

Rapid Plans www.rapidplans.com.au

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**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**



**ACCREDITED
BUILDING DESIGNER**

DEVELOPMENT APPLICATION

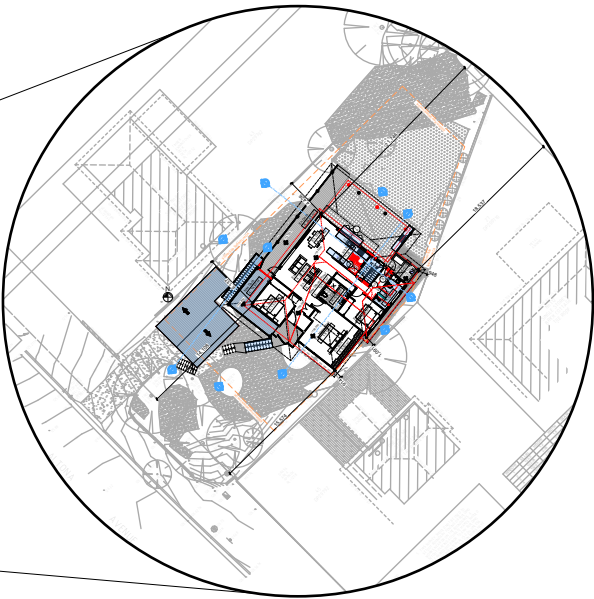
Alterations & Additions To Existing Residence

For Christopher and Penelope Willcock

7 Altona Avenue, Forestville

Lot 44 D.P. 29792

Project Number: RP0921WIL



| DRAWING No. | DESCRIPTION | REV | ISSUED DATE |
|-------------|------------------------------------|-----|-------------|
| DA1000 | Cover Sheet | 1 | - 9/12/21 |
| DA1001 | A4 NOTIFICATION PLAN | 1 | - 9/12/21 |
| DA1002 | SITE SURVEY | 1 | - 9/12/21 |
| DA1003 | SITE PLAN | 1 | - 9/12/21 |
| DA1004 | Existing Carport Plan | 1 | - 9/12/21 |
| DA1005 | Existing Ground Floor Plan | 1 | - 9/12/21 |
| DA1006 | Existing Roof Plan | 1 | - 9/12/21 |
| DA1007 | Demolition Carport Plan | 1 | - 9/12/21 |
| DA1008 | Demolition Ground Floor Plan | 1 | - 9/12/21 |
| DA1009 | Demolition Roof Plan | 1 | - 9/12/21 |
| DA1010 | Excavation & Fill Plan | 1 | - 9/12/21 |
| DA1011 | Landscape Open Space Plan Existing | 1 | - 9/12/21 |
| DA1012 | Landscape Open Space Plan Proposed | 1 | - 9/12/21 |
| DA1013 | Landscape Plan | 1 | - 9/12/21 |
| DA1014 | Sediment & Erosion Plan | 1 | - 9/12/21 |
| DA1015 | Waste Management Plan | 1 | - 9/12/21 |
| DA1016 | Stormwater Plan | 1 | - 9/12/21 |
| DA2001 | CARPORT | 1 | - 9/12/21 |
| DA2002 | GROUND FLOOR | 1 | - 9/12/21 |
| DA2003 | FIRST FLOOR | 1 | - 9/12/21 |
| DA2004 | ROOF | 1 | - 9/12/21 |
| DA3000 | SECTION 1 | 1 | - 9/12/21 |
| DA3001 | SECTION 2 | 1 | - 9/12/21 |
| DA4000 | ELEVATIONS 1 | 1 | - 9/12/21 |
| DA4001 | ELEVATIONS 2 | 1 | - 9/12/21 |
| DA4002 | ELEVATIONS 3 | 1 | - 9/12/21 |
| DA5000 | PERSPECTIVE | 1 | - 9/12/21 |
| DA5001 | MATERIAL & COLOUR SAMPLE BOARD | 1 | - 9/12/21 |
| DA5002 | SHADOW PLAN 21st June 9am | 1 | - 9/12/21 |
| DA5003 | SHADOW PLAN 21st June 12pm | 1 | - 9/12/21 |
| DA5004 | SHADOW PLAN 21st June 3pm | 1 | - 9/12/21 |
| DA5005 | WALL ELEVATION SHADOWS | 1 | - 9/12/21 |

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A443352

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 09, December 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.

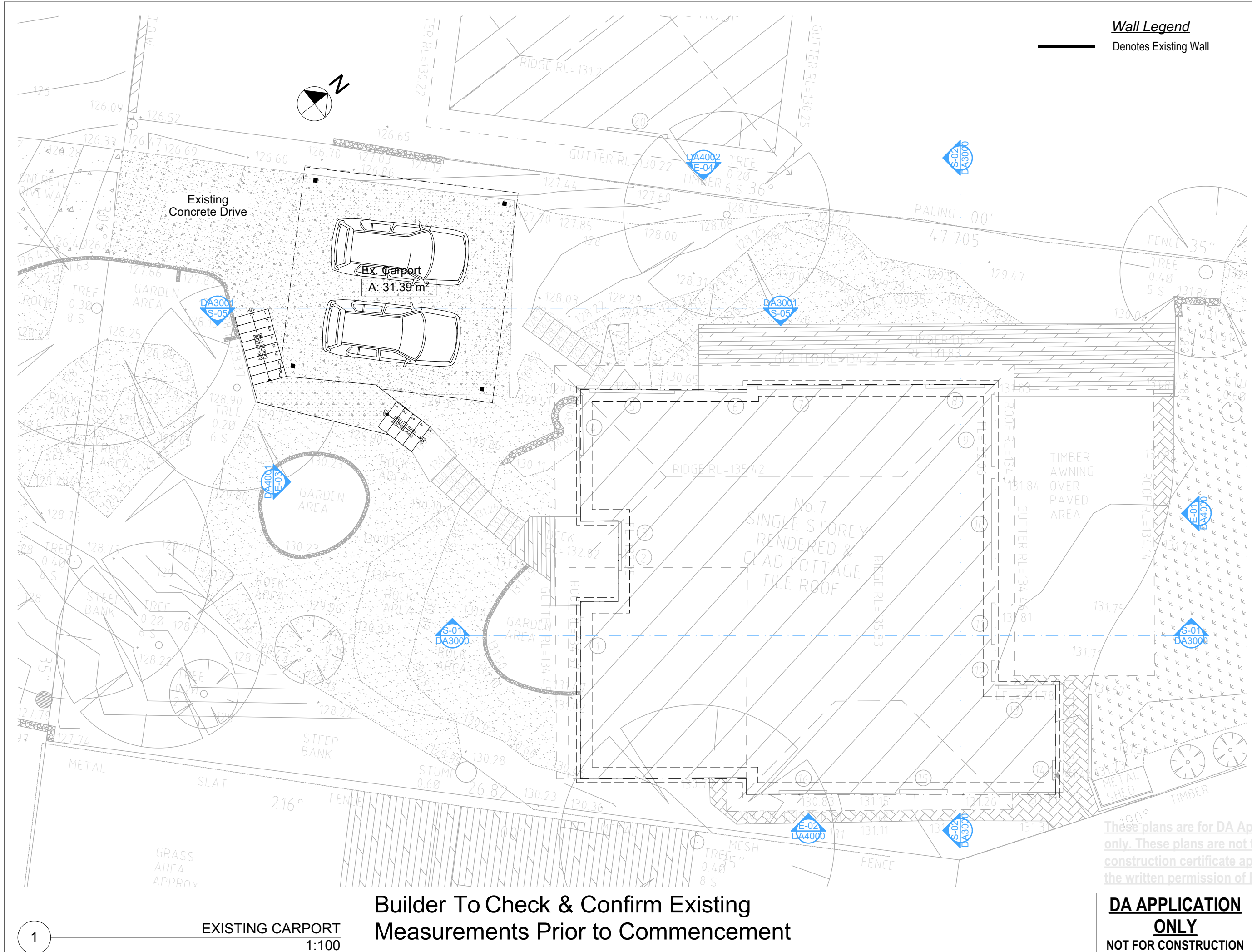


Planning,
Industry &
Environment

Description of project

| Project address | |
|---------------------------------|---|
| Project name | Willcock |
| Street address | 7 Altona Avenue Forestville 2087 |
| Local Government Area | Northern Beaches Council |
| Plan type and number | Deposited Plan 29792 |
| Lot number | 44 |
| Section number | |
| Project type | |
| Dwelling type | Separate dwelling house |
| Type of alteration and addition | My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa). |

| Certificate Prepared by (please complete before submitting to Council or PCA) | |
|---|-------------|
| Name / Company Name: | Rapid Plans |
| ABN (if applicable): | 43150064592 |



Wall Legend
Denotes Existing Wall

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

7 Altona Avenue, Forestville is zoned R2-low density residential

7 Altona Avenue, Forestville is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Timber Management to BCA and AS 3660.1

Glazing to BCA and AS/NZS 2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Code of Australia

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A44332

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below

Relevant overhanging specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|-------------------------------------|----------|-----------|
| Site Area | 769.15m² | Yes |
| Housing Density (dwelling/m²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WV1
Project Status DA Rev1

Client Christopher and Penelope Wilcock
Site: 7 Altona Avenue, Forestville

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

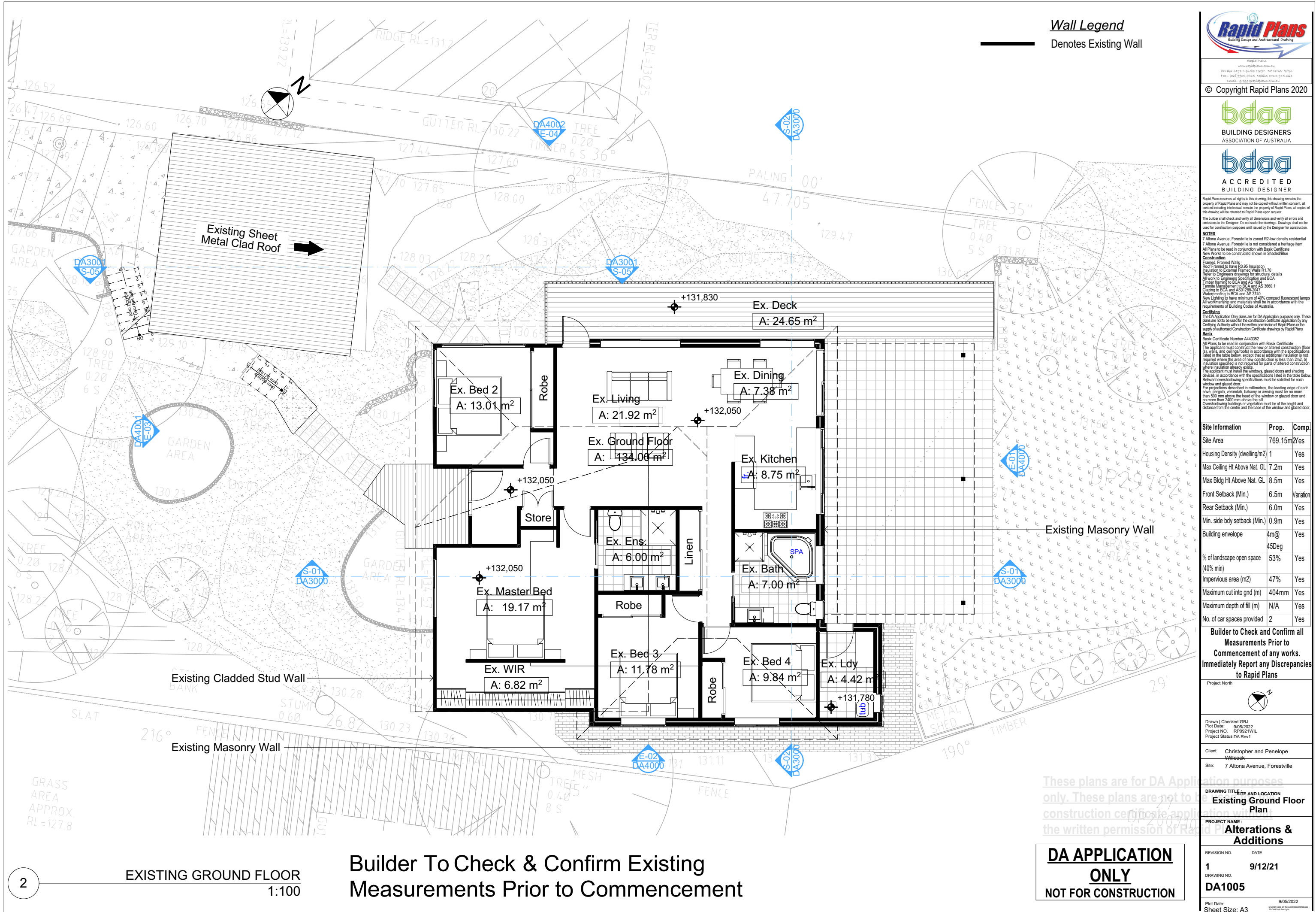
DRAWING TITLE :
SITE AND LOCATION
Existing Carport Plan

PROJECT NAME :
Alterations & Additions

| REVISION NO. | DATE |
|--------------|---------|
| 1 | 9/12/21 |

DRAWING NO.
DA1004

Plot Date: 9/05/2022
Sheet Size: A3



Wall Legend
Denotes Existing Wall

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bdca
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NOTES
7 Altona Avenue, Forestville is zoned R2-low density residential
7 Altona Avenue, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Timber Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Roofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic Certificate
Basic Certificate Number A44352
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction floor
All walls, and ceilings/roofs in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overhanging specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WVL
Project Status DA Rev1

Client Christopher and Penelope Willcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE SITE AND LOCATION
Existing Ground Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE

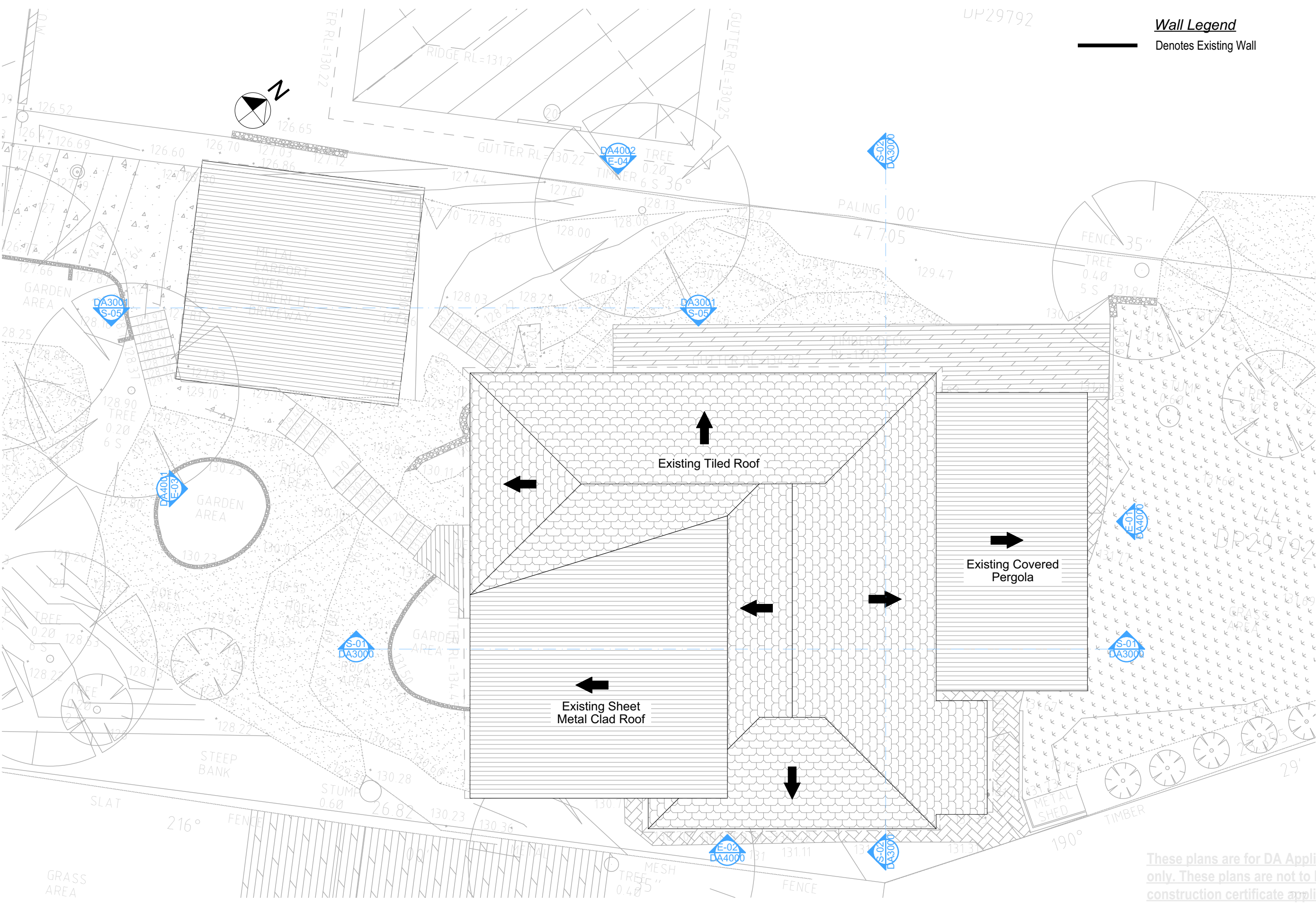
1 9/12/21

DRAWING NO.
DA1005

Plot Date: 9/05/2022
Sheet Size: A3

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
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Wall Legend
Denotes Existing Wall



Rapid Plans
Building Design and Architectural Drafting

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Email: info@rapidplans.com.au

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bdaa
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NOTES
7 Altona Avenue, Forestville is zoned R2-low density residential
7 Altona Avenue, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Ramp Management to BCA and AS 1684
Glazing to BCA and AS1288-2007
Interpenetration to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia

Certifying
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Basic
Basic Certificate Number A44352
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install new windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
For windows described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WIL
Project Status DA Rev1

Client Christopher and Penelope Wilcock
Site: 7 Altona Avenue, Forestville

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DRAWING TITLE :
SITE AND LOCATION
Existing Roof Plan

PROJECT NAME :
Alterations & Additions

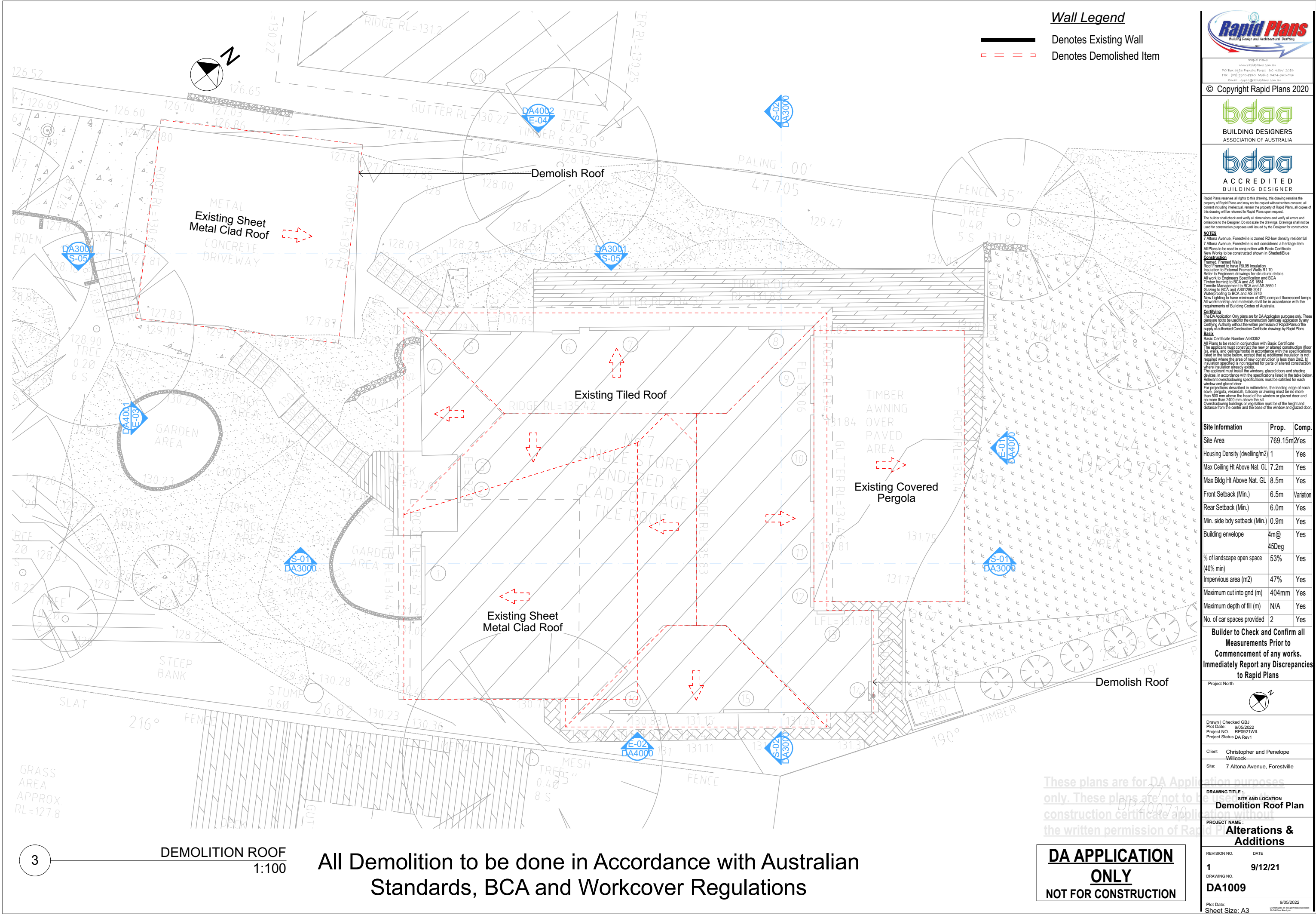
| REVISION NO. | DATE |
|--------------|---------|
| 1 | 9/12/21 |
| DRAWING NO. | DA1006 |

Plot Date: 9/05/2022
Sheet Size: A3

3 EXISTING ROOF
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Wall Legend
— Denotes Existing Wall
- - - Denotes Demolished Item

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NOTES
7 Altona Avenue, Forestville is zoned R2-low density residential
7 Altona Avenue, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber Framing to BCA and AS 1684
Timber Management to BCA and AS 3660.1
Glazing to BCA and AS 1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia

Certifying
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Basic
Basic Certificate Number A443352
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overhanging specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 200 mm above the head of the window or glazed door.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0021WVL
Project Status DA Rev1

Client Christopher and Penelope Wilcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE :
SITE AND LOCATION
Demolition Roof Plan

PROJECT NAME :
Alterations & Additions

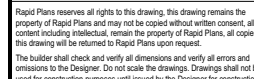
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| REVISION NO. | DATE |
| 1 | 9/12/21 |

DRAWING NO.
DA1009

Plot Date: 9/05/2022
Sheet Size: A3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



7 Altona Avenue, Forestville is not considered a heritage item

Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70

Glazing to BCA and AS01288-2047

Certifying

Supply of authorised Construction Certificate drawings by Rapid Plans Basic

The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is

The applicant must install the windows, glazed doors and shading devices in accordance with the specifications listed in the table below.

For projections described in millimetres, the leading edge of eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and

3

| | | |
|-----------|--------------------------|--|
| Site Area | 760.15m ² /ac | |
|-----------|--------------------------|--|

| | | |
|--|---|-----|
| Housing Density (dwelling/m ²) | 1 | Yes |
|--|---|-----|

| | | |
|----------------------------|------|-----|
| Max Bldg Ht Above Nat. Gl. | 8.5m | Yes |
|----------------------------|------|-----|

| | | |
|----------------------|------|--------|
| Front Setback (Min.) | 6.5m | Varies |
|----------------------|------|--------|

| | | |
|------------------------------|------|-----|
| Min. side bdy setback (Min.) | 0.9m | Yes |
|------------------------------|------|-----|

| | | |
|-------------------|-------|-----|
| Building envelope | lin@ | 199 |
| | 4EDec | |

| | | |
|--|-----|-----|
| % of landscape open space (10% min) | 53% | Yes |
|--|-----|-----|

| | | |
|----------------------|-----|-----|
| Impervious area (Hz) | 47% | Yes |
|----------------------|-----|-----|

| | | |
|---------------------------|-----|-----|
| Maximum depth of fill (m) | N/A | Yes |
|---------------------------|-----|-----|

Builder to Check and Confirm all

Measurements Prior to Commencement of operations

**Immediately Report any Discrepancy
to David Blane**

Project NO. RP0921WIL

Client Christopher and Penelope Willcock

4. ¹⁰ *ibid.*, 103.

DRAWING TITLE :
SITE AND LOCATION

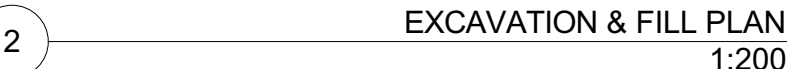
PROJECT NAME:

Additions

100 90 80 70 60 50 40 30 20 10 0

DA1010

Plot Date: 9/05/2022



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

| | |
|---|---|
| <p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapid Response Pty Ltd.</p> | <p>DRAWING TITLE : SITE AND LOCATION</p> <p>Excavation & Fill Plan</p> |
| | <p>PROJECT NAME :</p> <p>Alterations &</p> |

Denotes Impervious Area

Denotes Pervious Area

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NOTES

7 Altona Avenue, Forestville is zoned R2-low density residential. 7 Altona Avenue, Forestville is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue Construction.

Framed, Framed Walls.
Roof Framed to have R0.95 Insulation.
Insulation to External Framed Walls R1.
Refer to Engineers drawings for structural details.
All work to Engineers Specifications and BCA.
Timber framing to BCA and AS 1684.
Furniture Management to BCA and AS 3660.1.
Glazing to BCA and AS1728-2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps. All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A443352.
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overhanging specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 250 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WVL
Project Status DA Rev1

Client Christopher and Penelope Willcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
1 **9/12/21**
DRAWING NO.
DA1011

Plot Date: 9/05/2022
Sheet Size: A3

| Description | Area (m2) | Percentage |
|------------------------------|-----------|------------|
| Site Area | 769.15m2 | 100% |
| Exist. Open Landscape Area | 423.46m2 | 55% |
| Exist. Impervious Area | 345.69m2 | 45% |
| Proposed Open Landscape Area | 405.73m2 | 53% |
| Proposed Impervious Area | 363.42m2 | 47% |

Note:
Total Open Landscape Area for the property will be decreased by 2%

These plans are for DA Application purposes only. These plans are not to be used for the construction certificate application without the written permission of Rapid Plans.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Denotes Impervious Area

Denotes Pervious Area

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WVL
Project Status DA Rev1

Client Christopher and Penelope Wilcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
1 9/12/21
DRAWING NO.
DA1012

Plot Date: 9/05/2022
Sheet Size: A3

| Description | Area (m2) | Percentage |
|------------------------------|----------------------|------------|
| Site Area | 769.15m ² | 100% |
| Exist. Open Landscape Area | 423.46m ² | 55% |
| Exist. Impervious Area | 345.69m ² | 45% |
| Proposed Open Landscape Area | 405.73m ² | 53% |
| Proposed Impervious Area | 363.42m ² | 47% |

Note:
Total Open Landscape Area for the property will be decreased by 2%

LANDSCAPE OPEN SPACE PROPOSED
1:200

LANDSCAPE PLAN
1:200**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION****NOTES**

7 Altona Avenue, Forestville is zoned R2-low density residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
7 Altona Avenue, Forestville is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A443352

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Landscape Legend

| Ground Covers Schedule | |
|------------------------|---------------------------------|
| Symbol | Common Name |
| | Existing Paved Area |
| | Existing Rock |
| | Existing Garden Area |
| | Existing Paved Area |
| | Existing Concrete |
| | Existing Retaining Wall |
| | Existing Timber Deck |
| | New Timber Deck |
| | Existing Tree & Shrub To Remain |
| | Existing Grass To Remain |

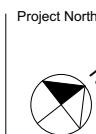


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
9/05/2022
RP0921WIL
DA Rev1

Client
Site: Christopher and Penelope
7 Altona Avenue, Forestville

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Landscape Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE:

9/12/21

DRAWING NO.

DA1013

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|----------------------|-----------|-------------------------------------|----------|-------|
| Site Area | 769.15m ² | Yes | Building envelope | 4m@45Deg | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 53% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes | Impervious area (m ²) | 47% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into gnd (m) | 404mm | Yes |
| Front Setback (Min.) | 6.5m | Variation | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |

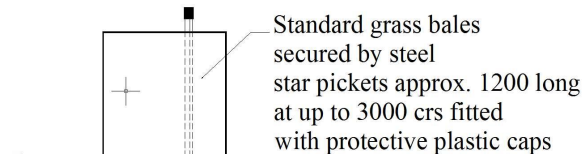
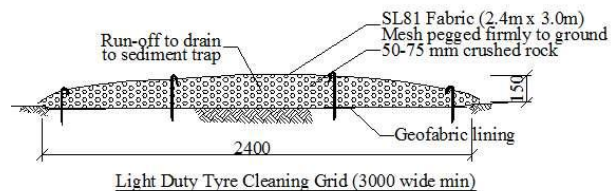
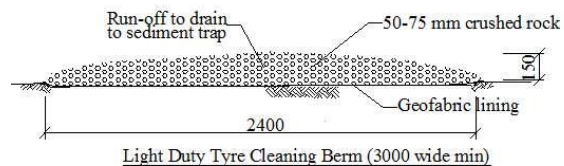
Sediment Control Fence

Site Safety Fence

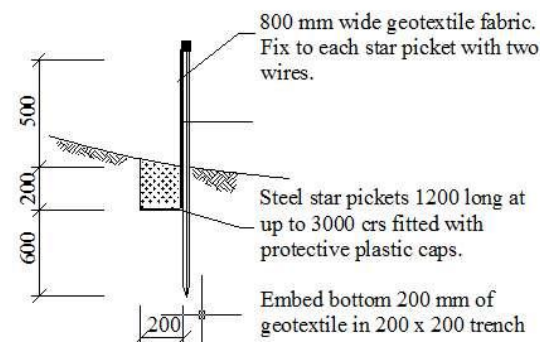
2

SEDIMENT & EROSION CONTROL PLAN

1:200



Typical Detail Grass Bale Sediment Barrier



Typical Detail Sediment Control Barrier



Denotes New Works



Wall Legend

Denotes New Timber Framed Wall



Denotes Existing Wall



Denotes Demolished Item



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

NOTES
7 Altona Avenue, Forestville is zoned R2-low density residential. 7 Altona Avenue, Forestville is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate. New Works to be constructed shown in Shaded/Blue Construction.

Formed, Framed Walls
Roof Framed to have R0.95 Insulation. Insulation to External Framed Walls R1.70. Refer to Engineers drawings for structural details. All work to Engineers Specifications and BCA. Timber framing to BCA and AS 1684. Termite Management to BCA and AS 3660.1. Glazing to BCA and AS1288-2007. Waterproofing to BCA and AS 3740. New Lighting to have minimum of 40% compact fluorescent lamps. All workmanship and materials shall be in accordance with the requirements of Building Code of Australia.

Basic Certificate
Basic Certificate Number A443352. All Plans to be read in conjunction with Basic Certificate. The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists. The applicant must install new windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 250 mm above the sill. Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WVL
Project Status DA Rev1

Client Christopher and Penelope Willcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE: SITE AND LOCATION
Sediment & Erosion Plan

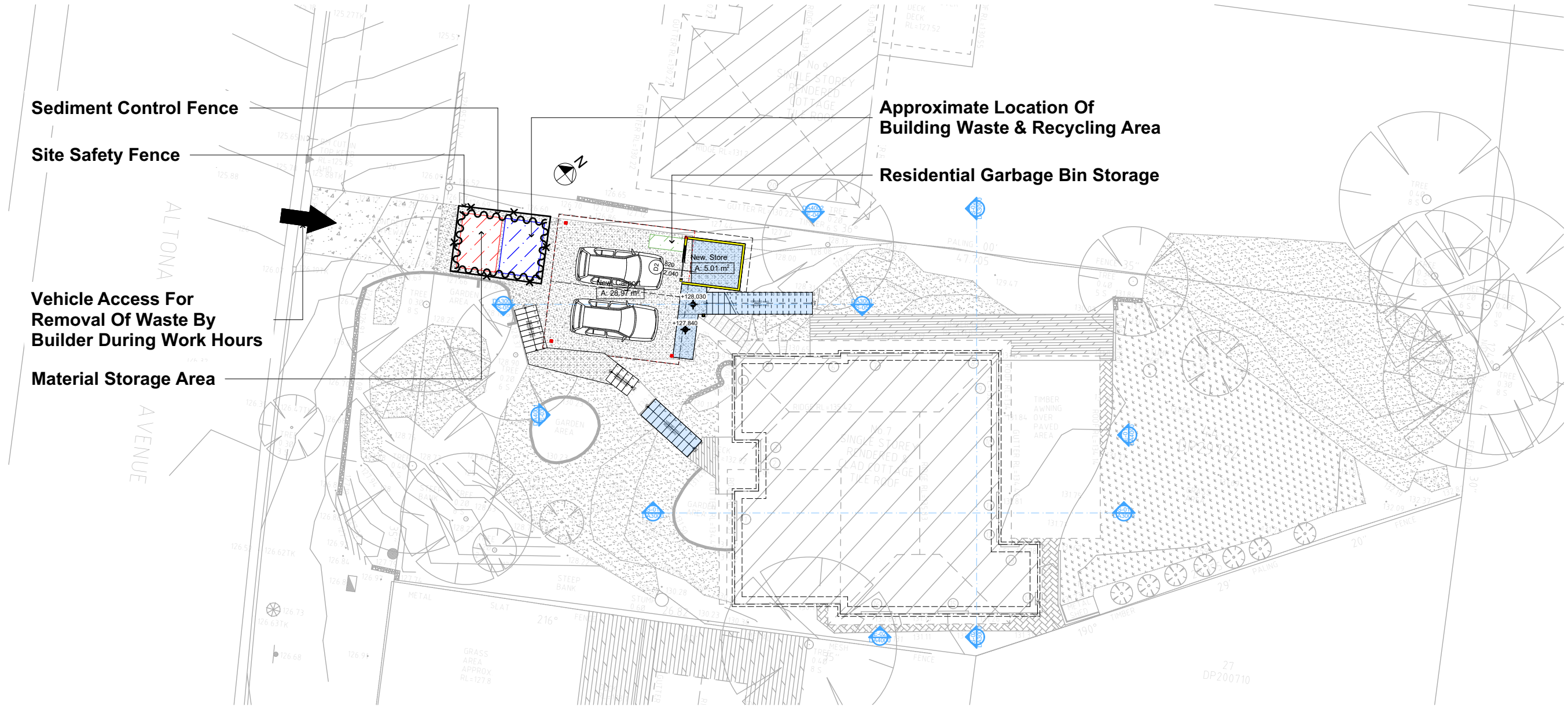
PROJECT NAME: Alterations & Additions

REVISION NO. DATE
1 9/12/21

DRAWING NO. DA1014

Plot Date: 9/05/2022
Sheet Size: A3

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



1 WASTE MANAGEMENT PLAN
- 1:200

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes Existing Post
Denotes Demolished Item

DA APPLICATION
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NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
7 Altona Avenue, Forestville is zoned R2-low density residential
7 Altona Avenue, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A443352
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2500 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WVL
Project Status DA Rev1

Client Christopher and Penelope
Willcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE :
SITE AND LOCATION
Waste Management Plan

PROJECT NAME :
Alterations & Additions

| REVISION NO. | DATE |
|--------------|---------|
| 1 | 9/12/21 |

DRAWING NO.
DA1015

Plot Date: 9/05/2022
Sheet Size: A3

Denotes New Works

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NOTES
7 Altona Avenue, Forestville is zoned R2-low density residential
7 Altona Avenue, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue Construction

Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Furniture Management to BCA and AS 3660.1
Glazing to BCA and AS/NZS 2885:2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
The requirements of Building Code of Australia

Noting
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic Certificate Number A443352
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceiling/roof) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install new windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WVL
Project Status DA Rev1

Client Christopher and Penelope
Willcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE:
SITE AND LOCATION
Stormwater Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
1 **9/12/21**
DRAWING NO.
DA1016

Plot Date: 9/05/2022
Sheet Size: A3

**Assumed Existing Stormwater.
Plumber To Confirm Location
Prior To Commencement**

**Proposed Stormwater
Line To Be Fed Into The
Existing Drainage System**

STORMWATER PLAN
1:200

4

**Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement**

These plans are for DA Application purposes only. These plans are not to be used for the construction certificate application without the written permission of Rapid Plans

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

| Construction | Additional insulation required (R-value) | Other specifications |
|---|--|---|
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| flat ceiling, pitched roof | ceiling: R0.95 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |



Denotes New Works



Denotes New Timber Framed Wall



Denotes Existing Wall



Denotes Demolished Item

Wall Legend



7 Altona Avenue, Forestville NSW 1585
Tel: (02) 9505-8845 Fax: (02) 9505-8846
Email: info@rapidplans.com.au

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NOTES
7 Altona Avenue, Forestville is zoned R2-low density residential
7 Altona Avenue, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

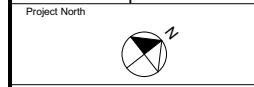
Construction
Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Timber framing to BCA and AS 1684
Glazing to BCA and AS 1742
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic Certificate Number A443352
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 250 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WVIL
Project Status DA Rev1

Client Christopher and Penelope
Willcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE: PLANS

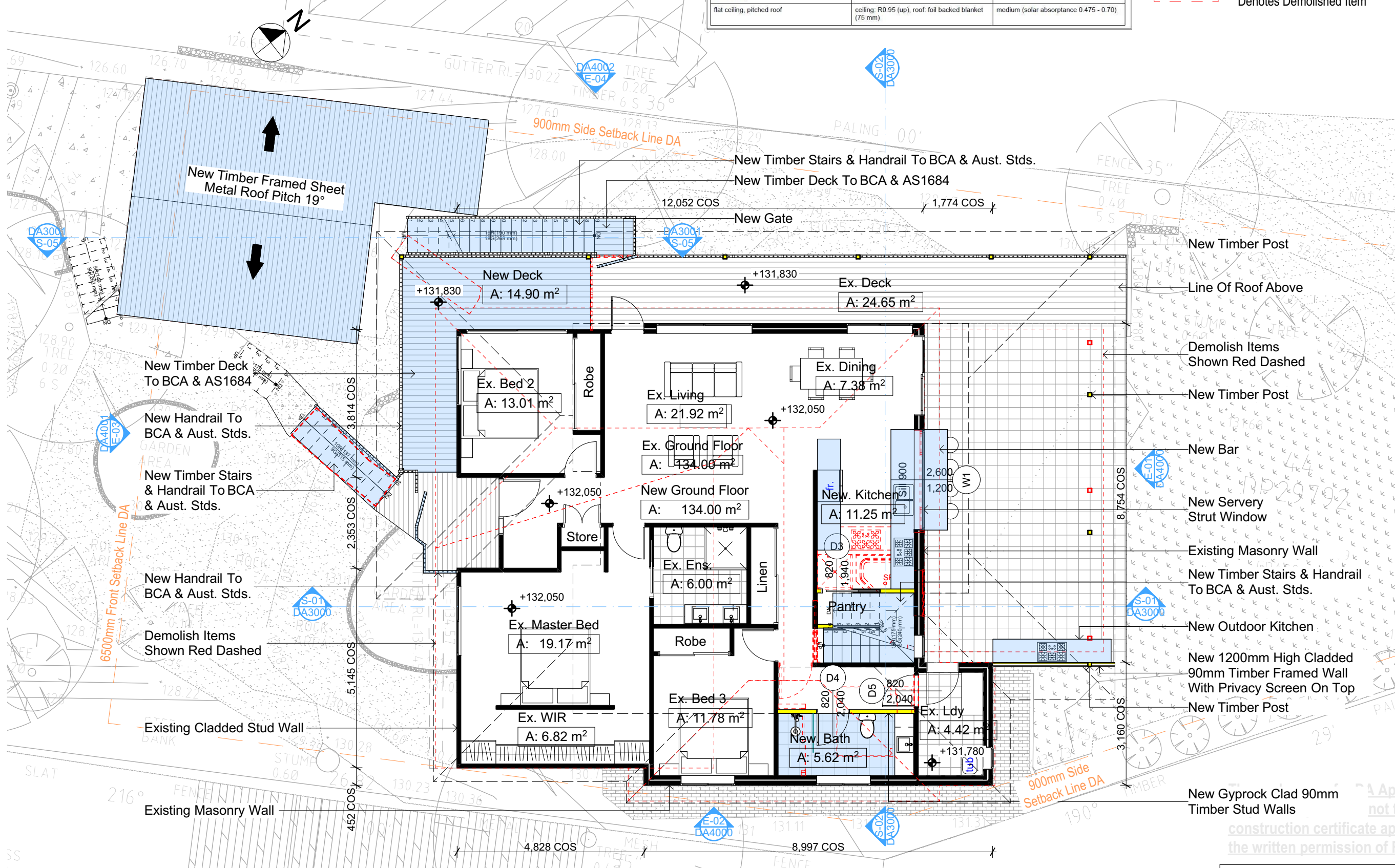
GROUND FLOOR

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
1 **9/12/21**
DRAWING NO. **DA2002**

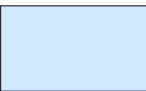
Plot Date: 9/05/2022

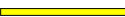
Sheet Size: A3




| Fixtures and systems | |
|--|--|
| Lighting | |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | |
| Fixtures | |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | |


| Construction | | |
|--|--|--|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| flat ceiling, pitched roof | ceiling: R0.95 (up), roof: foil backed blanket (75 mm) | medium (solar absorbance 0.475 - 0.70) |


Denotes New Works

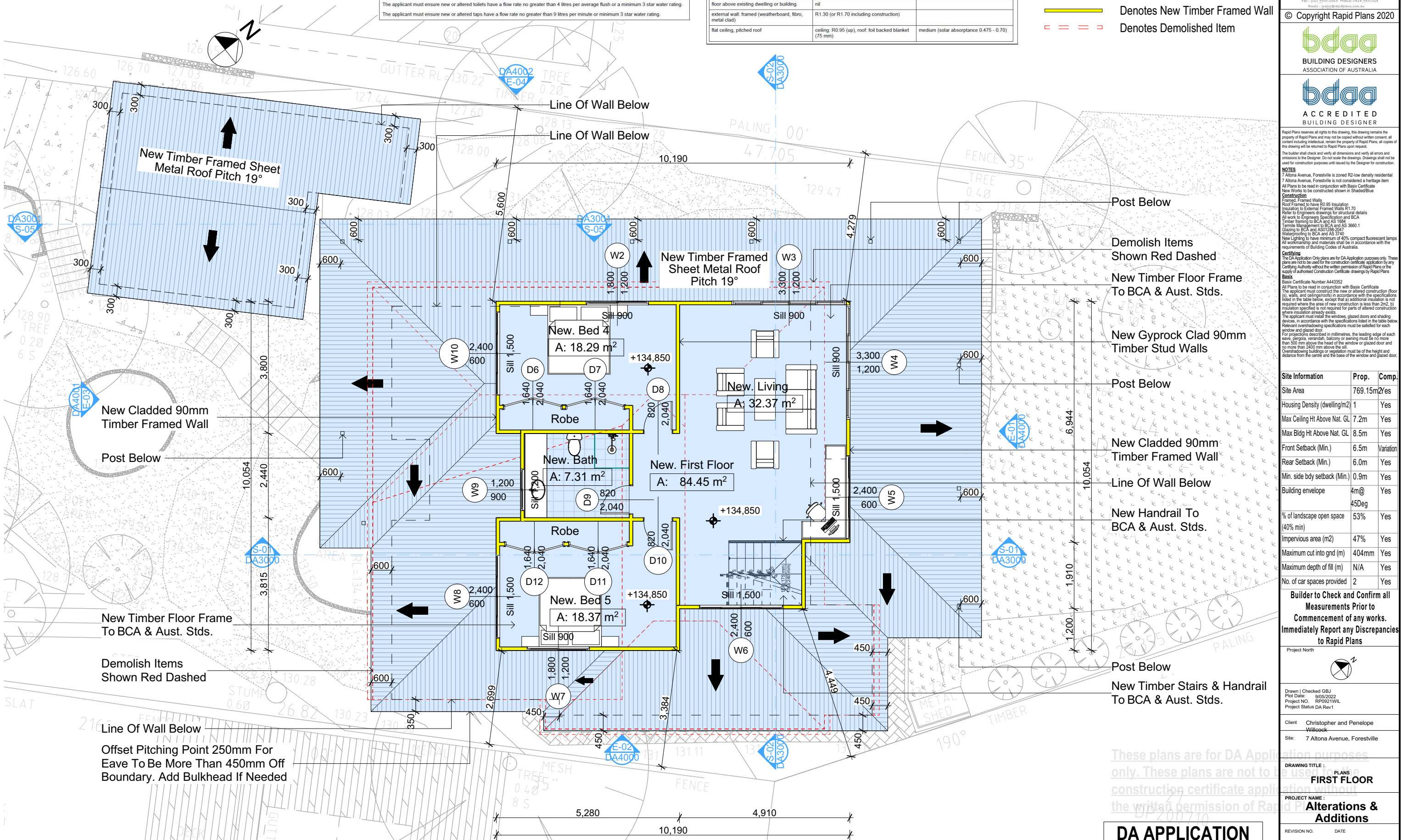

Denotes New Timber Framed Wall


Denotes Demolished Item

Wall Legend



Rapid Plans
 Building Design and Architectural Drafting
 70 Box 623a Pyralis Forest Dr NSW 2086
 Tel: (02) 9350-8545, Mobile: 0414-946-024
 Email: info@rapidplans.com.au
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| Site Information | Prop. | Comp. |
|-------------------------------------|----------|-----------|
| Site Area | 769.15m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m2) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
 

Drawn | Checked GBJ
 Plot Date: 9/05/2022
 Project NO.: RP0921WV1
 Project Status DA Rev1

Client Christopher and Penelope Wilcock
 Site: 7 Altona Avenue, Forestville

DRAWING TITLE: PLANS
FIRST FLOOR

PROJECT NAME: Alterations & Additions

| REVISION NO. | DATE |
|--------------------|---------|
| 1 | 9/12/21 |
| DRAWING NO. DA2003 | |

Plot Date: 9/05/2022
 Sheet Size: A3

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 NOT FOR CONSTRUCTION

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

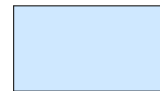
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

| Construction | Additional insulation required (R-value) | Other specifications |
|---|--|---|
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| flat ceiling, pitched roof | ceiling: R0.95 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |



Denotes New Works

Wall Legend



Denotes Demolished Item



7 Altona Avenue, Forestville NSW 1585
Tel: (02) 9550-8845
Fax: (02) 9550-8846
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
7 Altona Avenue, Forestville is zoned R2-low density residential
7 Altona Avenue, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Timber framing to BCA and AS 3660.1
Glazing to BCA and AS 1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Code of Australia.

Basic Certificate
Basic Certificate Number A44352
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For properties described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 250 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

| Site Area | Prop. | Comp. |
|--|----------|-----------|
| 769.15m ² | Yes | |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WV
Project Status DA Rev1

Client Christopher and Penelope Willcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE:
PLANS
ROOF

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
1 9/12/21

DRAWING NO.
DA2004

Plot Date: 9/05/2022
Sheet Size: A3

ROOF

1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

| | |
|--------------|--|
| Construction | |
|--------------|--|

| Insulation requirements |
|---|
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists. |

| Construction | Additional insulation required (R-value) | Other specifications |
|---|--|---|
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| flat ceiling, pitched roof | ceiling: R0.95 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

| | |
|----------------------|--|
| Fixtures and systems | |
|----------------------|--|

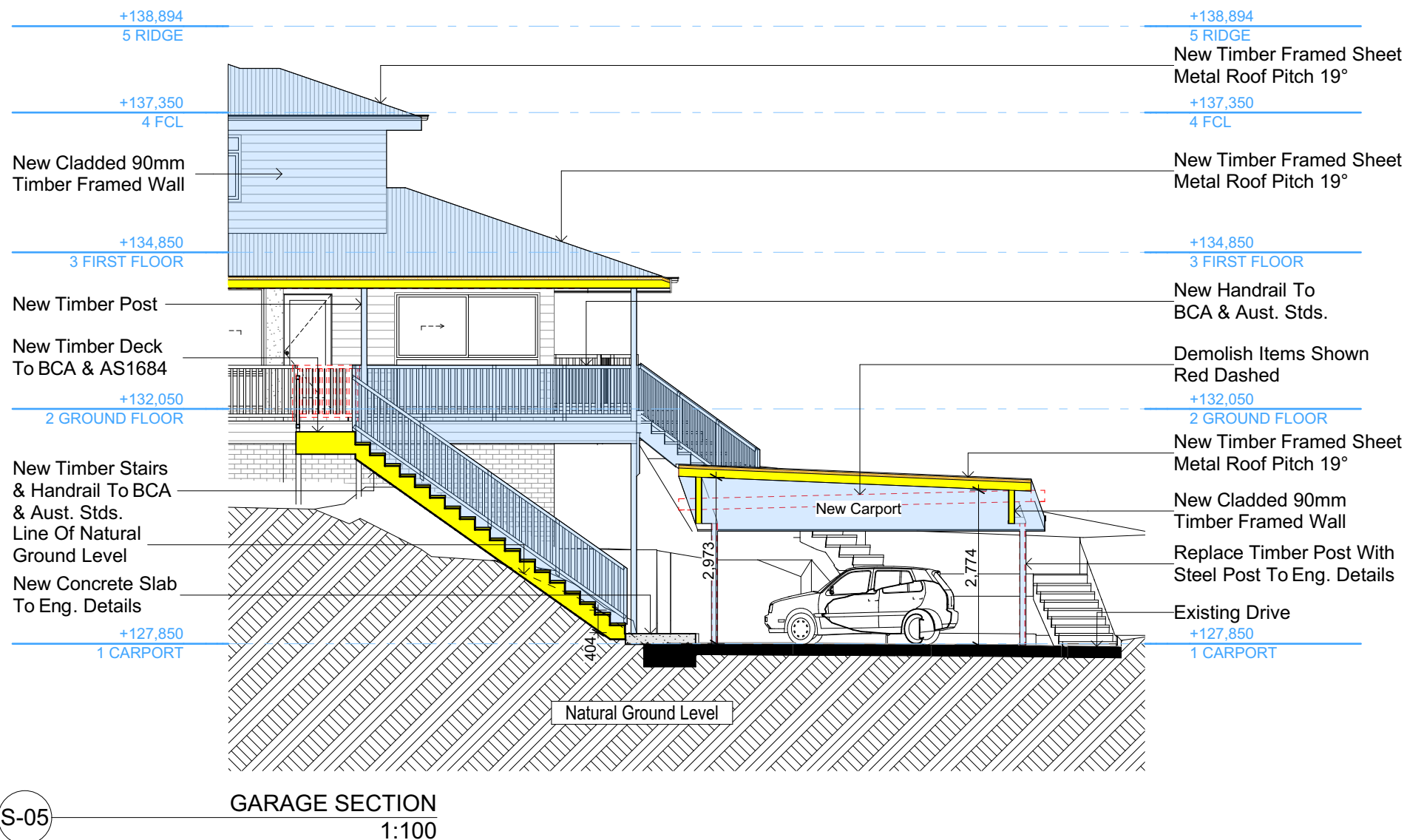
| | |
|----------|--|
| Lighting | The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. |
|----------|--|

| Fixtures |
|--|
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. |



Page 10 of 10

□ □ □ □



| | |
|--|---|
| These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapid Construction Pty Ltd. | DRAWING TITLE : SECTIONS |
| | SECTION 2 |
| | PROJECT NAME : Alterations & Additions |

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.


OTES
Altona Avenue, Forestville is zoned R2-low density residential
Altona Avenue, Forestville is not considered a heritage item
Plans to be read in conjunction with Basic Certificate
new Works to be constructed shown in Shaded/Blue
construction
Framed, Framed Walls
roof Framed to have R0.95 insulation
insulation to External Framed Walls R1.70
refer to Engineers Drawings for structural details
we will work to Engineers Standard
timber framing to BCA and AS 1684
Permit Management to BCA and AS 3660.1
insulating to BCA and AS1286-2047
waterproofing to BCA and AS 3740
new ceiling to have minimum of 40% compact fluorescent lamps
workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

[illegible]

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Yes |
| % of landscape open space (10% min) | 53% | Yes |
| Impervius area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**

Project North



Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO. RP0921WIL
Project Status DA Rev1

| | |
|---------|-----------------------------------|
| Client: | Christopher and Penelope Willcock |
| Site: | 7 Altona Avenue, Forestville |

DRAWING TITLE :
SECTIONS
SECTION 2

PROJECT NAME : **Alterations & Additions**

| | |
|--------------|----------------|
| REVISION NO. | DATE |
| 1 | 9/12/21 |

DRAWING NO.
DA3001

Plot Date: 9/05/2022
Sheet Size: A3
D:\Archi\jobs on the go\Willcock\Willcock-22-CA\Final Rev1.plt

DA APPLICATION
ONLY
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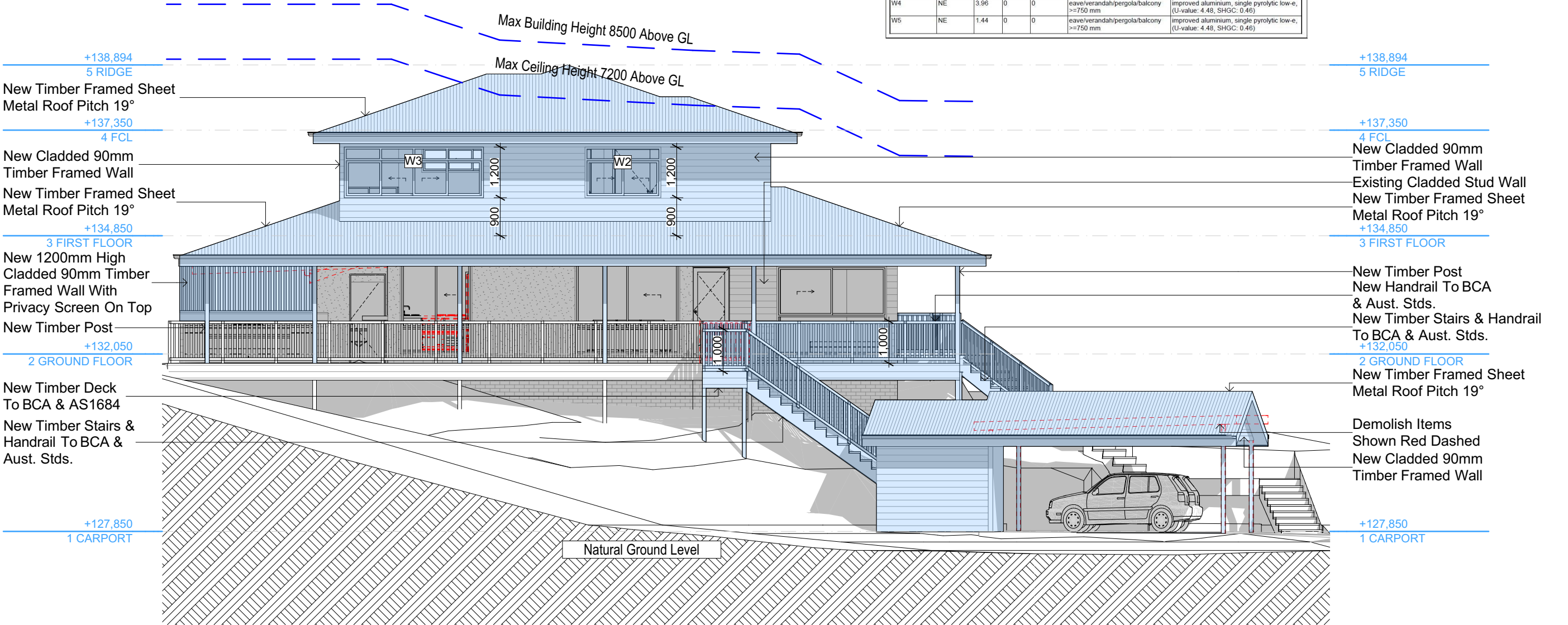
| Glazing requirements | | | | | |
|----------------------|-------------|-------------------------------|--------------------------|--------------|---|
| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Distance (m) | Shading device |
| W6 | SE | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm |
| W7 | SE | 2.16 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm |
| W8 | SW | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm |
| W9 | SW | 1.08 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm |
| W10 | SW | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm |
| | | | | | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |

| Glazing requirements | | | | | |
|----------------------|-------------|-------------------------------|--------------------------|--------------|---|
| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Distance (m) | Shading device |
| W1 | NE | 3.12 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm |
| W2 | NW | 2.16 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm |
| W3 | NW | 3.96 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm |
| W4 | NE | 3.96 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm |
| W5 | NE | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm |
| | | | | | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| | | | | | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| | | | | | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| | | | | | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| | | | | | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |

Denotes New Works

Wall Legend

Denotes Demolished Item



E-04

West

1:100

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

7 Altona Avenue, Forestville is zoned R2-low density residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

7 Altona Avenue, Forestville is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A443352

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m2.

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|----------|-----------|-------------------------------------|----------|-------|
| Site Area | 769.15m2 | Yes | Building envelope | 4m@45Deg | Yes |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 53% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes | Impervious area (m2) | 47% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into gnd (m) | 404mm | Yes |
| Front Setback (Min.) | 6.5m | Variation | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 9/05/2022
Project NO: RP0921WIL
Project Status: DA Rev1

Client
Site: Christopher and Penelope
7 Altona Avenue, Forestville

Sheet Size: A3

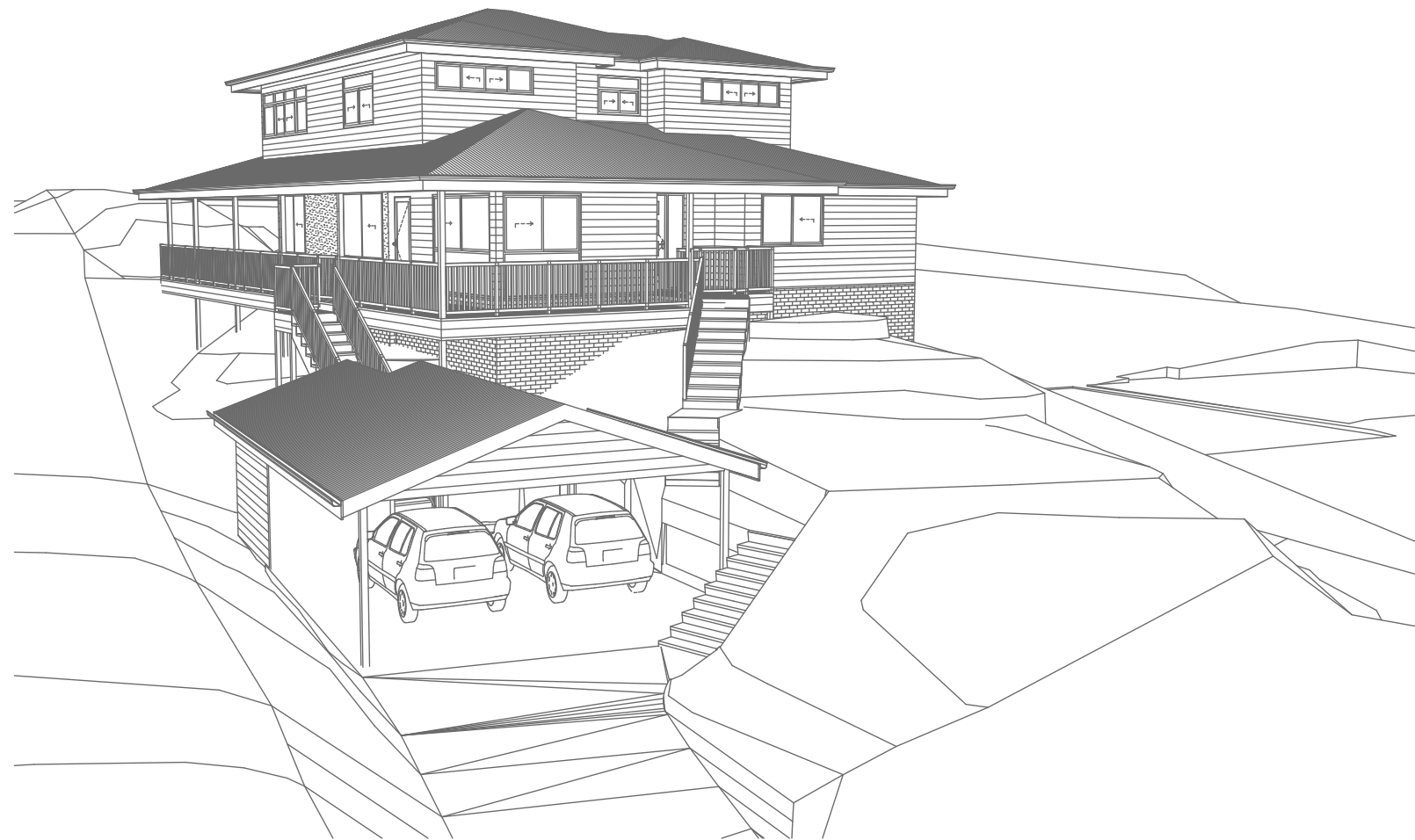
DRAWING TITLE :
ELEVATIONS 3

PROJECT NAME :
Alterations & Additions

REVISION NO.
1

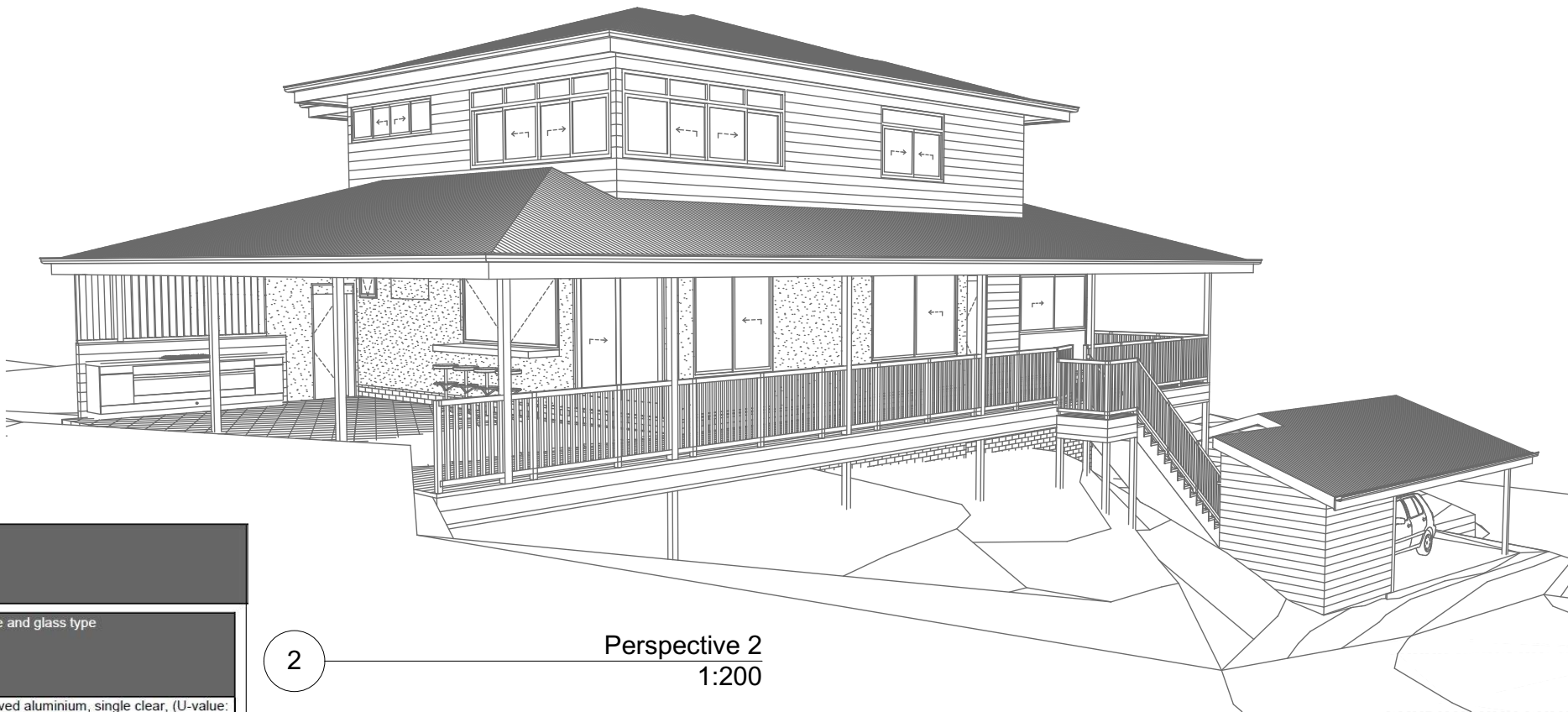
DATE:
9/12/21

DRAWING NO.
DA4002



1

Perspective 1
1:200



2

Perspective 2
1:200

| Glazing requirements | | | | | | |
|----------------------|-------------|-------------------------------|---------------|--------------|---|---|
| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing | | Shading device | Frame and glass type |
| | | | Height (m) | Distance (m) | | |
| W6 | SE | 1.44 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W7 | SE | 2.16 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W8 | SW | 1.44 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W9 | SW | 1.08 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W10 | SW | 1.44 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing | | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|---------------|--------------|---|---|
| | | | Height (m) | Distance (m) | | |
| W1 | NE | 3.12 | 0 | 0 | eave/verandah/ pergola/ balcony >=900 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W2 | NW | 2.16 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W3 | NW | 3.96 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W4 | NE | 3.96 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W5 | NE | 1.44 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |

| Site Information | Prop. | Comp. |
|-------------------------------------|-----------|-----------|
| Site Area | 769.15m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m2) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WV1
Project Status DA Rev1

Client Christopher and Penelope Wilcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE: SHADOW PLANS
PERSPECTIVE

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
1 9/12/21

DRAWING NO. **DA5000**

Plot Date: 9/05/2022
Sheet Size: A3

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing | | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|---------------|--------------|--|---|
| | | | Height (m) | Distance (m) | | |
| W1 | NE | 3.12 | 0 | 0 | eave/verandah/ pergola/ balcony >=900 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W2 | NW | 2.16 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W3 | NW | 3.96 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W4 | NE | 3.96 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W5 | NE | 1.44 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |

Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing | | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|---------------|--------------|--|---|
| | | | Height (m) | Distance (m) | | |
| W6 | SE | 1.44 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W7 | SE | 2.16 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W8 | SW | 1.44 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W9 | SW | 1.08 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W10 | SW | 1.44 | 0 | 0 | eave/verandah/ pergola/ balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

| Construction | Additional insulation required (R-value) | Other specifications |
|---|--|---|
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| flat ceiling, pitched roof | ceiling: R0.95 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
7 Altona Avenue, Forestville is zoned R2-low density residential
7 Altona Avenue, Forestville is not considered a heritage item
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
Construction

Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamp
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic Certificate Number 4433352

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that if additional insulation is not specified, the minimum insulation specified in the table and the insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must ensure that windows, glazed doors and shading devices meet compliance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each of the following elements, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and position specified in the table for each window and glazed door.

| Site Information | Prop. | Comp |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**

Project North



Drawn | Checked GBC
Plot Date: 9/05/20
Project NO. RP092
Project Status DA Rev

| | |
|--------|--------------------------------------|
| Client | Christopher and Penelope Willcock |
| Site: | 7 Altona Avenue, Forestville |

DRAWING TITLE : SHADOW PLANS
MATERIAL & COLOUR
SAMPLE BOARD

PROJECT NAME : **Alterations &**

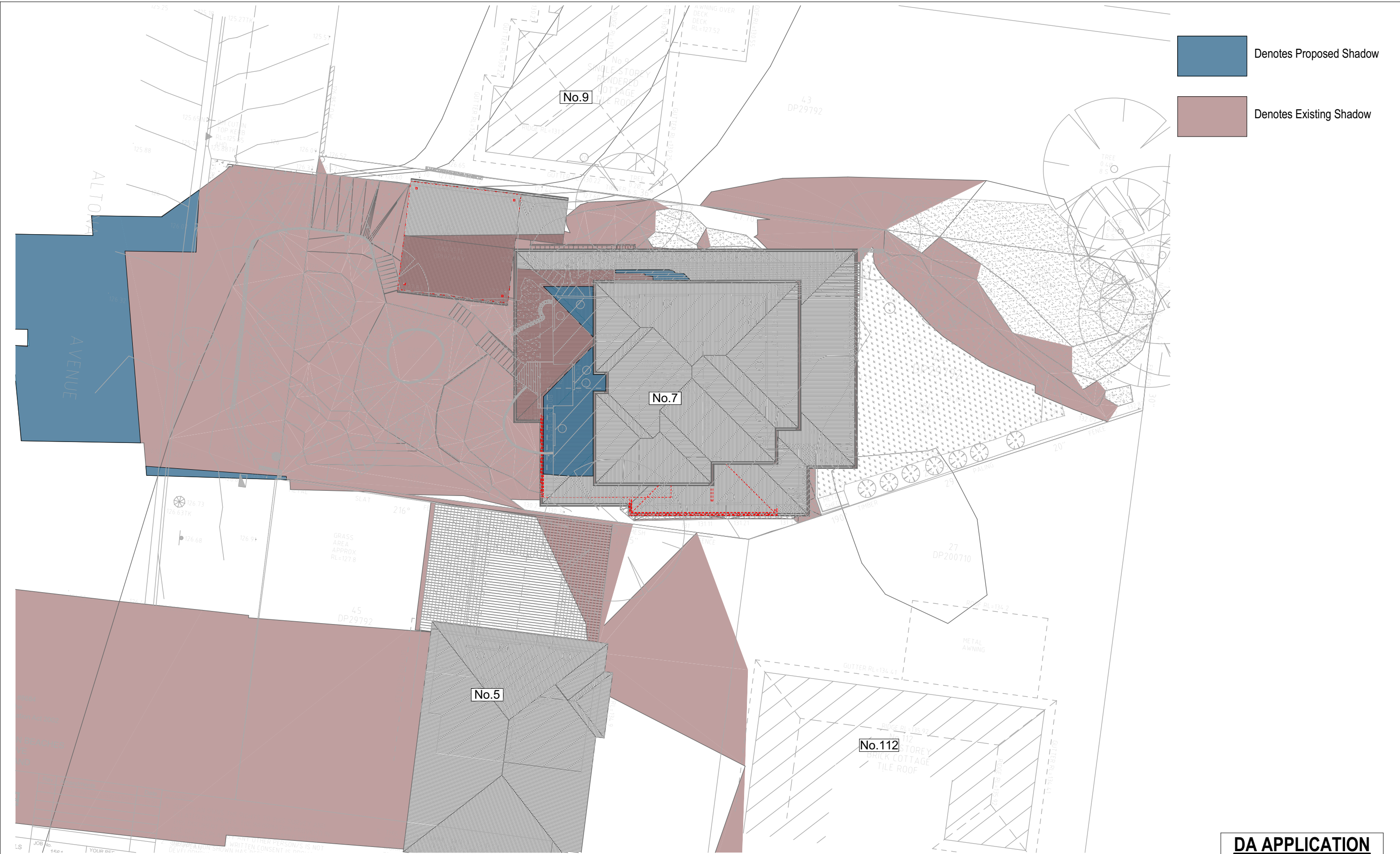
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| REVISION NO. | DATE |
| 1 | 9/12/21 |
| DRAWING NO. | |
| DA5001 | |

Plot Date: 9/05/2022
 Sheet Size: A3
 D:\Arch\jobs on the go\Willbrook\Willbrook
 22-CA\Final Rev1.plt

These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Radian Building Solutions.

| | |
|----------------|-----------------------------|
| DRAWING TITLE | SHADOW PLANS |
| | MATERIAL & COLOR |
| | SAMPLE BOARD |
| PROJECT NAME : | Alterations |

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION





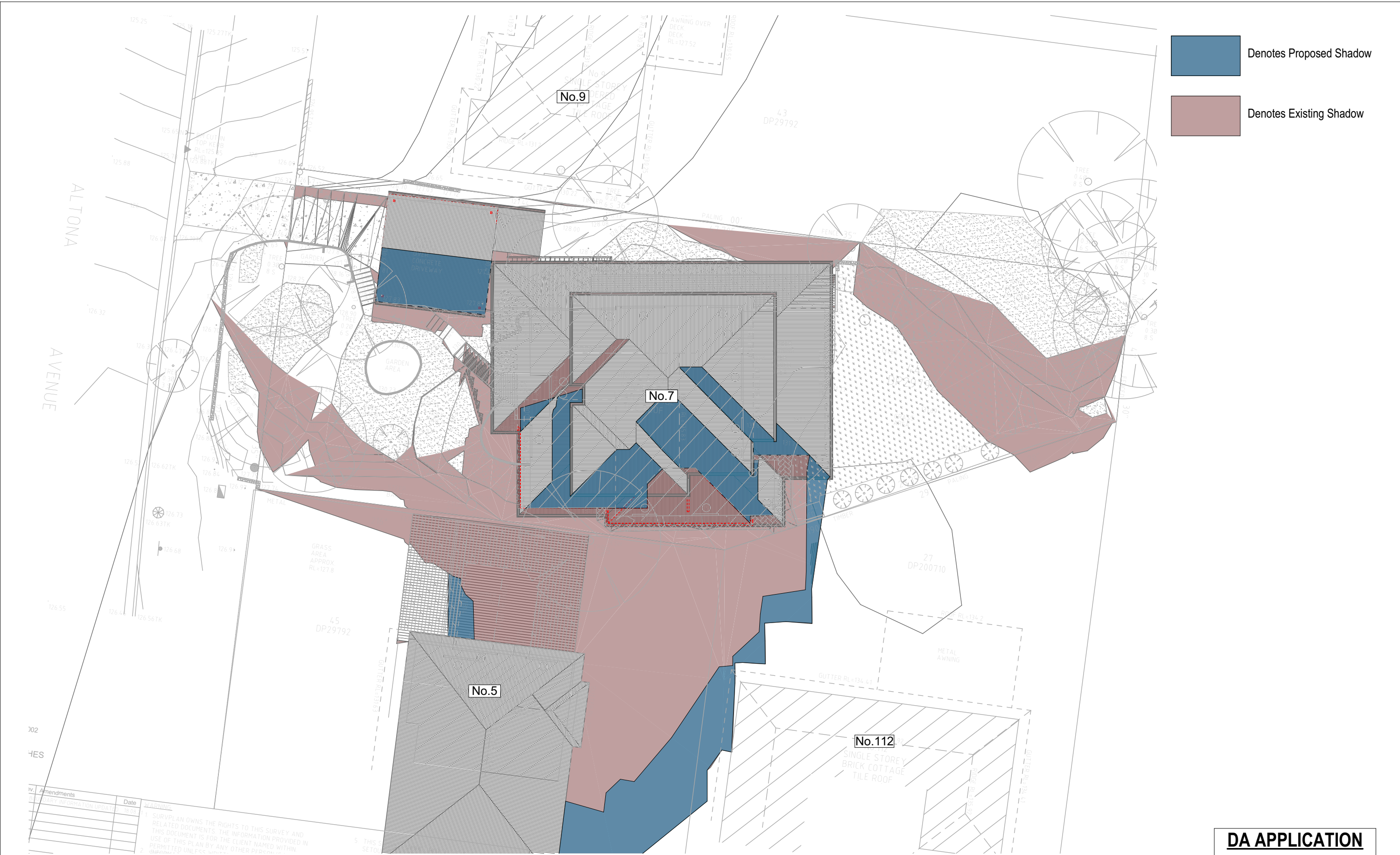
Denotes Proposed Shadow

Denotes Existing Shadow

| Rev. | Amendments | Date |
|------|------------------------|-------|
| 1 | ISSUED FOR INFORMATION | 18.08 |
| 2 | ISSUED FOR INFORMATION | 18.08 |
| 3 | ISSUED FOR INFORMATION | 18.08 |
| 4 | ISSUED FOR INFORMATION | 18.08 |
| 5 | ISSUED FOR INFORMATION | 18.08 |
| 6 | ISSUED FOR INFORMATION | 18.08 |
| 7 | ISSUED FOR INFORMATION | 18.08 |
| 8 | ISSUED FOR INFORMATION | 18.08 |
| 9 | ISSUED FOR INFORMATION | 18.08 |
| 10 | ISSUED FOR INFORMATION | 18.08 |

SHADOW PLAN 21 JUN at 1200h
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



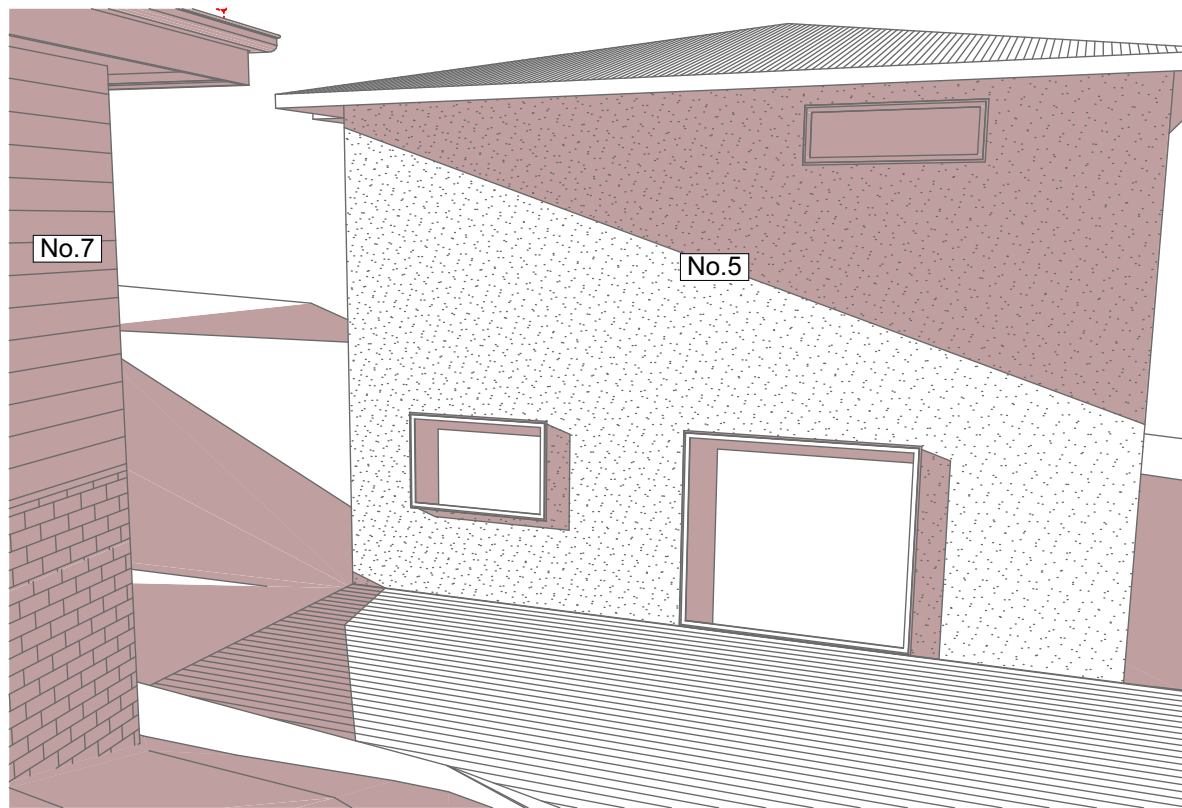
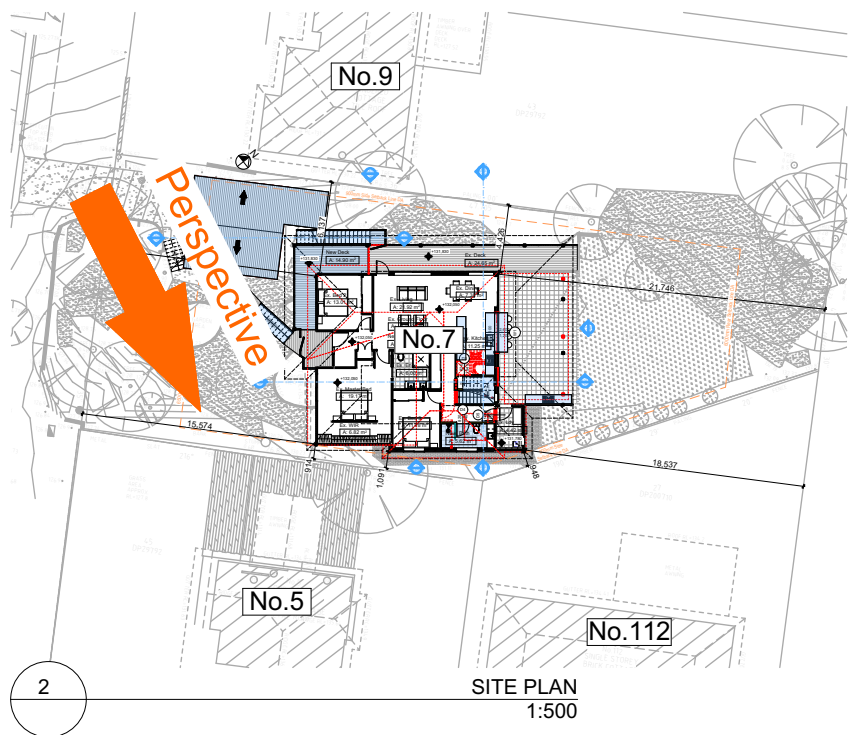
Denotes Proposed Shadow

Denotes Existing Shadow

| iv. Amendments | Date | WARNING |
|--|----------|---------|
| 1. SURVEY PLAN OWNS THE RIGHTS TO THIS SURVEY AND RELATED DOCUMENTS. THE INFORMATION PROVIDED IN THIS DOCUMENT IS FOR THE CLIENT NAMED WITHIN PERMITTED UNLESS OTHERWISE STATED. | 18.08.21 | |
| 2. INFORMATION | | |
| 3. THIS SET | | |

03 SHADOW PLAN 21 JUN at 1500h 1:200

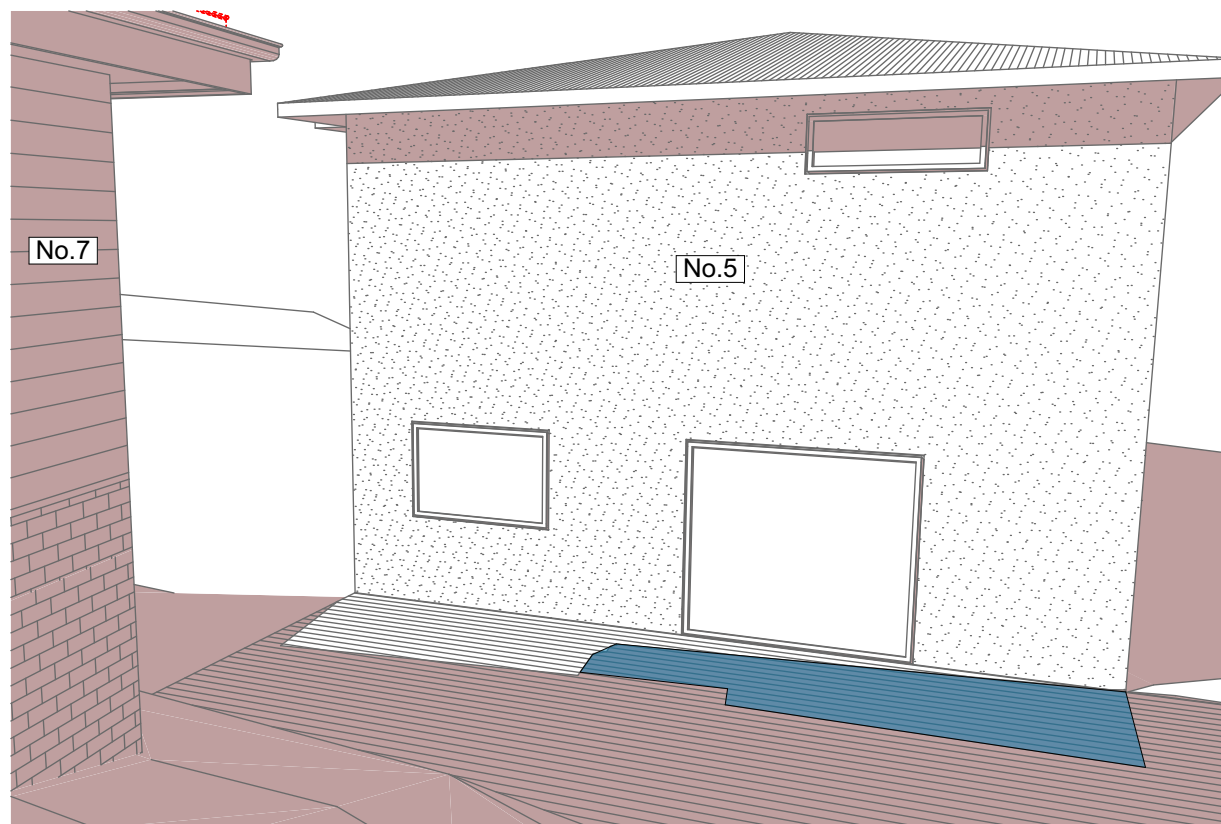
DA APPLICATION ONLY NOT FOR CONSTRUCTION



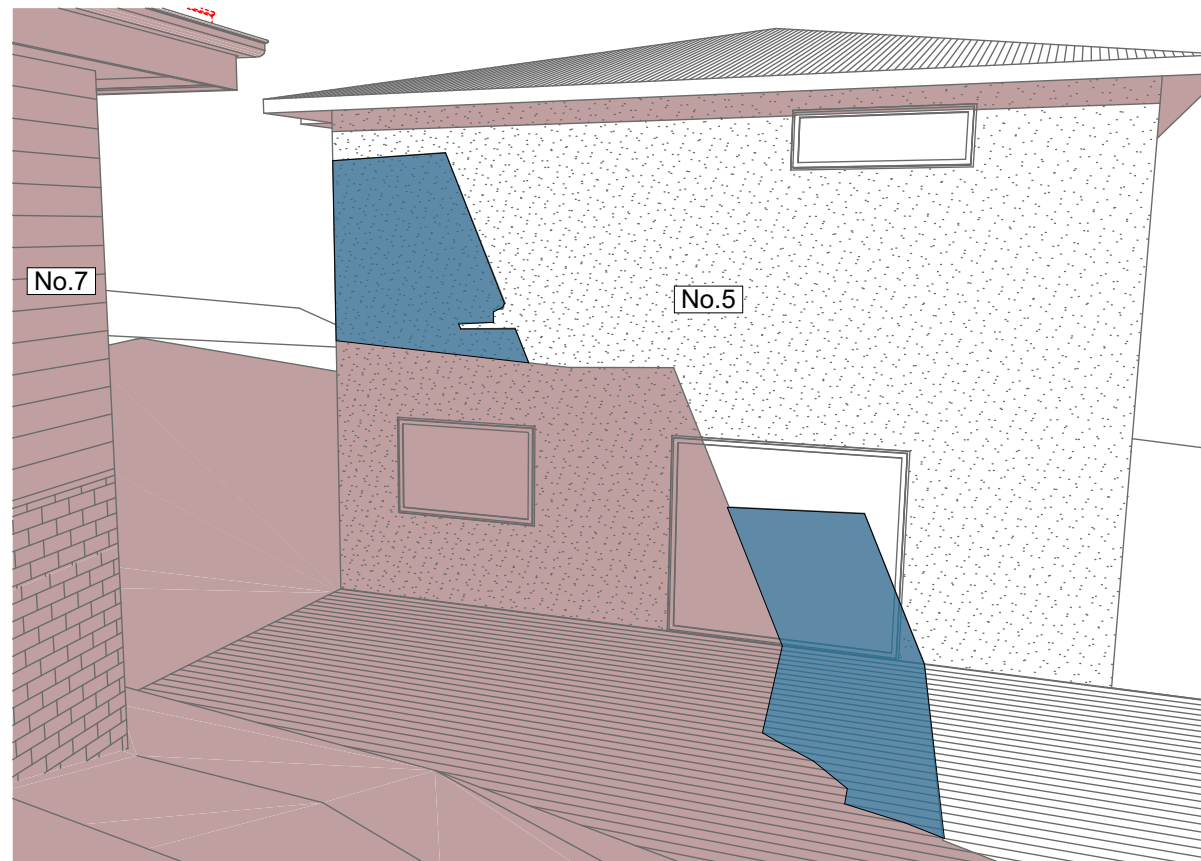
Denotes Proposed Shadow

Denotes Existing Shadow

4 SHADOW ELEVATION 21st June 9am



5 SHADOW ELEVATION 21st June 12pm



6 SHADOW ELEVATION 21st June 3pm

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



Rapid Plans
Building Design and Architectural Drafting

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Email: info@rapidplans.com.au

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



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BUILDING DESIGNER

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NOTES

7 Altona Avenue, Forestville is zoned R2-low density residential

7 Altona Avenue, Forestville is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1728-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A443352

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|----------------------|-----------|
| Site Area | 769.15m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Yes |
| % of landscape open space (40% min) | 53% | Yes |
| Impervious area (m ²) | 47% | Yes |
| Maximum cut into gnd (m) | 404mm | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 9/05/2022
Project NO.: RP0921WV
Project Status DA Rev1

Client Christopher and Penelope Willcock
Site: 7 Altona Avenue, Forestville

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME:
Alterations & Additions

| REVISION NO. | DATE |
|--------------|---------|
| 1 | 9/12/21 |

DRAWING NO.
DA5005

Plot Date: 9/05/2022
Sheet Size: A3