

DEVELOPMENT APPLICATION
FOR 47 CUTLER ROAD, CLONTARF

DRAWING LIST

TITLE

SCALE

GA 00 COVER SHEET & BASIX COMMITMENTS
GA 01 SITE PLAN, SITE ANALYSIS & ROOF PLAN
GA 02 EROSION & SEDIMENT CONTROL PLAN
GA 03 EXISTING FLOOR PLANS
GA 04 LANDSCAPE & POOL PLAN
GA 05 ELEVATIONS
GA 06 SECTIONS

NONE
1: 100 @A1
1: 100 @A1
1: 100 @A1
1: 100 @A1
1: 100 @A1
1: 100 @A1

BASIX COMMITMENTS
BASIX CERTIFICATE No. A397663

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A397663

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 12, November 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Polglase & Durrenberger -BCC:PW
Street address	47 Cutler Road Clontarf 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 2610
Lot number	10
Section number	G
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	I want a BASIX Certificate for optional compliance. This means I won't have to comply with any existing Council energy and water efficiency provisions.

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	BASIX Certificate Centre
ABN (if applicable):	31 430 367 846

BASIX Certificate number: A397663

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Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 842 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 20 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 17.5 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✓	✓

BASIX Certificate number: A397663

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

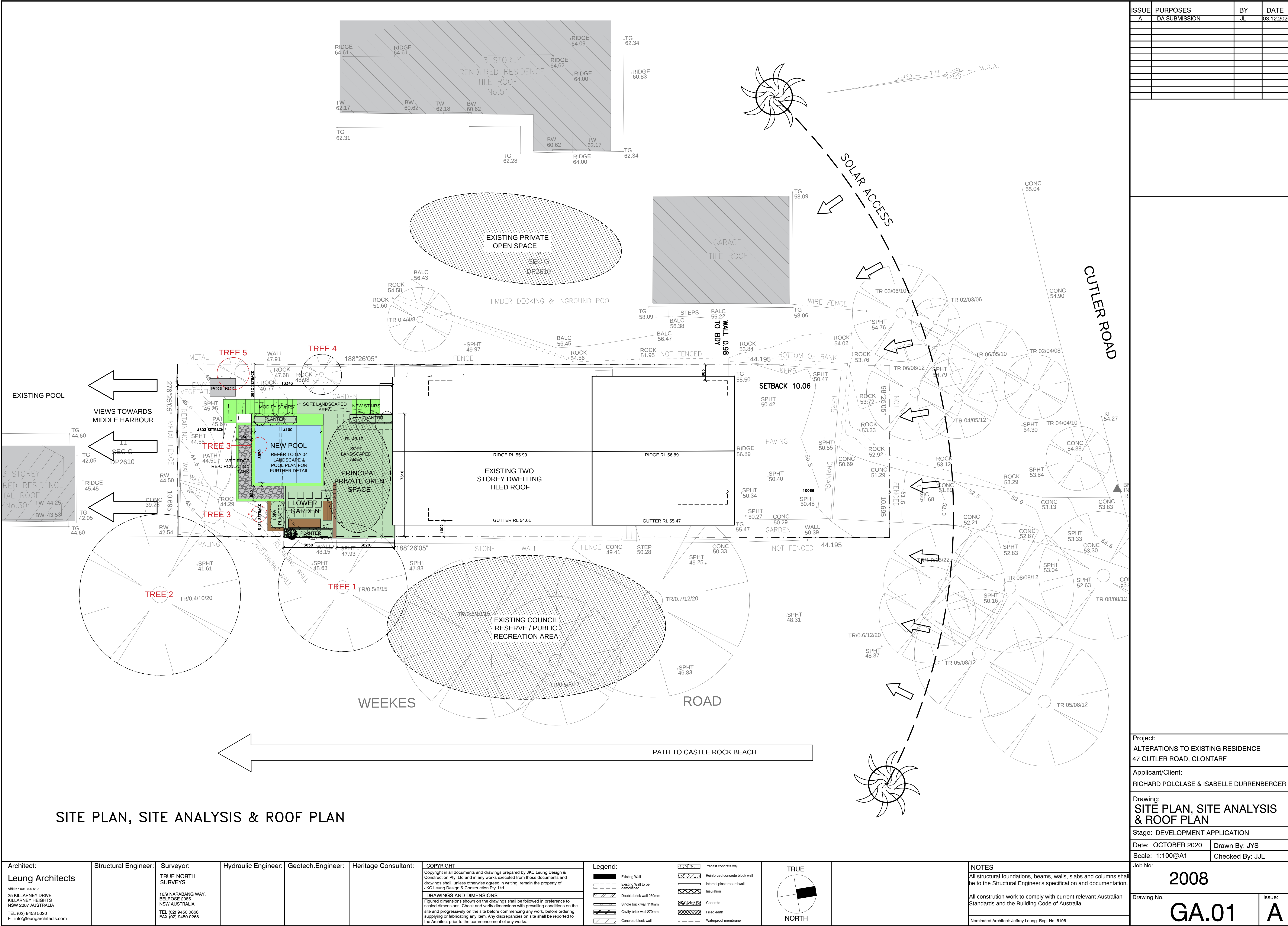
ISSUE	PURPOSES	BY	DATE
A	DA SUBMISSION	JYS	11.11.2020

MATERIAL FINISHES			
AFW: ALUMINUM FRAMED WINDOW CFC: COMPRESSED FIBRE CEMENT FINISH CFCT: COMPRESSED FIBRE CEMENT PRE FINISHED PANEL (TEXTURE) CFCD: COMPRESSED FIBRE CEMENT PRE FINISHED PANEL (DECORATIVE) CPT: CARPET CRBK: CEMENT RENDERED BRICK DP: DOWNPIPE HWT: HARD WOOD TIMBER GB: GLASS BALUSTRADE MR: METAL ROOF MWC: METAL WALL CLADDING PFS: PRIVACY FIN SCREEN RCS: REINFORCED CONCRETE SUSPENDED RCOG: REINFORCED CONCRETE ON GROUND STT: STONE TILE FINISH TFB: TIMBER FLOOR BOARD TWC: TIMBER WALL CLADDING			

Project: ALTERATIONS TO EXISTING RESIDENCE 47 CUTLER ROAD, CLONTARF	
Applicant/Cient: RICHARD POLGLASE & ISABELLE DURRENBERGER	
Drawing: COVER SHEET & BASIX COMMITMENTS	
Stage: DEVELOPMENT APPLICATION	
Date: OCTOBER 2020	Drawn By: JYS
Scale: 1:100@A1	Checked By: JJJ

Job No:	2008	
Drawing No.	GA.00	Issue: A

Architect: Leung Architects ABN 67 001 790 512 25 KILLARNEY DRIVE KILLARNEY HEIGHTS NSW 2087 AUSTRALIA TEL (02) 9453 5020 E info@leungarchitects.com	Structural Engineer:	Surveyor: TRUE NORTH SURVEYS 16/9 NARABANG WAY, BELROSE 2085 NSW AUSTRALIA TEL (02) 9450 0868 FAX (02) 9450 0268	Hydraulic Engineer:	Geotech.Engineer:	Heritage Consultant:	COPYRIGHT Copyright in all documents and drawings prepared by JKC Leung Design & Construction Pty. Ltd and in any works executed from those documents and drawings shall, unless otherwise agreed in writing, remain the property of JKC Leung Design & Construction Pty. Ltd. DRAWINGS AND DIMENSIONS Figured dimensions shown on the drawings shall be followed in preference to scaled dimensions. Check and verify dimensions with prevailing conditions on the site and progressively on the site before commencing any work, before ordering, supplying or fabricating any item. Any discrepancies on site shall be reported to the Architect prior to the commencement of any works.	Legend: Existing Wall Existing Wall to be demolished Double brick wall 200mm Single brick wall 110mm Cavity brick wall 270mm Concrete block wall Precast concrete wall Reinforced concrete block wall Internal plasterboard wall Insulation Concrete Filled earth Waterproof membrane			NOTES All structural foundations, beams, walls, slabs and columns shall be to the Structural Engineer's specification and documentation. All construction work to comply with current relevant Australian Standards and the Building Code of Australia Nominated Architect: Jeffrey Leung Reg. No. 6196
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SITE PLAN, SITE ANALYSIS & ROOF PLAN

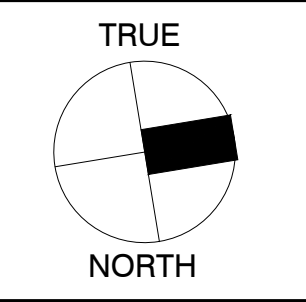
ISSUE	PURPOSES	BY	DATE
A	DA SUBMISSION	JL	03.12.2020

Project: ALTERATIONS TO EXISTING RESIDENCE 47 CUTLER ROAD, CLONTARF	
Applicant/Client: RICHARD POLGLASE & ISABELLE DURRENBERGER	
Drawing: SITE PLAN, SITE ANALYSIS & ROOF PLAN	
Stage: DEVELOPMENT APPLICATION	
Date: OCTOBER 2020	Drawn By: JYS
Scale: 1:100@A1	Checked By: JLL
Job No: 2008	
Drawing No. GA.01	Issue: A

Architect: Leung Architects ABN 67 001 790 512 25 KILLARNEY DRIVE KILLARNEY HEIGHTS NSW 2087 AUSTRALIA TEL (02) 9453 5020 E info@leungarchitects.com	Structural Engineer:	Surveyor: TRUE NORTH SURVEYS 16/9 NARABANG WAY, BELROSE 2085 NSW AUSTRALIA TEL (02) 9450 0888 FAX (02) 9450 0288	Hydraulic Engineer:	Geotech.Engineer:	Heritage Consultant:
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DRAWINGS AND DIMENSIONS Figured dimensions shown on the drawings shall be followed in preference to scaled dimensions. Check and verify dimensions with prevailing conditions on the site and progressively on the site before commencing any work, before ordering, supplying or fabricating any item. Any discrepancies on site shall be reported to the Architect prior to the commencement of any works.

Legend:	
Existing Wall	Precast concrete wall
Existing Wall to be demolished	Reinforced concrete block wall
Double brick wall 200mm	Internal plasterboard wall
Single brick wall 110mm	Insulation
Cavity brick wall 270mm	Concrete
Concrete block wall	Filled earth
	Waterproof membrane



NOTES
All structural foundations, beams, walls, slabs and columns shall be to the Structural Engineer's specification and documentation.
All construction work to comply with current relevant Australian Standards and the Building Code of Australia
Nominated Architect: Jeffrey Leung Reg. No. 6196



NO WORK SHALL COMMENCE UNTIL ALL TREE PROTECTION & SEDIMENT CONTROL MEASURES AS DETAILED AND AS REQUIRED BY THE NOTICE OF DETERMINATION ARE INSTALLED AND APPROVED BY THE PRINCIPAL CERTIFYING AUTHORITY.

EXISTING CONCRETE AREA SHALL REMAIN UNTOUCHED DURING CONSTRUCTION.
VEHICLE MOVEMENT & DELIVERIES VIA EXISTING CROSSING SEALED SURFACE WILL ENSURE SOIL & SILT WILL NOT BE TRACKED OUT TO LONDONDERRY DRIVE. NO EROSION CONTROL IS REQUIRED TO THE STREET ACCESS

Building material stockpiles shall be covered at all times with building grade plastic sheet such as "Forticon"

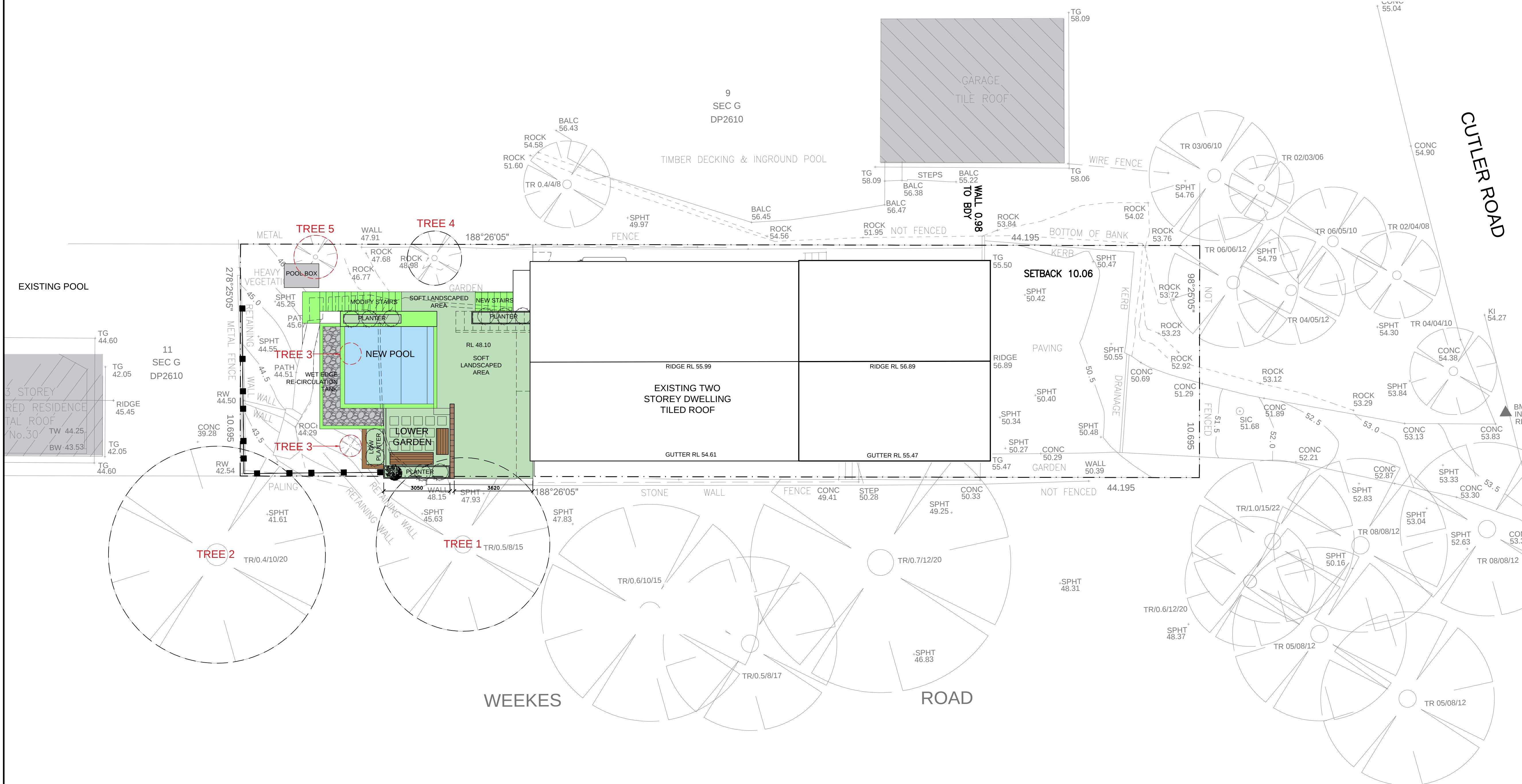
Silt Fence Specification:
SF 1500 by Geofabrics Australasia P/L
or of Equal quality & performance

or of Equal quality & performance

During demolition & rock excavation
site areas are to be well watered to
reduce dust generation

1. The Contractor shall install & maintain soil erosion measures in accordance
--

1. The Contractor shall install & maintain soil erosion measures in accordance with the guidelines of: "Managing Urban Stormwater – Soils and Construction" 2004 Published by the NSW Government Also known as the "Blue Book".
2. Grade finished surface to shed water evenly without channelling.
3. All disturbed areas & stockpiles to be stabilised within 48 hours.
4. Trucks & vehicles leaving the site shall not spread dirt on to the external road.
5. No disturbance of site permitted other than the immediate area of the works.
6. Erosion Control measures to be inspected & maintained after every storm or heavy rain event

[illegible]

EROSION & SEDIMENT CONTROL PLAN

Project: ALTERATIONS TO EXISTING RESIDENCE 47 CUTLER ROAD, CLONTARF

Applicant/Client:
RICHARD POLGLASE & ISABELLE DURRENBERGER

Drawing:
**EROSION & SEDIMENT
CONTROL PLAN**

Stage: DEVELOPMENT APPLICATION

Date: OCTOBER 2020	Drawn By: JYS
Scale: 1:100@A1	Checked By: JJJ

2008

Drawing No.	Issue:
GA.02	A

Architect:
Leung Architects

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25 KILLARNEY DRIVE
KILLARNEY HEIGHTS
NSW 2087 AUSTRALIA
TEL (02) 9453 5020
E info@leungarchitects.com

Structural Engineer:

Surveyor:
TRUE NORTH
SURVEYS

16/9 NARABANG WAY,
BELROSE 2085
NSW AUSTRALIA

TEL (02) 9450 0868
FAX (02) 9450 0268

Hydraulic Engineer:

Geotech.Engineer:

Heritage Consultant:

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Legend:

-  Existing Wall
-  Existing Wall to be demolished
-  Double brick wall 230mm
-  Single brick wall 110mm
-  Cavity brick wall 270mm
-  Concrete block wall

	Precast concrete wall
	Reinforced concrete beam
	Internal plasterboard wall
	Insulation
	Concrete
	Filled earth
	Waterproof membrane

TRUE

NORTH

All structural foundations, beams, walls, slabs and columns shall be to the Structural Engineer's specification and documentation.

All construction work to comply with current relevant Australian Standards and the Building Code of Australia

Nominated Architect: Jeffrey Leung Reg. No. 6196

2008

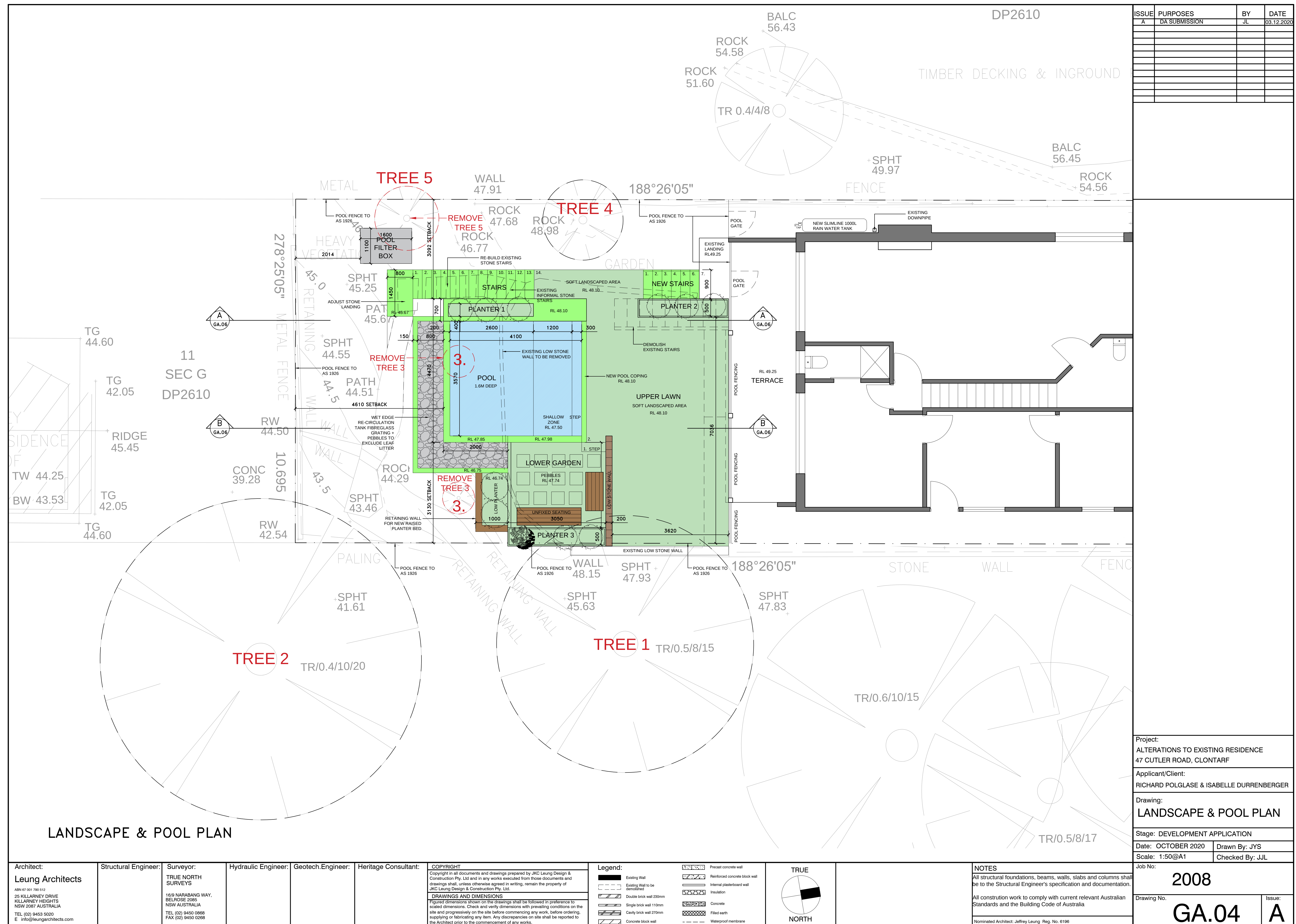
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GA.02	A

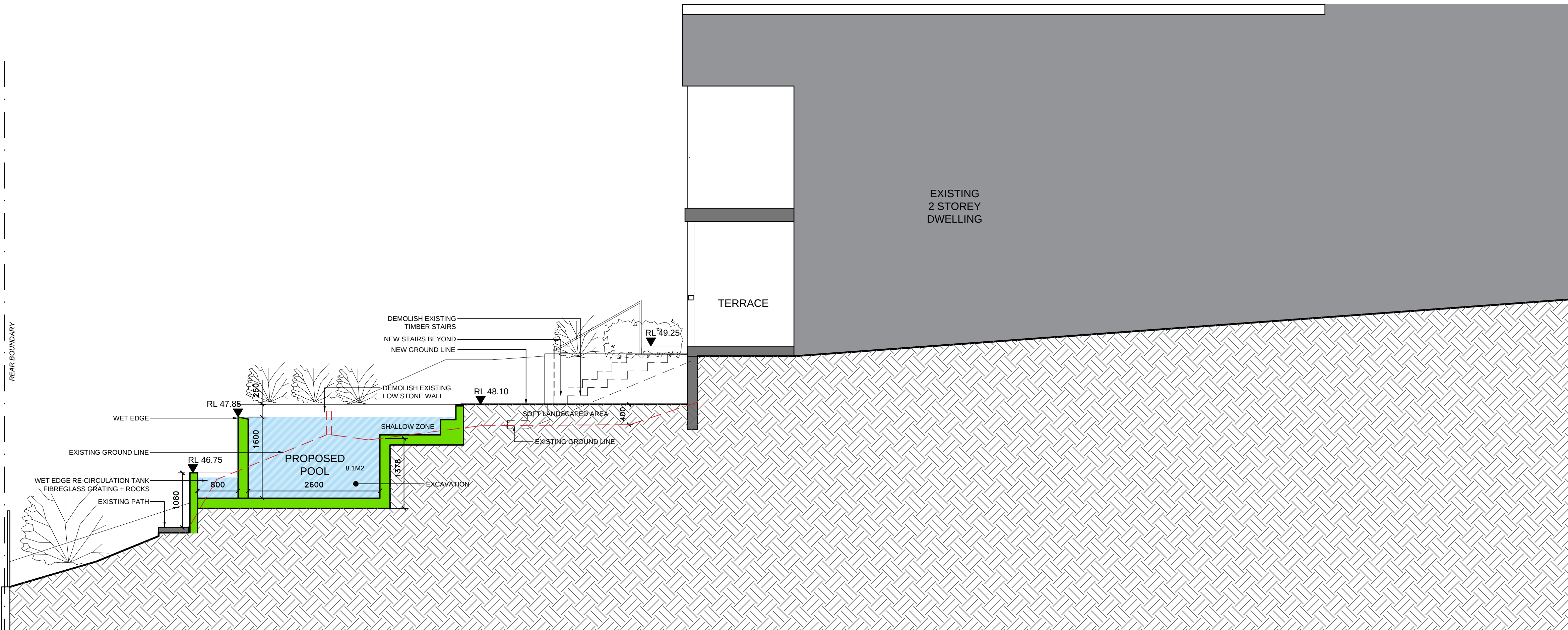
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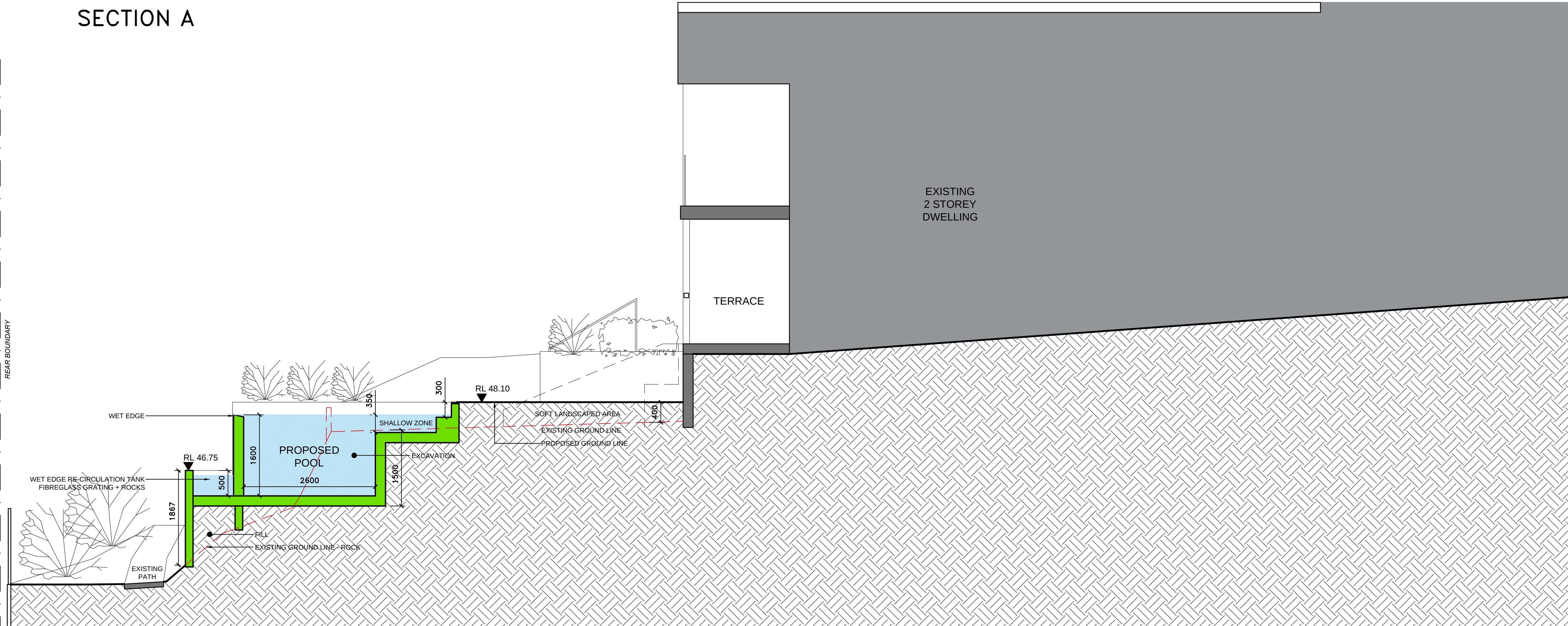
Job No:	
2008	
Drawing No.	Issue:
GA.03	A

[illegible]





SECTION A



SECTION B

Architect:
Leung Architects

ABN 67 001 790 512
25 KILLARNEY DRIVE
KILLARNEY HEIGHTS
NSW 2087 AUSTRALIA
TEL (02) 9453 5020
E info@leungarchitects.com

Structural Engineer:

Surveyor:
**TRUE NORTH
SURVEYS**

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NSW AUSTRALIA
TEL (02) 9450 0868
FAX (02) 9450 0268

Hydraulic Engineer:

Geotech.Engineer:

Heritage Consultant:

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Legend:

	Existing Wall		Prestressed concrete wall
	Existing Wall to be demolished		Reinforced concrete block wall
	Double brick wall 230mm		Internal plasterboard wall
	Single brick wall 110mm		Insulation
	Cavity brick wall 270mm		Concrete
	Concrete block wall		Filled earth
			Waterproof membrane

NOTES

All structural foundations, beams, walls, slabs and columns shall be to the Structural Engineer's specification and documentation.

All construction work to comply with current relevant Australian Standards and the Building Code of Australia

Nominated Architect: Jeffrey Leung Reg. No. 6196

ISSUE	PURPOSES	BY	DATE
A	DA SUBMISSION	JYS	11.11.2020

Project:
ALTERATIONS TO EXISTING RESIDENCE
47 CUTLER ROAD, CLONTARF

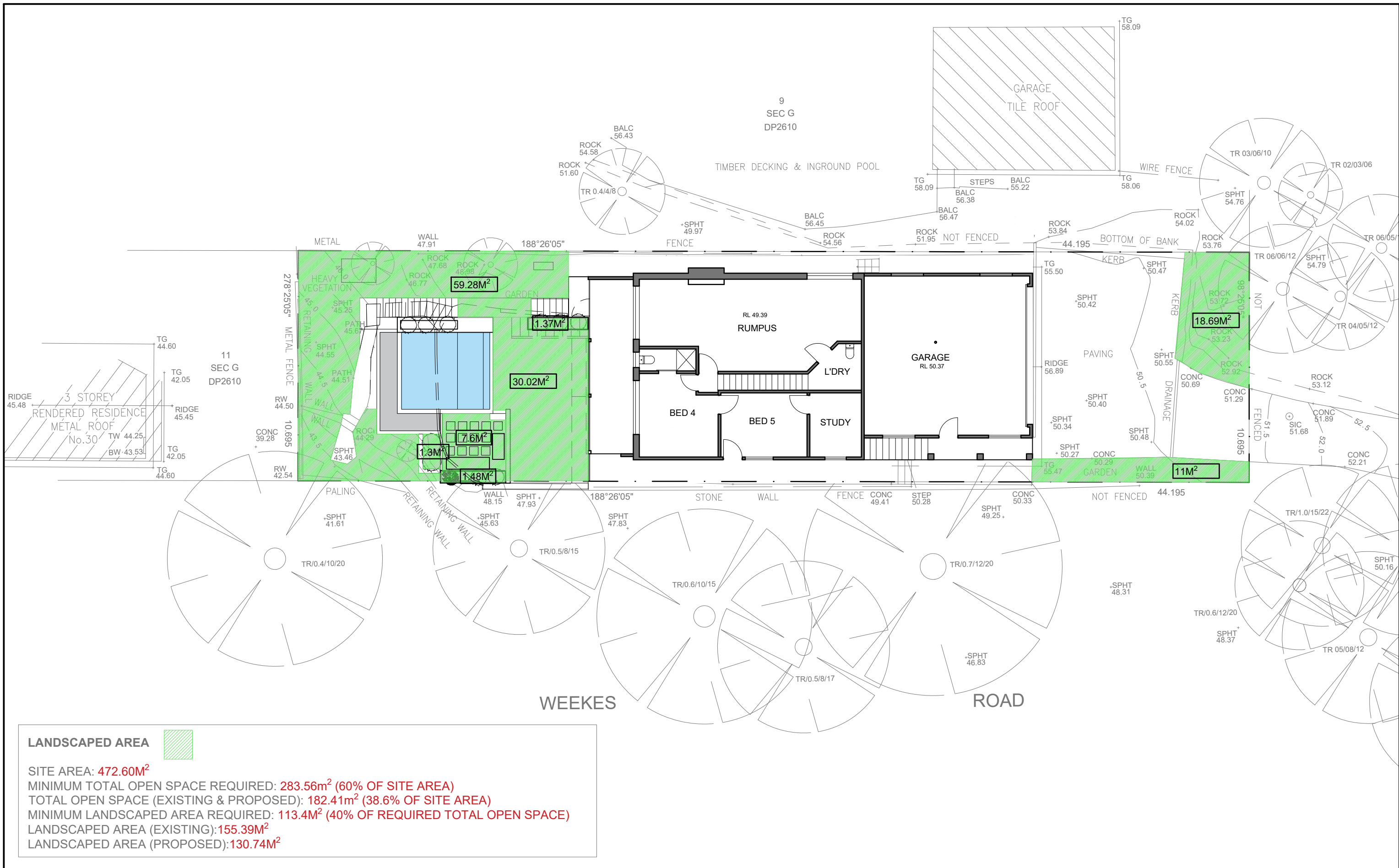
Applicant/Client:
RICHARD POLGLASE & ISABELLE DURRENBERGER

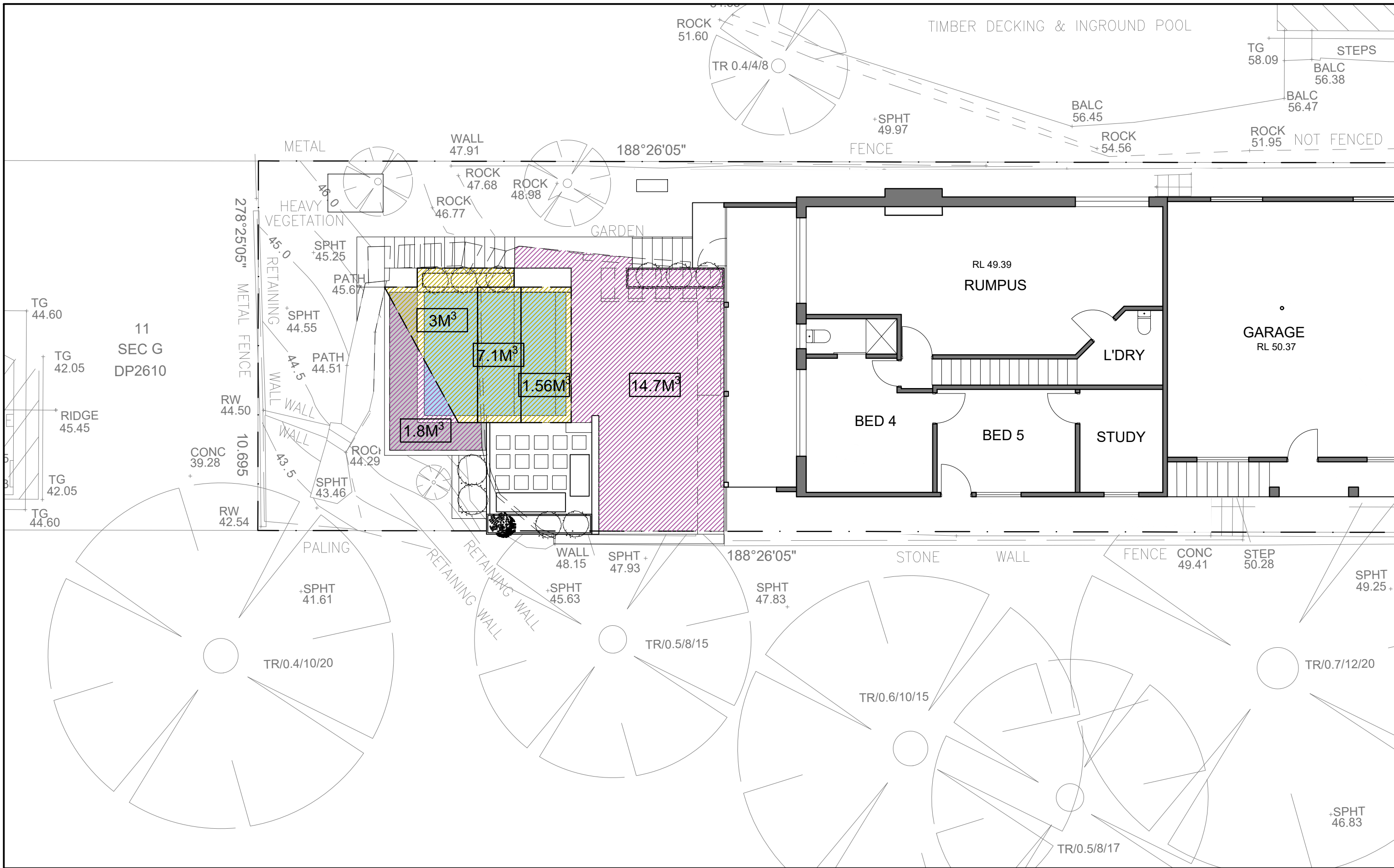
Drawing:
SECTIONS

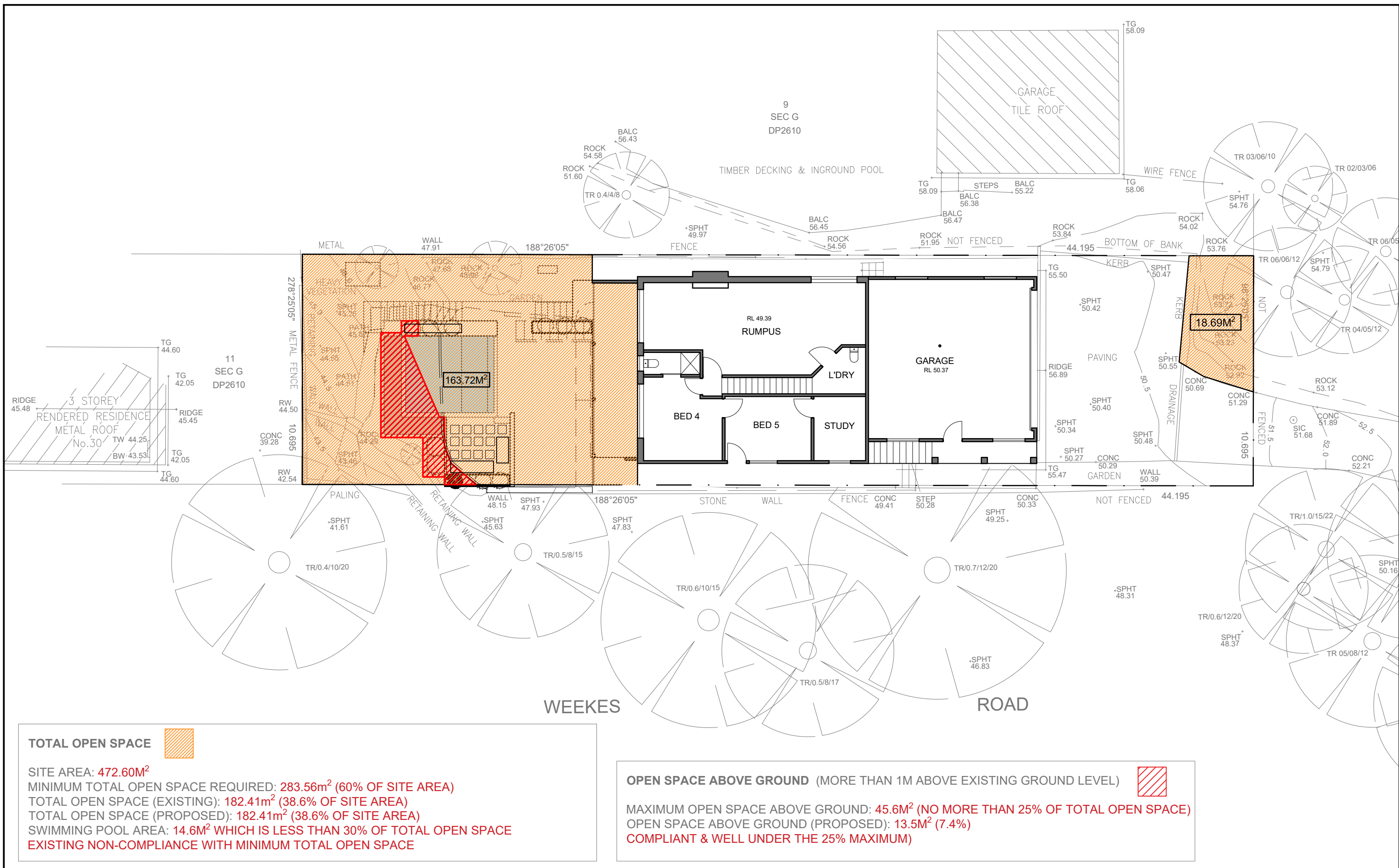
Stage: DEVELOPMENT APPLICATION

Date: OCTOBER 2020	Drawn By: JYS
Scale: 1:50@A1	Checked By: JYL

Job No:	2008	Issue:
Drawing No.	GA.06	A







15th December 2020

The General Manager
Northern Beaches Council

Dear Sir/Madam

Re: **47 Cutler Road, Clontarf**
SCHEDULE OF COLOURS & MATERIALS

We submit the following schedule for DA assessment:-

Roof	<u>N/A</u>	
	Colour:	-
	Product:	-
	Substrate:	-
External Planter Walls	<u>Masonry + Paint</u>	
	Colour:	Monument
	Product:	Blockwork or concrete
	Substrate:	-
Spillway Pool Walls	<u>Concrete with Tile</u>	
	Colour:	'Spitfire' Cool Grey
	Product:	Mosaic Tile from Barefoot Living
	Substrate:	Concrete Pool wall
Windows + Doors	<u>N/A</u>	
	Colour:	-
	Product:	-
Garden Walls	<u>Masonry or Precast Concrete</u>	
	Colour:	Molasses - Murobond
	Product:	Murawash acrylic
	Substrate:	N/A
Pool Filter Box	<u>Colourbond Steel Prefabricated Acoustic Box</u>	
	Colour:	Monument
	Product:	Filter Box Company or Equal
	Substrate:	N/A

Should there be additional information required, please do not hesitate to contact the undersigned.

Yours faithfully,
Leung Architects



Jeffrey Leung
Director