
	Stock quality:	Stock sourced from growers / suppliers whose stock meets the production			
		benchmarks of the Australian Standard (AS2303.2015 Tree stock for landscape use)			
		or NATSPEC specification for the production of quality container produced trees.			
Tolerances:	Climate change:	trees are expected to live more than 30 years / in the interests of longevity			
		consideration to be given to selecting species tolerant of projected climatic conditions			
	Drought:	periods of prolonged dry weather (characteristic of future climate change projections)			
	Bushfire:	a harsher bushfire regime is characteristic of future climate change projections			

Proposed tree plantings: It is proposed to site a new tree in the front yard near the front boundary in front of Unit One to fill the existing gap in tree plantings on the northern boundary to assist with partially screening the new building from Brookvale Ave. No additional tree planting is possible in the front yard given the proximity of the existing street tree and the extent of its root zone. The remaining new replacement trees will be located along the side boundaries, six trees on the western side and one tree on the eastern side. These trees are sited to avoid the root zones of existing trees to be retained.

Proposed front boundary plantings:

It is proposed to provide screen plantings along the front boundary wall to at least 2m high to soften the visual impact of the building and to provide privacy to the courtyards to units one and two. As noted above, a tree will also be located to assist with partial screening of the new building.

Proposed raised planters:

The enclosed courtyards to Units one and two may be excavated between 0.5m and 1m into the existing ground. Based on the Geotech Report this may reach the underlying bedrock. Consequently raised planters and raised lawn areas are proposed for these courtyards to ensure sufficient depth of soil is provided to support the proposed plant life. Drainage infrastructure is to be provided to ensure units are not subject to flooding.

Proposed planter boxes on slab:

To reduce the extent of hard paved surface finishes, three planter boxes have been sited in the courtyard between the two proposed buildings. Given that soil depths will be less than 1m the proposed planting will include shrubs and groundcovers.

<u>Lawn areas:</u>

Lawn areas have been located to avoid damaging root zones of existing trees where garden edging is required to define boundaries between grassed and planted areas.

Sourcing of good quality topsoil fit for purpose is generally difficult. Where possible, the existing in-situ soil will be improved with additives to provide a medium suitable for native plants. Where additional soil is required, stockpiled stripped topsoil from the site is to be selected. Imported topsoil is only to be sourced where no site topsoil is available. Importing topsoil from offsite is to be avoided. If required, the imported topsoil is to be tested for suitability for purpose (planting of native species) and rejected or treated as required before use. Possible soil testing labs for this purpose include SESL in Sydney.

Where possible and available, material chipped onsite and sourced from the removed existing vegetation (except from noted weed species) is to be used as mulch material. Weed free and soil free greenwaste from cleared onsite vegetation is to be mulched onsite. The stockpiled mulch can be used for plantings.

Trees are proposed at 200mm pot size. Larger stock requires years of lead time (45 litre bagged stock are 3 years old). To obtain such stock with the desired provenance would require a long lead time so stock size has been reduced to 200mm.

All landscaping works noted on these plans will be maintained and successfully established for a period that includes one full summer commencing from the Date of Practical Completion (DPC) of the approved landscape works (a minimum of six months).

2102/1 Existing Tree and Site Plan 2102/2 Landscape Plan

Register of Plans:

2102/3 Planting Plans / Plant Schedule

2102/4 Construction Notes & Details

Based on the Arborist Report prepared by Growing My Way (dated Nov 2020). **NOTE:** Print in colour for accuracy of

31.05.2021 DRAFT issued electronically as PDF for FEEDBACK 2.06.2021 DRAFT issued electronically as PDF for FEEDBACK

Proposed tree protection zone for each tree (refer to DRAFT issued electronically as PDF for FEEDBACK 3.06.2021 DRAFT issued electronically as PDF for FEEDBACK 4.06.2021 FINAL SET issued electronically as PDF Proposed structural root zone for each tree (refer to 8.06.2021 FINAL SET issued electronically as PDF

Proposed Four Unit Development 3 Brookvale Ave

Brookvale NSW 2100

Primo Design Pty Ltd

Landscape Plan

Scale: Plan and Bar Scale @

Building Plans Elevated deck as per building plans

building footprint (tiled finish or similar) as per

Existing trees to be retained (refer to Existing Tree /

Existing trees located offsite to be replaced (refer to

Proposed Tree Protection (TPZ) fencing as identified

Building and paving footprint as per Building Plan

Edge of basement car park as per Building Plans

Basement car park footprint where extends beyond

Existing Tree / Plant Schedule for details)

Existing Tree / Plant Schedule for details)

Existing Tree / Plant Schedule for details)

Plant Schedule for details)

Planter box on slab

in the Arborist's Report)

LEGEND FOR LANDSCAPE PLAN:

Landscaped areas (plantings on ground) (areas #1 to 7)

Landscaped areas (raised planters on ground)

(areas #1 and 2)

Landscaped areas (lawn on ground)

Landscaped areas (raised area of lawn on slab)

Landscape areas (plantings on slab)

Base drawing supplied by Barry Rush & Assoc Ptv Ltd

May 2021 (refer amends table)

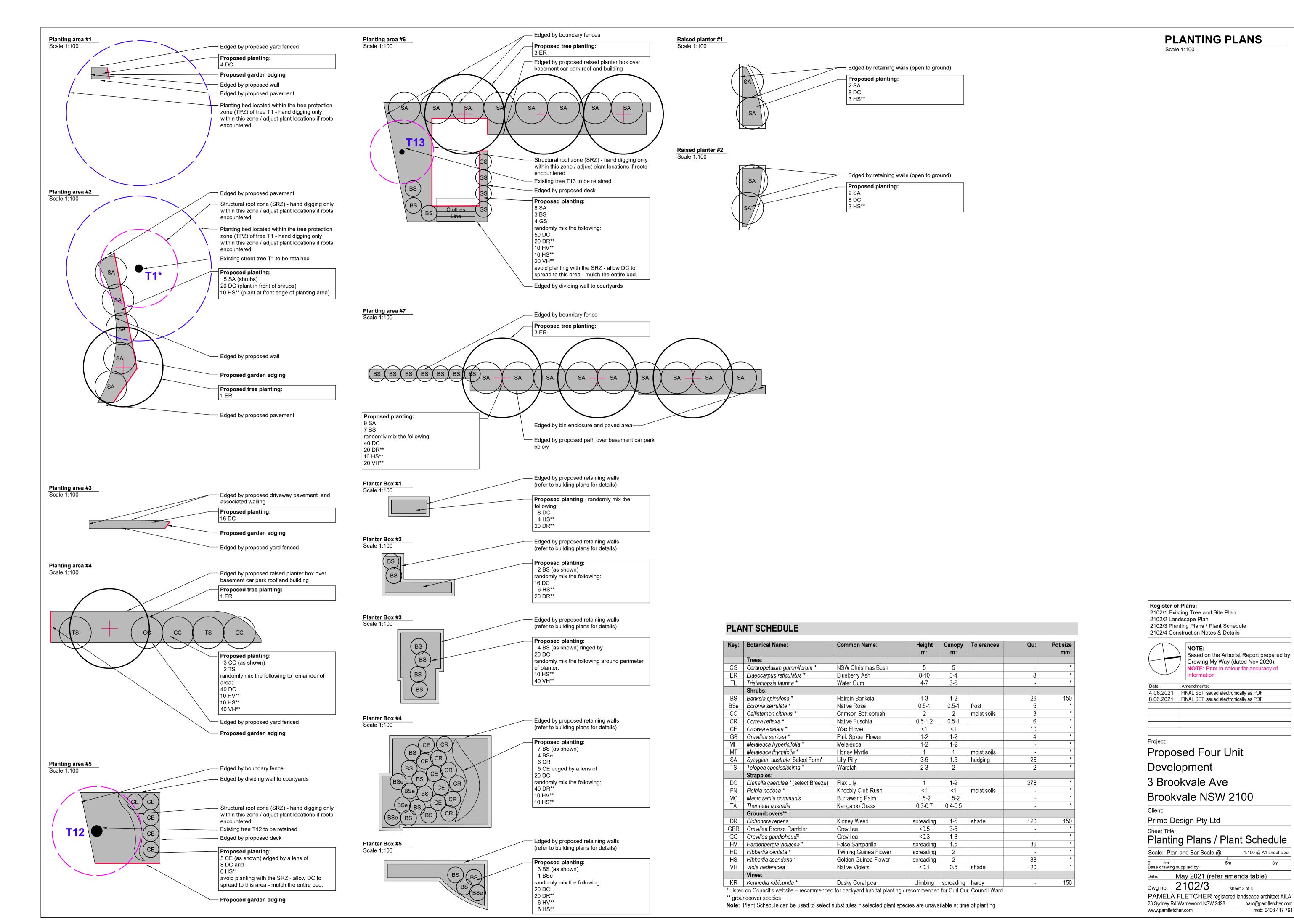
Dwg no: 2102/2

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1:100 @ A1 sheet size



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CONSTRUCTION NOTES

NOTE TO ALL TRADES:

- Refer to <u>Existing Trees</u> for details of required works prior to commencement of any site works.
- The notes below re Tree Protection apply to all works and trades on the site.
- During earthworks the existing topsoil is to be stripped and stored onsite for later reuse in new planting areas. The stripped soil to comply with the following description:
 - o Soil excavated from the site which contains organic matter, supports plant life, conforms generally to the fine to medium texture classification to AS 4419 (loam, silt, clay loam) and is free from:
 - Stones > 25 mm diameter.
 - Clay lumps > 75 mm diameter.
 - Weeds and tree roots, building materials, sticks and rubbish. Material toxic to plants.

General Notes: Check the location of all underground services prior to undertaking any earthworks or digging.

- Undertake all building works in accordance with the provisions of the Building Code of Australia.
- All excavations and backfilling are to be executed safely in accordance with appropriate professional standards and excavations are to be properly guarded and protected to prevent them from being dangerous to life or property.
- **Existing Trees:** to be undertaken in accordance with the *Arboricultural Impact Assessment* (AIA) undertaken by Growing My Way Tree Consultants dated June 2021:
- For Tree T3 a manually excavated 'live root investigation' is required prior to commencement of any site works. Refer to the Tree Report as referenced above for details.
- Replacement of existing trees identified on the neighbouring property (and noted on the Landscape Plan Set) to be undertaken with the subject property owner's consent and under their direction. Replacement at 1 to 1.
- Trees T2, T11, T14, T15, T16 and T18 as shown on the Landscape Plan Set are to be removed.

<u>Tree Protection:</u> to be undertaken in accordance with the *Arboricultural Impact Assessment* (AIA) undertaken by Growing My Way Tree Consultants dated Nov 2020:

- Trees T1, T3 to T10 (inclusive), T12, T13, T17, and T19 as shown on the Landscape Plan Set are to be retained.
- Tree Protection Zones (TPZ) and Structural Root Zones (SRZ) as shown in the AIA are illustrated on the Landscape Plan Set. In addition, TPZs and SRZs calculated for other nominated existing trees have been shown;
- A project arborist to be appointed (AQF level 5 with min 5 years' experience) and to undertake the following:
- o install tree protection fencing as shown on the Landscape Plan Set and in accordance with the AIA;
- Arborist to certify that this work has been undertaken; and,
- Arborist to supervise any works undertaken within the nominated TPZs.
- Works undertaken within the tree protection zones of the existing trees are to be undertaken by hand and be supervised by the
- Arborist. Particularly in relation to: Tree T1 - the proposed retaining wall located within the TPZ of tree T1 is to be built with minimal excavation into the root zone and to be backfilled as required with a coarse material or gap graded sand as approved by the Arborist.
- The works (including excavation) within the TPZ of T1 are to be undertaken under the supervision of the Arborist; Tree T3 – refer to Existing Trees notes above for details re root investigation. Undertake any excavations within the TPZ of this tree under the direction of the Arborist. Any backfilling required to be a coarse material or gap graded
- Tree T12 any excavations within the TPZ of this tree to be undertaken under the supervision of the Arborist.
- o Trees T1 and T17 the proposed footpath and steps located within the TPZ of these trees to be built with minimal excavation into the root zone and to be backfilled as required with a coarse material or gap graded sand as approved by the Arborist. The works (including excavation) within the TPZ of these trees are to be undertaken under the supervision of the Arborist.

Demolition Works: to be undertaken prior to commencement of building works by others and will include the following in relation to the external areas (outside of the building footprint):

- all paved areas;
- the clothes line and associated paving if any;
- the metal shed; and,
- any debris not considered landscape materials and not required for the new building and associated paving and walls.

- the landscaped portion of the enclosed courtyards of Units 1 and 2 to be excavated by others to the proposed finished levels to the paved coutryards. The excavated finish to the cut bedrock and subgrade should fall to sites of proposed drainage inlet pits (refer to the Stormwater Management Plans prepared by others). The finished surface of any bedrock to be left with grooves / markings running towards the drainage system.
- Where earthworks are located within the TPZ of existing trees undertake works by hand:

Stormwater management / drainage system: to be installed by others with particular attention addressed to the

- management and halting of overland flow in the front yards onto the paved area at units 1 and 2. • retaining walls associated with raised lawn areas, raised planters and planter boxes to be adequately drained and plumbed to

Vehicular pavements: to be managed by others – refer to architectural plans

Proposed Retaining Walls: to be installed by others. Refer to Tree Protection notes above.

Fencing: existing fencing to be replaced as specified in the architectural plans by others

Available boron 0.5-5 mg/kg

Available nitrate >20 mgkg

Pedestrian Pavements and decks: to be provided as specified in the architectural plans by others.

<u>Proposed planter boxes on slab, raised planters on ground and raised lawn areas:</u> retaining and drainage walls to be

installed by others – refer to architectural plans.

Proposed Planting Area Edging: to be installed as brick edging on a mortar haunch between planting areas and grassed areas.

roposed planting: laterials:						
Plants:	Supply the species as noted on Plan and which have large healthy root systems, with no evide					
	root restriction or damage. Ensure plants are vigorous, well established, free from pests and diseases					
	and consistent with the species. Plants are to be hardened off and suited to the site's natural climatic					
	conditions. Trees to display a single leading stem unless otherwise required. The tree should not be					
	too tall for the pot size. Stock may be rejected if considered by the client's representative to be too					
	large for the pot size. Species noted as locally occurring to be sourced from local stock (local					
	provenance).					
Subsoil for planters:	The Hills B Horizon Mix or similar					
Topsoil for planters:	The Hills Lightweight Planter Mix or similar					
Site topsoil:	Equivalent to - the soil to be free of unwanted material and meet the following requirements:					
	Physical properties to include:					
	Texture range to be sandy loam to clay loam					
	Organic matter to be 2-5% dwb					
	Permeability >20 mm/h					
	Wettability >5 mm/h					
	 Dispersibility in water 1 or 2 category (AS4419) 					
	Particle size in the following levels:					
	○ <20% w/w @ 2-20mm					
	<10% @ >20mm Visible contaminants <0.50 ye/y @ >2mm					
	 Visible contaminants <0.5% w/w @ >2mm Chemical properties to include: 					
	pH in water 5.4 to 6.8					
	pH in CaCl² 5.2 to 6.5					
	electrical conductivity <0.5dS/m					
	Phosphorous <20mg/kg					
	Exchangeable sodium <7% of ECEC					
	Exchangeable potassium 3-10% of ECEC					
	Exchangeable calcium 60-80% of ECEC					
	Exchangeable magnesium 15-25% of CEC					
	Exchangeable aluminium <5% of CEC					
	Calcium:Magnesium ratio of 3-9					
	Available iron 100-400 mg/kg					
	Available manganese 25-100 mg/kg					
	Available zinc 5-30 mg/kg					
	Available copper 1-15 mg/kg					

Reference: Soils for Landscape Development by Simon Leake and Elke Haege

Site subsoil:	Equivalent to - soil to be low in organic matter, well balanced chemically, not saline or sodic or excessively acidic or calcium deficient and not dispersive, to be low in Phosphorus and to meet the following requirements: Physical properties to include:				
	Texture range to be sandy loam to sandy clay loam				
	Emerson aggregate class to be >4				
	Particle size in the following levels:				
	o <20% w/w @ 2-10mm				
	o <10% w/w @ 10-20mm				
	o <10% w/w @ >20mm				
	o <2% w/w @ >50mm				
	 Visible contaminants <0.5% w/w @ >2mm 				
	Chemical properties to include:				
	Wettability >2min				

•	pH in CaCl² 5.2 to 6.5
•	electrical conductivity <0.5dS/m
•	chloride <200mg/kg
•	Phosphorous <20mg/kg
•	Exchangeable sodium <7% of ECEC
	Exchangeable notassium 3-10% of ECEC

pH in water 5.4 to 6.8

- Exchangeable calcium 60-80% of ECEC Exchangeable magnesium 15-25% of ECEC Calcium:Magnesium ratio of 1.5-8
- Reference: Soils for Landscape Development by Simon Leake and Elke Haege In accordance with AS4419-2003, equal to Australian Native Landscapes TURF UNDERLAY

•	· · · · · · · · · · · · · · · · · · ·
Turf for lawns:	Nara Zoysia
Organic matter:	Well composted cow manure
Slow release	Provide eco-friendly products with an N:P:K ratio specifically suited to native species.
fertilisers:	
Organic mulch:	Material consisting of vegetative material of species known not to be weed or noxious weed species,
	chipped to pieces not larger than 75 x 50 x 15mm. Ensure mulch is free of deleterious and extraneou

matter such as soil, weeds and sticks. Unless specified, do not use bark mulch, pebble mulch or tub

ground material, do not use bark fines and do not use freshly chipped plant material. The mulch to be

Proposed Planting Areas on ground:

- remove existing grass / lawn located within the proposed planting areas, ensuring grass roots are also removed;
- provide planting area edging as specified above between lawn areas and planting areas;
- spread organic matter to areas to be planted (50mm depth) excluding within the SRZ of existing trees to be retained. Site topsoil can be used in planting areas as required;
- cultivate the area to be planted, incorporating the organic matter into the existing soil, ensuring areas located within the TPZs of the existing trees are cultivated only by hand. Protect existing trees and plantings from cultivation. Refer to the Landscape Plan Set for the extent of TPZs and SRZs. Overtime, as the existing trees grow, these TPZs will expand. Rule of thumb is that the radius of a TPZ is 12x the diameter of the tree trunk at breast height;
- set out proposed new plantings as per the Landscape Plan Set;

weathered material.

- excavate planting hole to 100mm larger than pot size all round and break up the base and sides of hole as required. If tree roots are encountered abandon the hole and backfill with site soil and select a new location. Do not interfere or cut roots of any existing trees when undertaking planting works;
- install plant plumb into the prepared hole and backfill with site topsoil finishing plumb with the pot soil. Incorporate a handful of
- organic matter and work into the topsoil prior to placing in the prepared hole; apply slow release fertiliser in accordance with the manufacturer's directions;
- spread 75mm depth of organic mulch to planting areas (finish flush with adjacent edges);
- tree plantings may require staking for support. Provide 3 by 50x50x1800mm hardwood stakes with pointed end (600mm into the ground) in a triangle located outside of the root ball of the pot. Staple 50mm wide hessian tape around the stakes at two thirds height. Do not loop around the trees.

Proposed planter boxes on slab:

- to be waterproofed with drainage system installed by others and to include at a minimum:
- waterproof membrane;
- drainage cell, Atlantis Flo-Cell or similar to be drained to proposed stormwater management system;
- Geotextile layer over the drainage cell; Washed river sand layer over the geotextile;
- Planter soil overlaying the above.
- Back fill to within 350mm of the top of the planter with light sub soil as required;
- Backfill within 50mm of the top of the planter with topsoil for planters (300mm depth);
- Install plantings as specified in the Plant Schedule;
- Apply slow release fertiliser to manufacturer's directions; Apply organic mulch to 50mm depth.

- Proposed raised planters (on ground): Raised walls of planters to be installed by others. Refer to building plans;
- Inside walls of planters to be waterproofed;
- Planter to be drained to link to the stormwater drainage system as per planter boxes on slab as noted above;
- Back fill to within 350mm of the top of the planter with light sub soil as required;
- Backfill within 50mm of the top of the planter with topsoil for planters (300mm depth);
- Install plantings as specified in the Plant Schedule;
- Apply slow release fertiliser to manufacturer's directions;
- Apply organic mulch to 50mm depth.

Proposed lawn areas on ground:

- Remove any building materials, debris and vegetation from proposed lawn area. • Cultivate ground to a depth of 100mm as possible.
- Smooth out cultivated soil and loosely compact.
- Place and spread 100mm depth of turf underlay. Smooth out and lightly compact soil.
- Lay turf in stretcher bond pattern with staggered joints. Lay turf within 48 hours of delivery to avoid excessive drying out. Tamp down to bond turf with soil.
- Finish turf levels flush with the adjacent pavements.
- Fertilise with lawn fertiliser in accordance with manufacturer's directions. Water turf well.

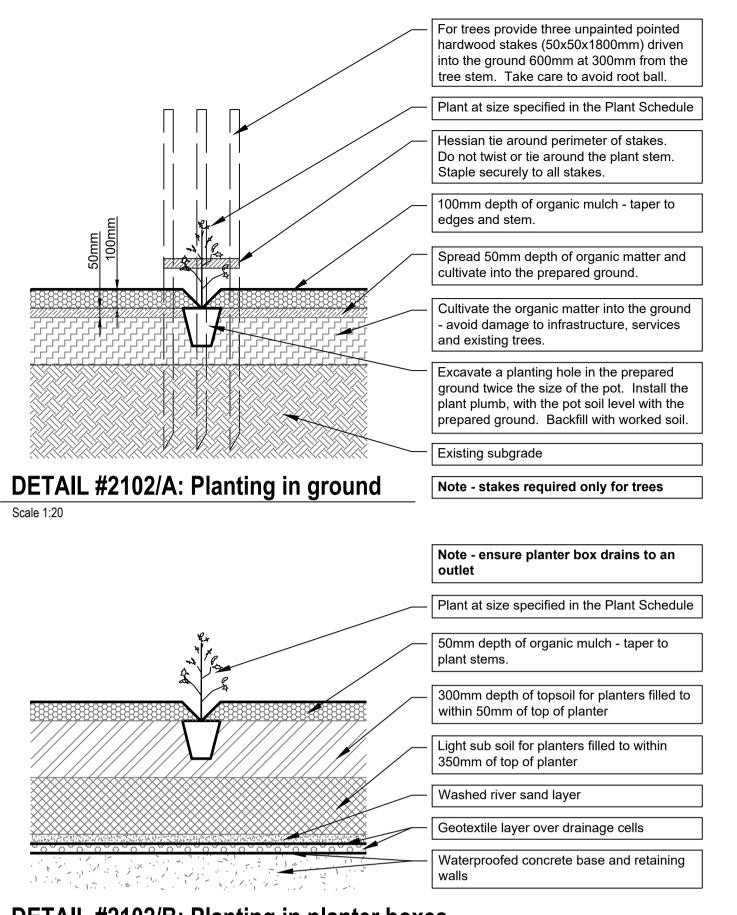
Proposed lawn areas in raised area:

- Subgrade to be excavated as noted above.
- Drainage must be provided refer to stormwater management plans.
- Backfill with subsoil to within 100mm of finished levels
- Smooth out cultivated soil and loosely compact.
- Place and spread 100mm depth of turf underlay. Smooth out and lightly compact soil.
- Lay turf in stretcher bond pattern with staggered joints. Lay turf within 48 hours of delivery to avoid excessive drying out. Tamp down to bond turf with soil.
- Finish turf levels flush with the adjacent pavements.
- Fertilise with lawn fertiliser in accordance with manufacturer's directions. Water turf well.

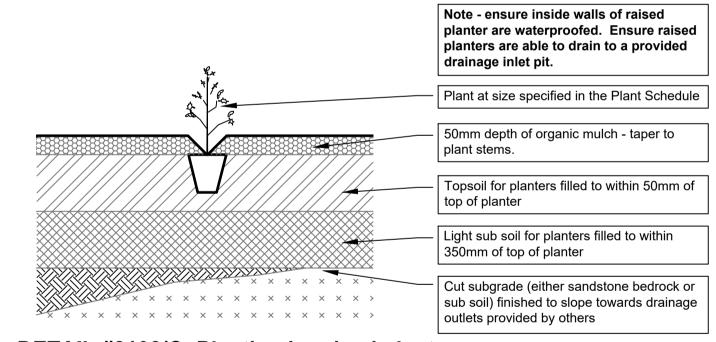
MAINTENANCE NOTES

Water plantings well at time of installation and then to establish. Water by soaking not frequent sprinklings. Fertilise within 6-8 weeks of installation. Replenish mulch to maintain specified depth as required. Undertake weed control in all areas as required. Supplementary plant as required. Continue to maintain for at least one full summer (to a minimum of 6 months). Continue to water as required.

Water turf well at time of installation. Water by soaking not frequent sprinklings. Following establishment of lawn discontinue the watering regime and rely on rainfall alone.



DETAIL #2102/B: Planting in planter boxes



DETAIL #2102/C: Planting in raised planters

Scale 1:20

2102/2 Landscape Plan 2102/3 Planting Plans / Plant Schedule 2102/4 Construction Notes & Details Based on the Arborist Report prepared by Growing My Way (dated Nov 2020). **NOTE:** Print in colour for accuracy of 4.06.2021 FINAL SET issued electronically as PDF 8.06.2021 FINAL SET issued electronically as PDF

Register of Plans:

2102/1 Existing Tree and Site Plan

Proposed Four Unit Development 3 Brookvale Ave

Brookvale NSW 2100

Primo Design Pty Ltd

Construction Notes & Details

Scale: Plan and Bar Scale @ 1:20 @ A1 sheet size 0.2m Base drawing supplied by

May 2021 (refer amends table) Dwg no: 2102/4

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