

**STANDARD CONSTRUCTION NOTES**

**WALL FRAMING**

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH:  
**AS 1684:2010 NATIONAL TIMBER FRAMING CODE AND ENGINEER'S STRUCTURAL COMPUTATIONS.**
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQUIREMENTS TO BE AS PER ENGINEER'S DETAILS.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH **N.C.C. 3.8.3.3**
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM UNLESS DIMENSIONED OTHERWISE
- PROVIDE 2No. 90mm x 45mm JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL **S-TYP-DOOR-01**

**ROOF FRAMING**

- GARAGE ROOF TO BE TIED DOWN MIN. 1200mm INTO BRICKWORK WITH HOOP IRON STRAPS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURER'S SPECIFICATIONS. PITCH AS SHOWN ON ELEVATIONS.

**EXTERNAL WALLS**

- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN. OVERLAP TO ALL JOINTS WITH CONTINUOUS SILICONE SEALANT BETWEEN & 30mm MIN. VERTICAL OVERHANG).

**SLAB AND FOOTINGS**

- REINFORCED CONCRETE SLAB AND ASSOCIATED FOOTINGS IN ACCORDANCE WITH ENGINEER'S DETAILS.
- SUB-FLOOR VENTILATION IN ACCORDANCE WITH **N.C.C. 3.4.1.** TO BE PROVIDED TO SUSPENDED TIMBER FLOOR WHERE APPLICABLE.

**PLUMBING AND DRAINAGE**

- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH **THE PLUMBING CODE OF AUSTRALIA, N.C.C. & AS 3500 - PLUMBING AND DRAINAGE.**

**TERMITE PROTECTION**

- PROVIDE TERMITE MANAGEMENT SYSTEM AS PER; **AS 3660.1:2014 - TERMITE MANAGEMENT**

**GLAZING**

- WINDOWS TO SIDE AND REAR ELEVATIONS ARE ALUMINIUM **SLIDING** (UNLESS NOTED OTHERWISE).
- WINDOW SIZES ARE NOMINATED AS GENERIC CODES; FIRST TWO NUMBERS REFER TO HEIGHT & SECOND TWO REFER TO WIDTH.
- WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH;  
**AS 1288:2006 GLASS IN BUILDINGS**  
**AS 4055:2012 WIND LOADS FOR HOUSING**
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- PROTECTION OF OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH **N.C.C. 3.9.2.5**

**STEPS, STAIRS & BALUSTRADES**

- ALL STEPS & STAIRS TO HAVE; 240mm MIN. & 355mm MAX. TREAD DEPTH AND 115mm MIN. & 190mm MAX. RISER HEIGHT IN ACCORDANCE WITH **N.C.C. 3.9.1.**
- BALUSTRADE IN ACCORDANCE WITH **N.C.C. 3.9.2.** TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE GROUND LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH **N.C.C. 3.9.1.4** AND **AS 4586:2013 SLIP RESISTANCE.**

**WATERPROOFING**

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH; **AS 3740:2010 WATERPROOFING OF DOMESTIC WET AREAS &/OR N.C.C. 3.8.1**

**INTERNAL ELEVATIONS**

- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- DIMENSIONS INDICATED TAKEN FROM PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.

**BASIX COMMITMENTS**

Certificate No.: **1225207S**  
Date of Issue: **21.07.2021**

**WATER COMMITMENTS**

**FIXTURES**

- **3 STAR** RATED SHOWERHEADS >7.5 BUT <9L/MIN.
- **3 STAR** RATED TOILET FLUSHING SYSTEMS
- **3 STAR** RATED KITCHEN TAPS
- **3 STAR** RATED BASIN TAPS

**ALTERNATIVE WATER**

- PROVIDE A RAINWATER TANK OF AT LEAST **3000L**
- TANK MUST BE CONFIGURED TO COLLECT RAIN RUNOFF FROM THE **161.71 SQM OF THE ROOF AREA.**
- TANK MUST BE CONNECTED TO;
  - ALL TOILETS
  - WASHING MACHINE COLD WATER TAP
  - AT LEAST ONE OUTDOOR TAP

**ENERGY COMMITMENTS**

**HOT WATER**

- **6 STAR** RATED ELECTRIC HEAT PUMP WITH A PERFORMANCE OF 26 TO 30STCs OR BETTER.

**COOLING SYSTEM**

- 1-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF **EER 2.5-3.0**
- 1-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF **EER 2.5-3.0**
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

**HEATING SYSTEM**

- 1-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF **EER 2.5-3.0**
- 1-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF **EER 2.5-3.0**
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

**VENTILATION**

- PROVIDE EXTERNALLY DUCTED EXHAUST FANS TO:
  - AT LEAST 1 BATHROOM
  - THE KITCHEN
  - THE LAUNDRY

**NATURAL LIGHTING**

- PROVIDE A WINDOW/SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING
- PROVIDE A WINDOW/SKYLIGHT IN AT LEAST **3** BATHROOMS/TOILET FOR NATURAL LIGHTING

**ALTERNATIVE ENERGY**

- INSTALL A **PHOTOVOLTAIC SYSTEM** WITH THE CAPACITY TO GENERATE ATLEAST 1 PEAK KILOWATTS OF ELECTRICITY.

**OTHER COMMITMENTS**


- INSTALL A **GAS COOKTOP & ELECTRIC OVEN**
- PROVIDE A WELL VENTILATED FRIDGE SPACE
- PROVIDE A FIXED OUTDOOR CLOTHESLINE



PROVIDE AIR-CONDITIONING DUCTS AND OUTLETS FOR AIR-CONDITIONING BY METRICON

'M' CLASS SLAB

NOTE: PROVIDE ELECTRIC SOLAR POWER SYSTEM

**hebel**  **Power Panel**  
**WALL PANELS**  
OR RENDERED LIGHTWEIGHT SUBSTRATE CLADDING ABOVE LOWER ROOFS WHERE APPLICABLE

**TABLE OF REVISIONS**

REV.	DATE	REVISION DESCRIPTION	DRAWN	CHECKED
A	17.02.2021	PRELIMINARY CONTRACT PLANS	CMB	--
B	07.05.21	PRELIMINARY CONTRACT VARIATION	JF9	XX
C	19.07.21	VARIATION 001	OSA	--
D	06.08.21	VARIATION 002	A90	XX
E	11.08.21	LODGEEMENT PLANS	503	--
F	10.09.21	VARIATION 003	NA4	--
G	DD.MM.YY	DESCRIPTION	XX	XX
H	DD.MM.YY	DESCRIPTION	XX	XX
I	DD.MM.YY	DESCRIPTION	XX	XX
J	DD.MM.YY	DESCRIPTION	XX	XX

DESIGN: <b>TRENTHAM 30</b>	<b>FREEDOM</b>   <b>m</b> metricon	OWNER: <b>MR &amp; MRS HODGES</b>	
FACADE: <b>PLANTATION</b> CEILING: 25, L		LOT 7 . NO 45 WARRIEWOOD ROAD <b>WARRIEWOOD</b>	
GARAGE: <b>DOUBLE</b> LOCATION: F	BY METRICON		JOB No: <b>720385</b> DATE: <b>17.02.2021</b>
<b>COVER SHEET</b>	Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes		FC DATE: <b>DD.MM.YYYY</b> MST VER: <b>16.02.2017</b>
	METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.	SCALE:	REVISION: <b>F</b>
	DRAWN: <b>CMB</b>	CHECK: <b>XX</b>	SHEET: <b>COVER</b>

SITE AREA:	404.4 SQM
PROPOSED ROOF COVERAGE	
DWELLING:	161.71 SQM
TOTAL COVERAGE AREA:	161.71 SQM

PRIVATE OPEN SPACE	
PRIVATE OPEN SPACE:	80 SQM
MIN. REQUIRED BY COUNCIL:	80 SQM
MINIMUM DIMENSION OF 3M	

PRINCIPAL PRIVATE OPEN SPACE	
PRINCIPAL PRIVATE OPEN SPACE:	24 SQM
MIN. REQUIRED BY COUNCIL:	24 SQM
MINIMUM DIMENSIONS OF 4M X 4M	

LANDSCAPED AREA	
TOTAL LANDSCAPED AREA:	189.49 SQM
EXCL. ALL HARD SURFACES,	
MINIMUM DIMENSION OF 2M	46.85 %
MIN. REQUIRED BY COUNCIL:	45 %

FRONT YARD LANDSCAPED AREA	
TOTAL FRONT YARD AREA:	110.22 SQM
LANDSCAPED FRONT YARD AREA:	72.00 SQM
LANDSCAPED FRONT YARD AREA:	65.32 %
MIN. REQUIRED BY COUNCIL:	60 %

STORMWATER CALCULATION	
HARD LANDSCAPE AREAS:	192.12 SQM
(INCL. ROOF/DRIVEWAY/PATHS ETC)	
SITE COVERAGE RATIO:	47.50 %
EXISTING SITE COVERAGE:	0 SQM
MAXIMUM ALLOWABLE BY COUNCIL	0 %
PRIOR TO O.S.D. BEING REQUIRED:	
(EXISTING SITE COVERAGE + 50 SQM)	

BUILDING HEIGHT RESTRICTION	
MAXIMUM 8.5M RIDGE HEIGHT	
(F.F.L. MUST BE ACCURATE TO COMPLY)	

BUILDING ENVELOPE	
PROVIDE 45 DEGREE PLANE	
PROJECTED AT 4.5M HIGH ABOVE SIDE	
BOUNDARY NATURAL GROUND LEVEL.	

MAXIMUM 1000 MM CUT	
MAXIMUM 1000MM FILL	

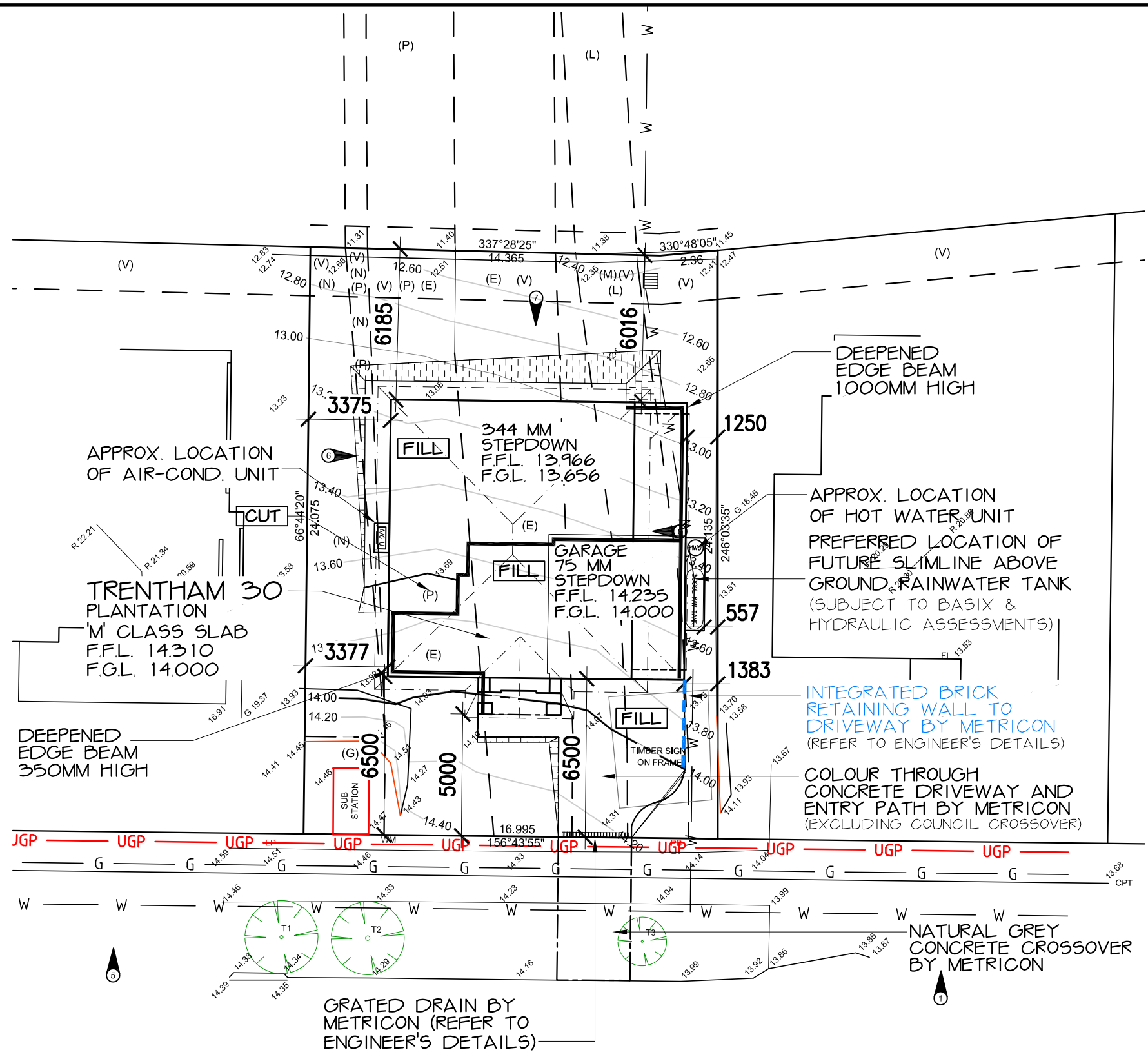
**SURVEYORS NOTES**

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.

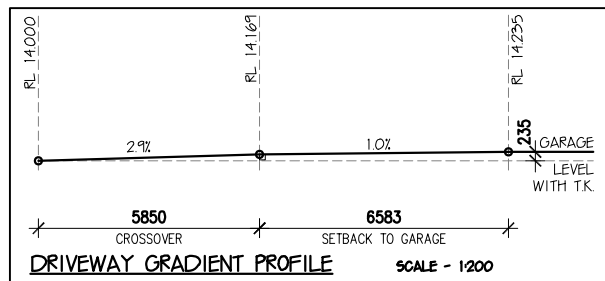
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



(E) RIGHT OF CARRIAGEWAY 7.7 WIDE (E) (DP 1206507)  
(G) EASEMENT FOR ELECTRICITY PURPOSES 3.3 WIDE (G) (DP 1206507)  
(L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (L) (DP 1206507)  
(M) EASEMENT FOR ACCESS & DRAINAGE PURPOSES 2.5 WIDE (M) (DP 1206507)  
(N) EASEMENT FOR ELECTRICITY PURPOSES VARIABLE WIDTH (N) (DP 1206507)  
(P) EASEMENT FOR ELECTRICITY & OTHER PURPOSES 4.5 WIDE (P) (DP 1206507)  
(V) EASEMENT TO DRAIN WATER 2 WIDE (V) (DP 1206507)



	LOT NO:	LOT 7.
	DEPOSITED PLAN:	DP 1206507.
	COUNCIL / LGA:	NORTHERN BEACHES
	SLAB CLASS:	M
MGA	WIND SPEED:	N2

**EXCAVATION NOTES:**  
50MM (+/-) TOLERANCE TO NOMINATED RL'S

**UPPER LEVEL**  
EXCAVATE APPROX. 0MM ON RL. 14.000  
AND FILL APPROX. 600MM WITHIN DEB

**LOWER LEVEL**  
EXCAVATE APPROX. 200MM ON RL. 13.656  
AND FILL APPROX. 756MM

EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT. IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY.

**IMPORTANT NOTES:**  
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD

**STORMWATER TO DRAIN TO EXISTING EASEMENT VIA RAINWATER TANK**  
REFER TO HYDRAULIC ENGINEER'S DETAILS

**TEMPORARY SITE FENCING:**  
METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)

**ALL WEATHER ACCESS:**  
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

**SURVEY LEGEND**

— S —	— W —	— T —
UGROUND SEWER MAINS	UGROUND WATER MAINS	UGROUND TELECOM LINE
— G —	— OHP —	— UGP —
UGROUND GAS MAINS	O'HEAD POWER SUPPLY	UGROUND POWER SUPPLY

TOP OF KERB	EDGE OF BITUMEN
<ul style="list-style-type: none"> <li>PP POWER POLE</li> <li>PB POWER BOX</li> <li>SP SERVICE POLE</li> <li>LP LIGHT POLE</li> <li>HYD HYDRANT</li> <li>WM WATER METER</li> </ul>	<ul style="list-style-type: none"> <li>SV STOP VALVE</li> <li>SMH SEWER MAINTENANCE HOLE</li> <li>SIO SEWER INSPECTION OPENING</li> <li>CPT TELECOMMUNICATIONS PIT</li> <li>GM GAS MARKER</li> <li>KI KERB INLET</li> <li>STP STORMWATER PIT</li> </ul>

INTRAX SURVEY DATE: 19.01.2021  
CONTOUR INTERVALS: 200MM  
LEVELS TO AHD  
**SITE PLAN**

**metricon**  
Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153  
P.O. Box 7510, Norwest Business Park NSW 2153  
Tel: 02 8887 9000 Fax: 02 8079 5901  
Contractor Licence No: 174 699  
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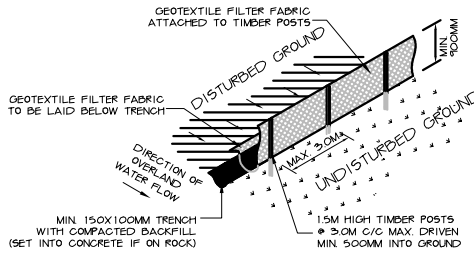
**MR & MRS HODGES**  
LOT 7, NO 45 WARRIEWOOD ROAD  
WARRIEWOOD

JOB No:	720385
DATE:	17.02.2021
DRAWN:	CMB
SCALE:	1:200
SHEET:	1 OF 11
UBD REF:	SYD XX XX



**SEDIMENT CONTROL NOTES**

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.
7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



**SEDIMENT FENCE DETAIL**  
NOT TO SCALE

**TEMPORARY SECURITY FENCING**

TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

**CUT & FILL BATTERS**

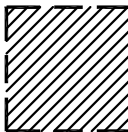
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

**SEDIMENT FENCE**

WASTE STORAGE AREA



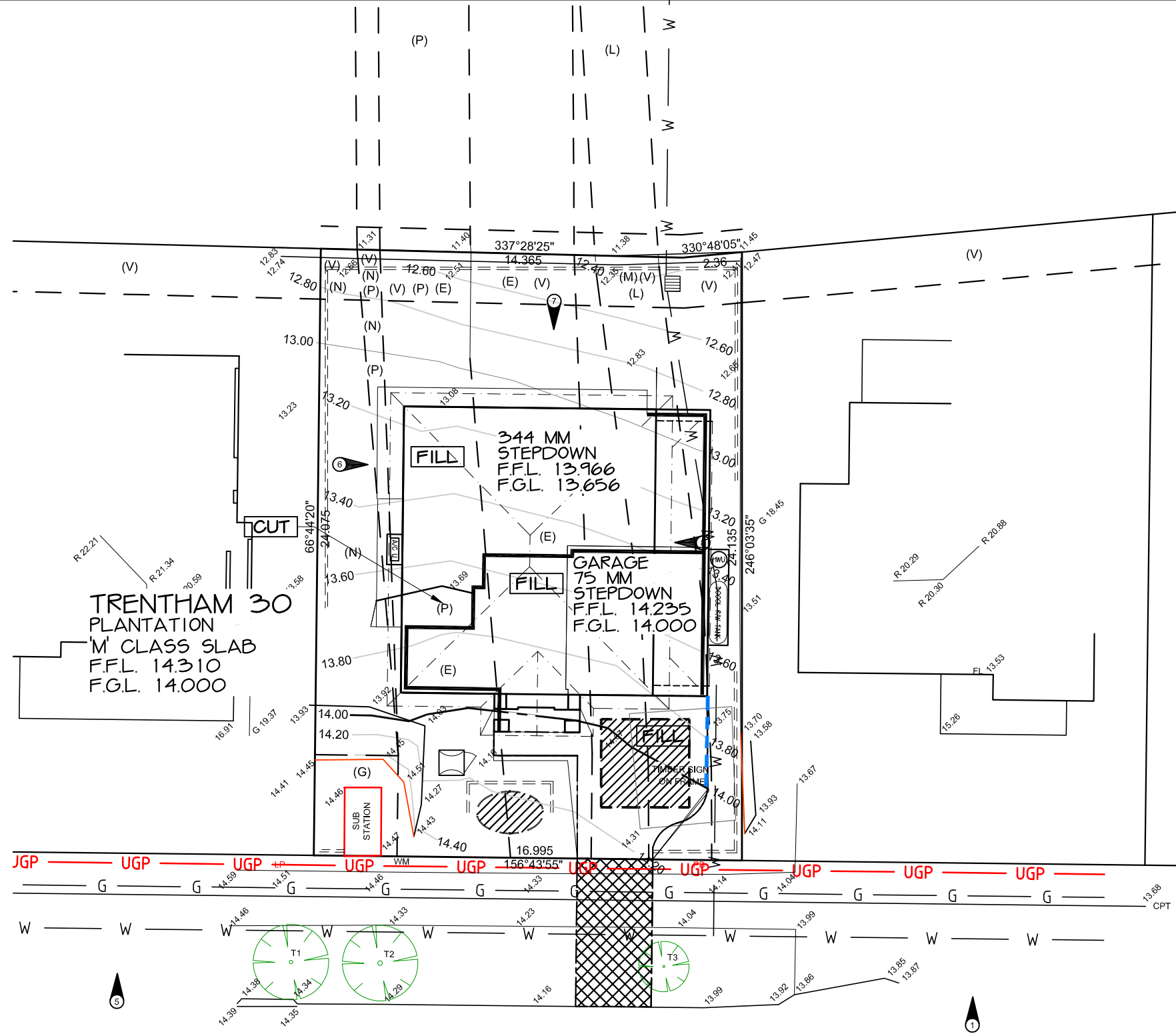
MATERIAL STORAGE AREA



PORTABLE TOILET



ALL WEATHER ACCESS POSITION



- (E) RIGHT OF CARRIAGEWAY 7.7 WIDE (E) (DP 1206507)
- (G) EASEMENT FOR ELECTRICITY PURPOSES 3.3 WIDE (G) (DP 1206507)
- (L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (L) (DP 1206507)
- (M) EASEMENT FOR ACCESS & DRAINAGE PURPOSES 2.5 WIDE (M) (DP 1206507)
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- (V) EASEMENT TO DRAIN WATER 2 WIDE (V) (DP 1206507)

	LOT NO: LOT 7.
	DEPOSITED PLAN: DP 1206507.
	COUNCIL / LGA: NORTHERN BEACHES
MGA	SLAB CLASS: M
	WIND SPEED: N2

**SURVEY LEGEND**

UGP	OHP	UGP
S	W	T
UGM	OHP	UGP
UGM	OHP	UGP

TOP OF KERB      EDGE OF BITUMEN

PP	XSV	GRATED
PB	SMH	BENCHMARK
SP	SIO	TREE
LP	CPT	GAS
HYD	KERB	STORMWATER
WM	STORMWATER	STORMWATER

**EROSION & SEDIMENT CONTROL PLAN**

**CONSTRUCTION PLAN**

**TEMPORARY FENCING:**  
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

**ALL WEATHER ACCESS:**  
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: 19.01.2021  
CONTOUR INTERVALS: 200MM  
LEVELS TO: AHD

**metricon**  
Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153  
P.O. Box 7510, Norwest Business Park NSW 2153  
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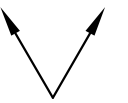




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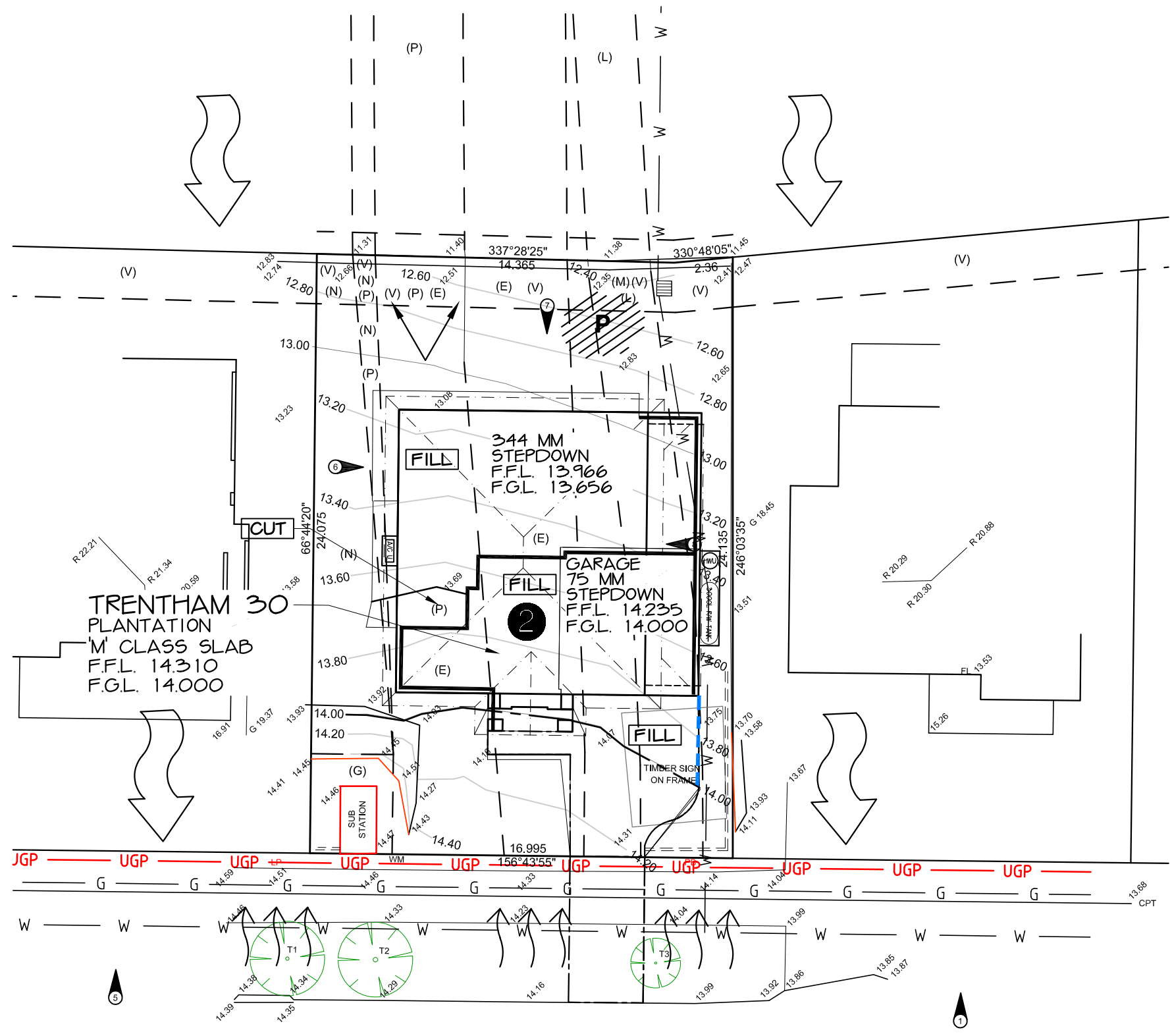
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LOT 7, NO 45 WARRIEWOOD ROAD  
WARRIEWOOD

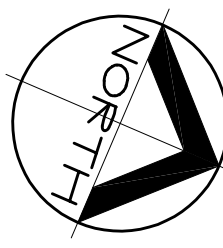
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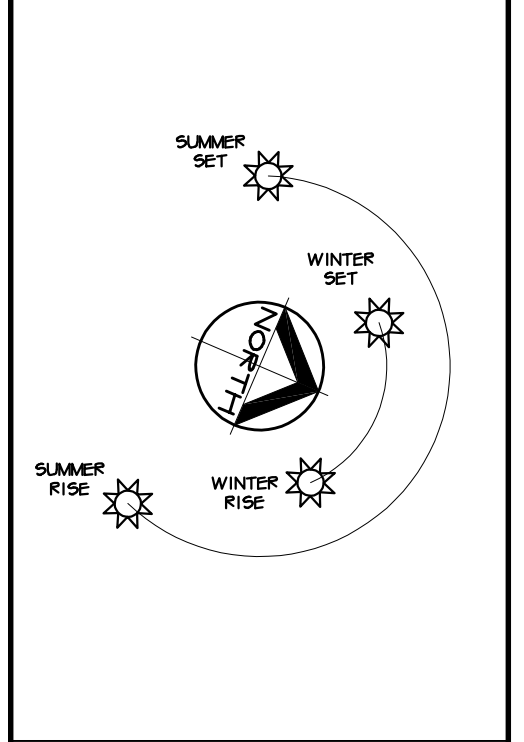
DATE: 11.08.2021	DRAWN: 503
SCALE: 1:200	SHEET: 1A OF 11
UBD REF: SYD XX XX	

**LEGEND**

-  MAIN VIEWS
-  PRIVATE OPEN SPACE
-  NUMBER OF STOREYS
-  NOISE SOURCE
-  PREVAILING WINDS FROM SOUTH-WEST



	LOT NO: <b>LOT 7.</b>	
	DEPOSITED PLAN: <b>DP 1206507.</b>	
	COUNCIL / LGA: <b>NORTHERN BEACHES</b>	
	SLAB CLASS:	<b>M</b>
	WIND SPEED:	<b>N2</b>
MGA		



**SITE ANALYSIS PLAN**

**TEMPORARY FENCING:**  
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

**ALL WEATHER ACCESS:**  
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: 19.01.2021

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

**m**  
**metricon**

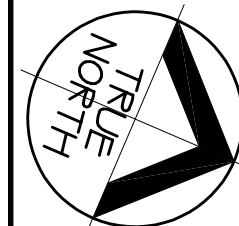
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**MR & MRS HODGES**  
LOT 7, NO 45 WARRIEWOOD ROAD  
WARRIEWOOD

JOB No: 720385

DATE: 11.08.2021	DRAWN: 503
SCALE: 1:200	SHEET: 1B OF 11
UBD REF: SYD XX XX	



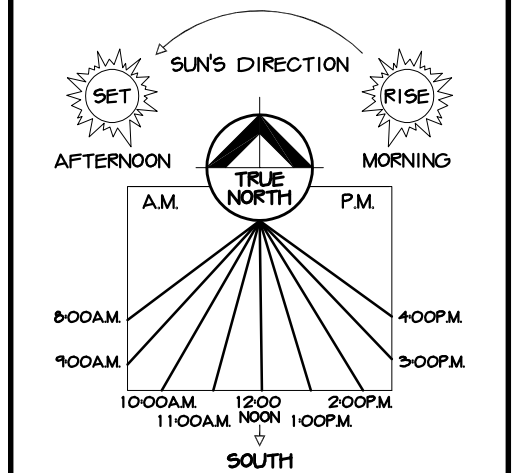
LOT NO:  
**LOT 7.**

DEPOSITED PLAN:  
**DP 1206507.**

COUNCIL / LGA:  
**NORTHERN BEACHES**

SLAB CLASS: **M**

WIND SPEED: **N2**



NOTE: PICTORIAL REPRESENTATION ONLY. NOT TO BE USED AS TRUE NORTH POINT FOR THIS JOB

**SHADOW LOCATION TIME OF DAY**

- 9:00 A.M. JUNE 21
- 12:00 NOON JUNE 21
- 3:00 P.M. JUNE 21

TIME	SHADOW LENGTH RATIO METRES	ALTITUDE (DEGREES)	AZIMUTH (DEGREES)
8:00 AM	5.82	9.76	53.12
9:00 AM	2.91	18.96	42.59
10:00 AM	2.02	26.33	30.01
11:00 AM	1.66	31.14	15.3
12:00 PM	1.56	32.72	359.19
1:00 PM	1.68	30.8	343.16
2:00 PM	2.08	25.7	328.65
3:00 PM	3.06	18.11	316.28
4:00 PM	6.48	8.77	305.94

INTRAX SURVEY DATE: 19.01.2021

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

**SHADOW DIAGRAM @ JUNE 21**

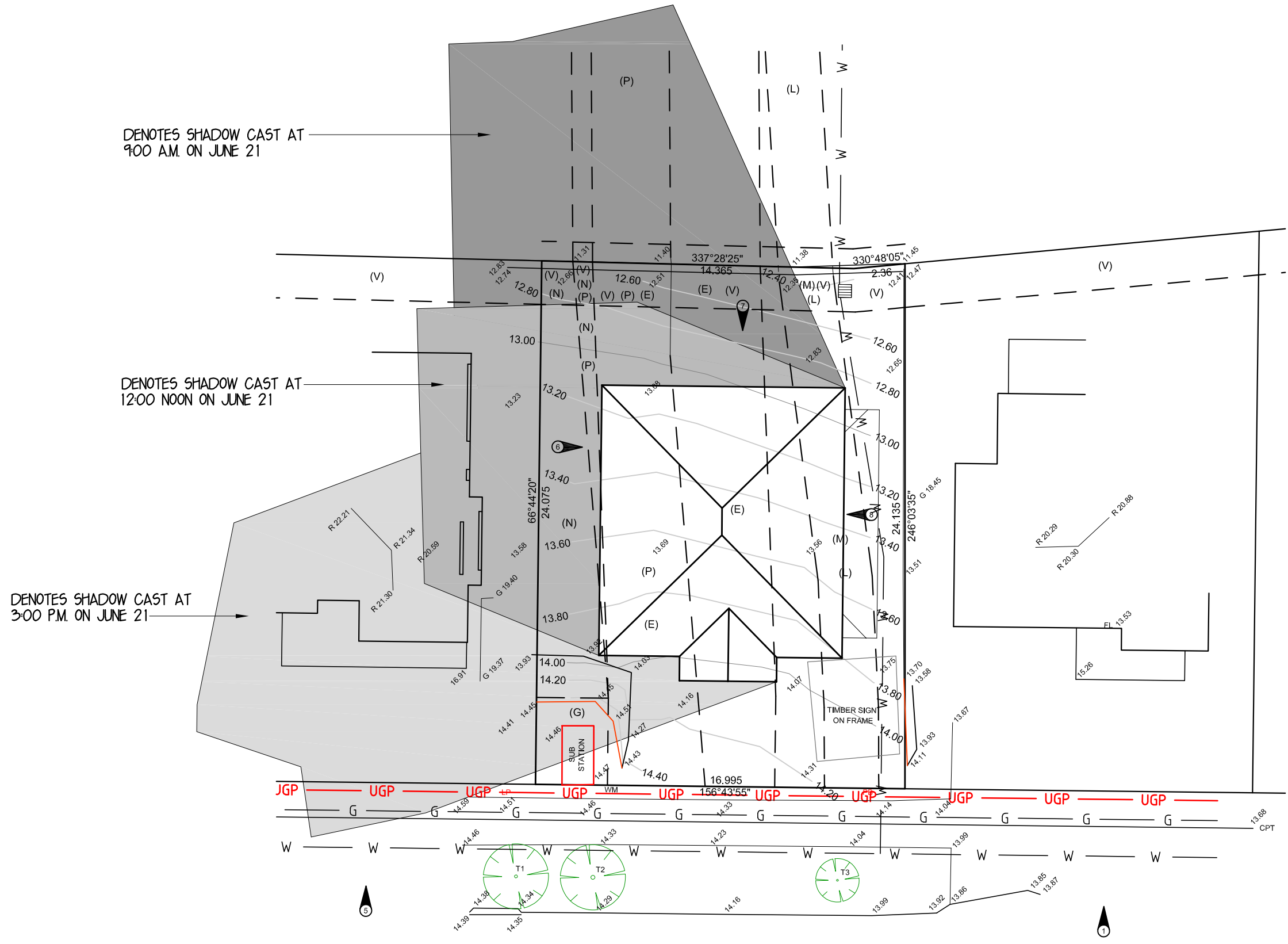
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**MR & MRS HODGES**  
**LOT 7, NO 45 WARRIEWOOD ROAD**  
**WARRIEWOOD**

JOB No: 720385

DATE: 11.08.2021	DRAWN: 503
SCALE: 1:200	SHEET: 1C OF 11
UBD REF: SYD XX XX	



DENOTES SHADOW CAST AT 9:00 A.M. ON JUNE 21

DENOTES SHADOW CAST AT 12:00 NOON ON JUNE 21

DENOTES SHADOW CAST AT 3:00 P.M. ON JUNE 21



PROVIDE 2340MM (H) INTERNAL DOORS TO THE GROUND FLOOR ONLY UNLESS OTHERWISE NOTED (EXCLUDES SLIDING ROBE DOORS)

**SYMBOL LEGEND** **FRAMING LEGEND**

DP ○	DOWNPIPE 90mm ROUND PVC		LOAD BEARING WALL
DP □	DOWNPIPE 100x50mm RECT. C/BOND		70mm STUD WALL
DP+SPR □	DOWNPIPE WITH SPREADER		120mm STUD WALL
RWH □	DOWNPIPE WITH RAINWATER HEAD		SMOKE ALARM
⊗	GARDEN TAP	APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2 & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED	
⊕	GAS BAYONET		EXHAUST FAN.
+	COLD WATER POINT	INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.	
FW ⊕	FLOOR WASTE 600x600 RECESSED		
	AIR COND. UNIT		
MH □	MANHOLE FOR CEILING ACCESS		
AJ ▽	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS		

AREAS:	GARAGE:	33.14 SQM	
GRD FLR:	105.00 SQM	PORTICO:	5.10 SQM
FIRST FLR:	115.53 SQM	BALCONY:	2.81 SQM
SUBTOTAL:		220.53 SQM	
TOTAL:		261.58 SQM	
		23.74 SQM	
		28.16 SQM	

DESIGN: **TRENTHAM 30**  
 FACADE: **PLANTATION** CEILING: 25, L  
 GARAGE: **DOUBLE** LOCATION: F

**GROUND FLOOR PLAN**

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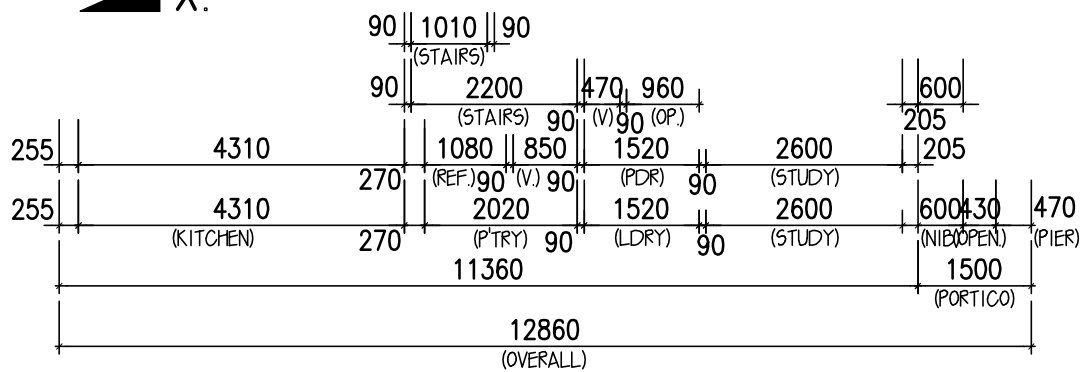
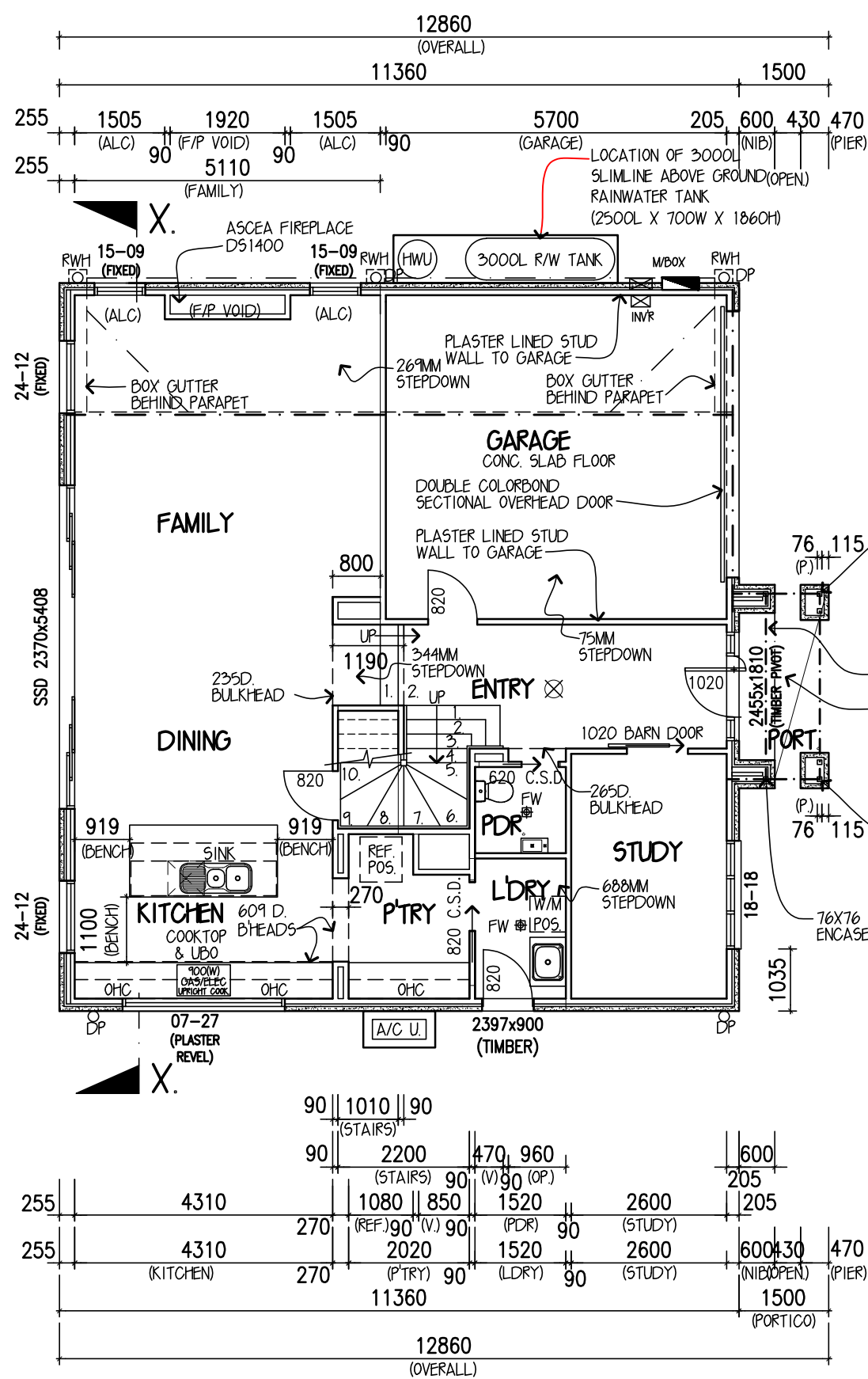
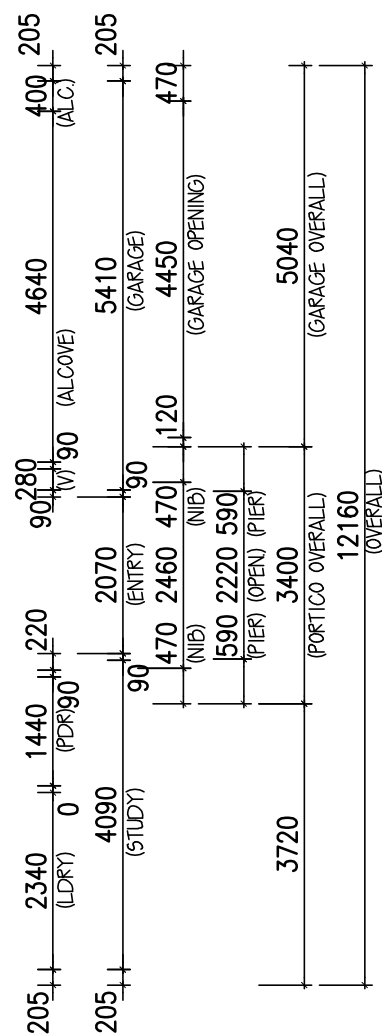
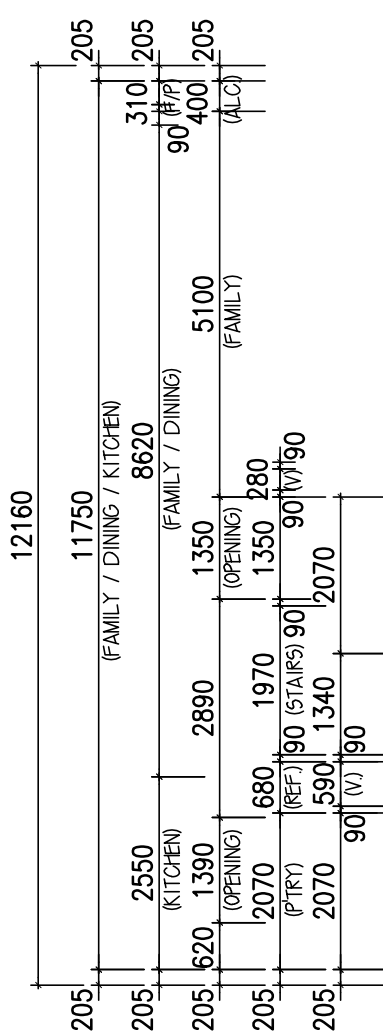
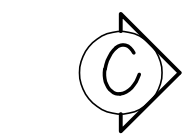


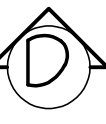
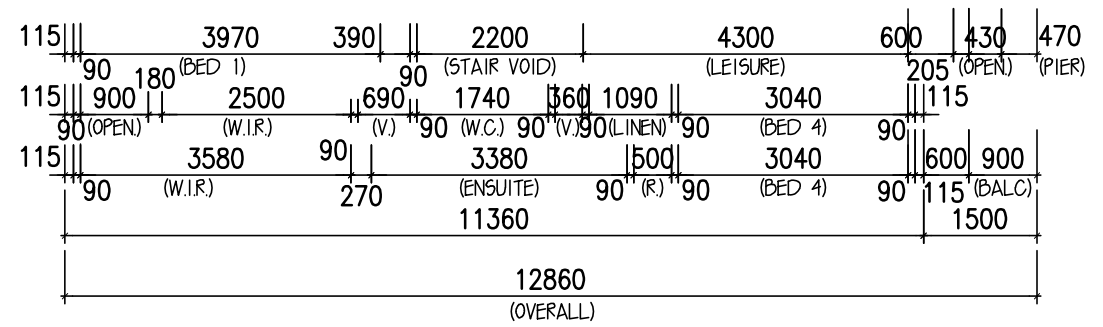
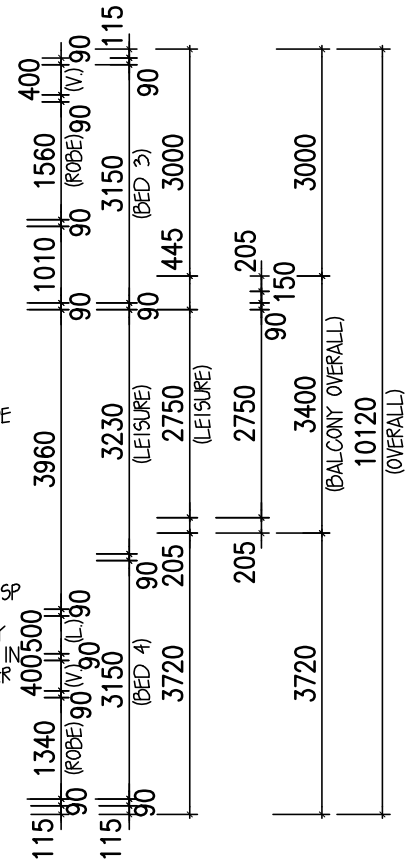
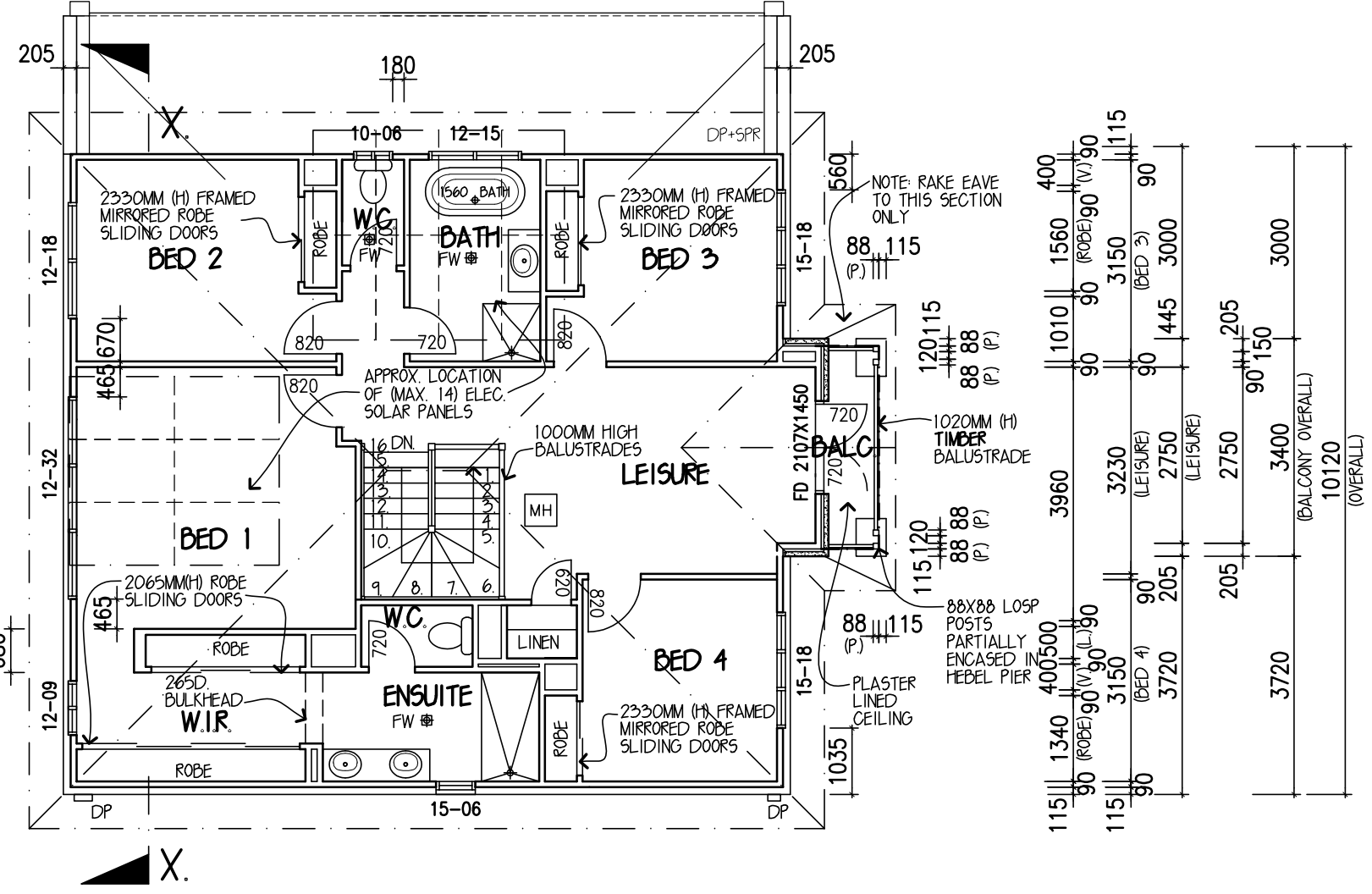
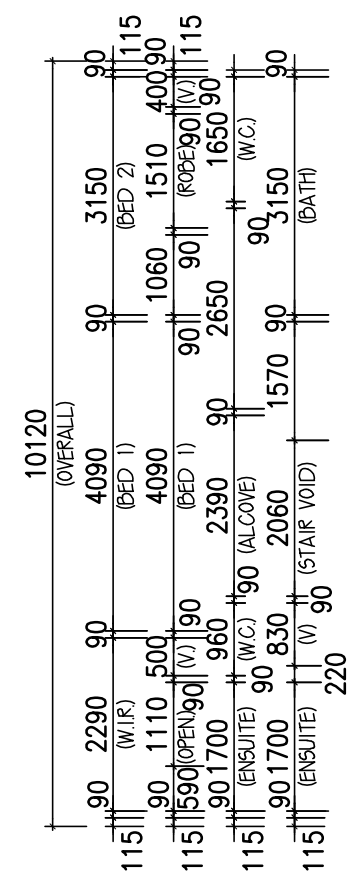
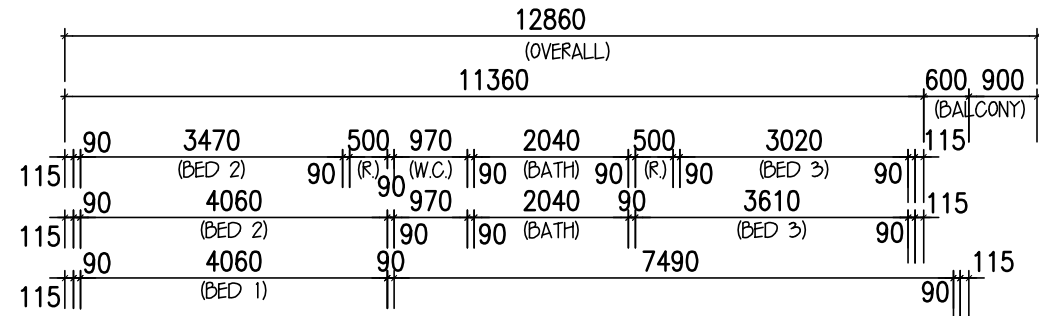
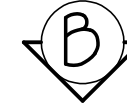
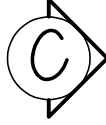
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OWNER: **MR & MRS HODGES**  
**LOT 7, NO 45 WARRIEWOOD ROAD**  
**WARRIEWOOD**

JOB No: <b>720385</b>	DATE: <b>17.02.2021</b>
FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>16.02.2017</b>
SCALE: <b>1:100 ON A3 SHEET</b>	REVISION: <b>F</b>
DRAWN: <b>CM8</b>	CHECK: <b>XX</b>
SHEET: <b>2</b> of <b>11</b>	





**SYMBOL LEGEND** **FRAMING LEGEND**

- DP ○ DOWNPIPE 90mm ROUND PVC
- DP □ DOWNPIPE 100x50mm RECT. c/BOND
- DP+SPR □ DOWNPIPE WITH SPREADER
- RWH □ DOWNPIPE WITH RAINWATER HEAD
- ⊕ GARDEN TAP
- ⊕ GAS BAYONET
- + COLD WATER POINT
- FW # FLOOR WASTE 600x600 RECESSED
- ELEC. METERBOX 600x600 RECESSED
- [A/C U] AIR COND. UNIT
- MH □ MANHOLE FOR CEILING ACCESS
- AJ ▼ ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
- ▬ LOAD BEARING WALL
- ▬ 70mm STUD WALL
- ▬ 120mm STUD WALL
- ⊗ SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2 & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED
- ⊗ EXHAUST FAN. INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.

AREAS:	GARAGE:	38.94 SQM
GRD FLR:	PORTICO:	7.49 SQM
FIRST FLR:	OUTDOOR:	0.00 SQM
SUBTOTAL:		238.79 SQM
TOTAL:		285.22 SQM
		25.70 SQM
		30.70 SQM

DESIGN: **TRENTHAM 30**

FACADE: **PLANTATION** CEILING: 25, L

GARAGE: **DOUBLE** LOCATION: F

**FIRST FLOOR PLAN**

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**WARRIEWOOD**

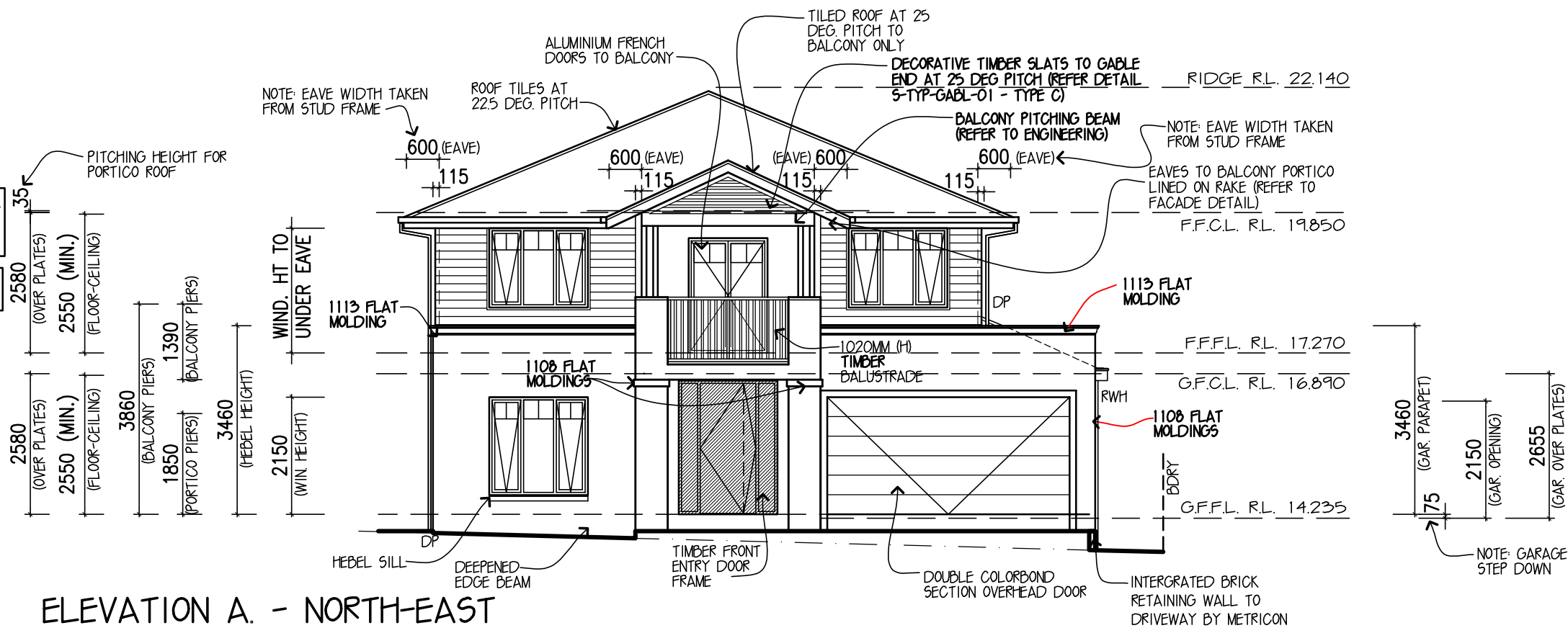
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SCALE: <b>1:100 ON A3 SHEET</b>	REVISION: <b>F</b>
DRAWN: <b>CM8</b>	CHECK: <b>XX</b>
SHEET: <b>3</b> of <b>11</b>	

**IMPORTANT NOTE:**  
REFER TO FACADE DETAIL  
REF. NO. **S-TYP-PLAN-07**

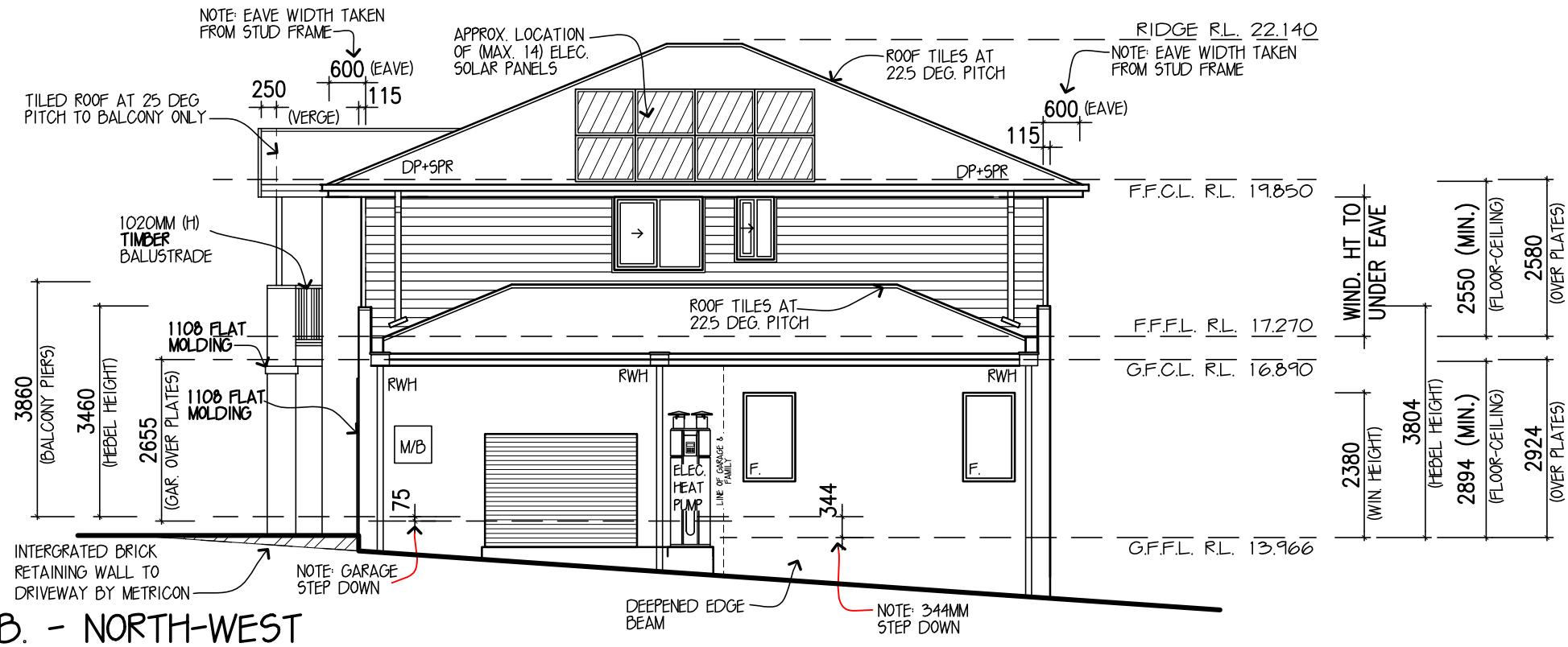
PROVIDE JAMES HARDIES SCYON  
**LINEA WEATHERBOARD CLADDING**  
TO FIRST FLOOR ELEVATIONS  
(UNLESS NOTED OTHERWISE)  
REFER TO DETAIL: **S-TYP-CLAD-02**

PROVIDE **ACRYLIC RENDER FINISH TO HEBEL  
PANELS** TO GROUND FLOOR ELEVATIONS  
(UNLESS NOTED OTHERWISE)

▨ DENOTES WINDOWS/DOORS WITH  
TRANSLUCENT GLAZING



**ELEVATION A. - NORTH-EAST**



**ELEVATION B. - NORTH-WEST**

**SYMBOL LEGEND**

- RECESSED ELECTRICITY METER BOX
- DOWNPIPE W/- RAINWATER HEAD
- ROOF VENTILATOR
- ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

DESIGN: **TRENTHAM 30**  
FACADE: **PLANTATION** CEILING: 25, L  
GARAGE: **DOUBLE** LOCATION: F



OWNER: **MR & MRS HODGES**  
**LOT 7 . NO 45 WARRIEWOOD ROAD**  
**WARRIEWOOD**

**ELEVATIONS**

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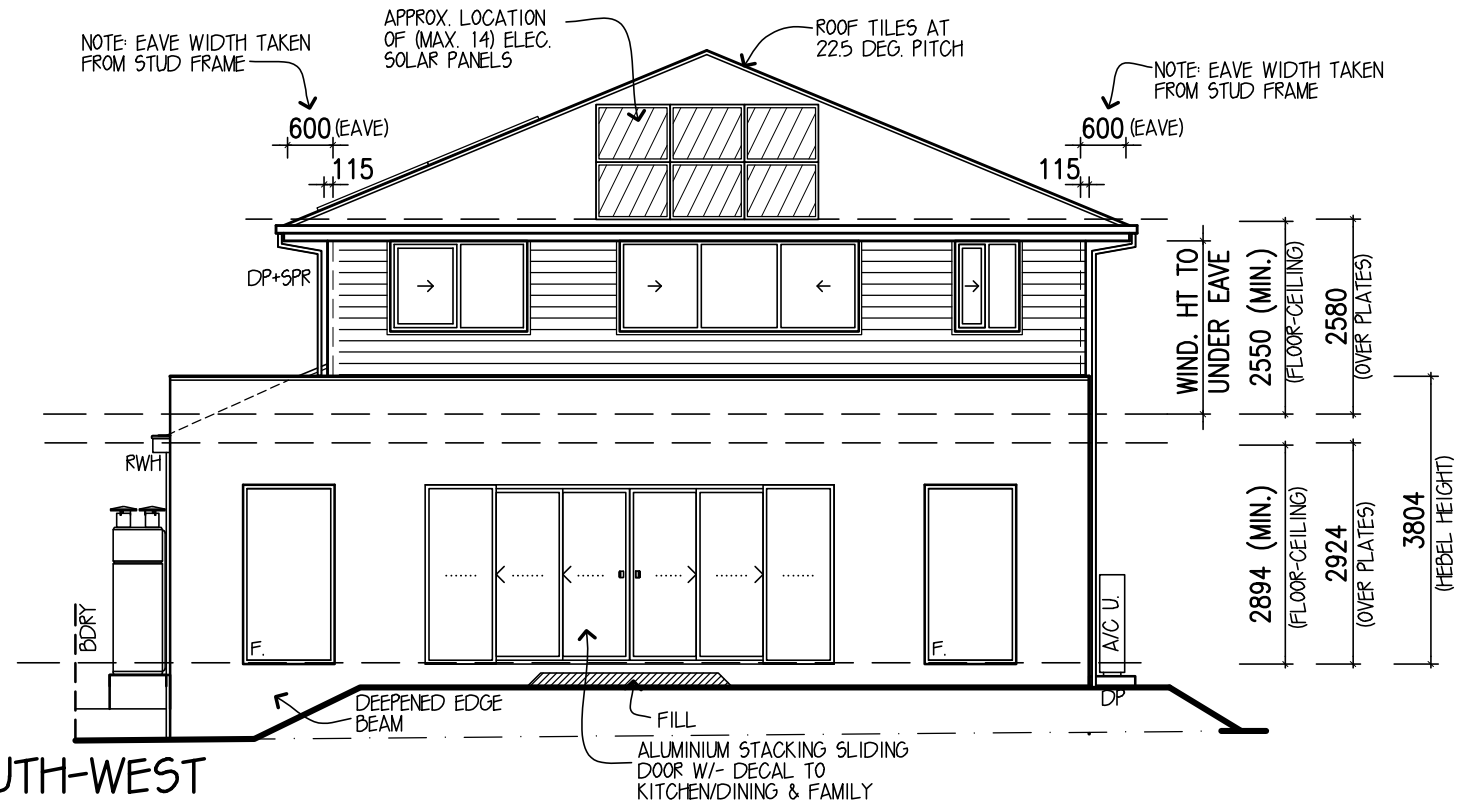
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SHEET: <b>4</b> of <b>11</b>	



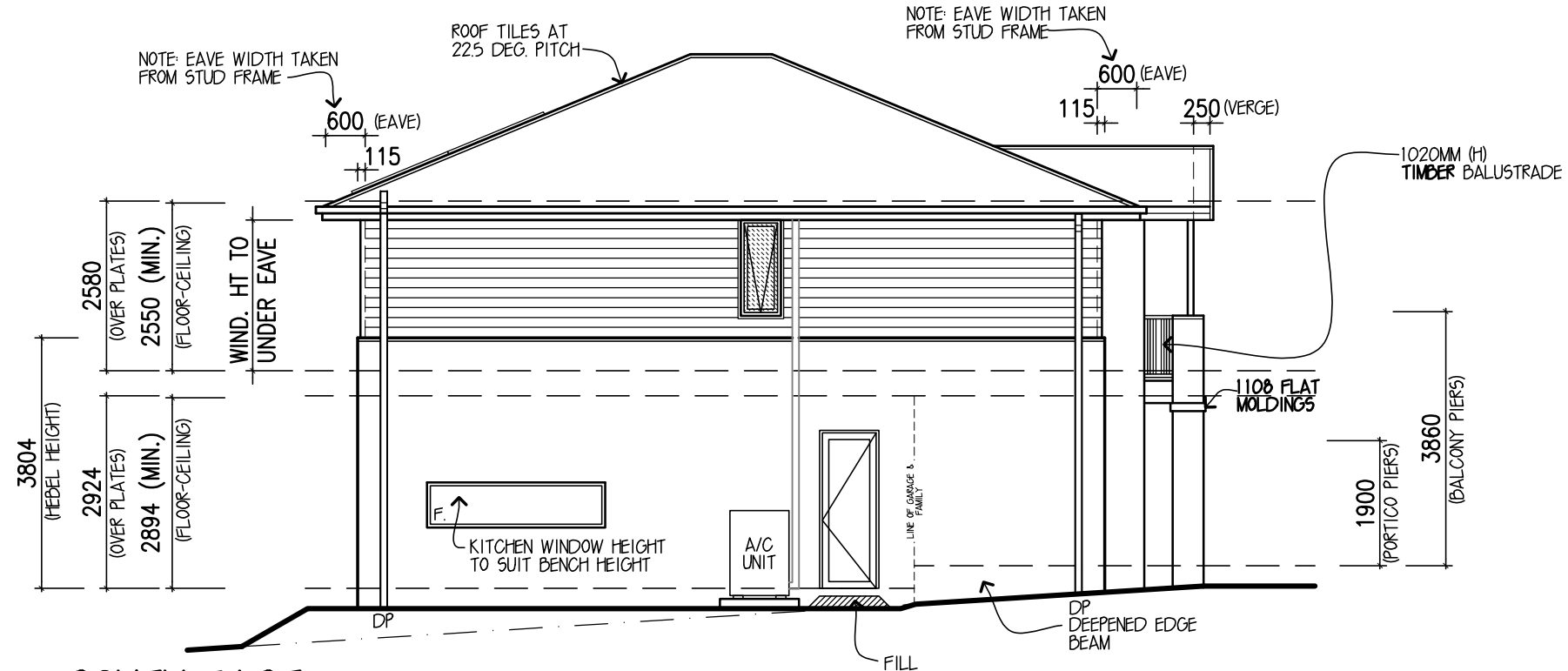
PROVIDE JAMES HARDIES SCYON LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: 5-TYP-CLAD-02

PROVIDE ACRYLIC RENDER FINISH TO HEBEL PANELS TO GROUND FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE)

DENOTES WINDOWS/DOORS WITH DECOR SATIN TOUCHED GLAZING







ELEVATION C. - SOUTH-WEST



ELEVATION D. - SOUTH-EAST

SYMBOL LEGEND

-  RECESSED ELECTRICITY METER BOX
-  DOWNPIPE W/- RAINWATER HEAD
-  ROOF VENTILATOR
-  ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

DESIGN: TRENTHAM 30  
 FACADE: PLANTATION CEILING: 25, L  
 GARAGE: DOUBLE LOCATION: F

**FREEDOM** | **m** metricon

OWNER: MR & MRS HODGES  
 LOT 7 . NO 45 WARRIEWOOD ROAD  
 WARRIEWOOD

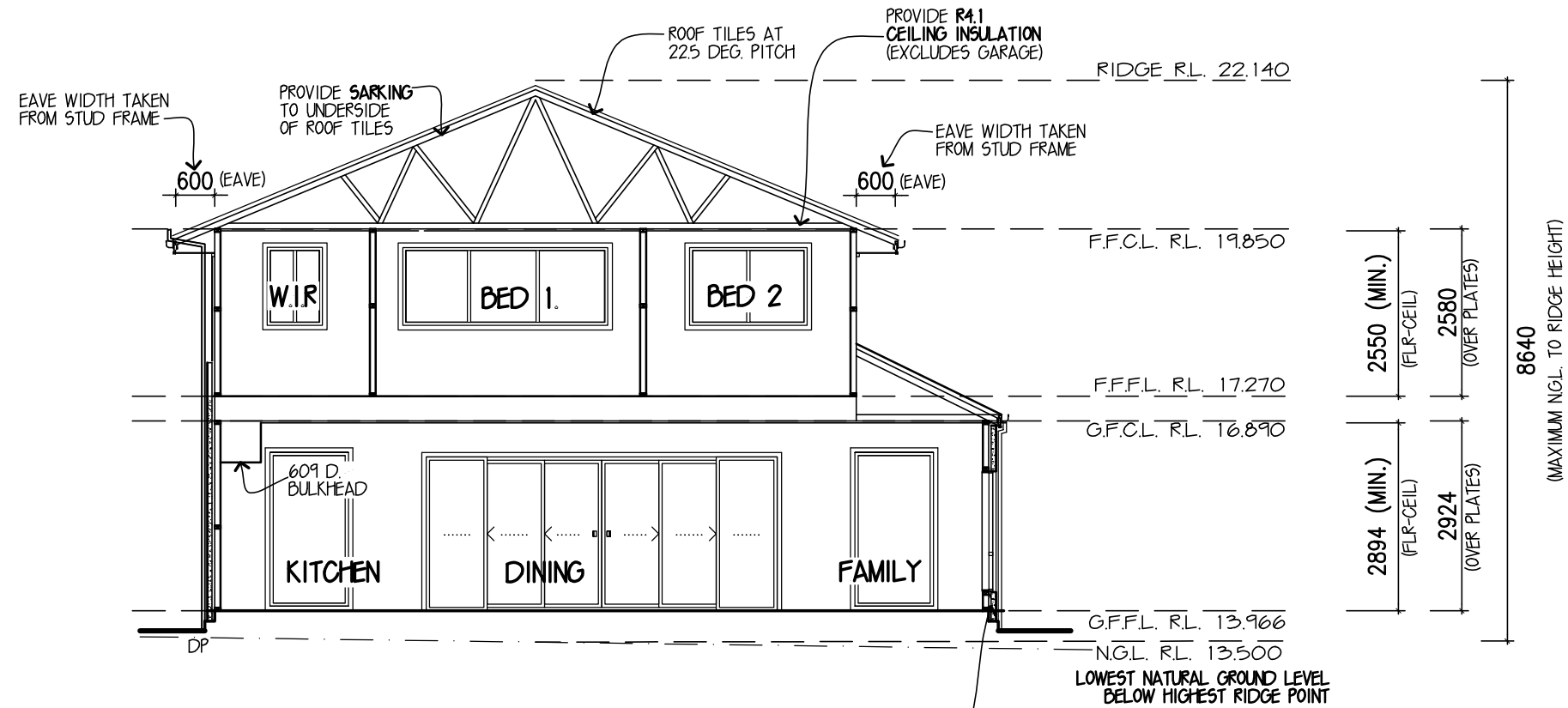
ELEVATIONS

BY METRICON

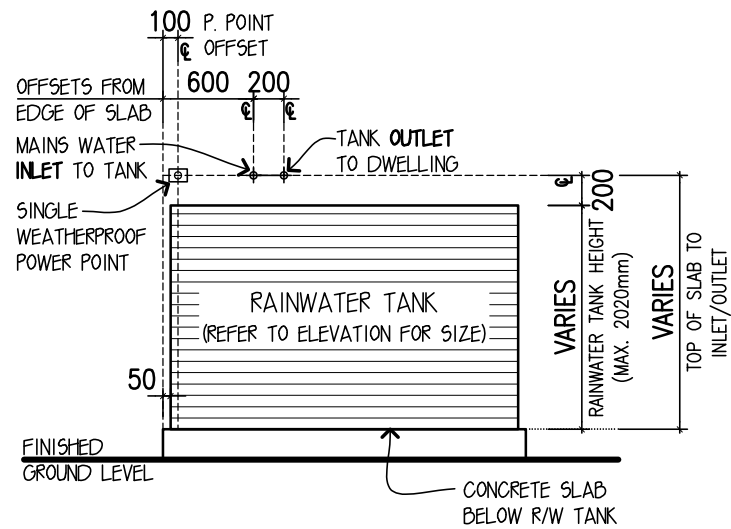
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 DRAWN: CMB CHECK: XX SHEET: 5 of 11

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PROVIDE SISALATION WALL-WRAP AND R2.0 INSULATION BATTS TO EXTERNAL WALLS (INCL. R2.0 INSULATION BATTS TO GARAGE/HOUSE INTERNAL WALL EXC. GARAGE EXTERNAL WALL)



ROUGH-IN POSITIONING (NOT TO SCALE)

### 'EVOLUTION' MK2 TANK DETAIL

(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)

DESIGN: **TRENTHAM 30**  
 FACADE: **PLANTATION** CEILING: 25, L  
 GARAGE: **DOUBLE** LOCATION: **F**

## SECTION

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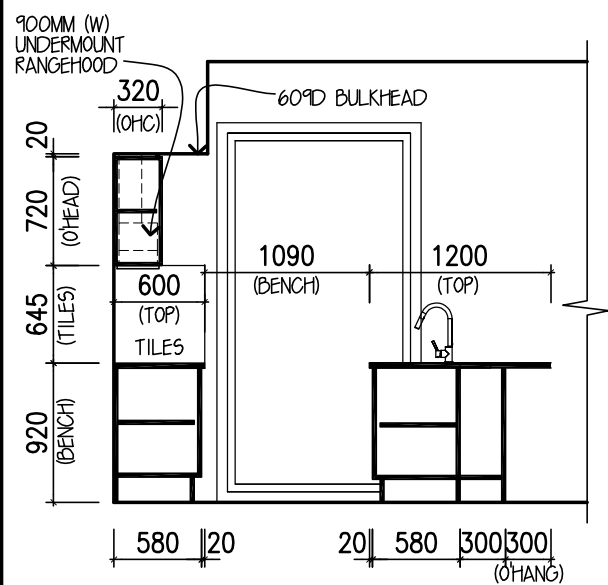
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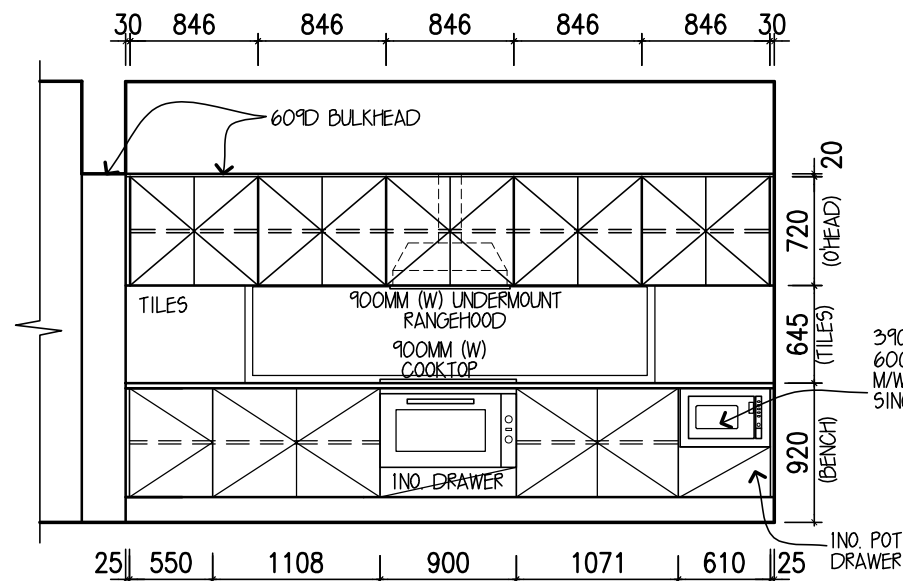
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**WARRIEWOOD**

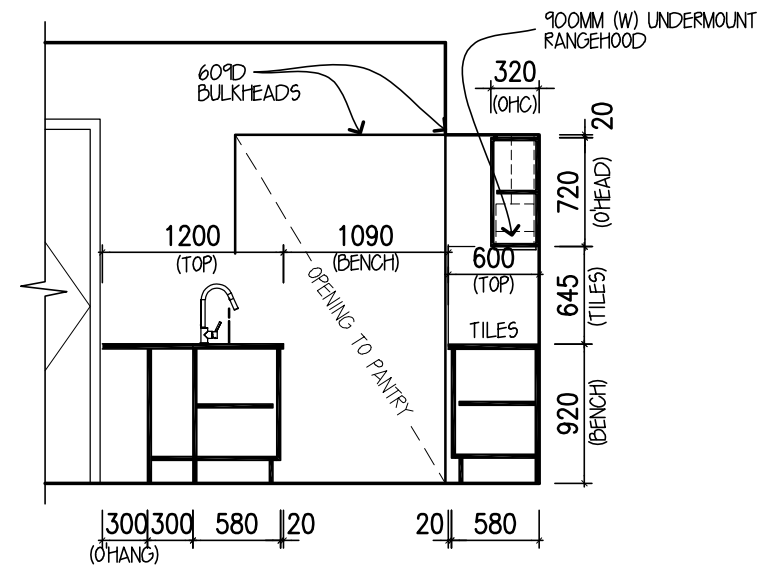
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FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>16.02.2017</b>
SCALE: <b>1:100 ON A3 SHEET</b>	REVISION: <b>F</b>
DRAWN: <b>CM8</b>	CHECK: <b>XX</b>
SHEET: <b>6</b> of <b>11</b>	



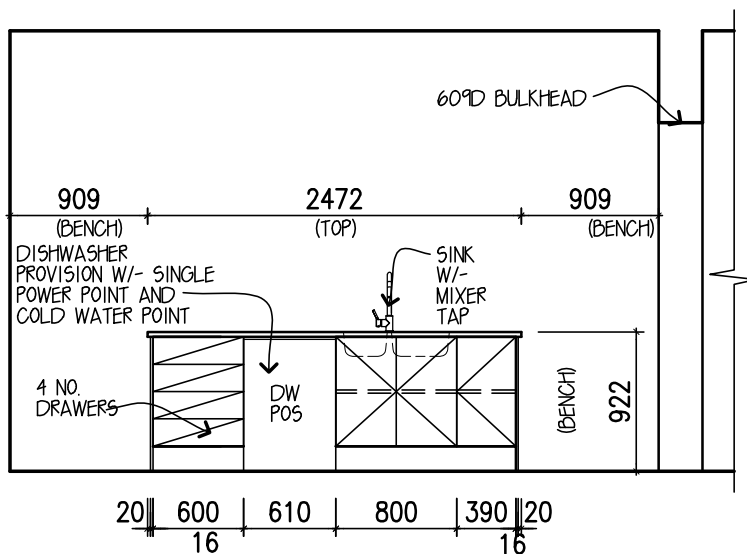
ELEVATION A  
KITCHEN



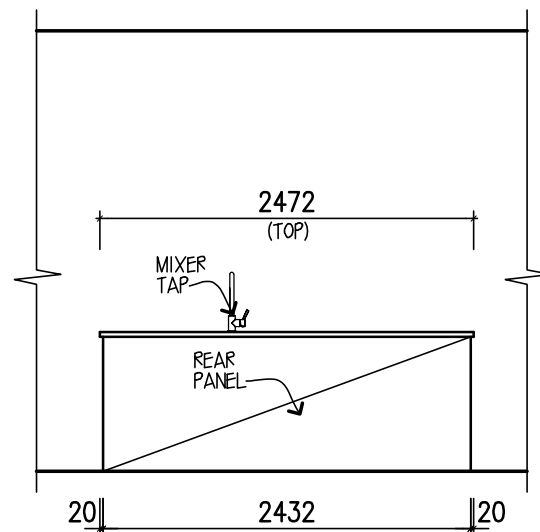
ELEVATION B



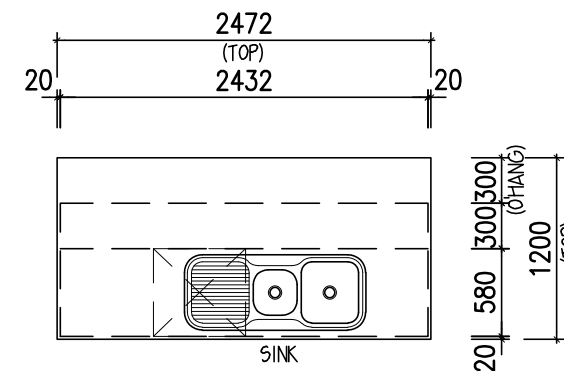
ELEVATION C



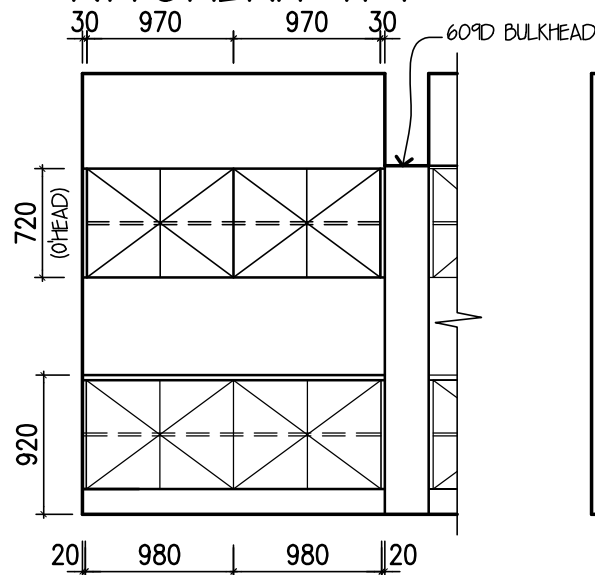
ELEVATION D  
KITCHEN/P'TRY



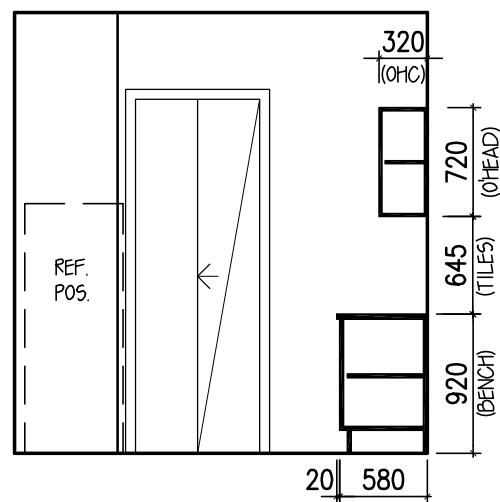
ELEVATION B (ISLAND  
BENCH)



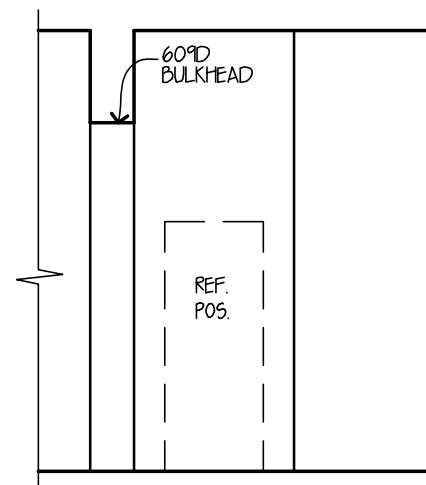
KITCHEN ISLAND  
BENCH DETAIL



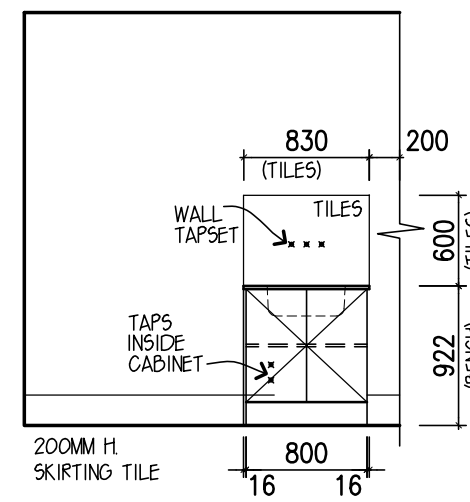
ELEVATION B  
PANTRY



ELEVATION C



ELEVATION D



ELEVATION A  
LAUNDRY

DESIGN: **TRENTHAM 30**  
 FACADE: **PLANTATION** CEILING: 25, L  
 GARAGE: **DOUBLE** LOCATION: F

**INTERNALS**

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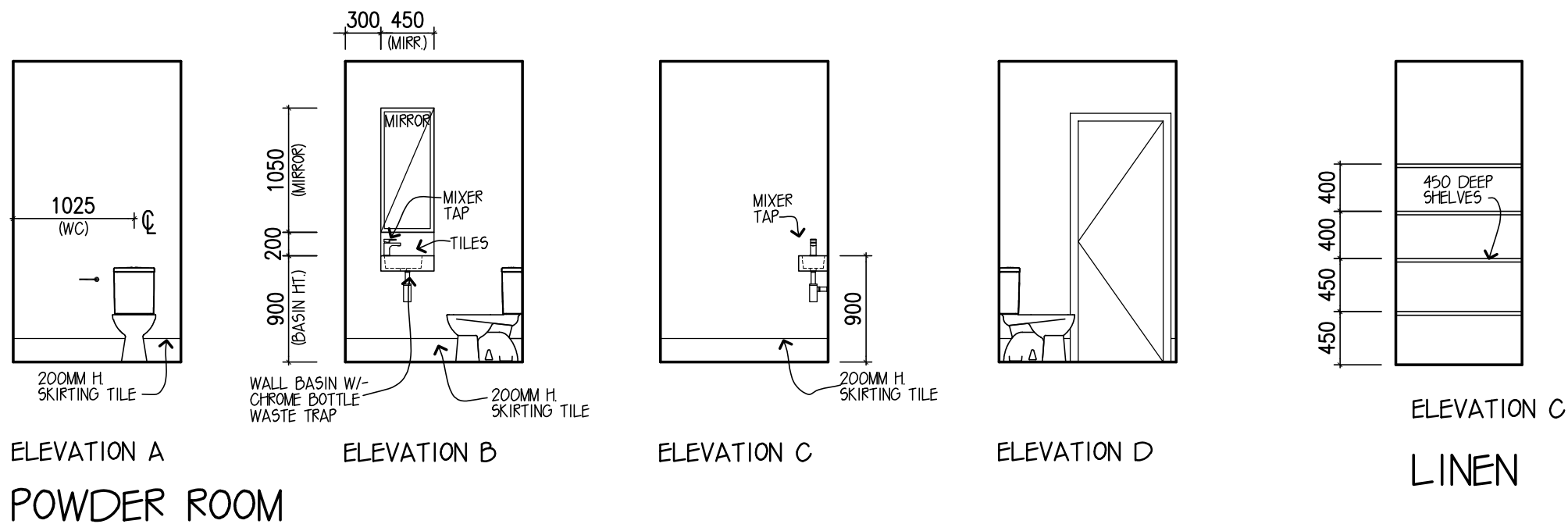
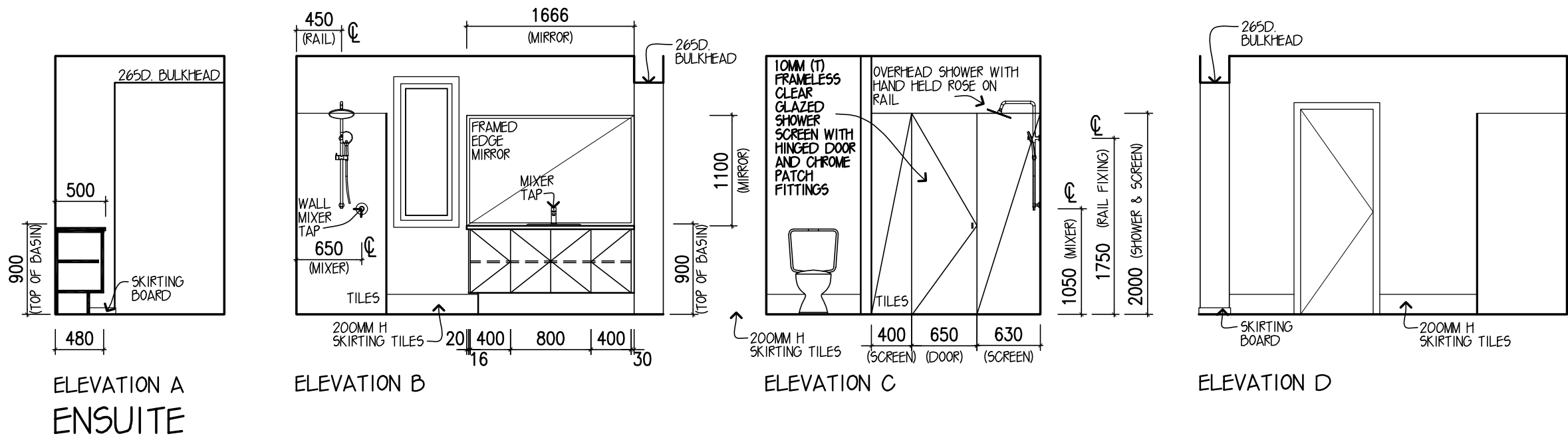
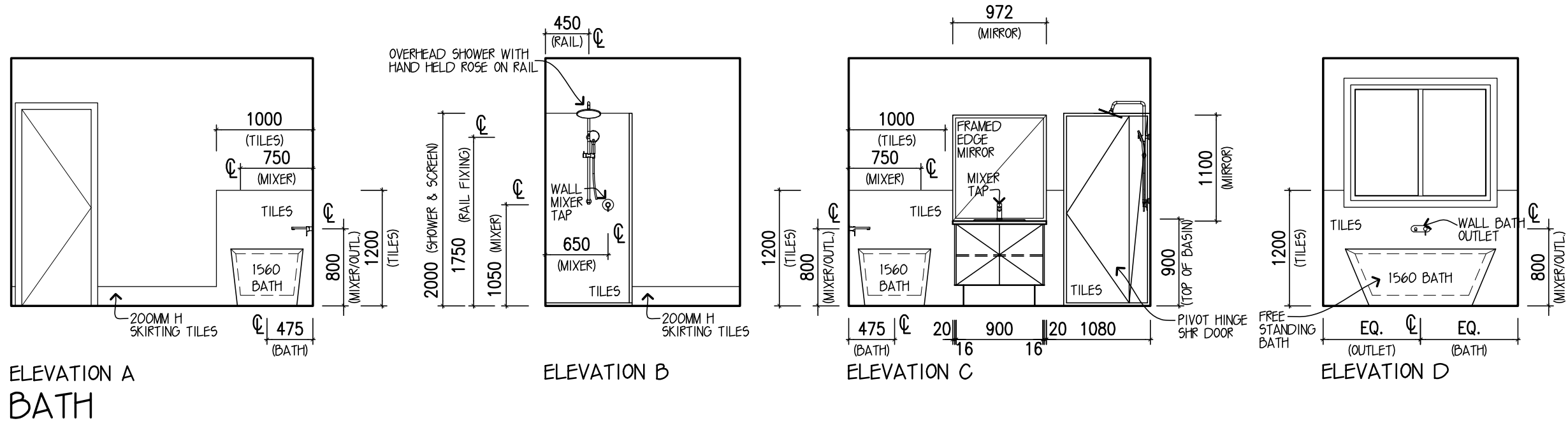
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**LOT 7 . NO 45 WARRIEWOOD ROAD**  
**WARRIEWOOD**

JOB No: **720385** DATE: **17.02.2021**  
 FC DATE: **DD.MM.YYYY** MST VER: **16.02.2017**  
 SCALE: **1:50 ON A3 SHEET** REVISION: **F**  
 DRAWN: **CM8** CHECK: **XX** SHEET: **7 of 11**





DESIGN: **TRENTHAM 30**  
 FACADE: **PLANTATION** CEILING: 25, L  
 GARAGE: **DOUBLE** LOCATION: F

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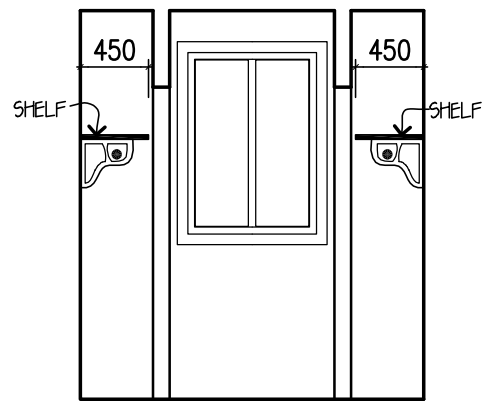


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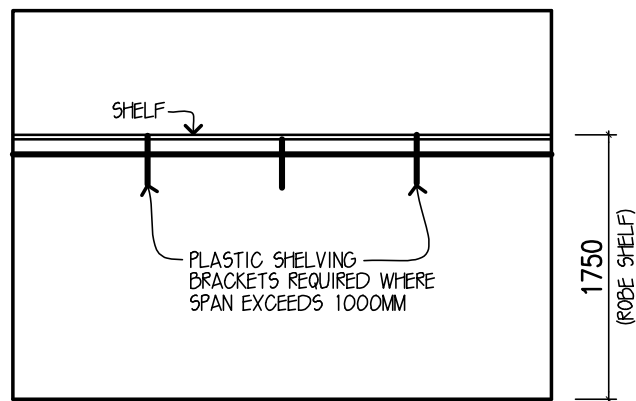
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**WARRIEWOOD**

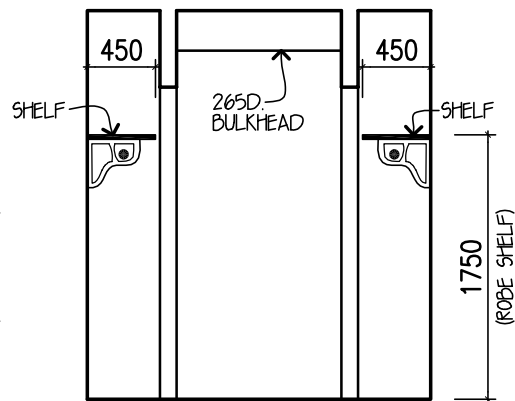
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FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>16.02.2017</b>
SCALE: <b>1:50 ON A3 SHEET</b>	REVISION: <b>F</b>
DRAWN: <b>CM8</b>	CHECK: <b>XX</b>
SHEET: <b>8</b> of <b>11</b>	



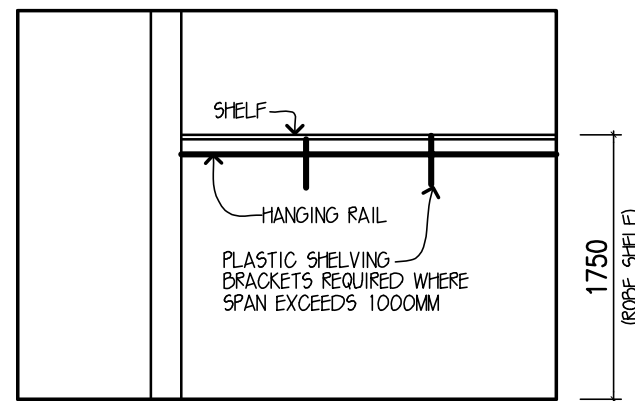
ELEVATION A  
W.I.R.



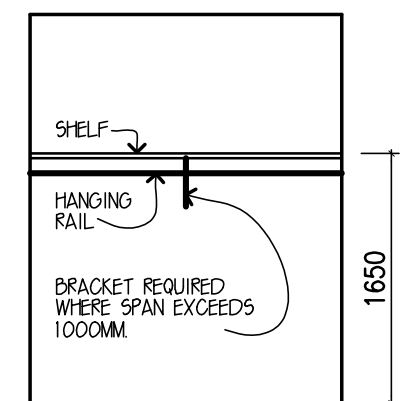
ELEVATION B



ELEVATION C



ELEVATION D



BED'S 2,3&4 (TYPICAL)  
ROBE

DESIGN: TRENTHAM 30  
 FACADE: PLANTATION CEILING: 25, L  
 GARAGE: DOUBLE LOCATION: F

INTERNALS

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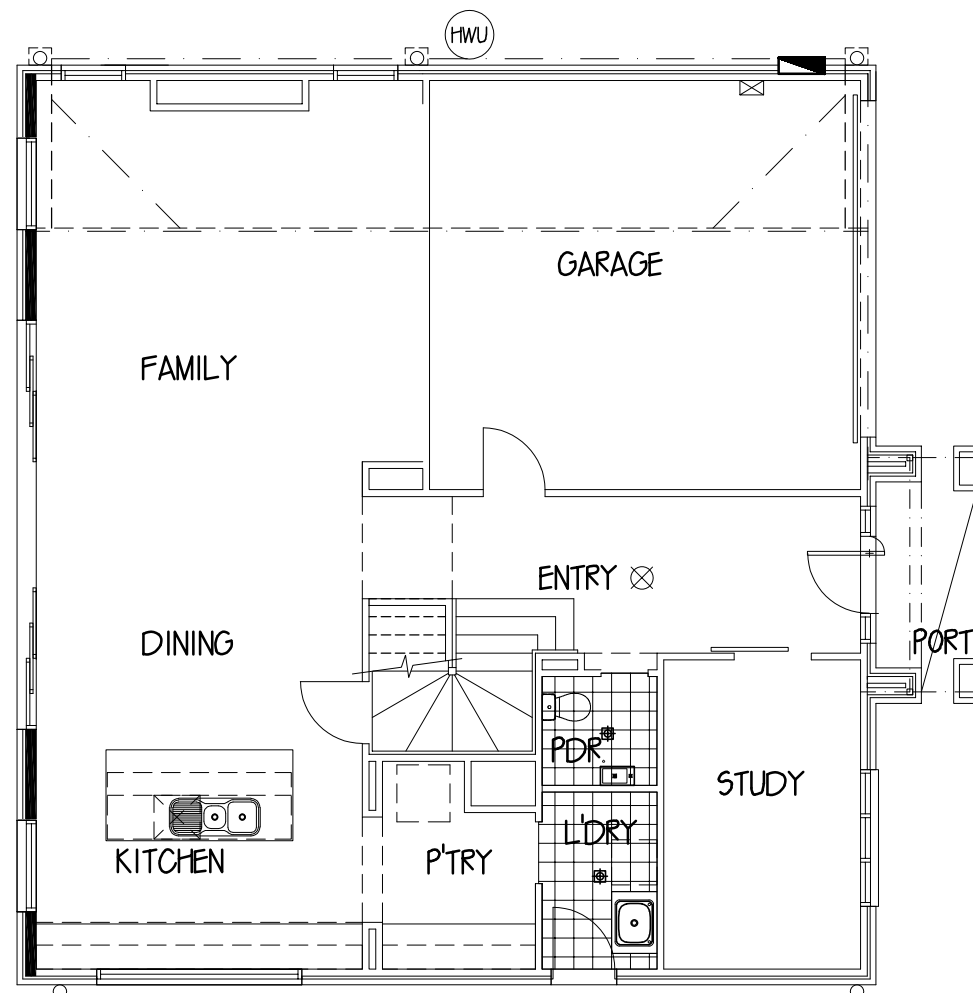


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
Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153  
 P.O. Box 7510, Norwest Business Park NSW 2153  
 Tel: 02 8887 9000 Fax: 02 8079 5901  
 Contractor Licence No: 174 699 A.C.N. 005 108 752  
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OWNER: MR & MRS HODGES  
 LOT 7, NO 45 WARRIEWOOD ROAD  
 WARRIEWOOD


JOB No: 720385	DATE: 17.02.2021
FC DATE: DD.MM.YYYY	MST VER: 16.02.2017
SCALE: 1:50 ON A3 SHEET	REVISION: F
DRAWN: CM8	CHECK: XX SHEET: 9 of 11




**FLOOR COVERINGS LEGEND**

 WET AREA FLOOR TILING  
TOTAL AREA: 5.32 SQM

 TIMBER FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM

 CARPET FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM

 TILED FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM

DESIGN: TRENTHAM 30  
FACADE: PLANTATION CEILING: 25, L  
GARAGE: DOUBLE LOCATION: F

**FREEDOM**

**m**  
metricon

OWNER: MR & MRS HODGES  
LOT 7 . NO 45 WARRIWOOD ROAD  
WARRIWOOD

**GROUND FLOOR  
FLOOR COVERINGS**

BY METRICON

JOB No: 720385 DATE: 17.02.2021

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FC DATE: DD.MM.YYYY MST VER: 16.02.2017

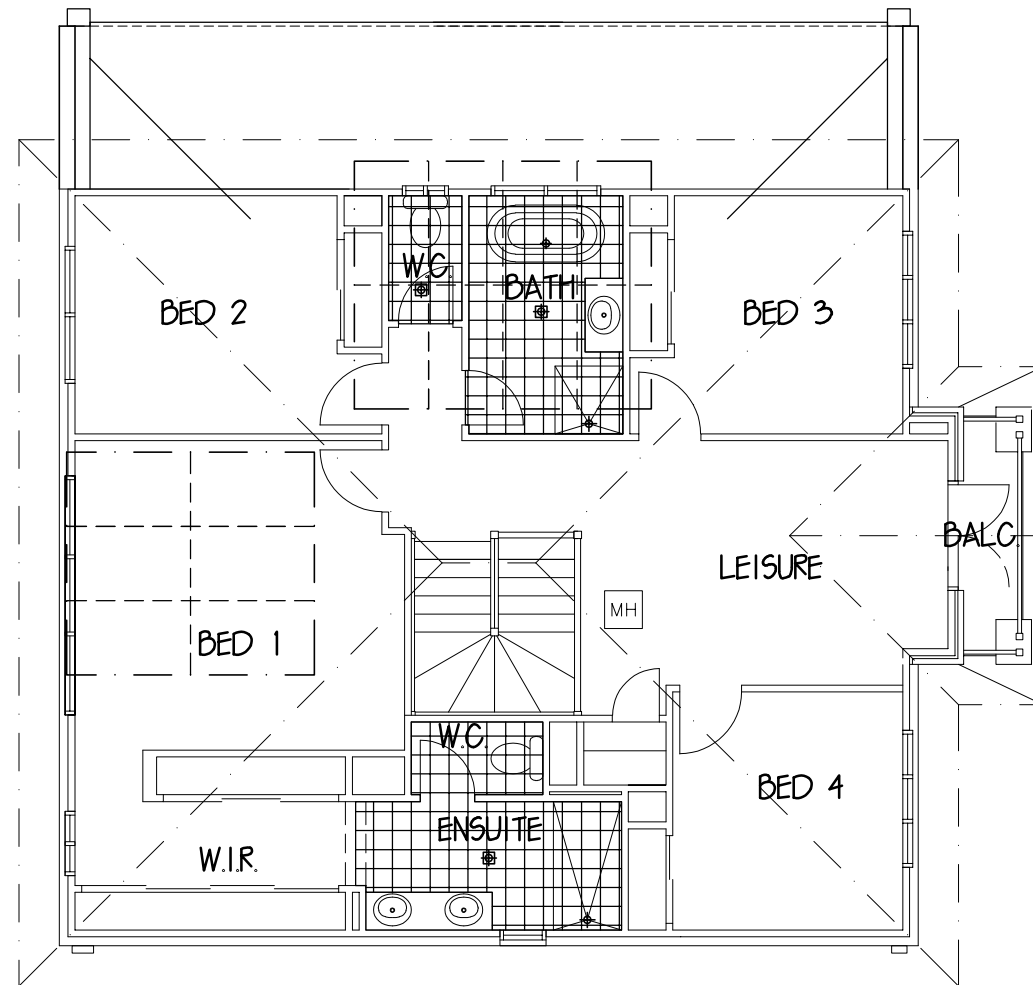
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
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DRAWN: CMB CHECK: XX SHEET: 10 of 11







**FLOOR COVERINGS LEGEND**

 WET AREA FLOOR TILING  
TOTAL AREA: 14.4 SQM

 TIMBER FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM

 CARPET FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM

 TILED FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM

DESIGN: TRENTHAM 30  
FACADE: PLANTATION CEILING: 25, L  
GARAGE: DOUBLE LOCATION: F

**FREEDOM**

**m**  
metricon

OWNER: MR & MRS HODGES  
LOT 7 . NO 45 WARRIEWOOD ROAD  
WARRIEWOOD

**FIRST FLOOR  
FLOOR COVERINGS**

BY METRICON

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