

AREA CALCULATIONS

EXISTING SITE AREA - 711.20 sqm

SITE COVER = 405 sqm

SOFT LANDSCAPED AREA = 303.50 sqm (42.5 %)

TOTAL PRIVATE OPEN SPACE AREA - 158 sqm

GROUND FLOOR GFA = 149.00 sqm

FIRST FLOOR GFA = 137.50 sqm

TOTAL GFA = 286.50 sqm

SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHICH EVER AREAS OF THE SITE ARE EXPOSED TO EROSION.

CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED.

REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.

SEDIMENT FENCE DETAIL

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX

NOTES

1. STORMWATER DRAINAGE DESIGN NOT SHOWN. RAINWATER COLLECTION TANKS TO RE-USE FOR GARDEN AND AS PER BASIX REPORT

2. FOR MORE DETAILED SITE INFORMATION REFER TO GROUND FLOOR PLANS

3. REFER TO SEPERATE BASIX REPORT FOR ENERGY REQUIREMENTS

4. REFER TO ENVIROTECH REPORT FOR WASTEWATER TREATMENT DETAILS

5. REFER TO BUSHFIRE REPORT FOR FLAME ZONE CONDITIONS

6. REFER TO STATEMENT OF ENVIRONMENTAL EFFECTS FOR DEVELOPMENT DETAILS AND PLANNING CONSIDERATIONS

KEY

SUN DIRECTION - 21st JUNE

SITE ENTRY

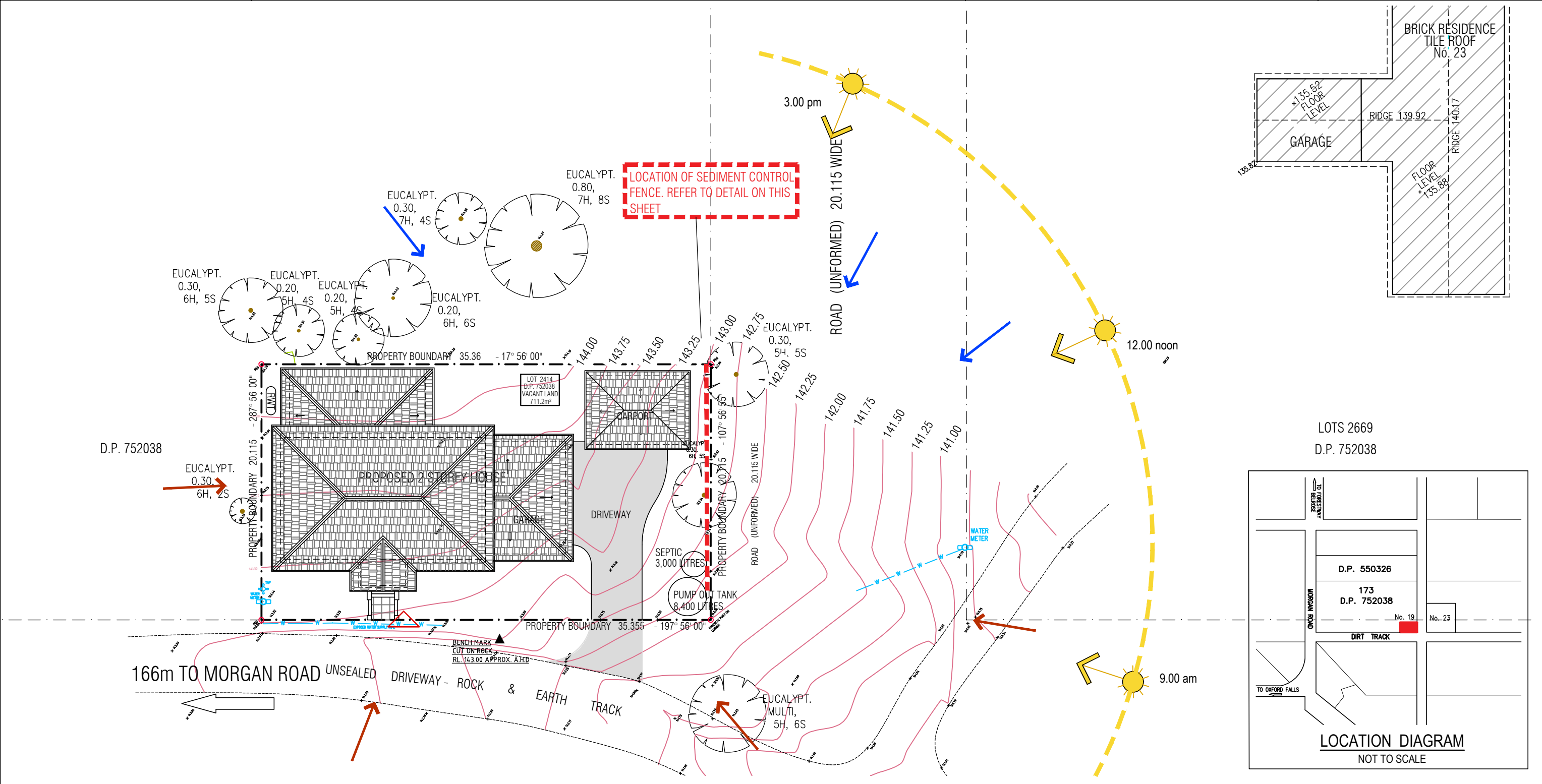
PREVAILING SUMMER WINDS

PREVAILING WINTER WINDS

EXISTING GROUND LEVEL

PROPOSED NEW LEVEL

EXISTING TREES TO REMAIN



01 SITE & SITE ANALYSIS PLAN 1:400 @ A3

Certificate no.: 0004760237

Assessor Name: Frances Turtill

Accreditation no.: 20399

Certificate date: 14 Apr 2020

Dwelling Address: 19 Morgan Road Belrose, NSW 2085

www.nathers.gov.au

ABSAC

Assessor Name: Frances Turtill

Assessor Number: 20399

Assessor Signature: [Signature]

ARCHITECT

muri

ARCHITECTS + INTERIOR DESIGNERS

t: 0415 792 733 e: info@muri.com.au www.muri.com.au

NSW Reg No 8715

Copyright belongs to muri architects

CLIENT

DAVID AND LANDI CONWAY

PROJECT

PROPOSED NEW RESIDENCE 19 MORGAN ROAD, BELROSE

TITLE

SITE PLAN & SITE ANALYSIS

NORTH

DRAWN

SL

DATE

April 2020

SCALE

1:100 @ A3

CHECKED

DATE

ISSUE

JOB No.

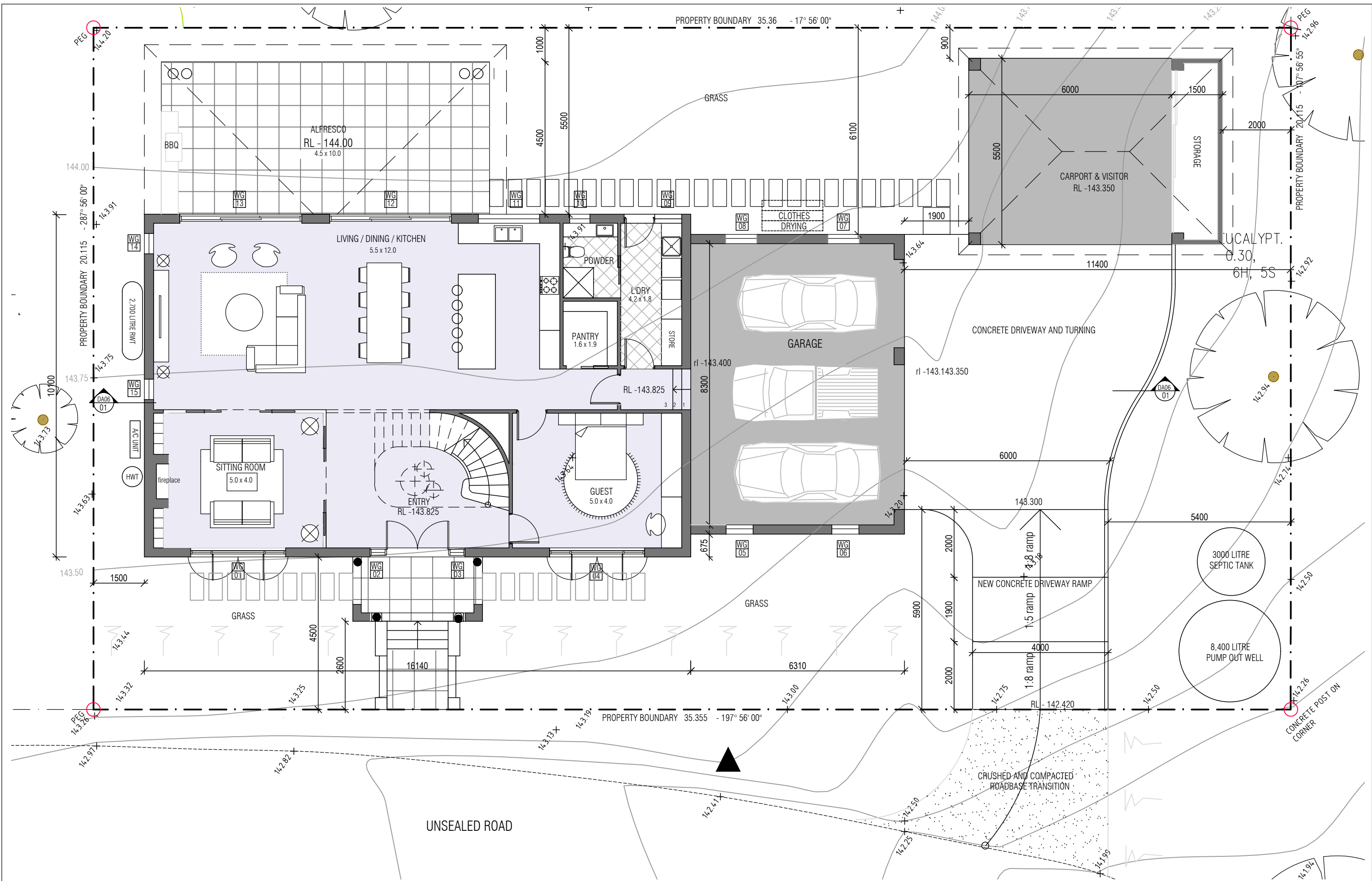
1904

DRAWING No.

DA01

REV.

A



01 GROUND FLOOR PLAN
1:100 @ A3



Certificate no.: 0004760237
Assessor Name: Frances Turilli
Accreditation no.: 20399
Certificate date: 14 Apr 2020
Dwelling Address: 19 Morgan Road
Belrose, NSW 2085
www.nathers.gov.au



A	09.04.20	ISSUED FOR DEVELOPMENT APPLICATION
No	DATE	REVISION

ARCHITECT

muri

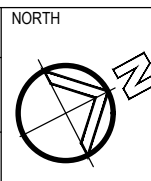
ARCHITECTS + INTERIOR DESIGNERS

t: 0415 792 733 e: info@muri.com.au www.muri.com.au

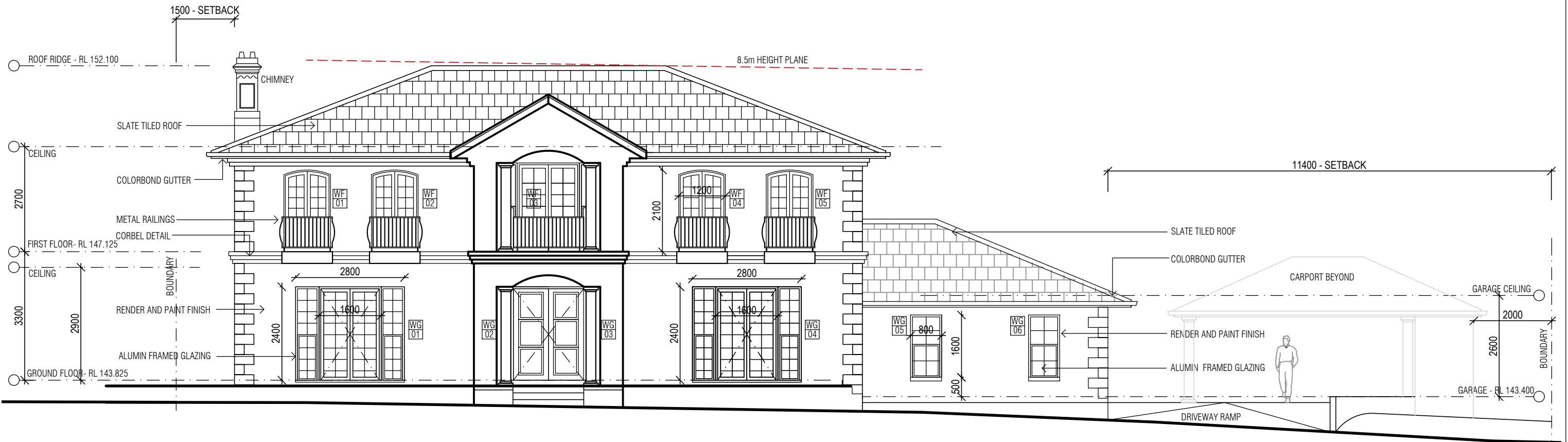
NSW Reg No 6715

Copyright belongs to muri architects

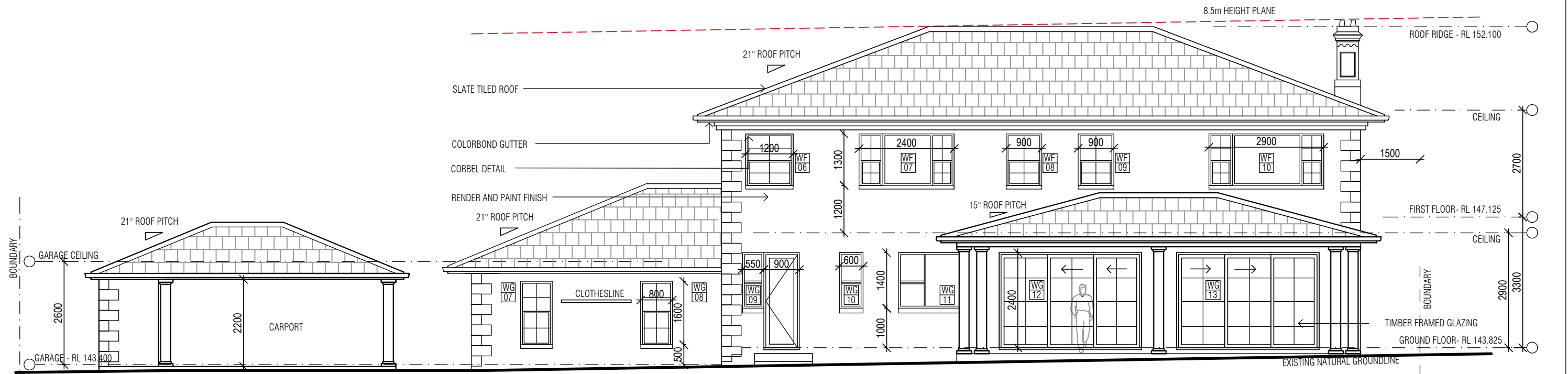
CLIENT	DAVID AND LANDI CONWAY
PROJECT	PROPOSED NEW RESIDENCE 19 MORGAN ROAD, BELROSE
TITLE	PROPOSED GROUND FLOOR PLAN



DRAWN	SL	DATE	April 2020	SCALE	1:100 @ A3
CHECKED		DATE		ISSUE	
JOB No.	1904	DRAWING No.	DA02	REV.	A



01 EAST ELEVATION
1:100 @ A3



02 WEST ELEVATION
1:100 @ A3



A	09.04.20	ISSUED FOR DEVELOPMENT APPLICATION
No	DATE	REVISION

ARCHITECT

muri

ARCHITECTS + INTERIOR DESIGNERS

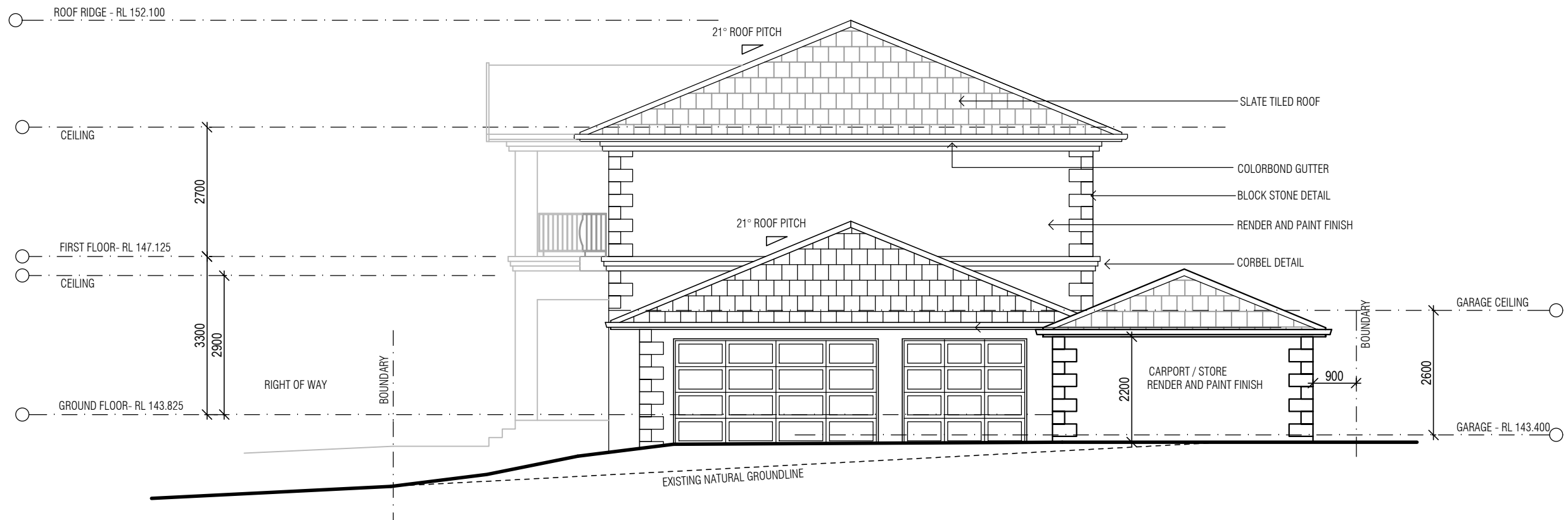
t: 0415 792 733 e: info@muri.com.au www.muri.com.au

NSW Reg No 8715

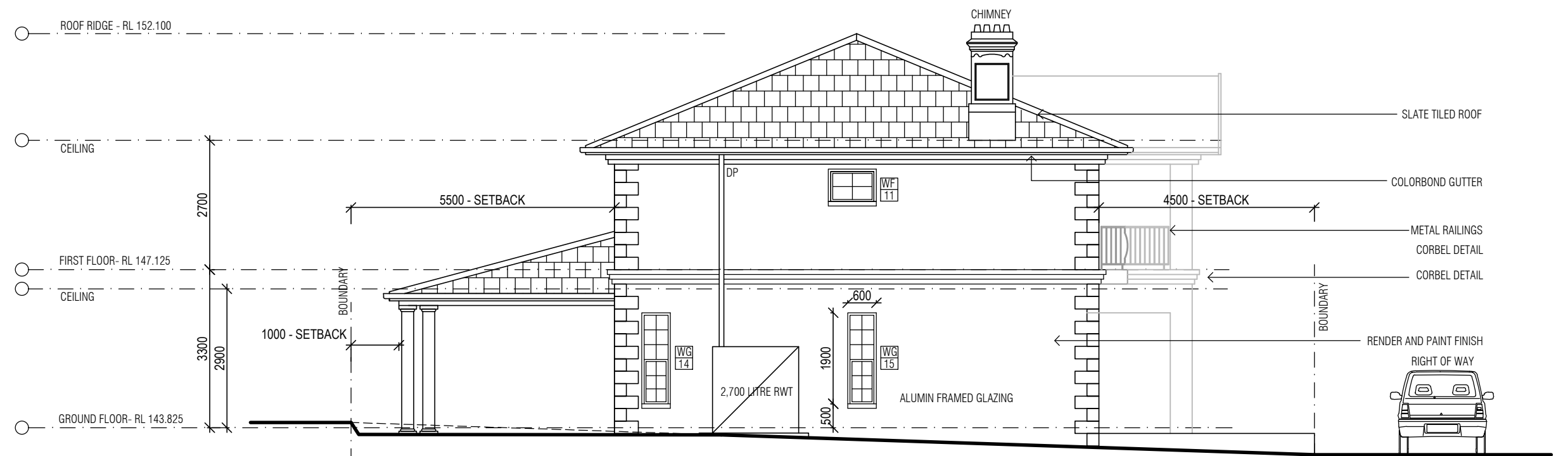
© Copyright belongs to muri architects

CLIENT	DAVID AND LANDI CONWAY
PROJECT	PROPOSED NEW RESIDENCE 19 MORGAN ROAD, BELROSE
TITLE	PROPOSED ELEVATIONS

NORTH	DRAWN SL	DATE April 2020	SCALE 1:100 @ A3
	CHECKED	DATE	ISSUE
JOB No.	DRAWING No.	REV.	
1904	DA04	A	



01 NORTH ELEVATION
1:100 @ A3



02 SOUTH ELEVATION
1:100 @ A3



Certificate no.: 0004760237
Assessor Name: Frances Turtisi
Accreditation no.: 20399
Certificate date: 14 Apr 2020
Dwelling Address: 19 Morgan Road
Belrose, NSW 2085
www.nathans.gov.au

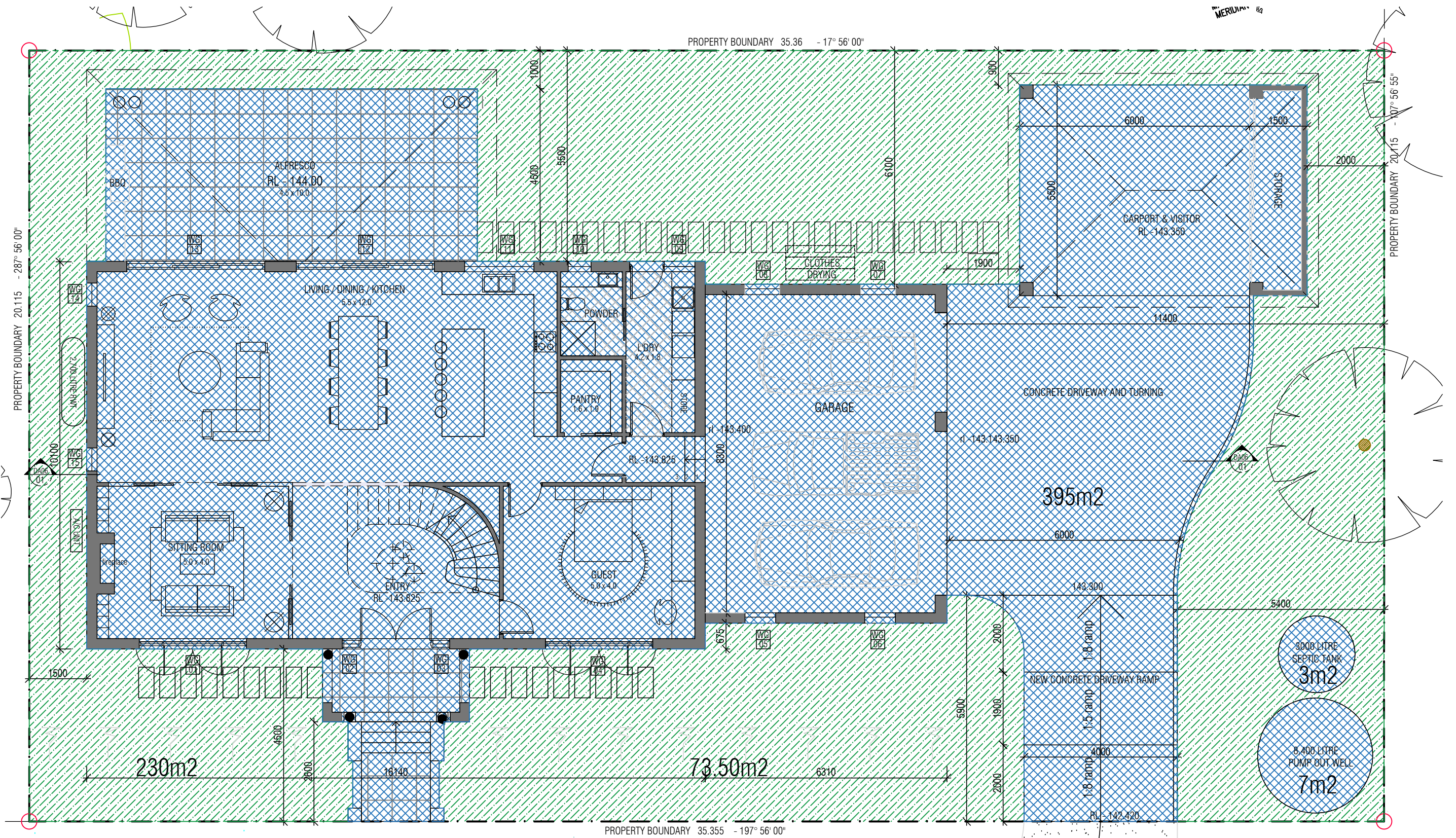


A	09.04.20	ISSUED FOR DEVELOPMENT APPLICATION
No	DATE	REVISION

ARCHITECT
muri
ARCHITECTS + INTERIOR DESIGNERS
t: 0415 792 733 e: info@muri.com.au www.muri.com.au
NSW Reg No 8715
© copyright belongs to muri architects

CLIENT DAVID AND LANDI CONWAY
PROJECT PROPOSED NEW RESIDENCE
19 MORGAN ROAD, BELROSE
TITLE PROPOSED ELEVATIONS

NORTH	DRAWN SL	DATE April 2020	SCALE 1:100 @ A3
	CHECKED	DATE	ISSUE
JOB No. 1904	DRAWING No. DA05	REV. A	



AREA CALCULATIONS

- SITE AREA = 711.20 sqm
- LANDSCAPED AREA = 303.50 sqm (42.5%)
- BUILT UPON AREA = 405.0 sqm



Certificate no.: 0004760237
Assessor Name: Frances Turilli
Accreditation no.: 20399
Certificate date: 14 Apr 2020
Dwelling Address: 19 Morgan Road
Belrose, NSW 2085
www.nathers.gov.au



A	09.04.20	ISSUED FOR DEVELOPMENT APPLICATION
No	DATE	REVISION

ARCHITECT

muri

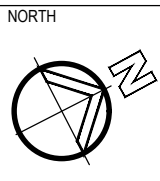
ARCHITECTS + INTERIOR DESIGNERS

t: 0415 792 733 e: info@muri.com.au www.muri.com.au

NSW Reg No 6715

Copyright belongs to muri architects

CLIENT	DAVID AND LANDI CONWAY
PROJECT	PROPOSED NEW RESIDENCE 19 MORGAN ROAD, BELROSE
TITLE	SITE AREA CALCULATIONS



DRAWN	SL	DATE	April 2020	SCALE	1:100 @ A3
CHECKED		DATE		ISSUE	
JOB No.	1904	DRAWING No.	DA07	REV.	A