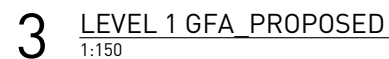
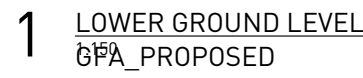


DEVELOPMENT APPLICATION - NO.82 + NO.84 GARAGES

Bower Street Manly
82-84 Bower Street Manly NSW 2095 AUSTRALIA
No.82 John & Anna Lake
No.84 Michael & Jenny Bushell



FEBRUARY 2019

SMITH & TZANNES



General Notes

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

 NOT PART OF DEVELOPMENT APPLICATION
 PROPOSED DA WORKS



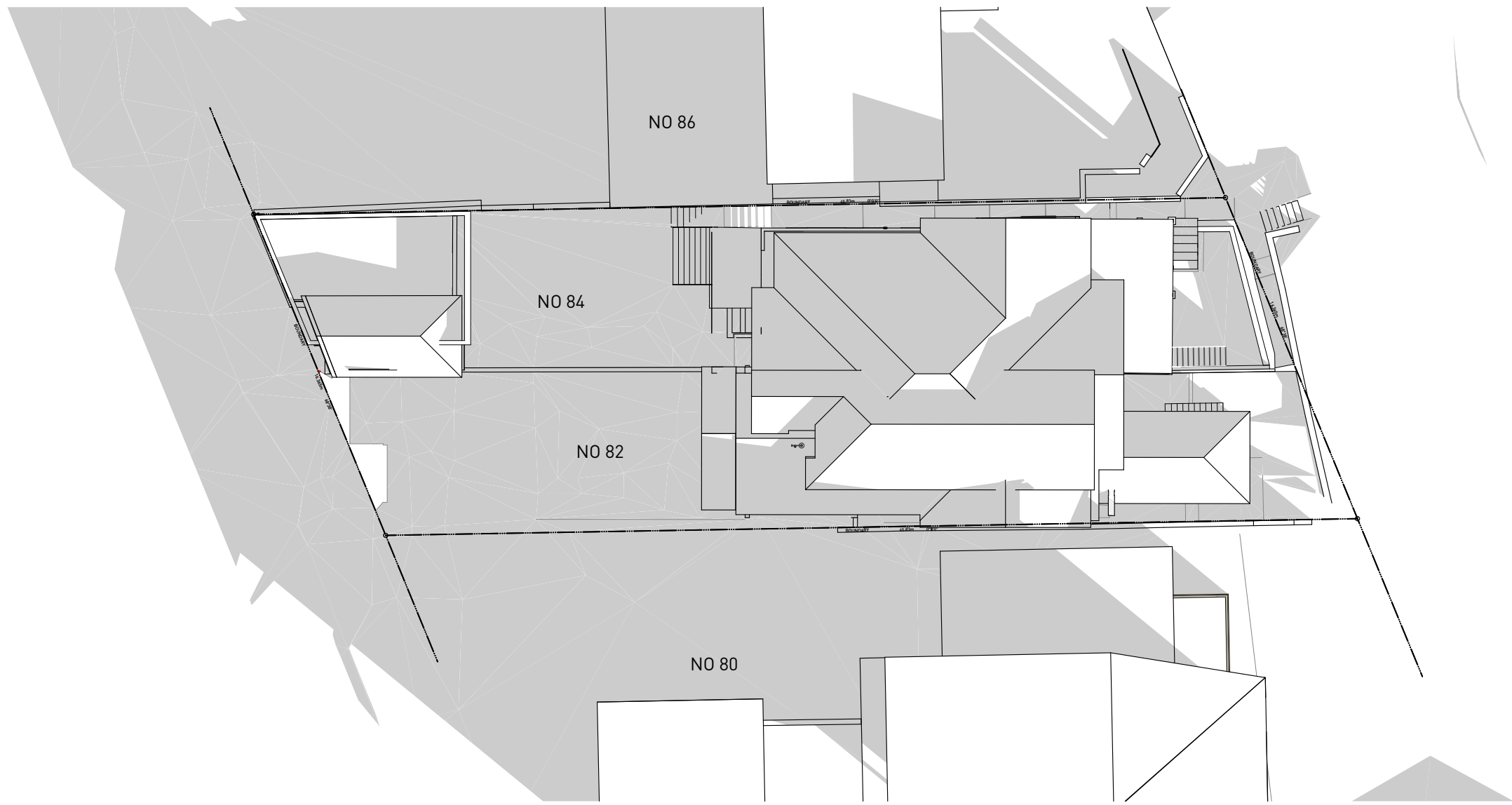
TOTAL OPEN SPACE CALCULATION

PROJECT

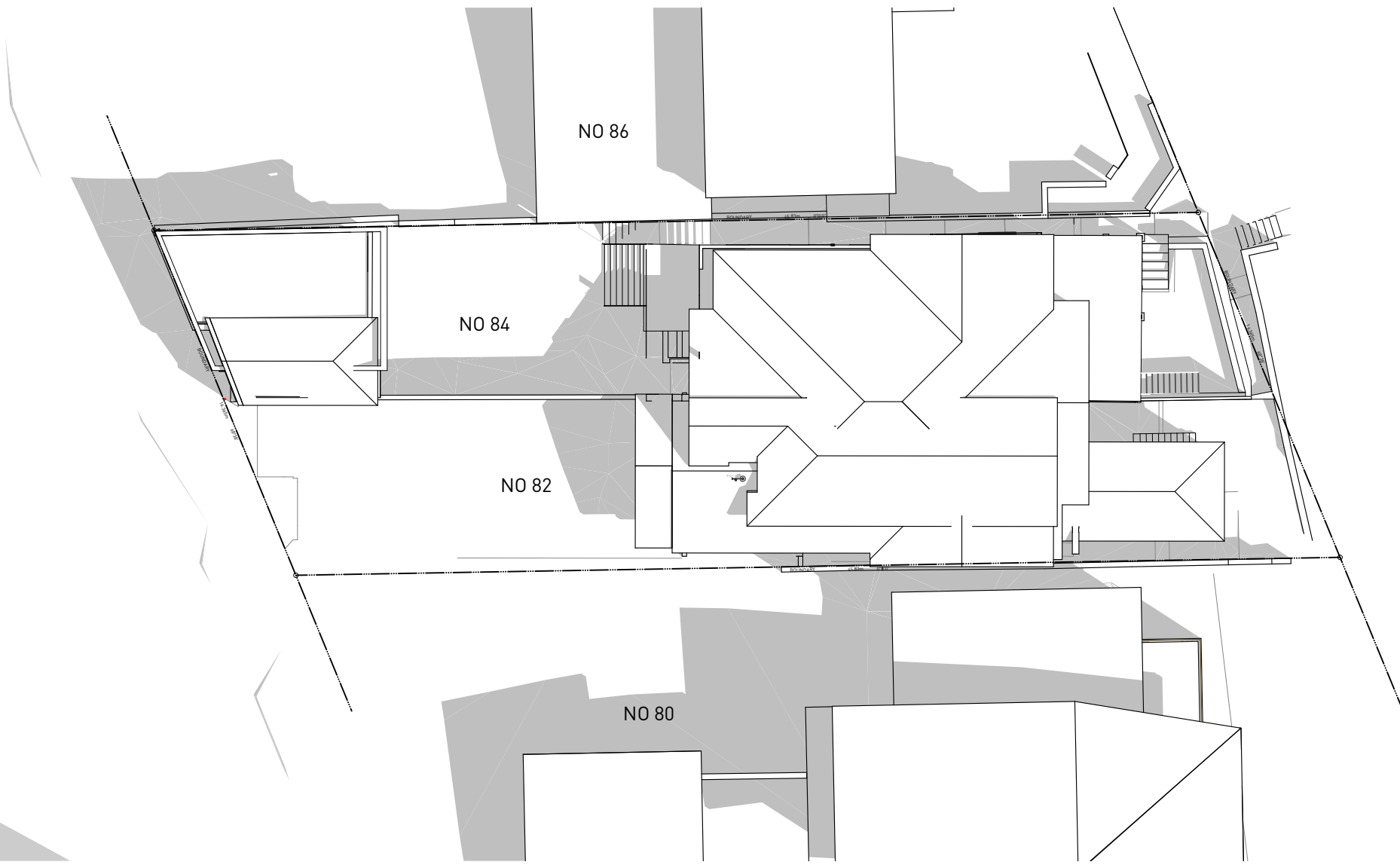
82- 84 Bower Street Manly - Garages

82-84 Bower Street Manly

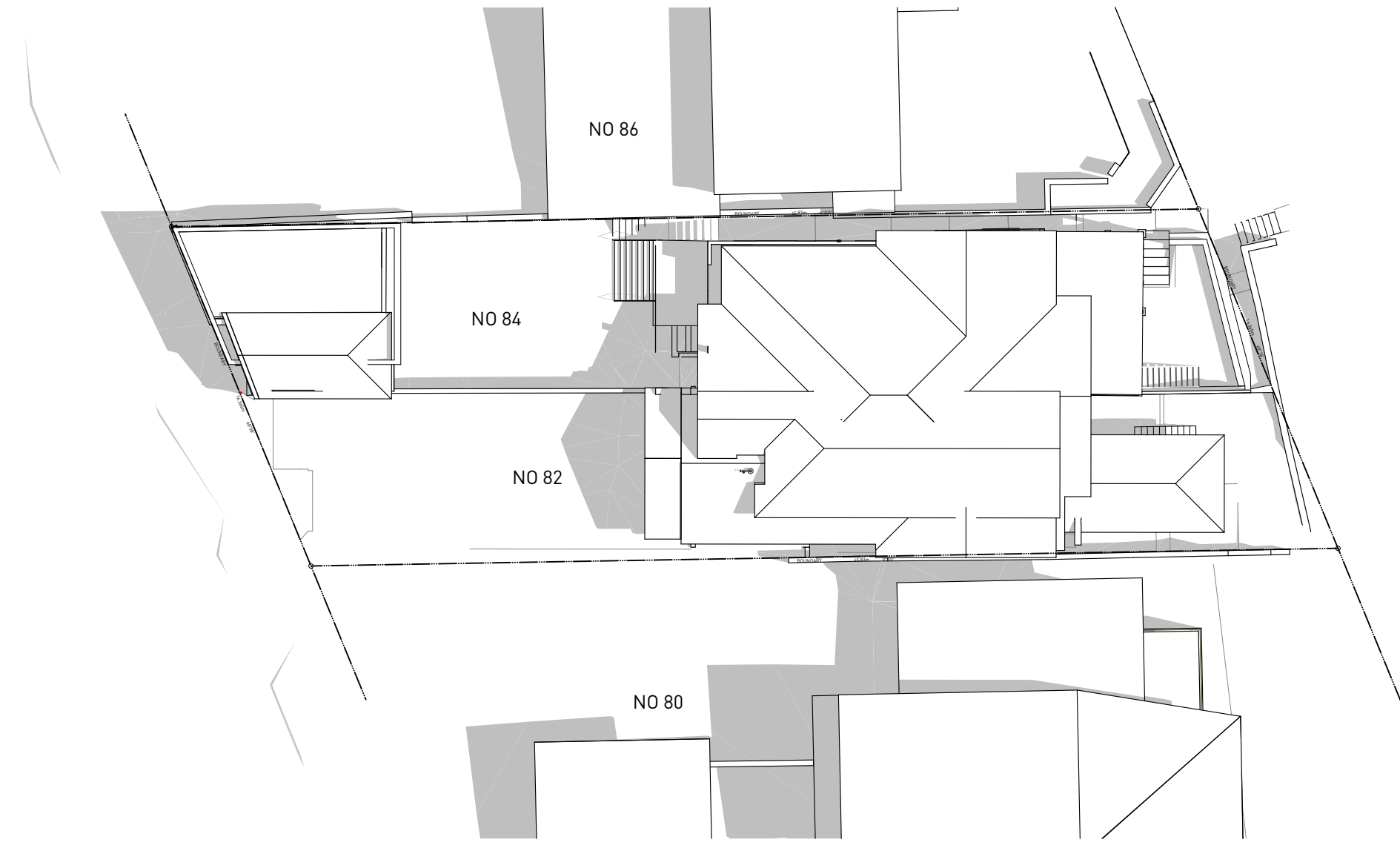
CLIENT **Michael & Jenny Bushell John & Anna Lake**



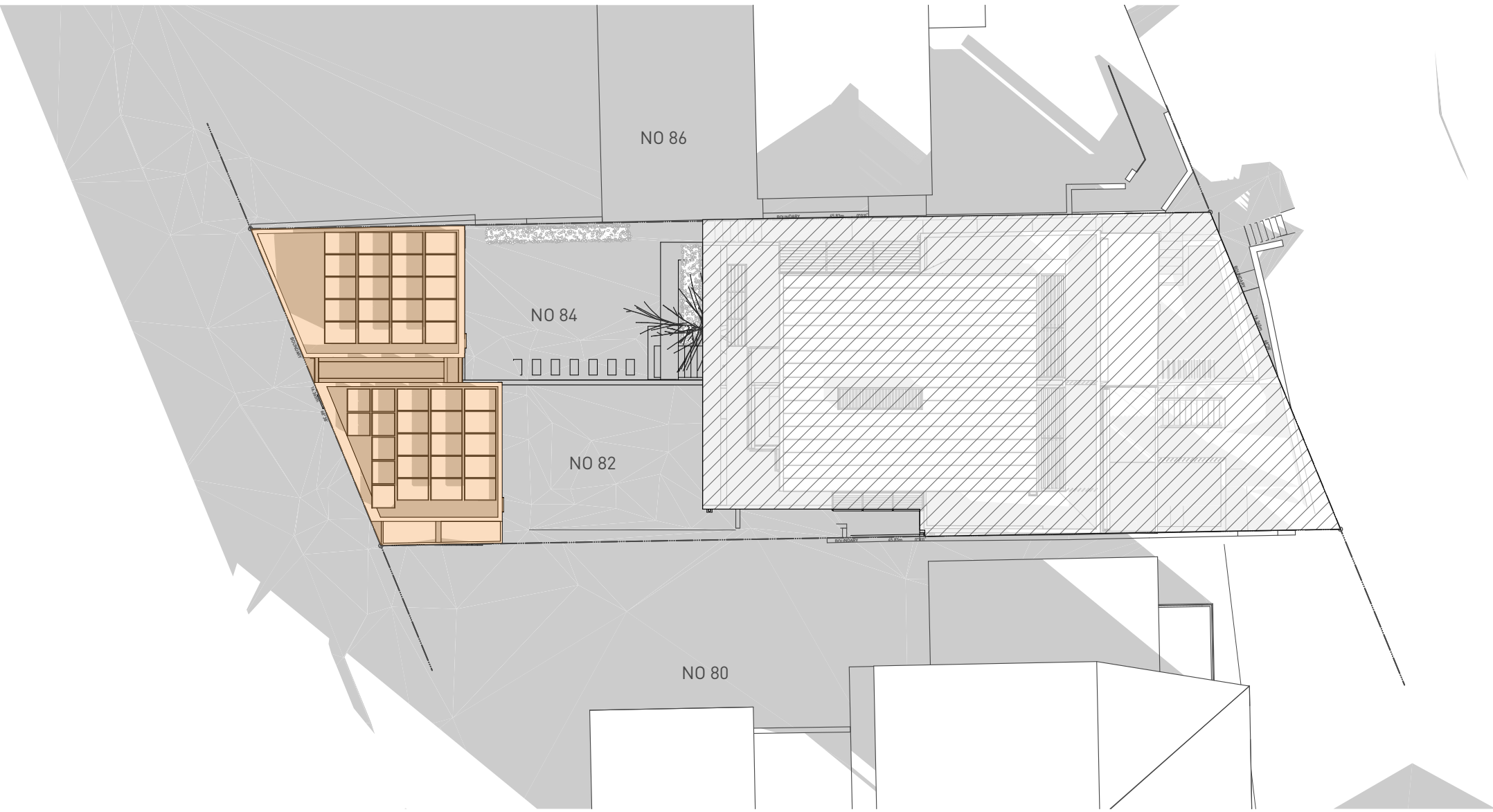
1 21st June 9am EXISTING
1:250



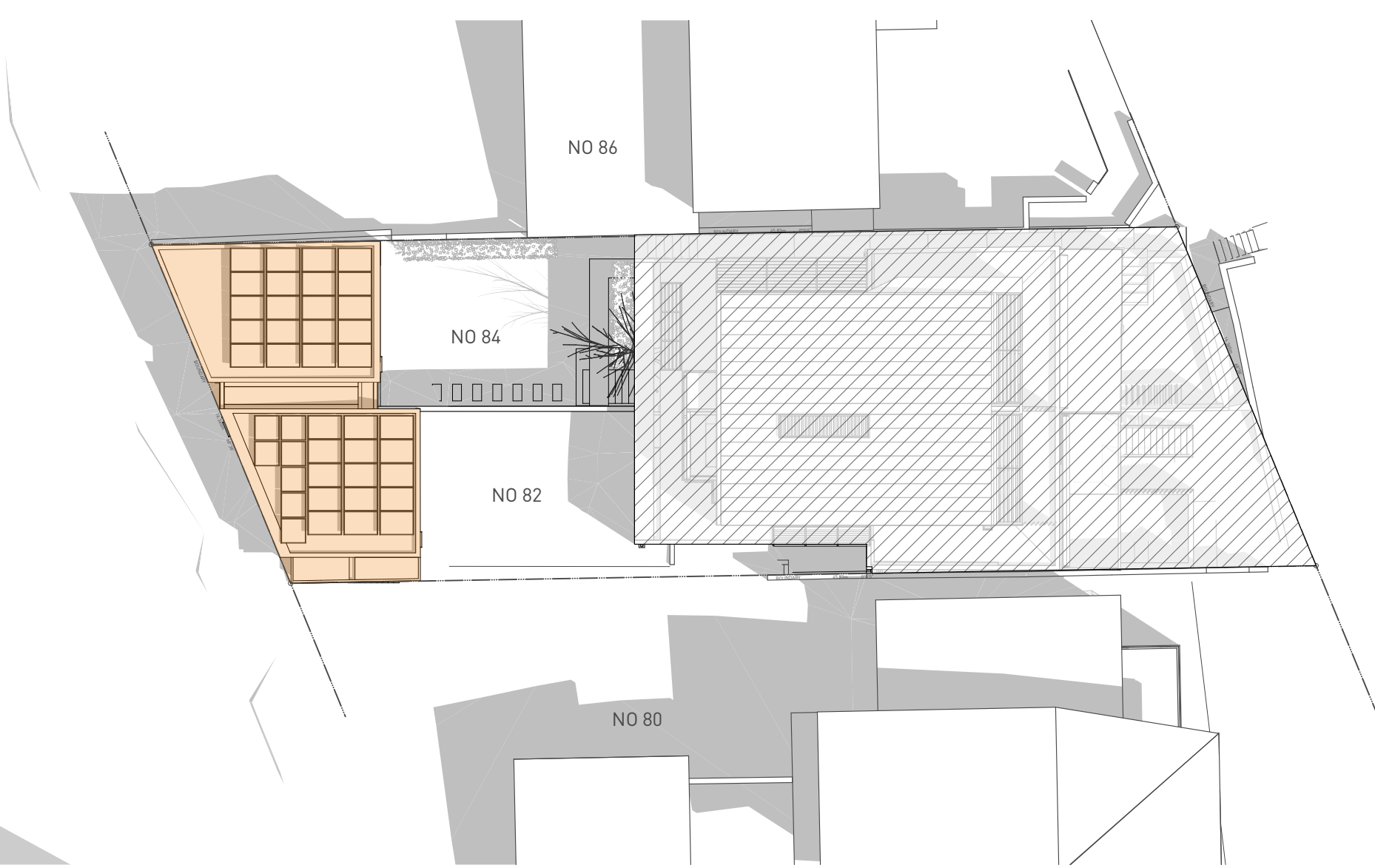
2 21st June 10am EXISTING
1:250



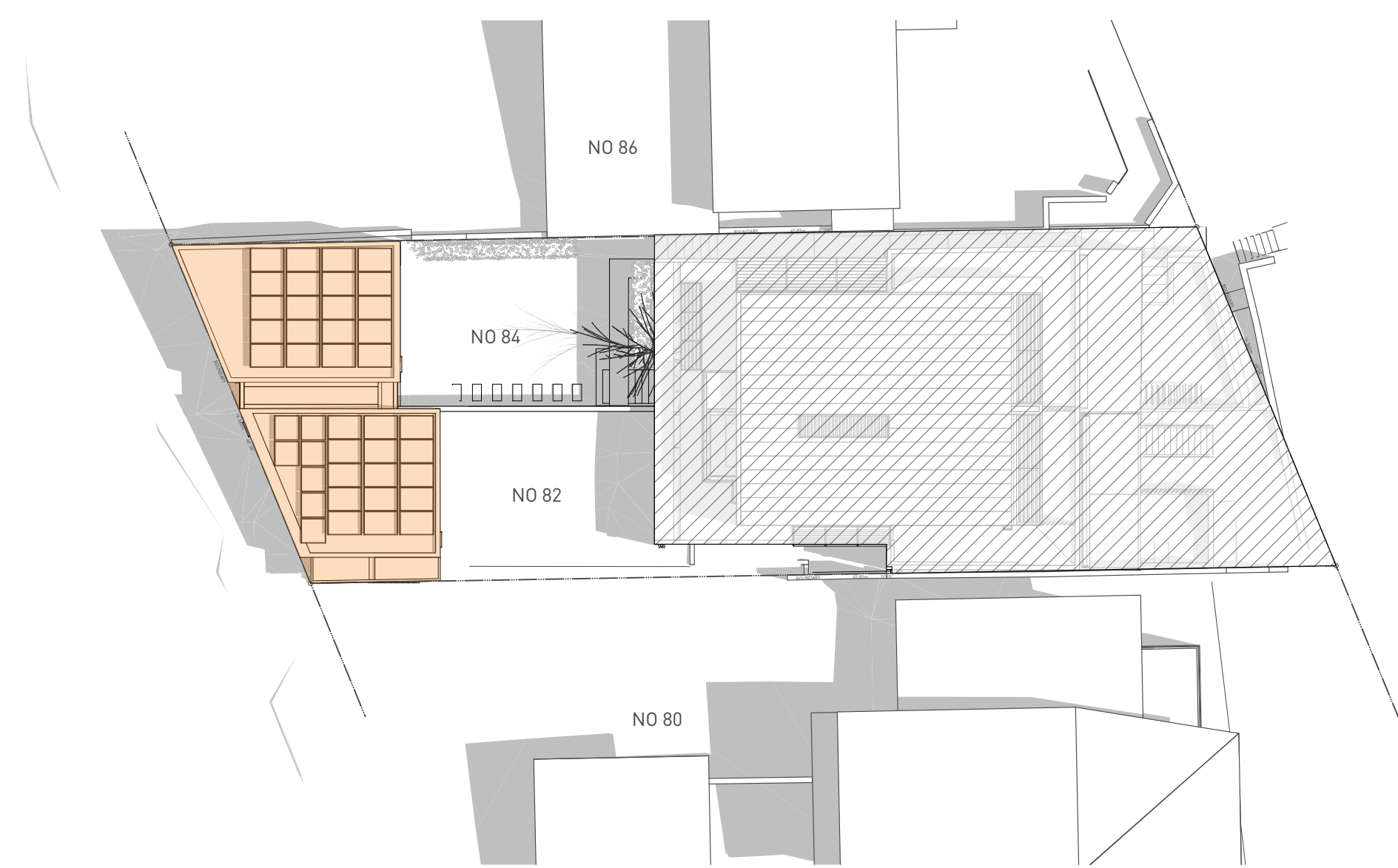
3 21st June 11am EXISTING
1:250



4 21st June 9am PROPOSED
1:250



5 21st June 10am PROPOSED
1:250



6 21st June 11am PROPOSED
1:250

General Notes

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

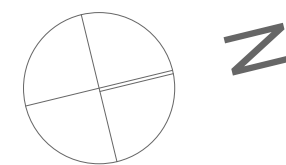
LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation



NOT PART OF DEVELOPMENT APPLICATION

PROPOSED DA WORKS



DOCUMENT

SHADOWS_EXISTING & PROPOSED

DOCUMENT

DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE

DA SUBMISSION

PROJECT

82 Bower Street Manly

82 Bower Street, Manly

CLIENT

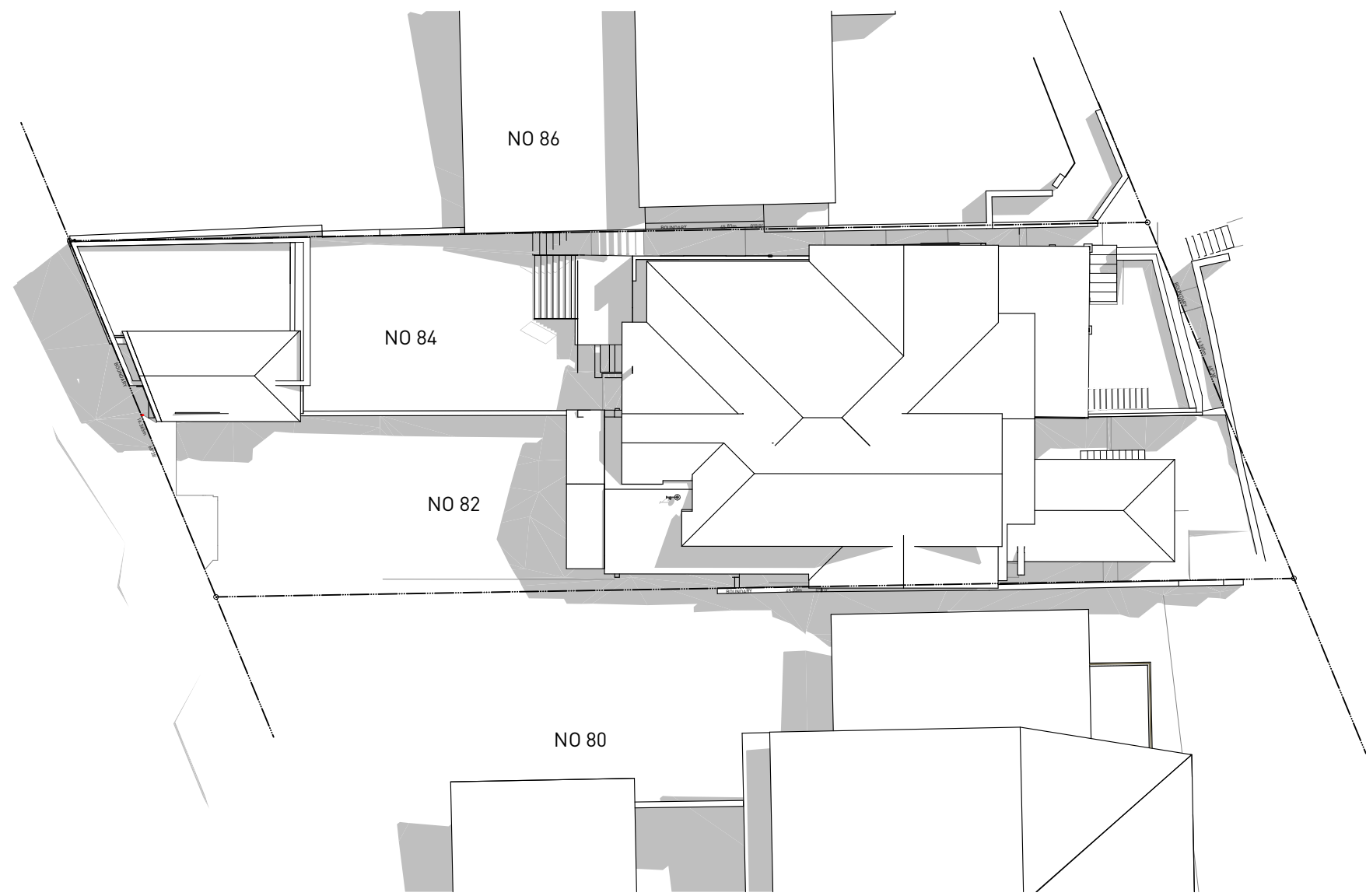
John & Anna Lake

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)

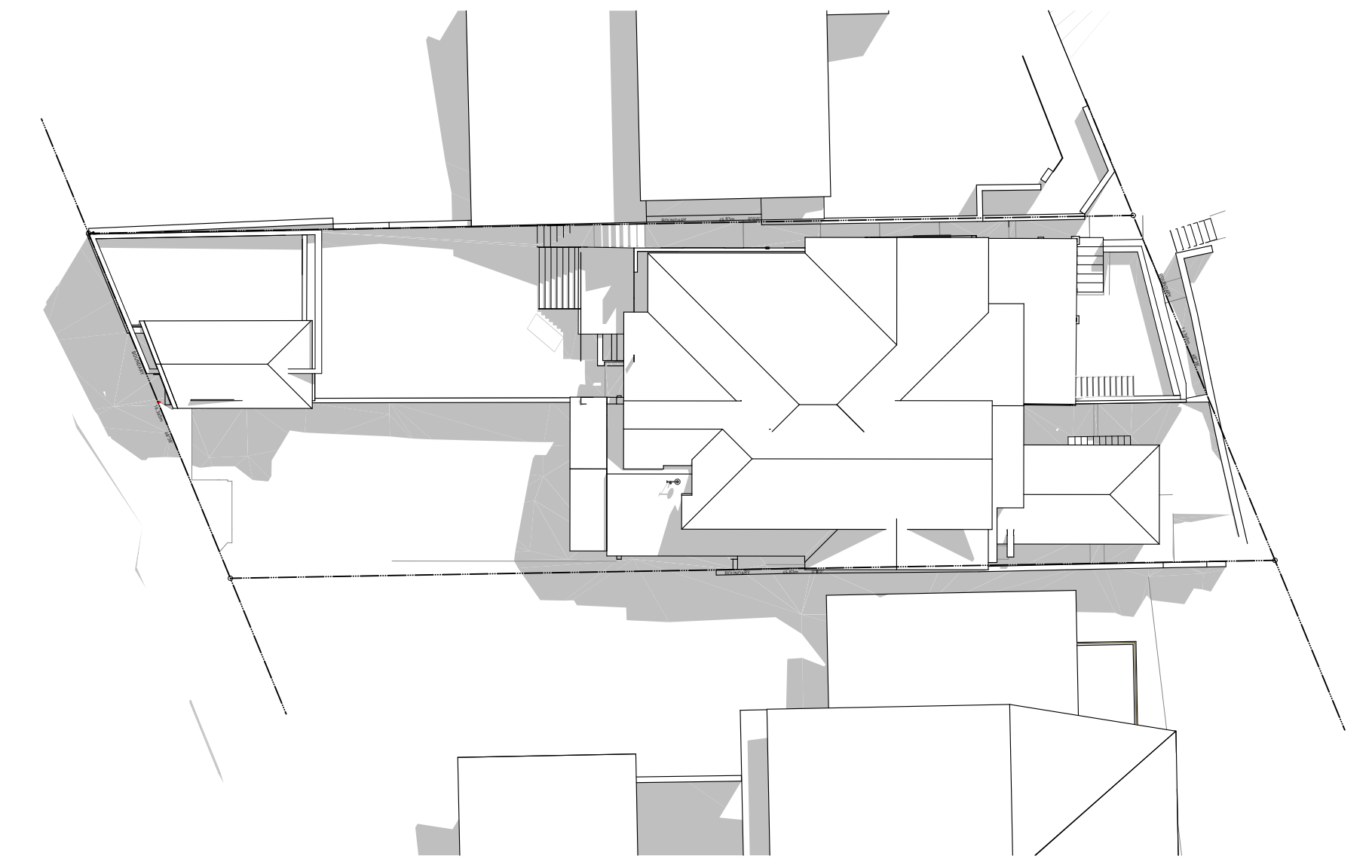




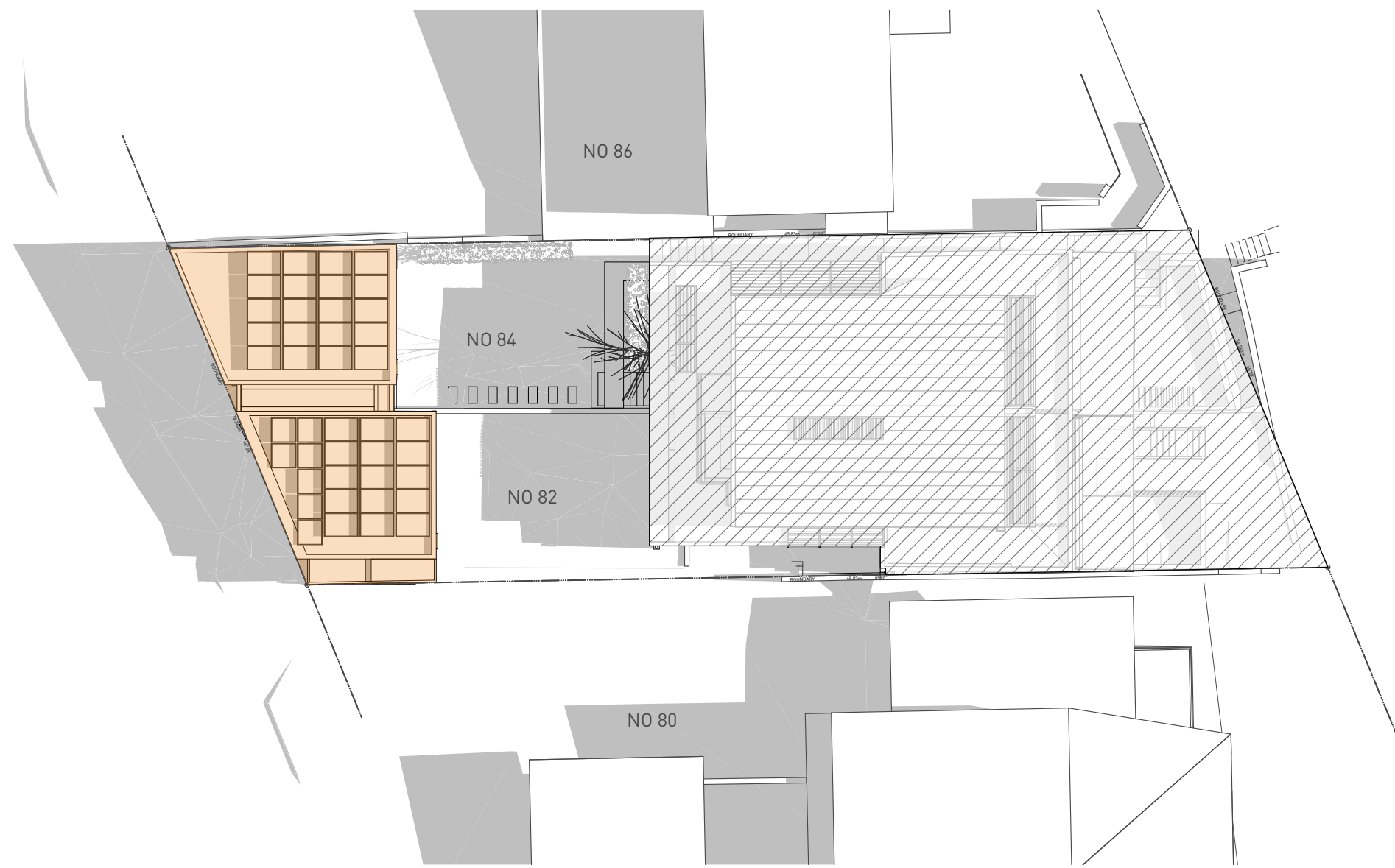
1 21st June 12pm EXISTING
1:250



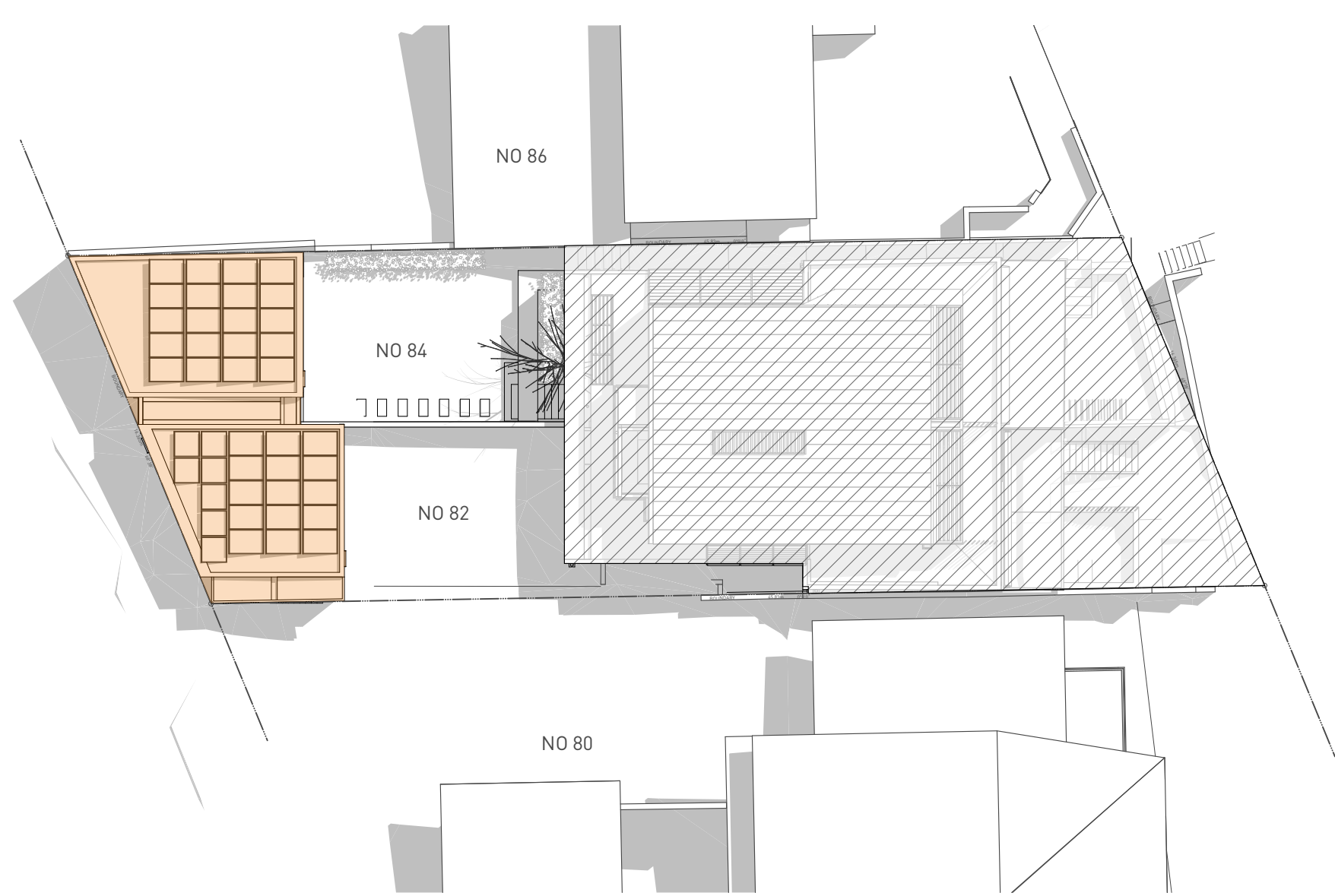
2 21st June 1pm EXISTING
1:250



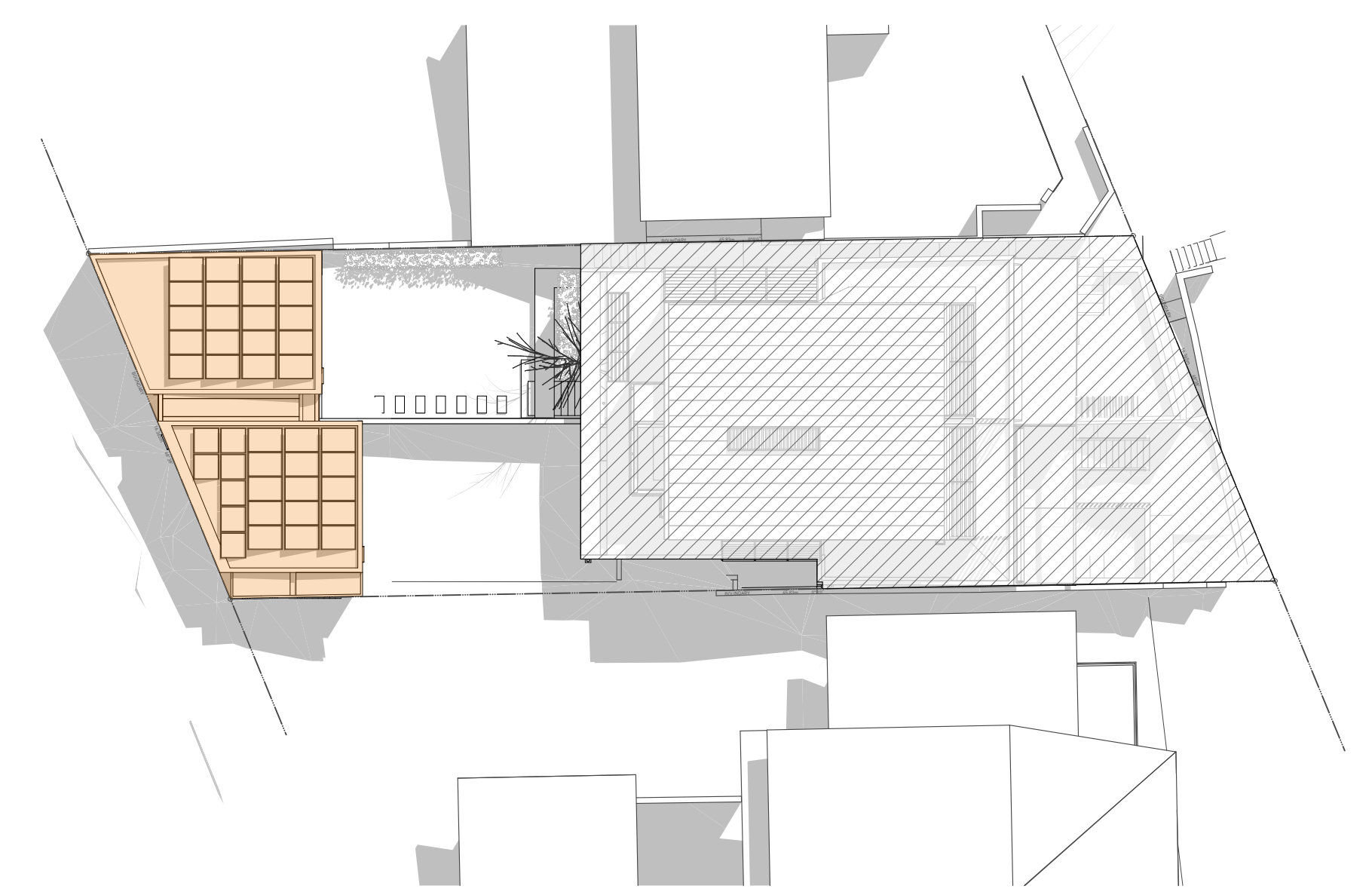
3 21st June 2pm EXISTING
1:250



4 21st June 12pm PROPOSED
1:250



5 21st June 1pm PROPOSED
1:250



6 21st June 2pm PROPOSED
1:250

General Notes

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

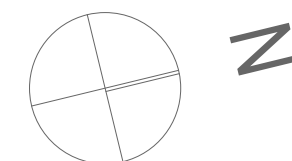
LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation



NOT PART OF DEVELOPMENT APPLICATION

PROPOSED DA WORKS



DOCUMENT

SHADOWS_EXISTING & PROPOSED

DOCUMENT

DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE

DA SUBMISSION

PROJECT

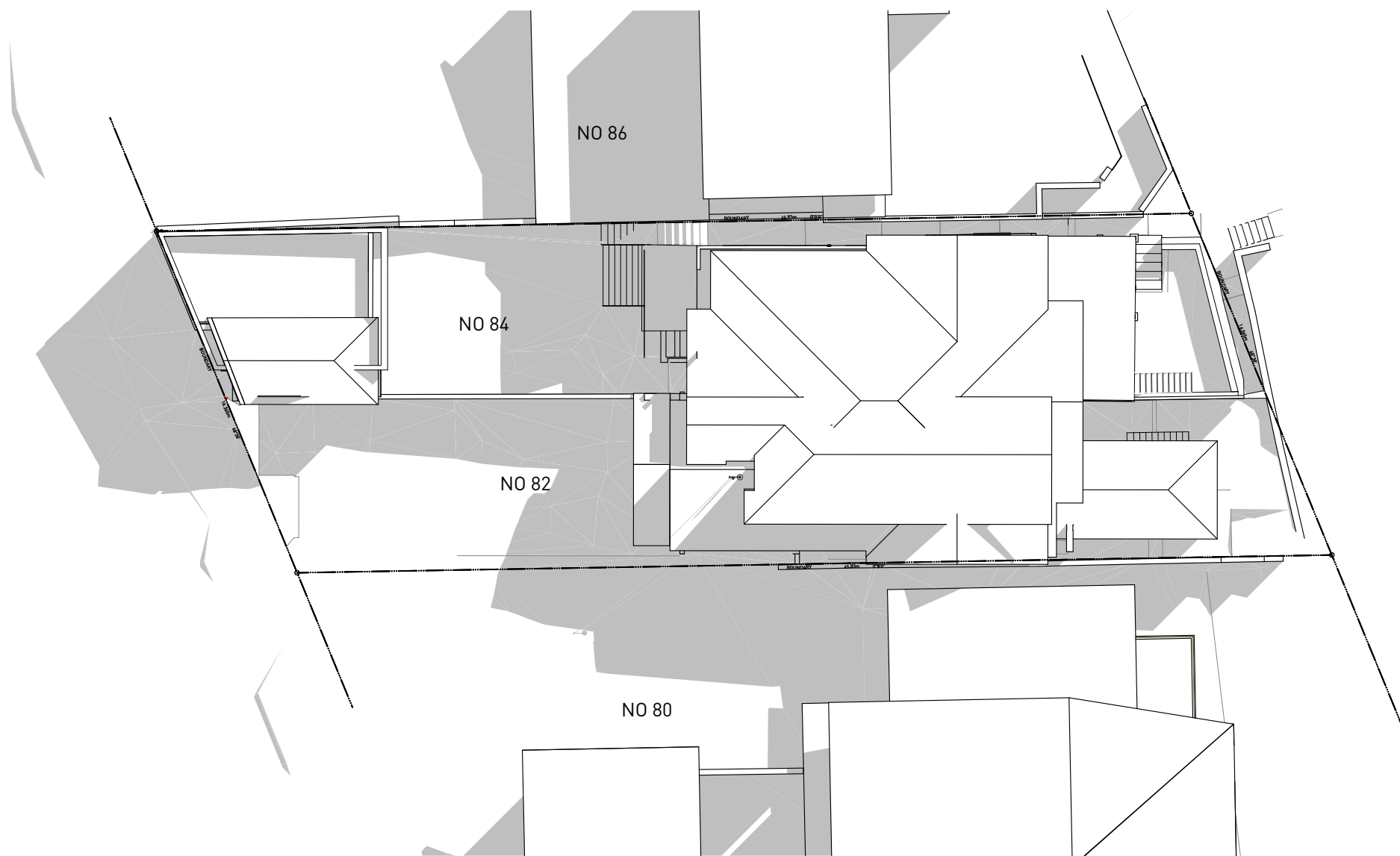
82 Bower Street Manly

82 Bower Street, Manly

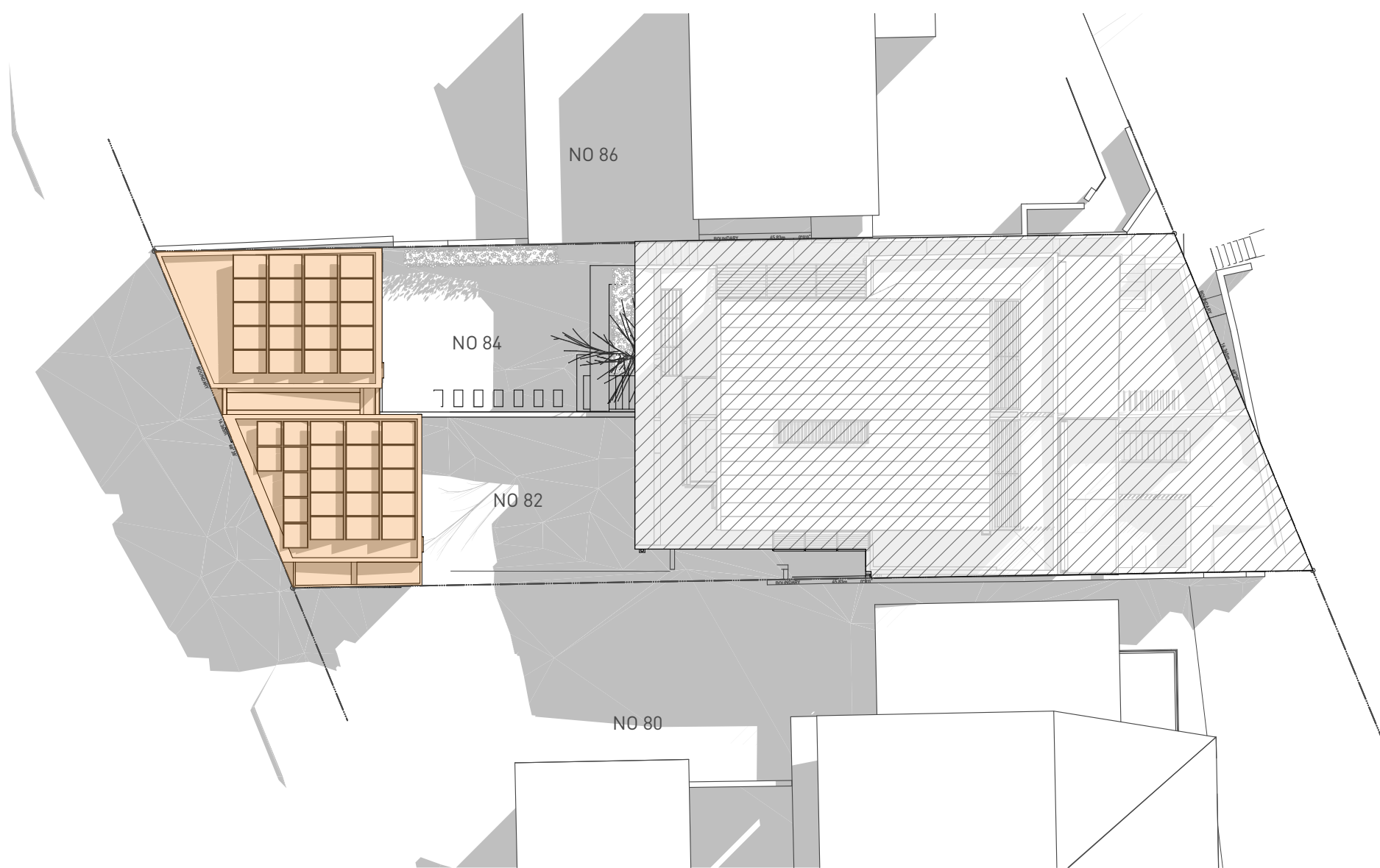
CLIENT John & Anna Lake

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





1 21st June 3pm EXISTING
1:250



2 21st June 3pm PROPOSED
1:250

General Notes

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

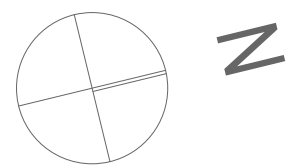
LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation



NOT PART OF DEVELOPMENT APPLICATION

PROPOSED DA WORKS



DOCUMENT

SHADOWS_EXISTING & PROPOSED

DOCUMENT

DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE

DA SUBMISSION

PROJECT

82 Bower Street Manly

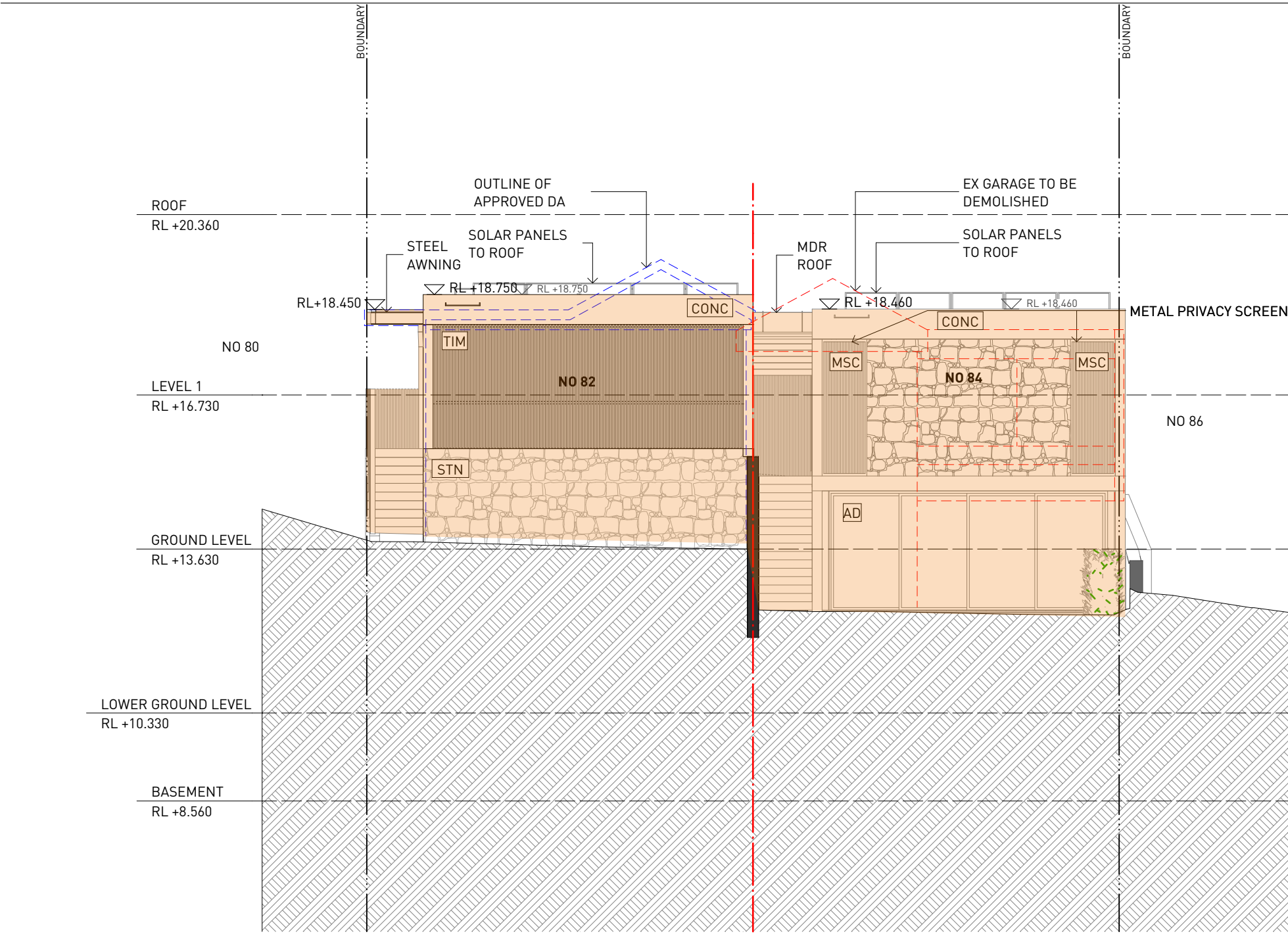
82 Bower Street, Manly

CLIENT

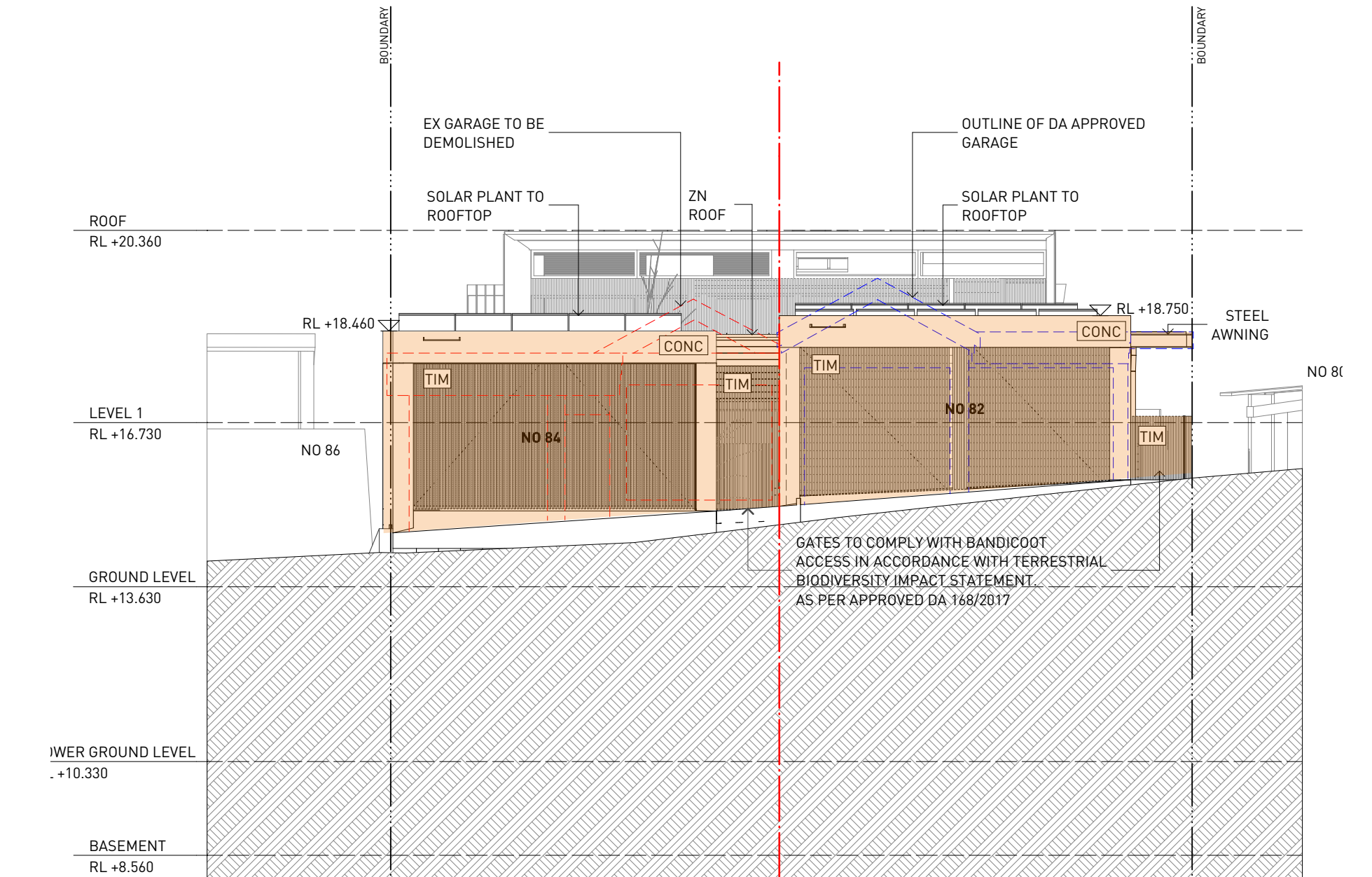
John & Anna Lake

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P102 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





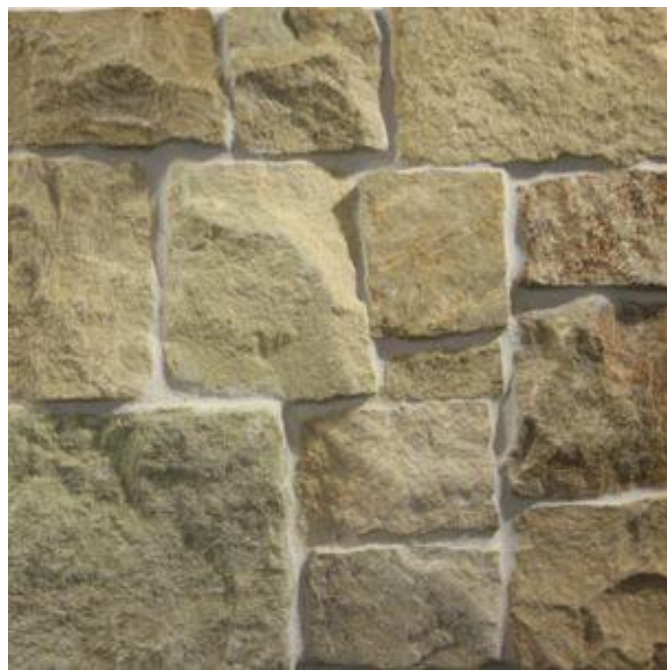
5 NORTH ELEVATION GARAGE
1:100



7 SOUTH ELEVATION GARAGE
1:100



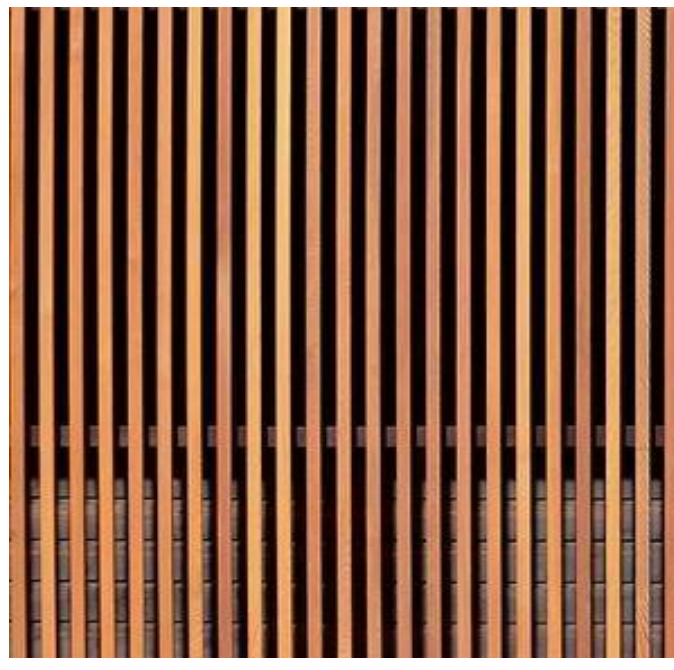
MDR: METAL DECK ROOF



STN: Sandstone



CONC: Rendered and Painted Concrete (White)



TIM: Timber Screen

General Notes

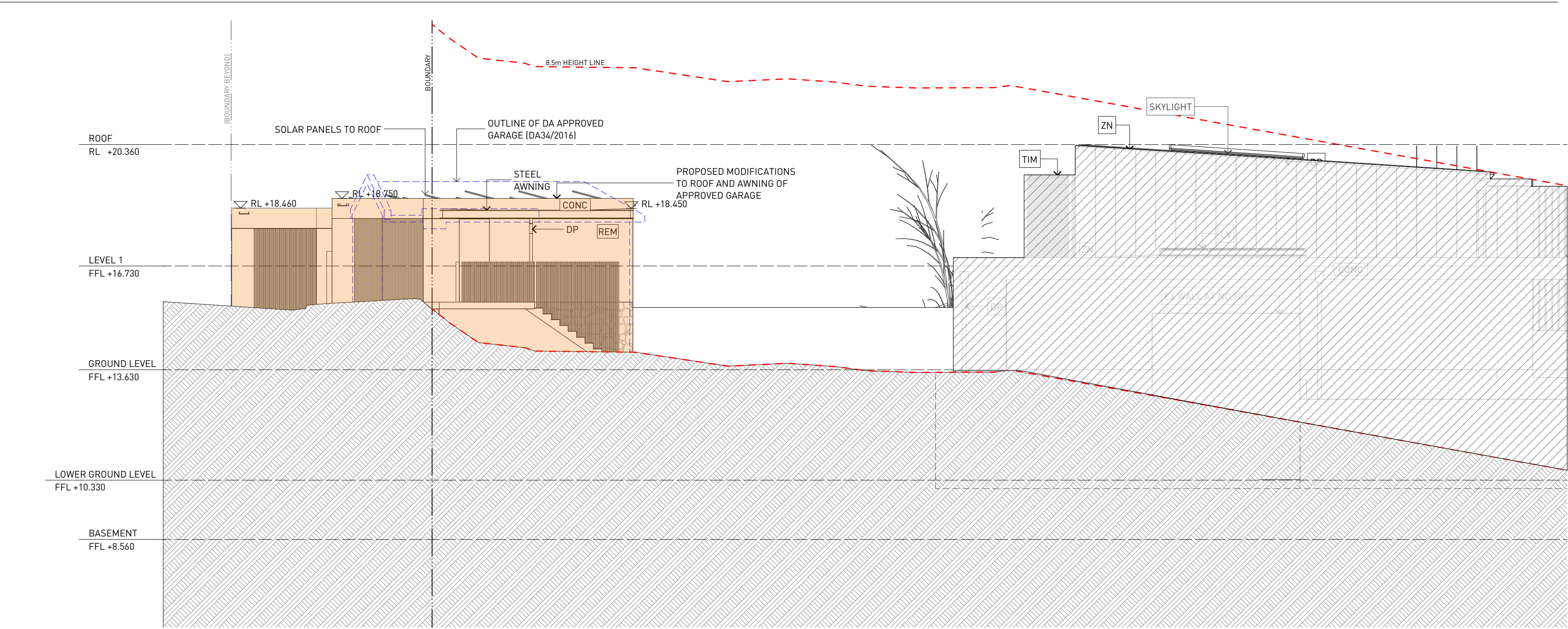
1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

LEGEND

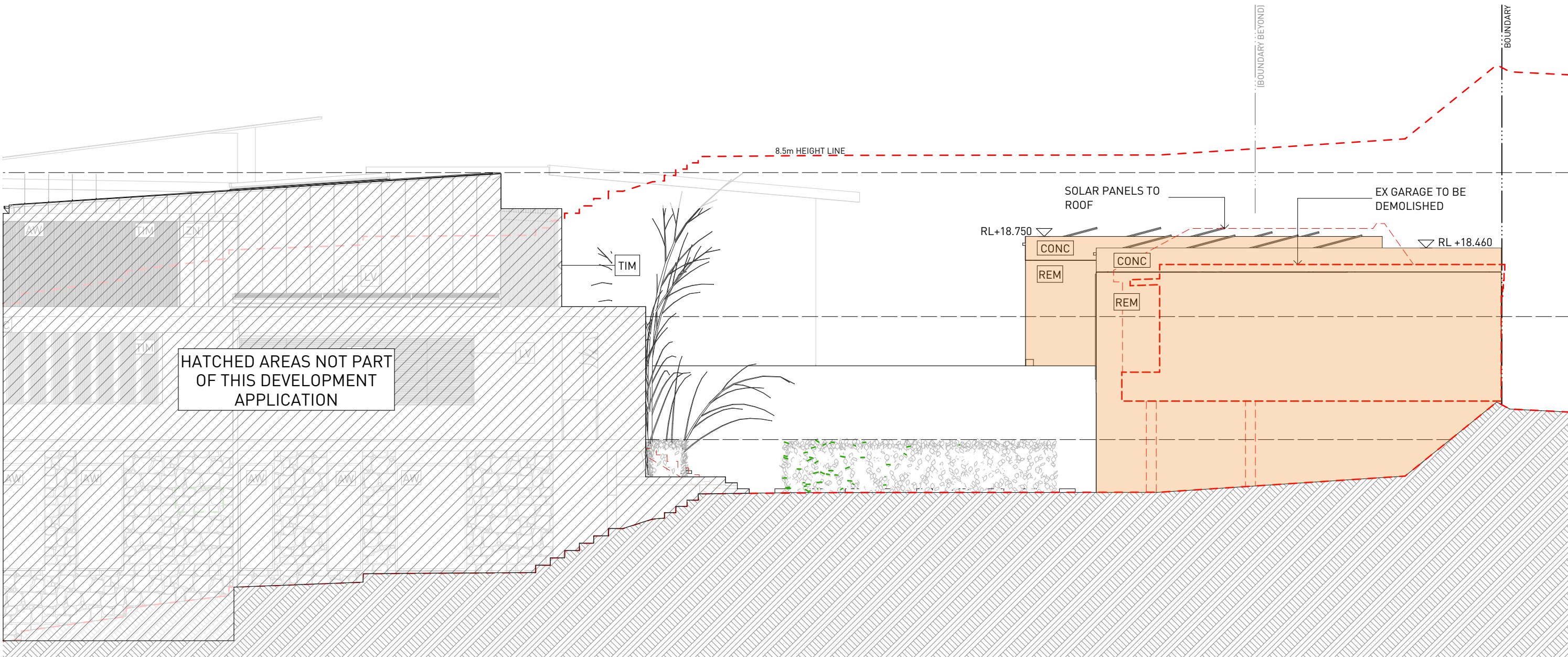
Refer to the notes page for legend that includes further notes and explanation of abbreviation

NOT PART OF DEVELOPMENT APPLICATION

PROPOSED DA WORKS



6 EAST ELEVATION
1:100



8 WEST ELEVATION
1:100

DOCUMENT
FINISHES SCHEDULE

DOCUMENT
DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE
DA SUBMISSION

PROJECT
82 Bower Street Manly

82 Bower Street, Manly

CLIENT John & Anna Lake

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P:02 9516 2022 E:email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)



DA2	DA2-A-000	TITLE
DA2	DA2-A-001	NOTES
DA2	DA2-A-010	SITE PLAN/LANDSCAPE PLAN
DA2	DA2-A-030	SEDIMENT CONTROL PLAN
DA2	DA2-A-100	BASEMENT & LOWER GROUND
DA2	DA2-A-101	GROUND & LEVEL 1
DA2	DA2-A-102	ROOF
DA2	DA2-A-200	ELEVATIONS
DA2	DA2-A-201	SECTIONS
DA2	DA2-A-800	AREA CALCULATIONS
DA2	DA2-A-850	SHADOWS_EXISTING & PROPOSED
DA2	DA2-A-851	SHADOWS_EXISTING & PROPOSED
DA2	DA2-A-852	SHADOWS_EXISTING & PROPOSED
DA2	DA2-A-911	FINISHES SCHEDULE
DA2	DA2-A-990	Neighbour Notification

REFER TO SELECTIONS SCHEDULE FOR MORE DETAIL

AD	ALUMINIUM FRAMED DOOR
AW	ALUMINIUM FRAMED WINDOW
B	BOLLARD
BAL#	BALUSTRADE TYPE #
BG	BOX GUTTER
BLK	BLOCKWORK
BK	BRICKWORK
CAR	CARPET
CONC	CONCRETE
CFT	CERAMIC FLOOR TILE FINISH
CWT	CERAMIC WALL TILE FINISH
D	DOOR
DW	DISHWASHER
DP	DOWNPIPE
EDB	ELECTRICAL DISTRIBUTION BOARD
EX	EXISTING
FB	FACE BRICK
FC	FIBRE CEMENT
FG	FIXED GLASS
FL	FLASHING
FR	FIRE RATED
FW	FLOOR WASTE
FFL	FINISHED FLOOR LEVE
FSL	FINISHED SLAB LEVEL
GD	GRATED DRAIN
GU	GUTTER
HR	HANDRAIL
HW	HOT WATER UNIT
LDY	LAUNDRY
LV	OPERABLE/FIXED LOUVRES
MB	METER BOX
ML	METAL LOUVRES
MR#	METAL ROOF SHEET TYPE #
P	PAINT
PAV	PAVING
PB	PLASTERBOARD
PF	POOL FENCE
POLY	POLYURETHANE FINISH
PR	PEBBLED ROOF
MSC	MESH CAGE
REF	REFRIGERATOR
REN	RENDER
RRL	RELATIVE LEVEL (TO AUSTRALIAN HEIGHT DATUM)
RWO	RAINWATER OUTLET
RWT	RAINWATER TANK
STD	SLIDING TIMBER DOOR
SG	STEEL GATE
SK	SKIRTING
SP	STONE PAVING
ST	STONE TILES
TIM	TIMBER SCREEN
TD	TIMBER DECKING
TF	TIMBER STRIP FLOORING
TW	TIMBER FRAMED WINDOW
TRG	TRANSLUCENT GLAZING (OBSCURE)

General Notes

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation

NOT PART OF DEVELOPMENT APPLICATION

PROPOSED DA WORKS

DOCUMENT

NOTES

DOCUMENT

DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE

DA SUBMISSION

PROJECT

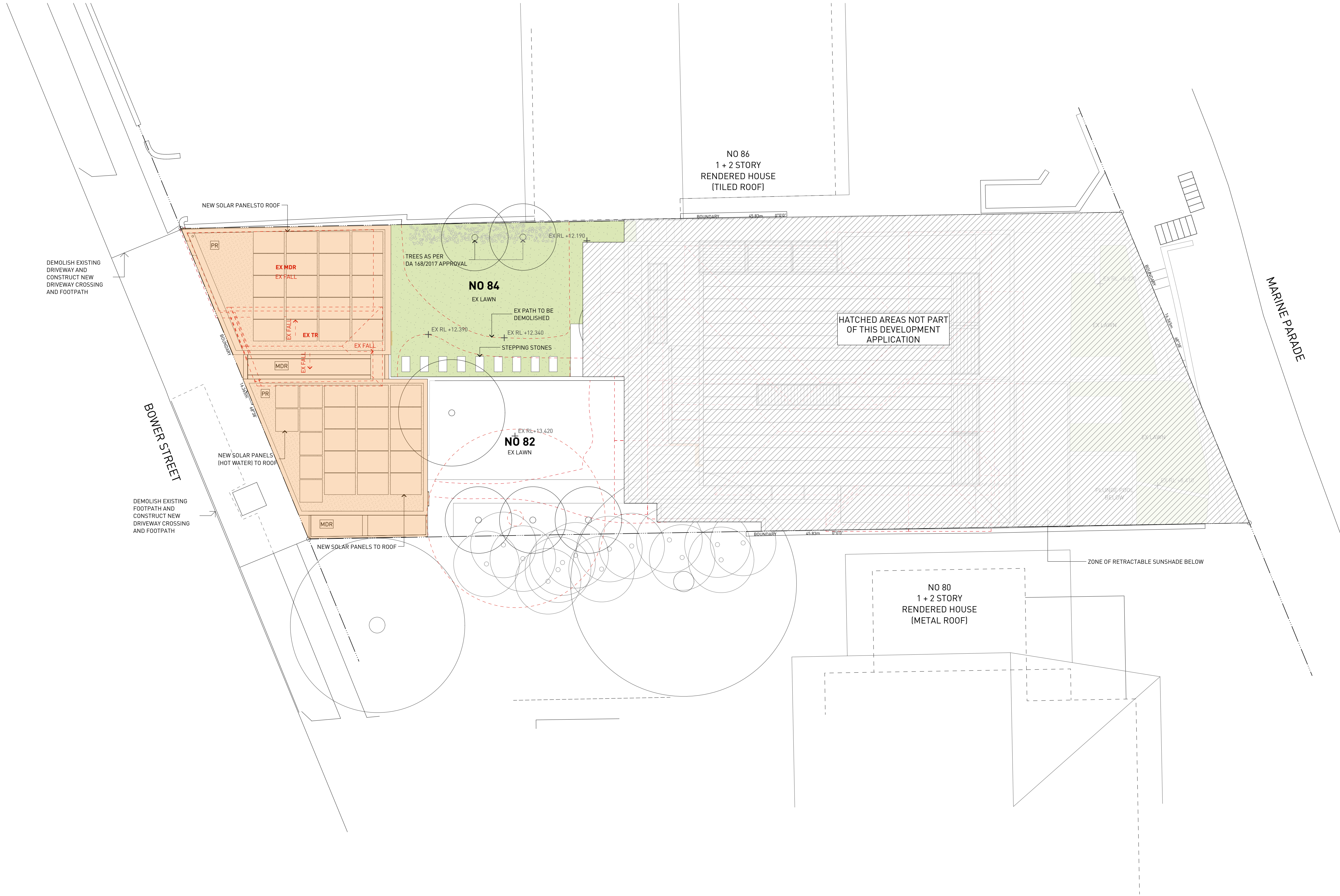
82- 84 Bower Street Manly - Garages

82-84 Bower Street Manly

CLIENT Michael & Jenny Bushell John & Anna Lake

ARCHITECTURE URBAN PLANNING
 1/147 McEvoy St Alexandria NSW 2015
 P 02 9516 2022 E email@smithtznnes.com.au
 smithtznnes.com.au
 Nominated Architect: Peter Smith [Reg 7024]





1 SITE PLAN/LANDSCAPE
1:100

General Notes

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

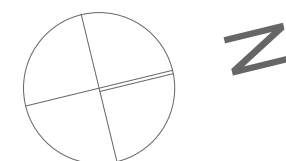
LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation



NOT PART OF DEVELOPMENT APPLICATION

PROPOSED DA WORKS



DOCUMENT

SITE PLAN/LANDSCAPE PLAN

DOCUMENT

DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE

DA SUBMISSION

PROJECT

82- 84 Bower Street Manly - Garages

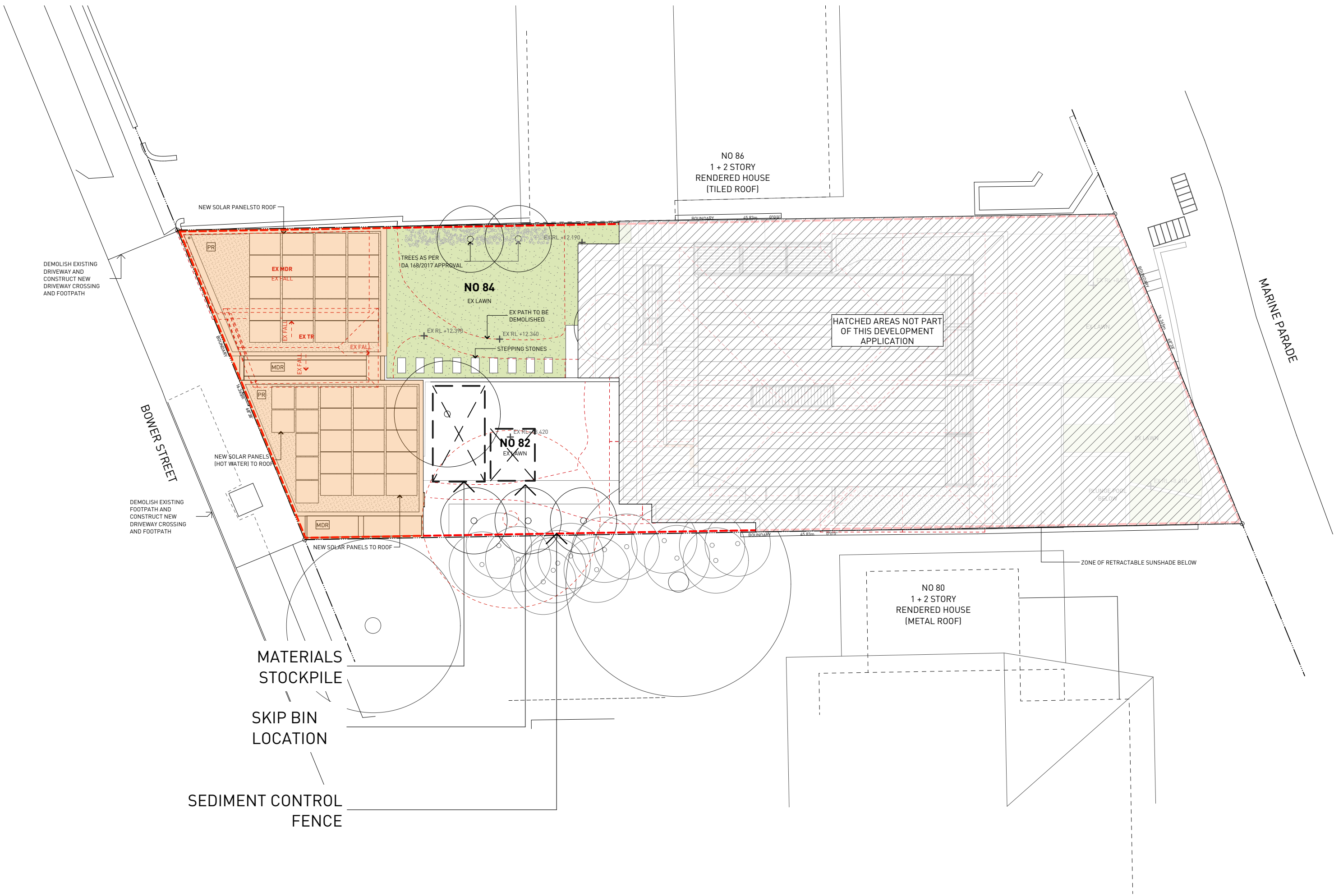
82-84 Bower Street Manly

CLIENT

Michael & Jenny Bushell John & Anna Lake

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P102 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





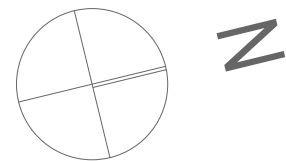
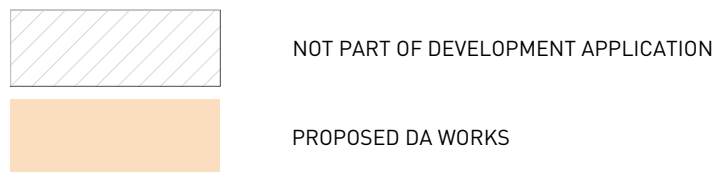
1 SITE PLAN/LANDSCAPE
1:166.67

General Notes

- NEVER scale off drawings, use figured dimensions only.
- Verify all dimensions on site prior to commencement & report discrepancies to the architect.
- Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation



DOCUMENT
SEDIMENT CONTROL PLAN

DOCUMENT
DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE
DA SUBMISSION

PROJECT
82- 84 Bower Street Manly - Garages

82-84 Bower Street Manly

CLIENT
Michael & Jenny Bushell John & Anna Lake

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)



CONSTRUCTION MANAGEMENT

MATERIALS HANDLING

Materials handling and vehicle operations will comply with the Road Transport Act 1999 (NSW) which incorporates the Mass Loading and Access Regulation 1996 and Safety Traffic Management Road Rules Regulations 1999. All loads will be covered to minimise dust and prevent the transfer of sediment onto the roadway.

DILAPIDATION SURVEY

A dilapidation survey is to be undertaken to record the physical condition of any existing structure or situation that may be effected by the proposed development.

TRAFFIC MANAGEMENT PLAN

A traffic management plan has been prepared to meet council and RTA ("Traffic Control Worksite Manual") requirements, by a suitably qualified person (minimum red card' qualification).

WASTE MANAGEMENT

The proposed development will incorporate the waste minimisation principles of Avoid, Reduce, Reuse and Recycle, and conform with the Waste Avoidance and Recovery Act 2001. Specific bins for waste and recycling shall be provided on site.

NOISE CONTROL

To reduce noise from construction and demolition sites, all activities should be carried out in accordance with the requirements of Australian Standard Guidelines AS2436-1981 "Guide to noise control on Construction Maintenance and Demolition sites."

OCCUPATIONAL HEALTH AND SAFETY

All site works must comply with the occupational health and safety requirements of the New South Wales Work Cover Authority.

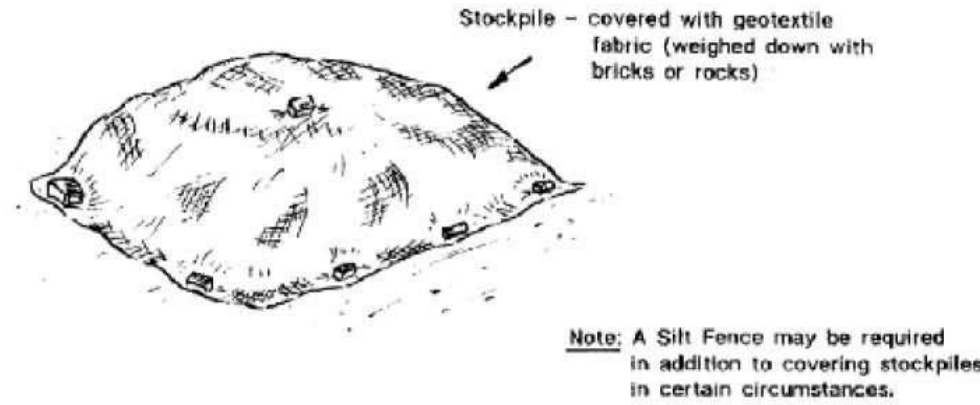
TOILET FACILITIES

During excavation, demolition and construction phases, toilet facilities are to be provided on the site, at the rate of one toilet for every twenty (20) persons or part of twenty (20) persons employed at the site.

SOIL AND WATER MANAGEMENT

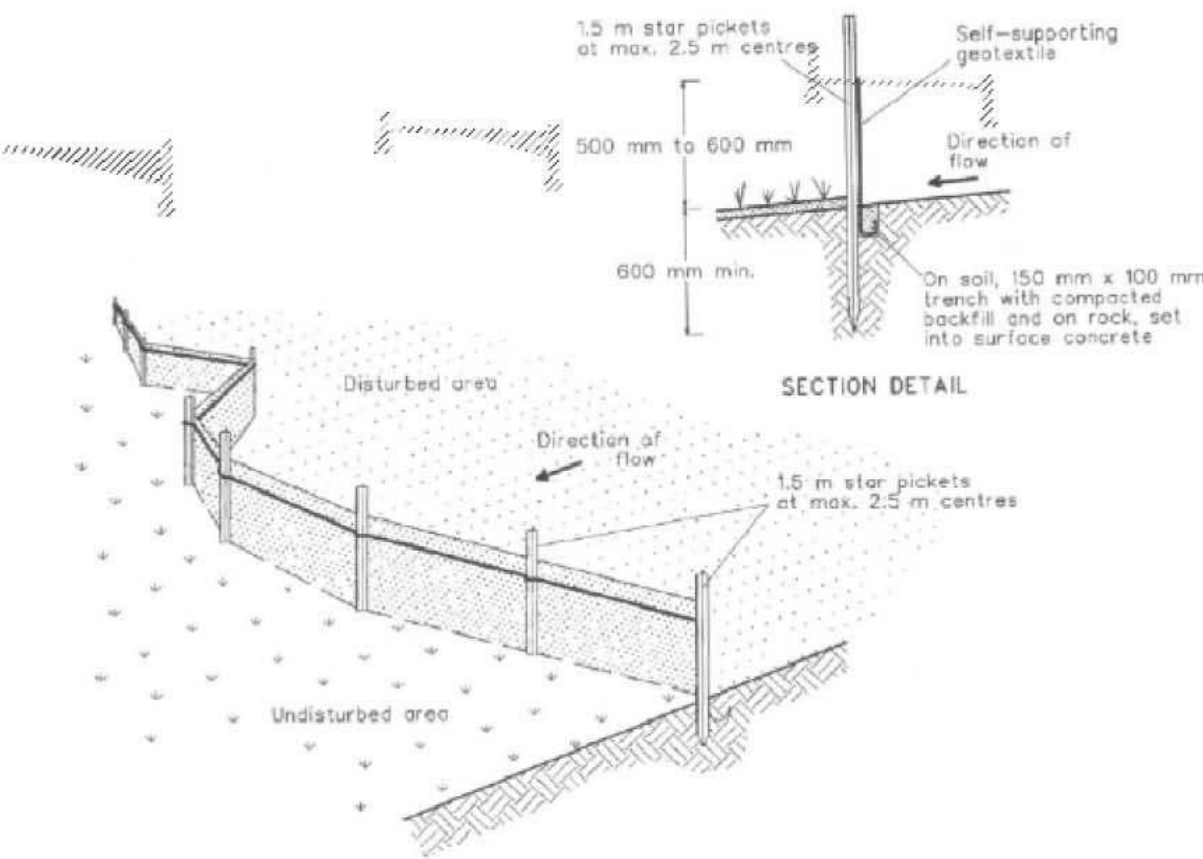
- Minimise the area of soils exposed at any one time.
- Conserve top soil.
- Protect proposed stockpile locations. Use only nominated stockpile locations.
- Preserve existing vegetation. Implement revegetation as specified on drawings A001 and A120.
- Prevent soil, sand and sediments leaving the site in an uncontrolled manner.
- Control surface water flows through the site in a manner that:
 - Diverts clean run-off around disturbed areas
 - Minimises slope gradient & flow distance within disturbed areas
 - Ensures surface run-off occurs at non-erodible velocities
 - Ensures disturbed areas are promptly rehabilitated.
- Sediment and erosion control measures are to be in place before work commences.
- Materials are not to be tracked onto the road by vehicles entering or leaving the site.
- Specified drainage is to be implemented to protect and drain the site during works.
- A durable sign, available from Council must be erected during the works in a prominent location on site, warning of penalties should appropriate measures required by the Soil and Water Management Plan not be maintained.

Stockpile Protection:

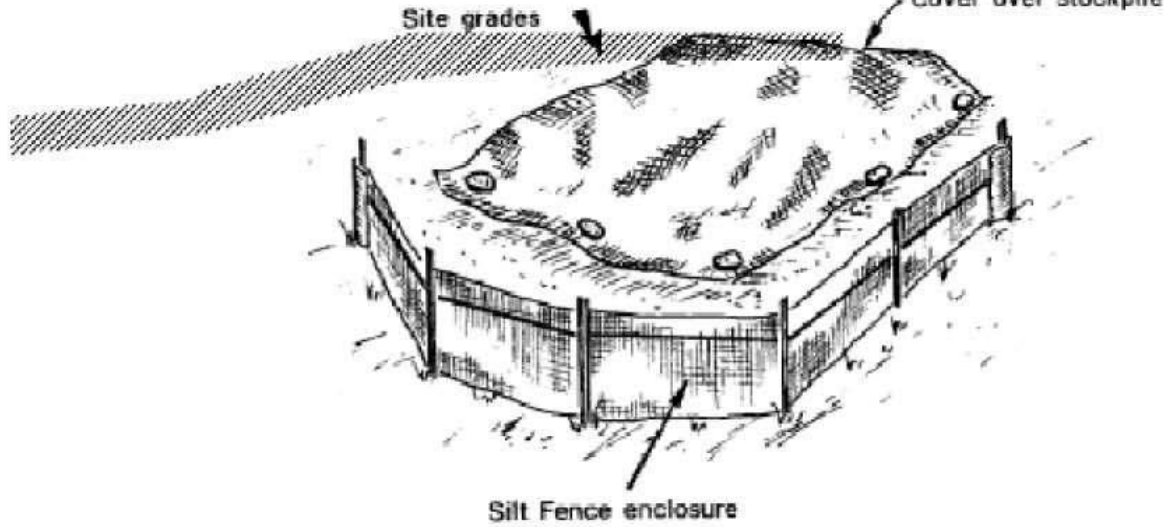


v. Drainage structure protection on and off the site (kerb and gutter, pits, culverts etc)

Silt Fence Diagram:



Silt Fence with returns:



2 BASEMENT
1:100

1 LOWER GROUND LEVEL
1:100

General Notes

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

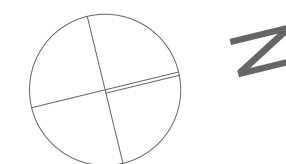
LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation



NOT PART OF DEVELOPMENT APPLICATION

PROPOSED DA WORKS



DOCUMENT

BASEMENT & LOWER GROUND

DOCUMENT

DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE

DA SUBMISSION

PROJECT

82- 84 Bower Street Manly - Garages

82-84 Bower Street Manly

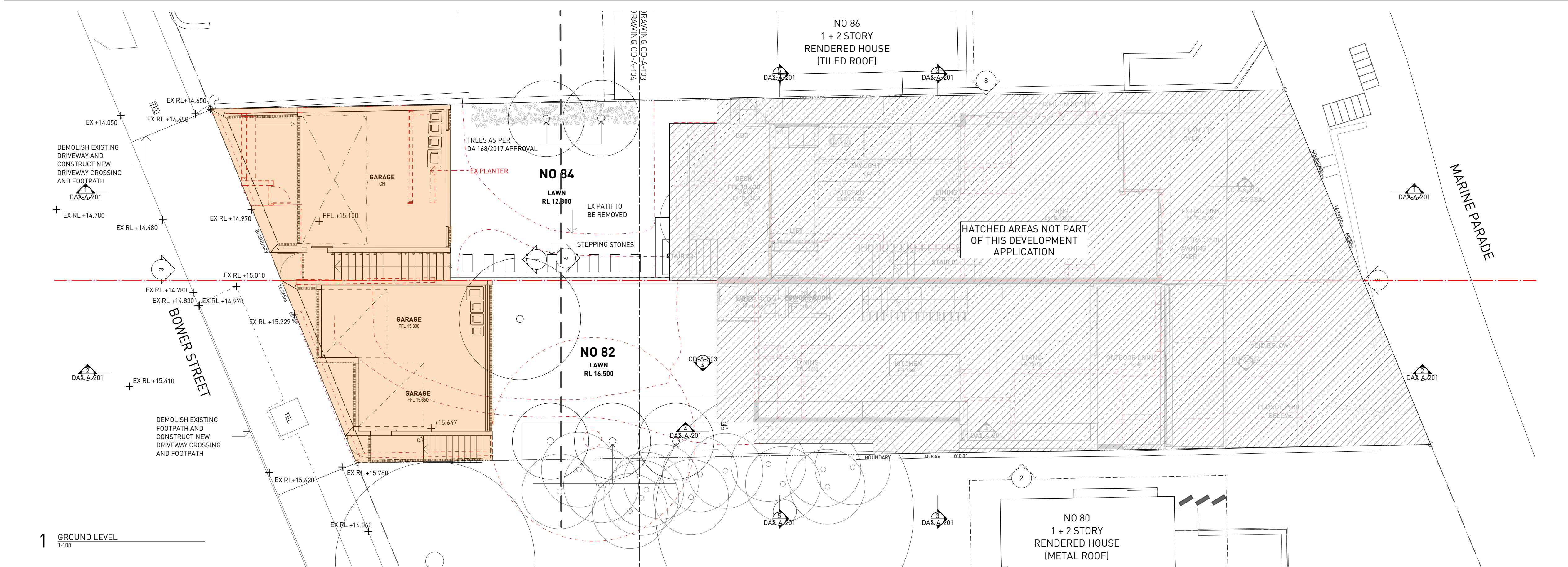
CLIENT

Michael & Jenny Bushell John & Anna Lake

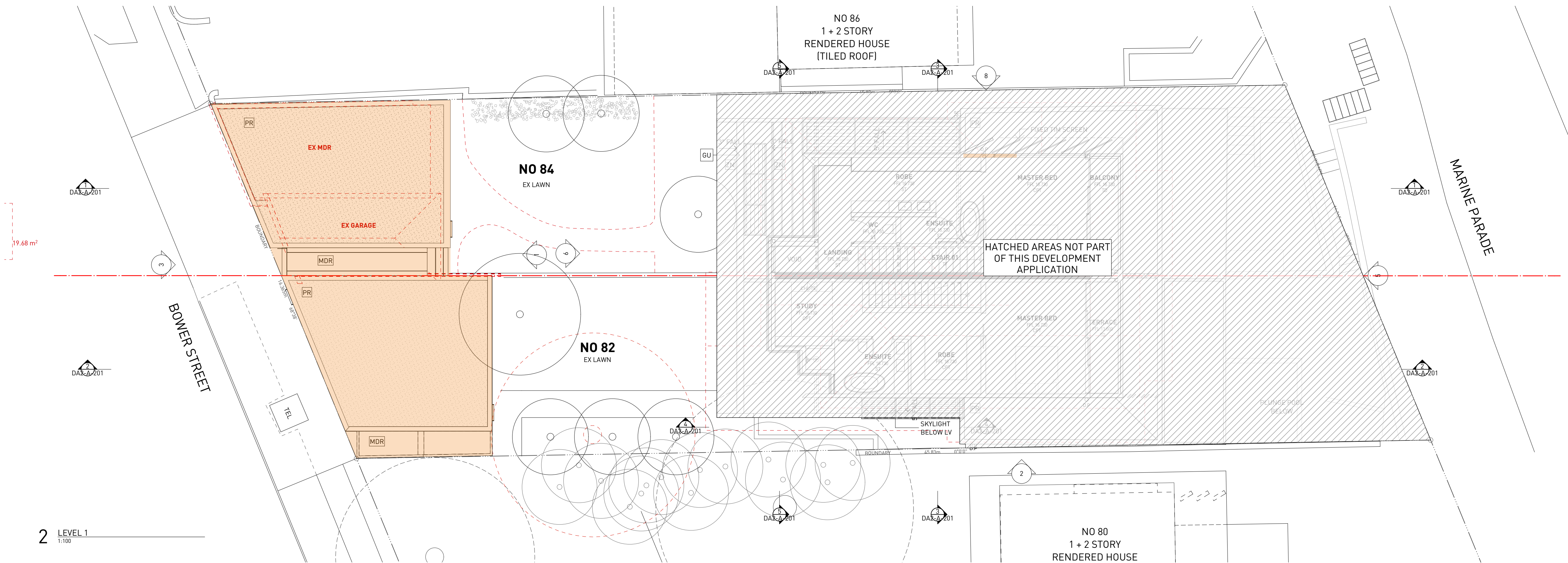
ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P:02 9516 2022 E:email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)



15_117 DA2-A-100



1 GROUND LEVEL
1:100



2 LEVEL 1
1:100

General Notes

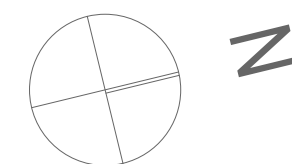
- NEVER scale off drawings, use figured dimensions only.
- Verify all dimensions on site prior to commencement & report discrepancies to the architect.
- Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation

NOT PART OF DEVELOPMENT APPLICATION

PROPOSED DA WORKS



DOCUMENT
GROUND & LEVEL 1
DOCUMENT
DEVELOPMENT APPLICATION
REV - 11.02.19
STAGE
DA SUBMISSION

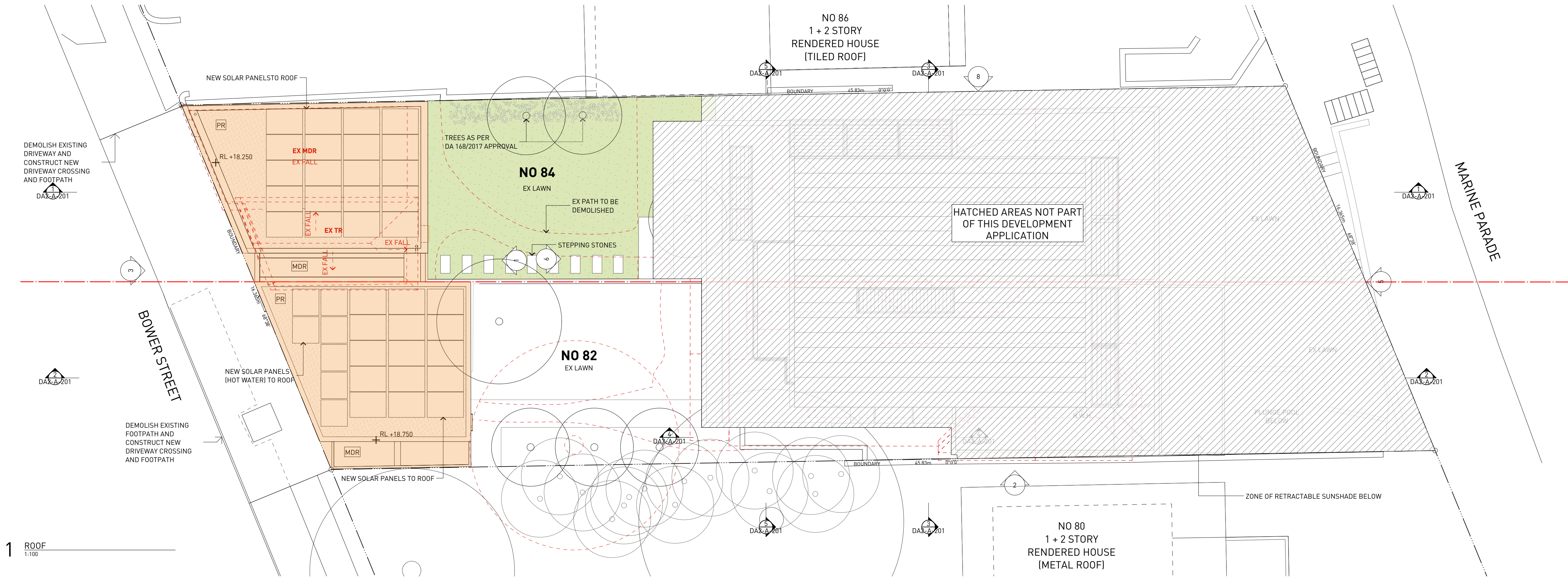
PROJECT
82- 84 Bower Street Manly - Garages

82-84 Bower Street Manly

CLIENT Michael & Jenny Bushell John & Anna Lake

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P:02 9516 2022 E:email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





1 ROOF
1:100

General Notes

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

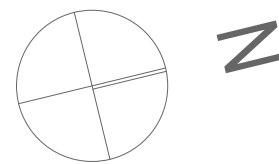
LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation



NOT PART OF DEVELOPMENT APPLICATION

PROPOSED DA WORKS



DOCUMENT

ROOF

DOCUMENT

DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE

DA SUBMISSION

PROJECT

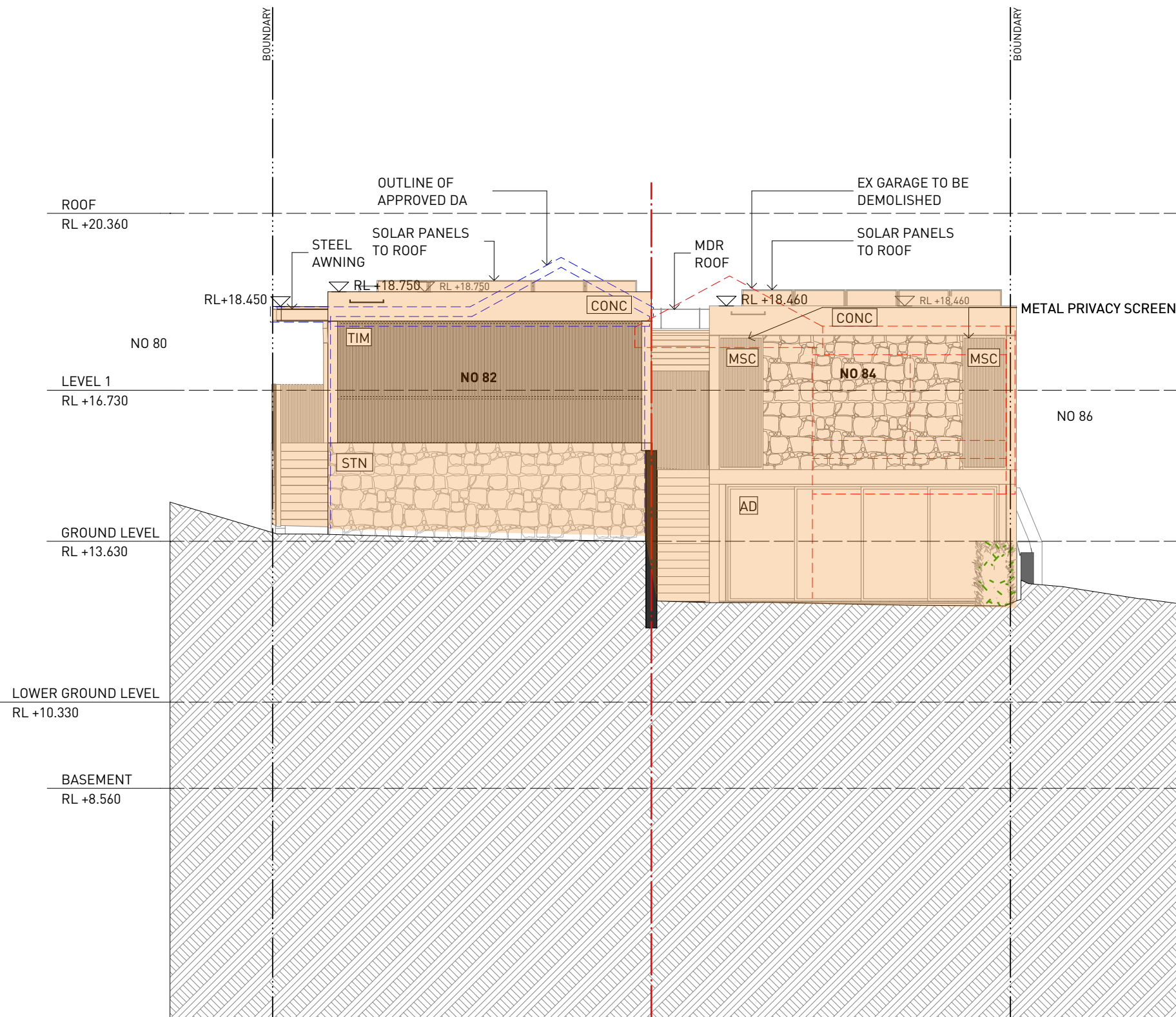
82- 84 Bower Street Manly - Garages

82-84 Bower Street Manly

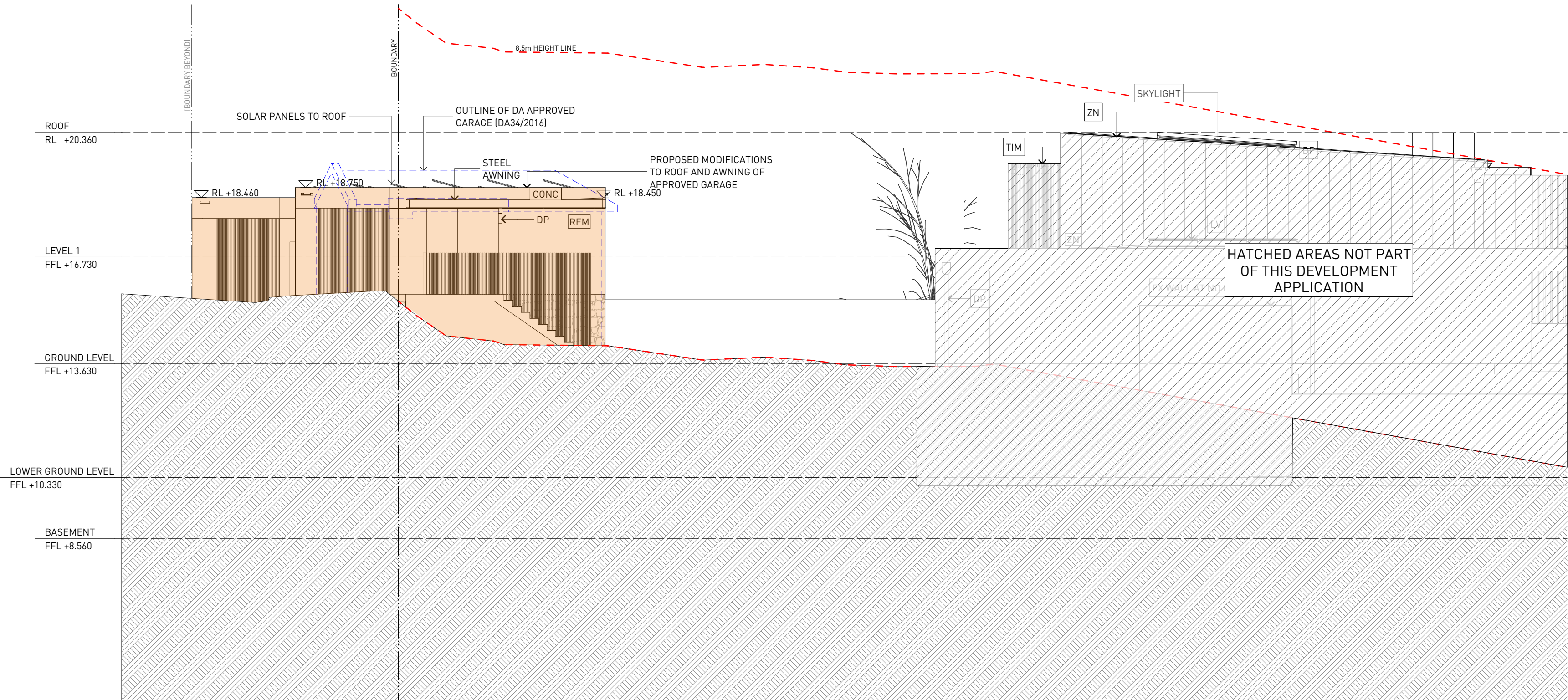
CLIENT Michael & Jenny Bushell John & Anna Lake

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P102 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)

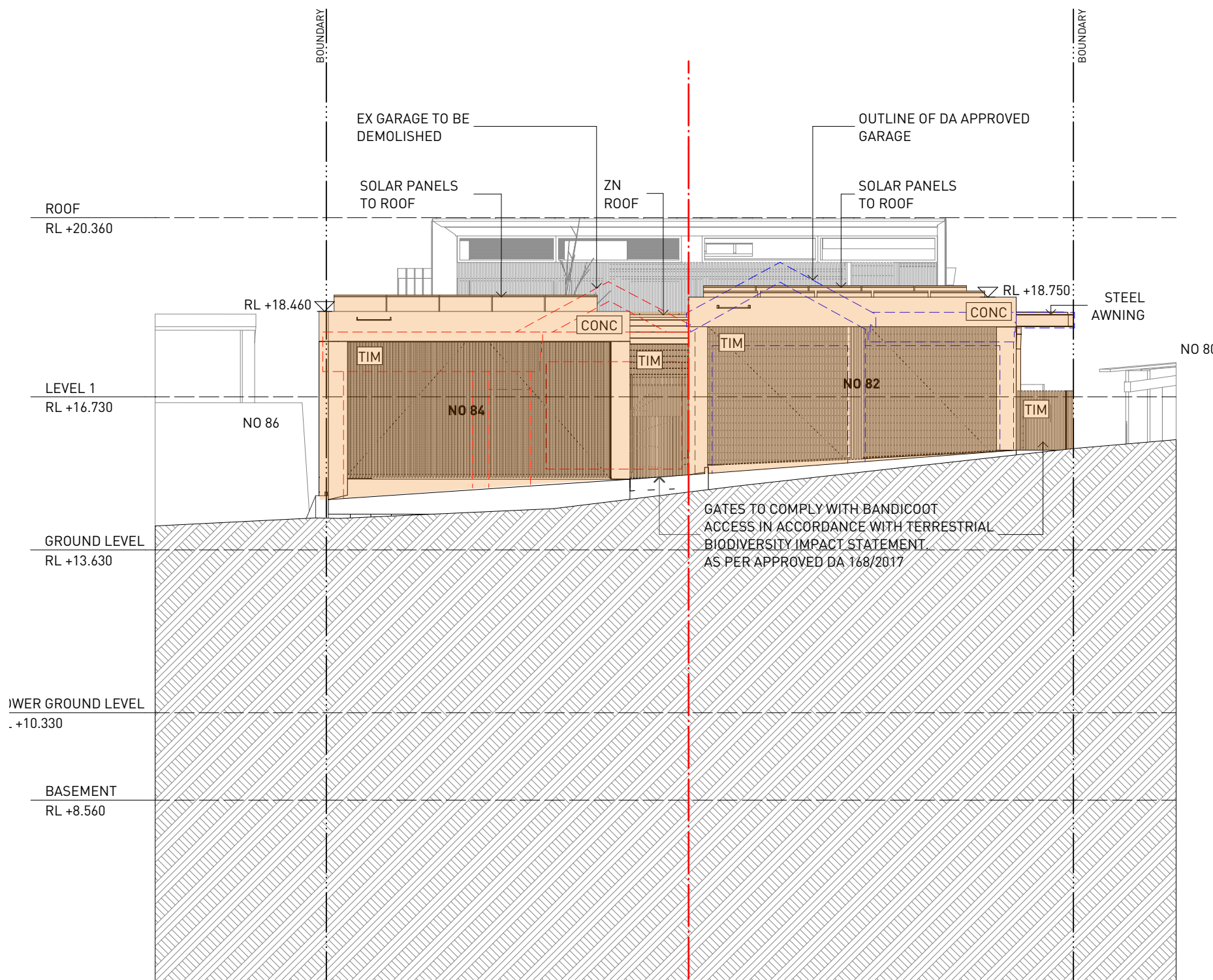




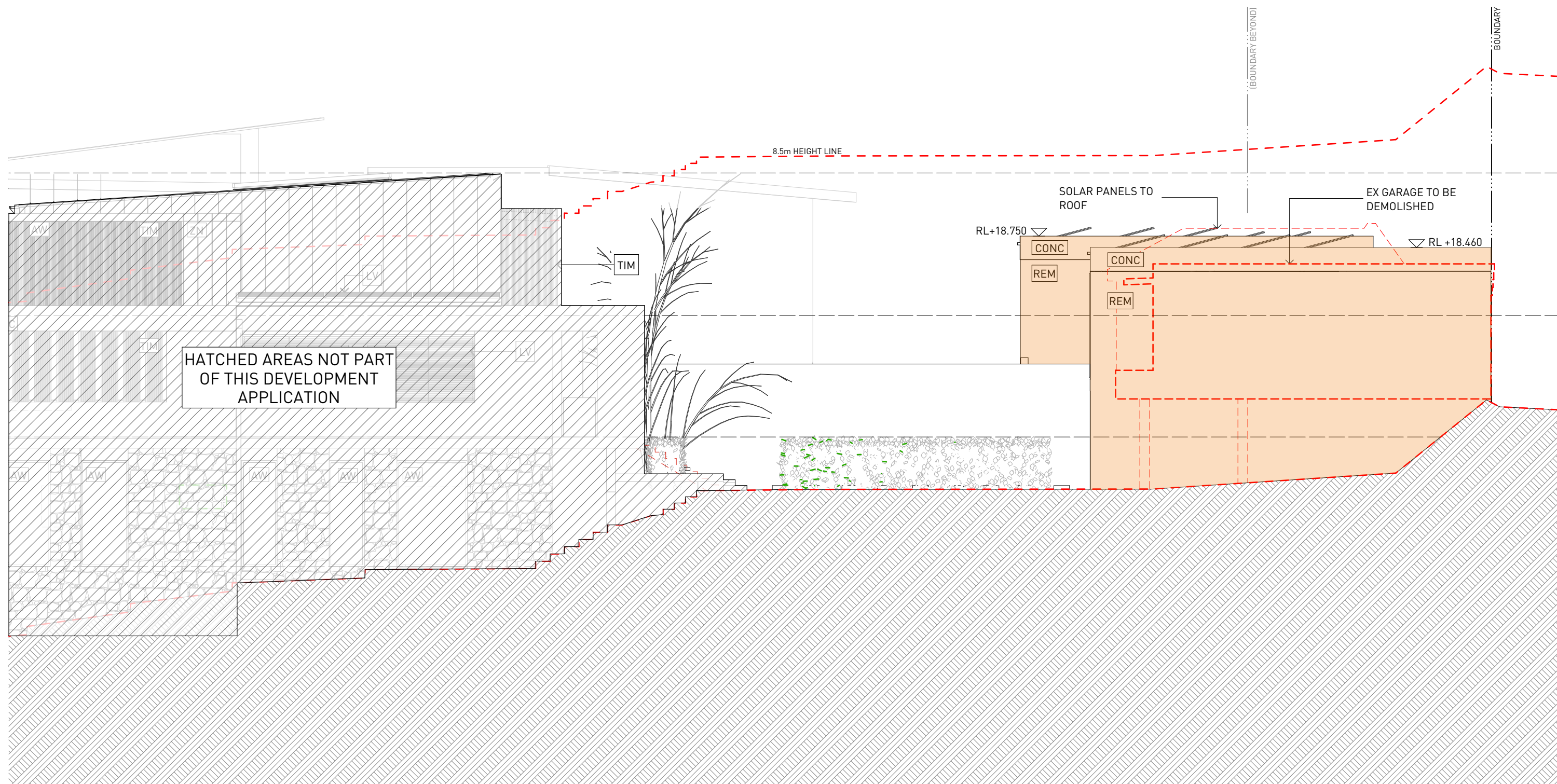
1 NORTH ELEVATION GARAGE
1:100



2 EAST ELEVATION
1:100



3 SOUTH ELEVATION GARAGE
1:100



4 WEST ELEVATION
1:100

General Notes

1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation



NOT PART OF DEVELOPMENT APPLICATION

PROPOSED DA WORKS

DOCUMENT

ELEVATIONS

DOCUMENT

DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE

DA SUBMISSION

PROJECT

82- 84 Bower Street Manly - Garages

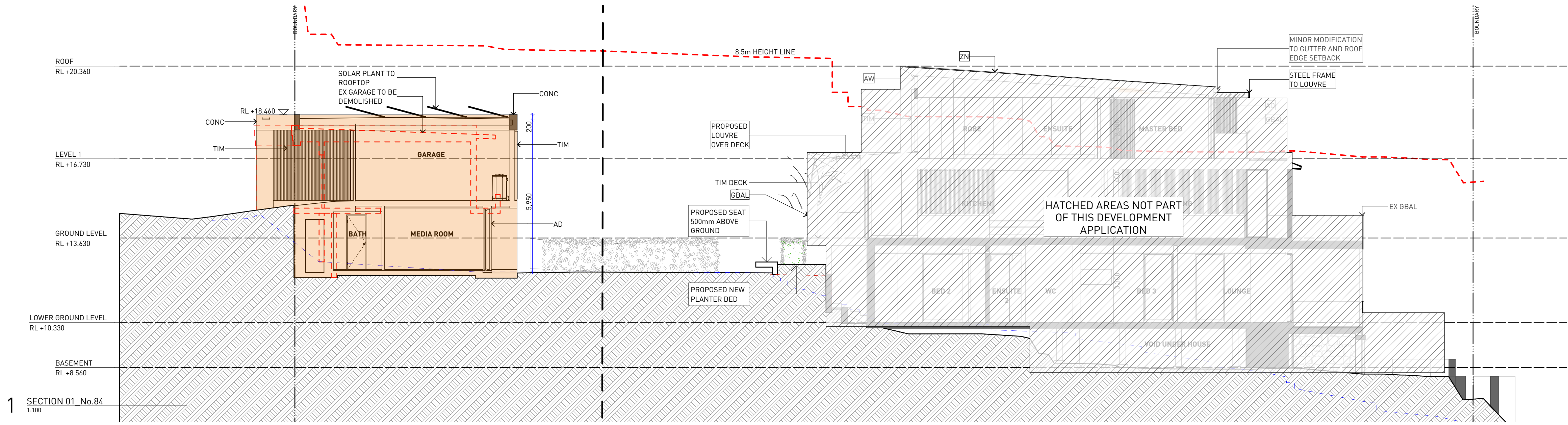
82-84 Bower Street Manly

CLIENT

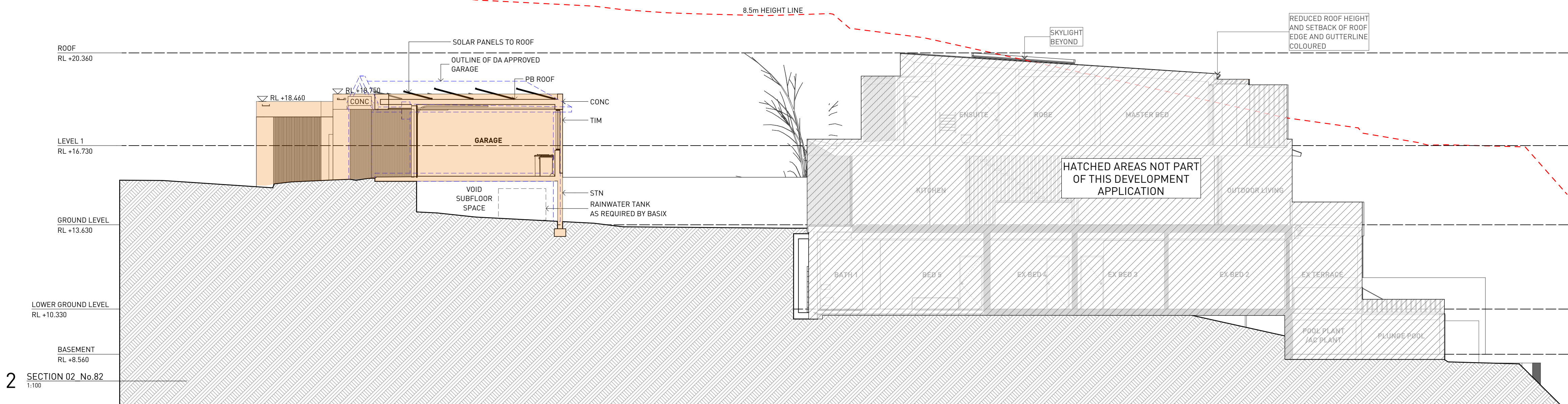
Michael & Jenny Bushell John & Anna Lake

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P:02 9516 2022 E:email@smithtannes.com.au
smithtannes.com.au
Nominated Architect: Peter Smith (Reg 7024)

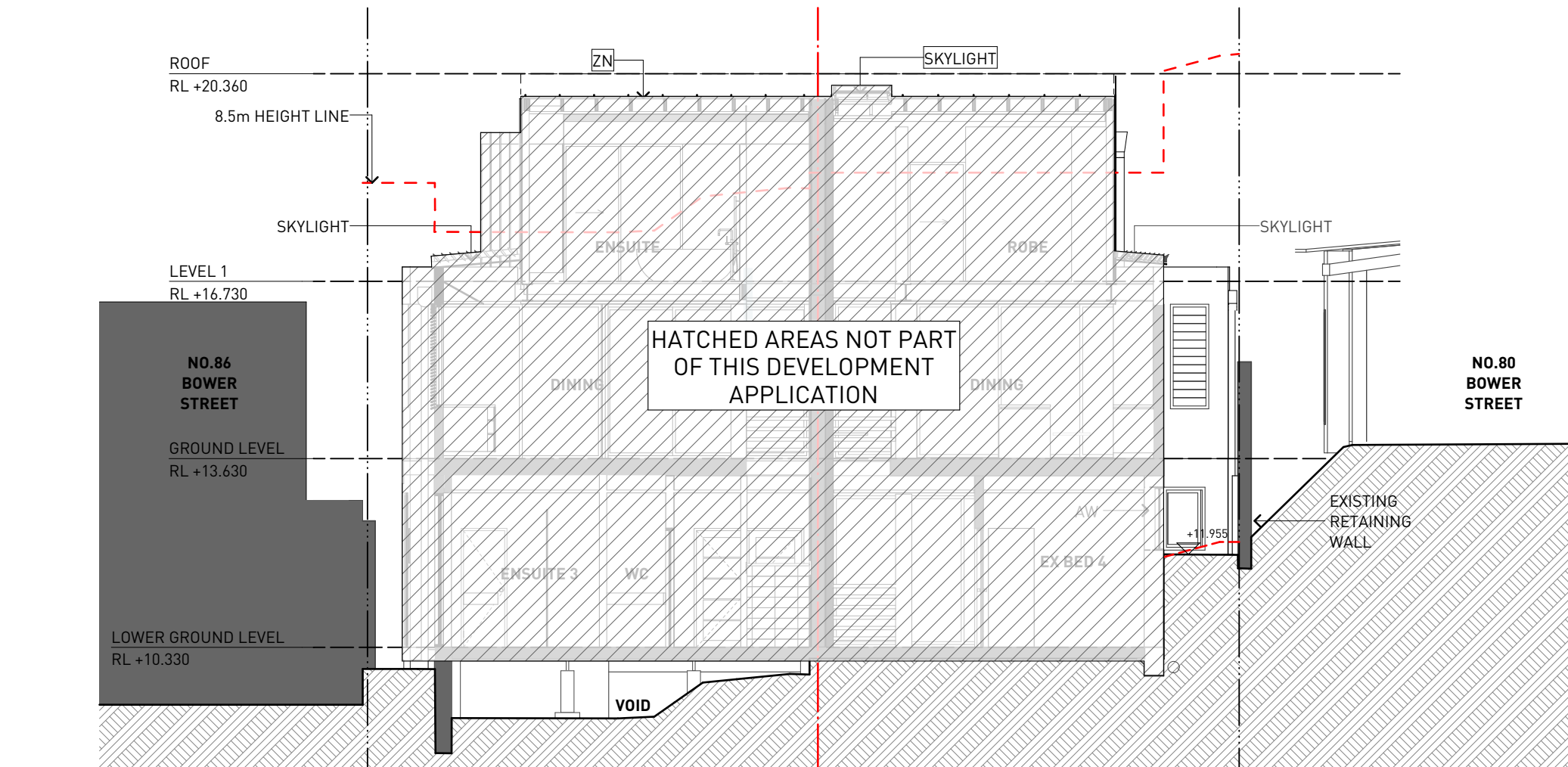




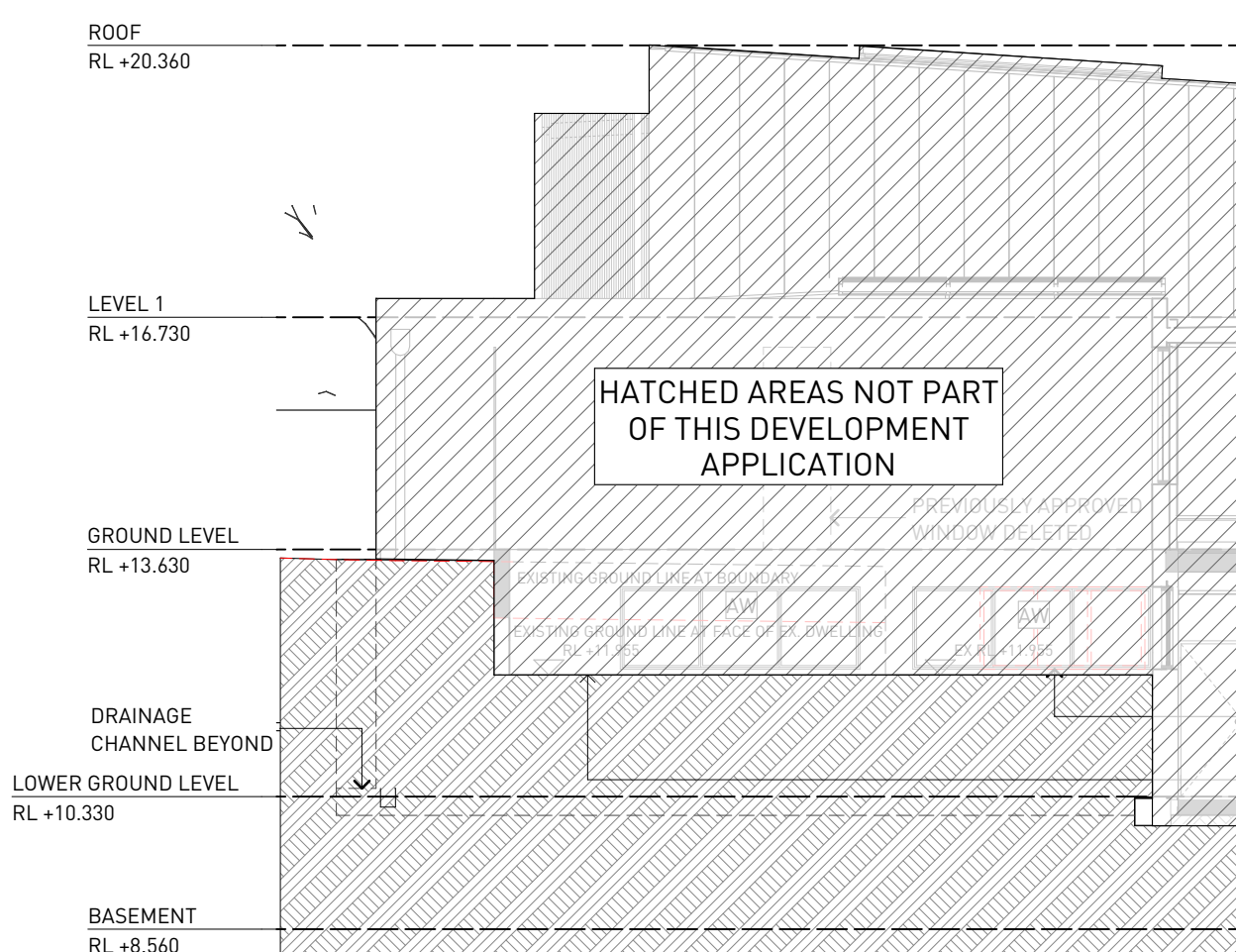
1 SECTION 01 No.84
1:100



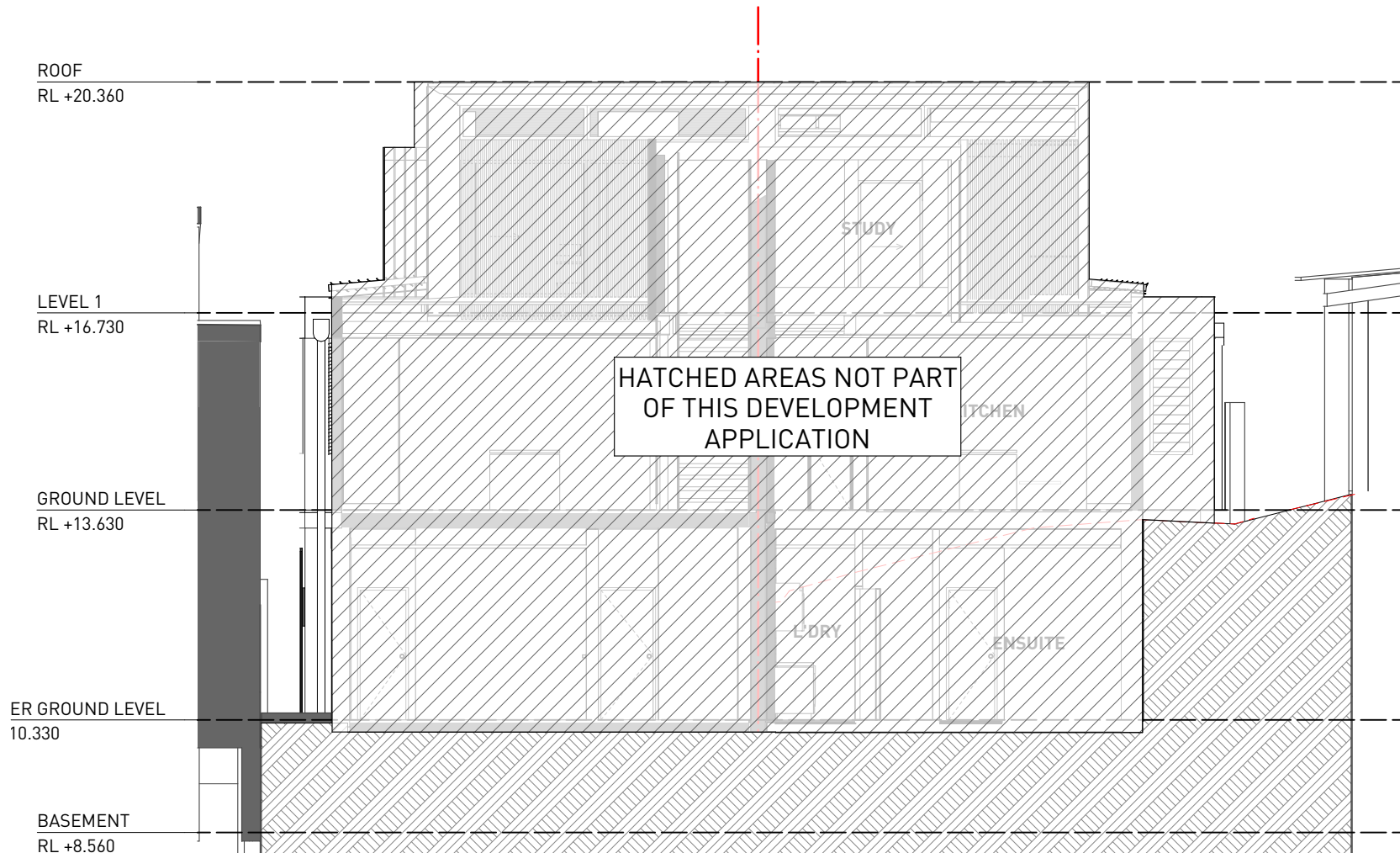
2 SECTION 02 No.82
1:100



3 SECTION 03
1:100



4 LONG COURTYARD
1:100



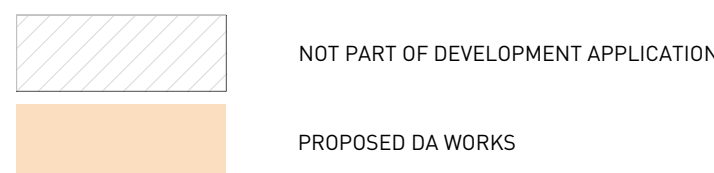
5 SHORT COURTYARD
1:100

General Notes

- NEVER scale off drawings, use figured dimensions only.
- Verify all dimensions on site prior to commencement & report discrepancies to the architect.
- Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation



DOCUMENT
SECTIONS

DOCUMENT
DEVELOPMENT APPLICATION

REV - 11.02.19

STAGE
DA SUBMISSION

PROJECT
82- 84 Bower Street Manly - Garages

82-84 Bower Street Manly

CLIENT **Michael & Jenny Bushell John & Anna Lake**

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)

