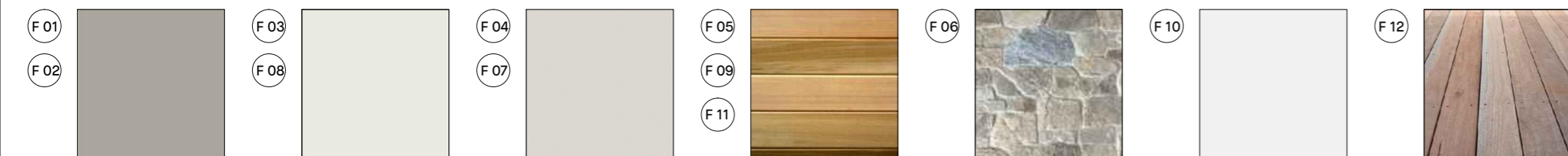
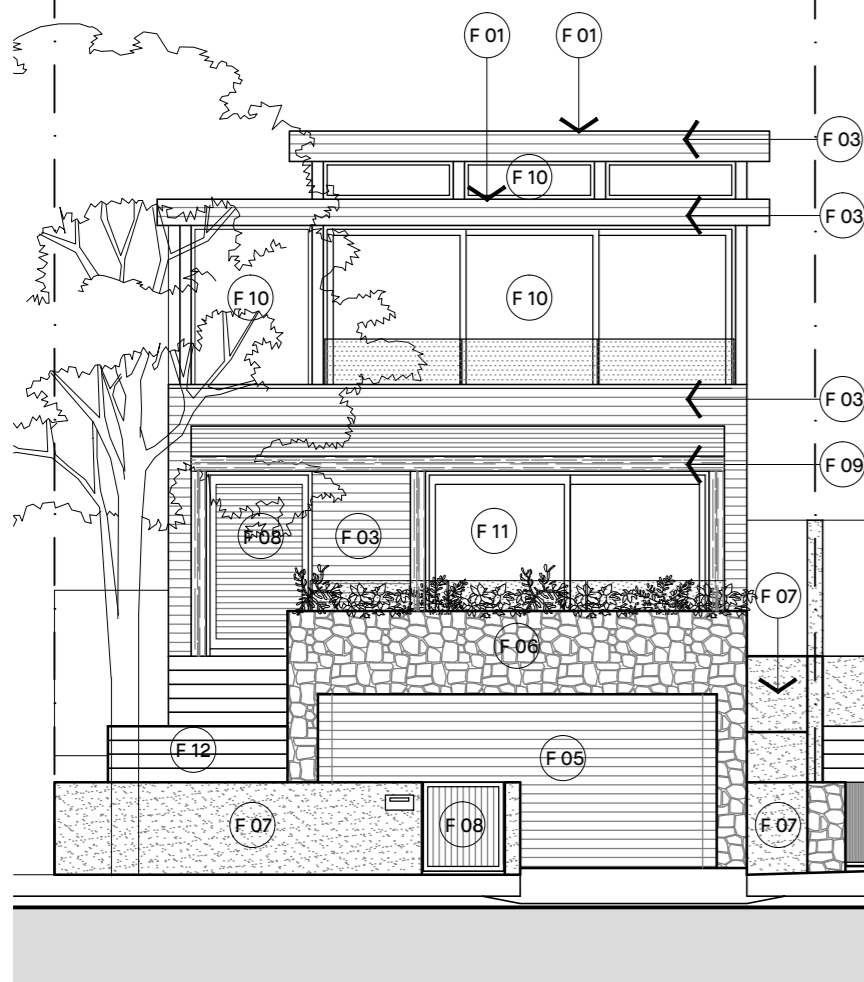


LEGEND

KEY	MATERIAL	FINISH	COLOUR
F 01	STEEL ROOFING- KLIP LOK	COLORBOND	DUNE
F 02	STEEL ROOFING GUTTERS + DOWNPIPES	COLORBOND	DUNE
F 03	TIMBER WEATHERBOARD CLADDING	PAINT	DULUX 'WHISPER WHITE'
F 04	RENDERED EXSULITE CLADDING	PAINT	DULUX 'LIMED WHITE HALF'
F 05	TIMBER CLADDING	OIL	WESTERN RED CEDAR- NATURAL
F 06	STONE CLAD MASONRY	ROCK FACE	'WOLLOMBI' QUARTZITE CLADDING
F 07	RENDERED MASONRY	PAINT	DULUX 'LIMED WHITE HALF'
F 08	TIMBER TRIMS	PAINT	DULUX 'WHISPER WHITE'
F 09	TIMBER TRIMS	OIL	WESTERN RED CEDAR
F 10	ALUMINIUM FRAMED WINDOWS AND DOORS	POWDERCOAT	DULUX 'ELECTRO' FLAT WHITE
F 11	TIMBER FRAMED WINDOWS AND DOORS	OIL	WESTERN RED CEDAR
F 12	TIMBER DECKING	OIL	HARDWOOD EG BLACKBUTT



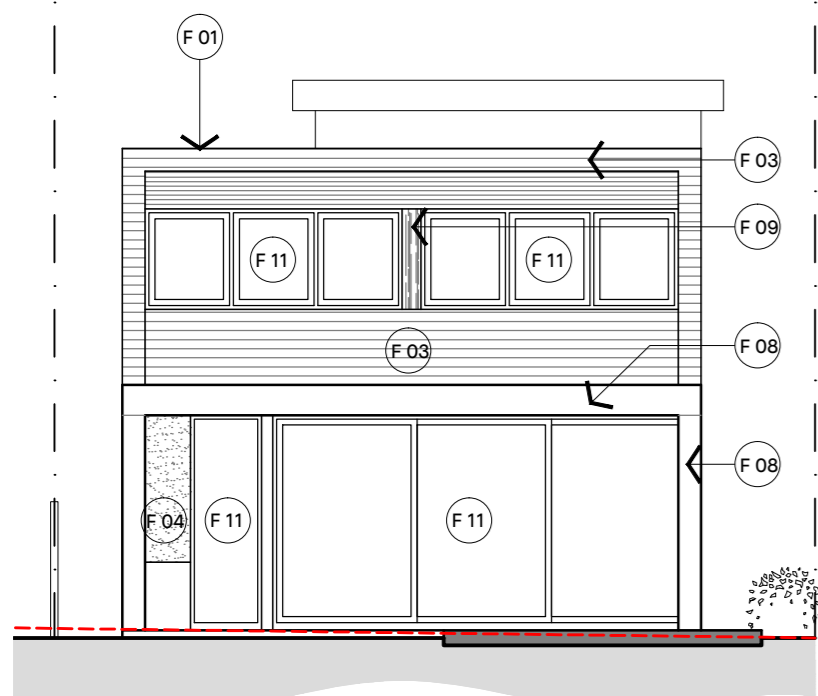
01 NORTH (ALAN AVE) ELEVATION



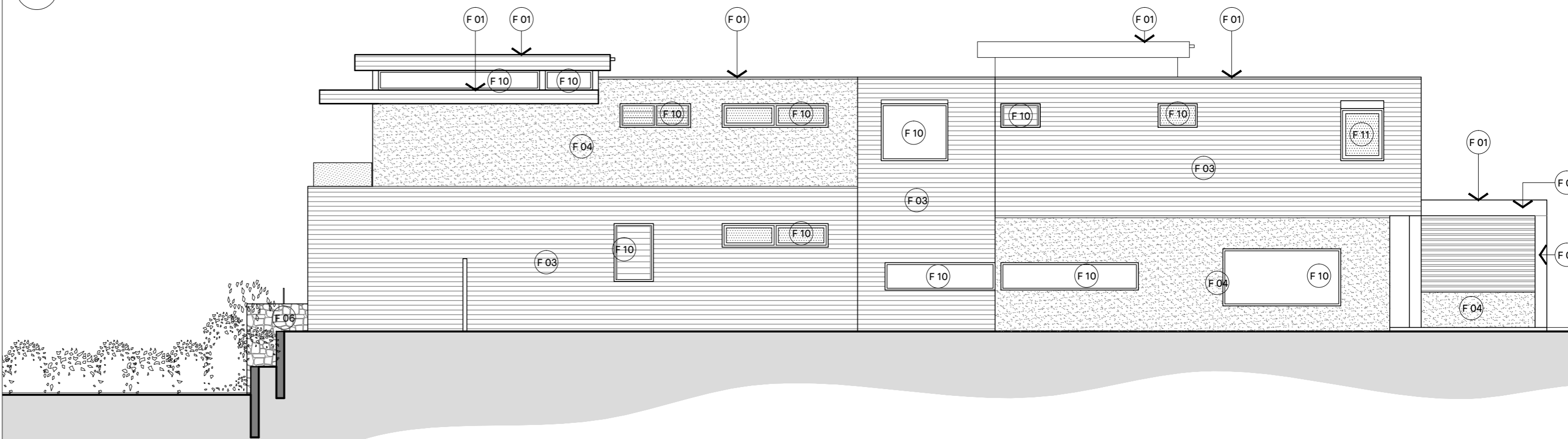
02 EAST ELEVATION



03 SOUTH ELEVATION



04 WEST ELEVATION



NICK BELL ARCHITECTS

+61 2 9699 3572
ADMIN@NICKBELLARCHITECTS.COM
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REV	DATE	DESCRIPTION
A	12.12.19	ISSUED FOR DEVELOPMENT APPLICATION

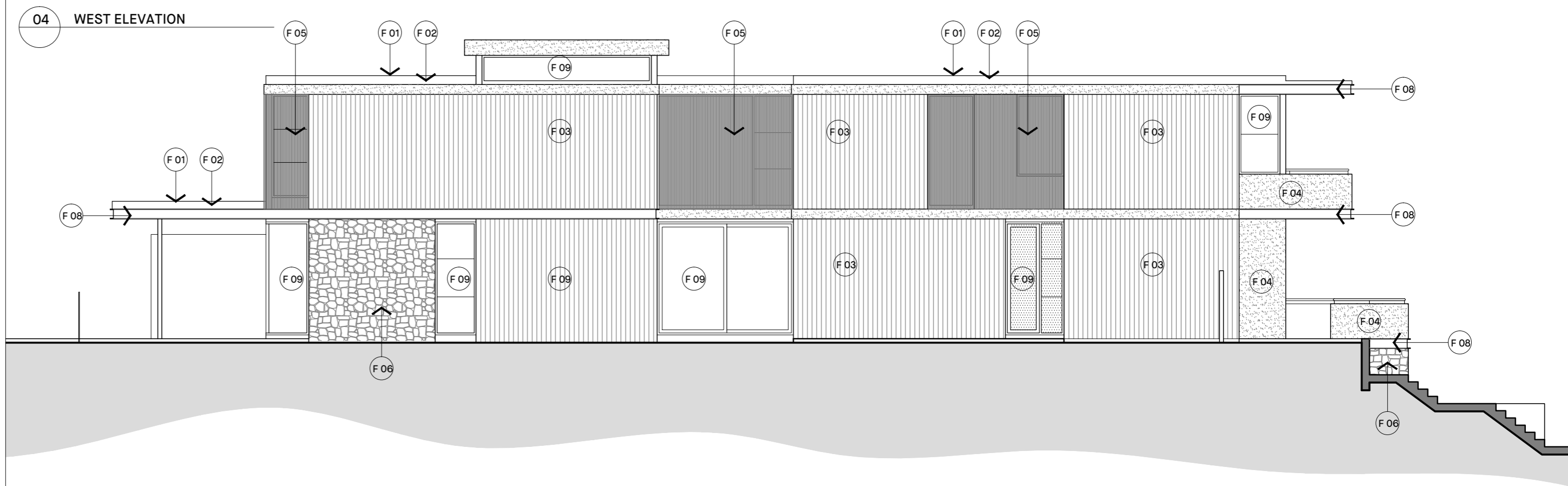
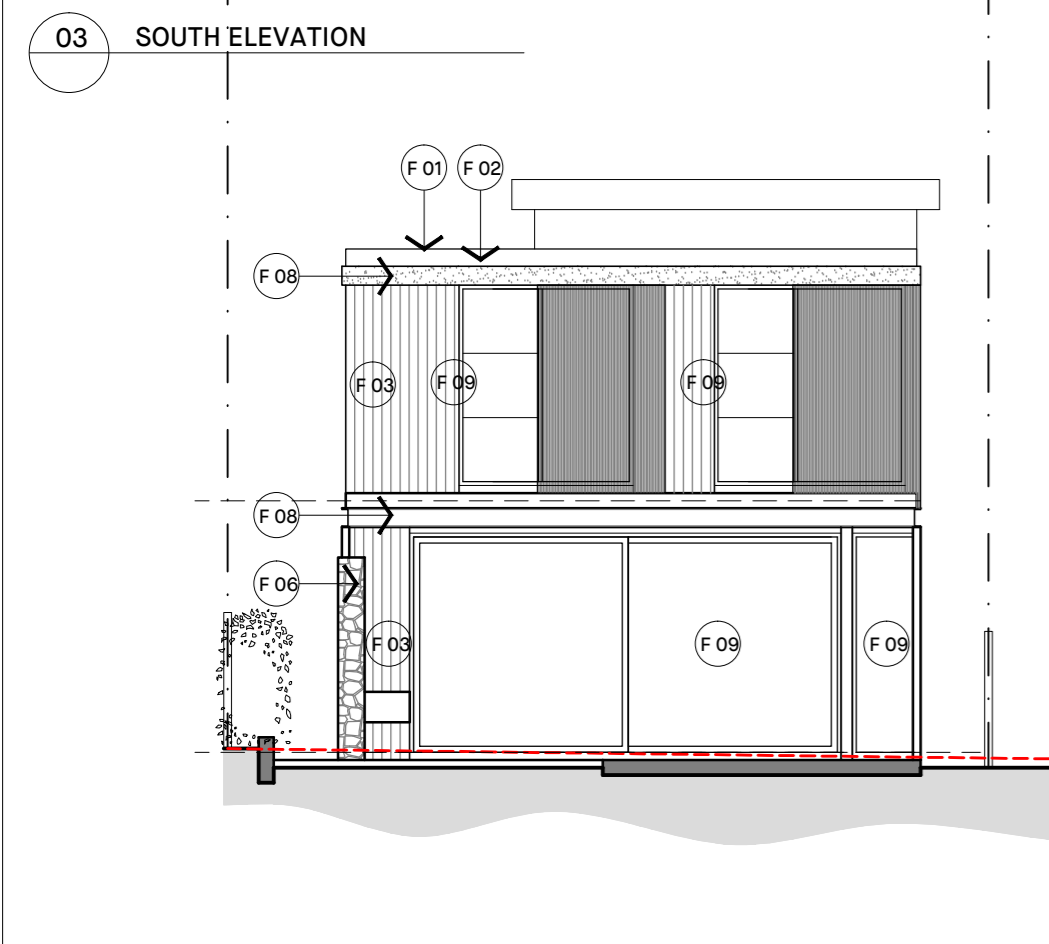
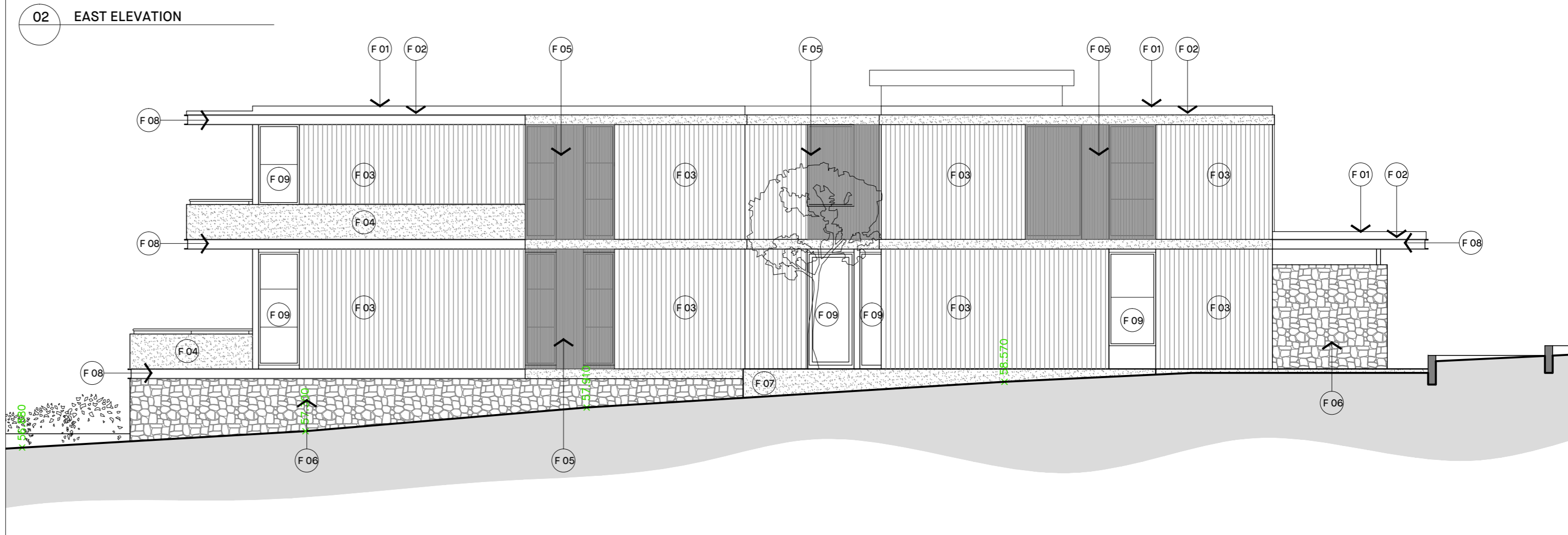
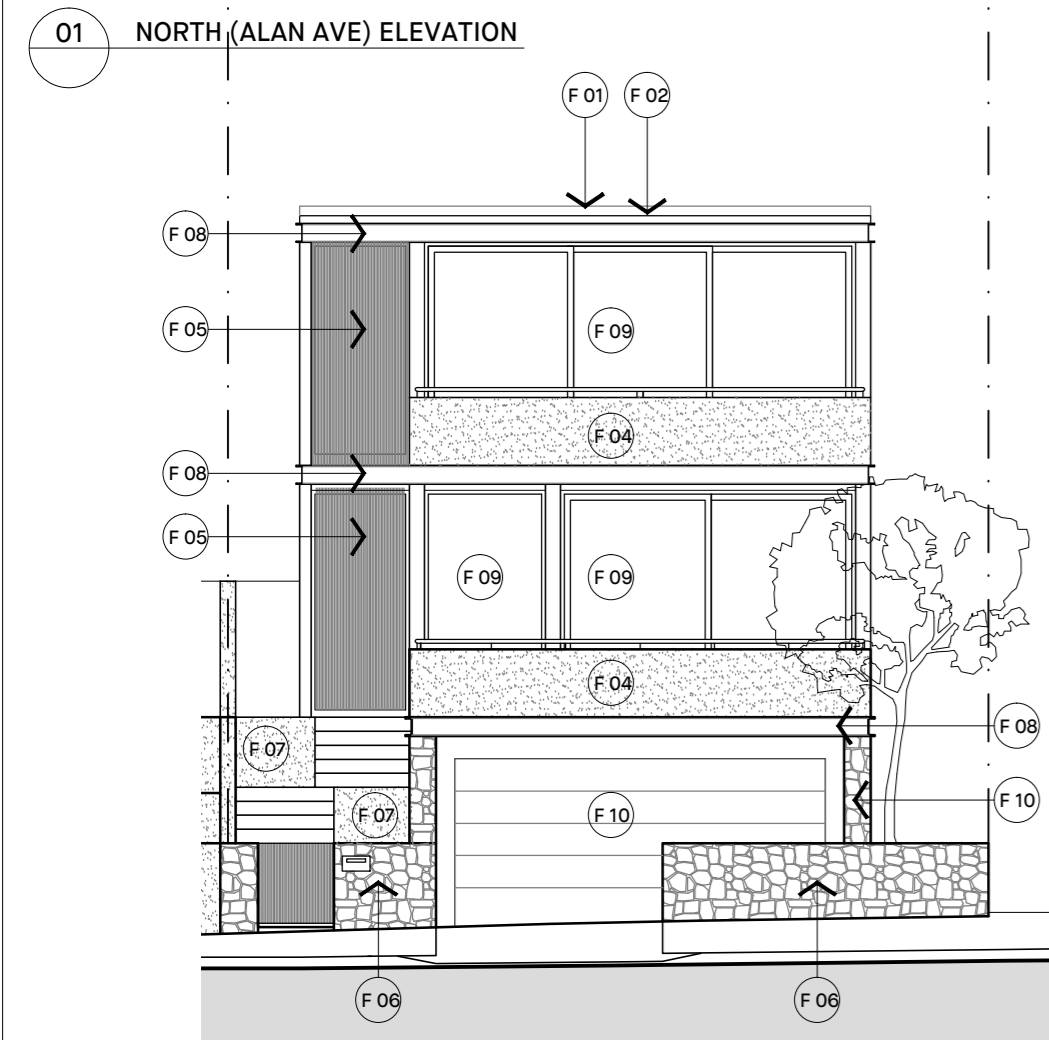
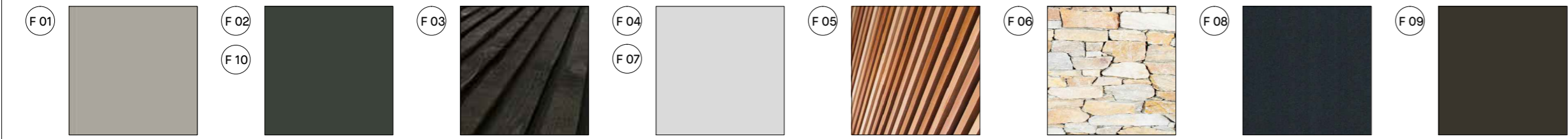
REV	DATE	DESCRIPTION

KEY

CLIENT	O'HANLON, GIULIANO & EL KHOURI	DRAWING	SCHEDULE OF EXTERNAL FINISHES: LOT A
ADDRESS	27 ALAN AVENUE SEAFORTH NSW 2092	SCALE	1:100 @ A2
<small>Check all dimensions on site and report any discrepancies immediately before proceeding with the works. DO NOT SCALE FROM DRAWINGS. Accuracy of dimensions on site are the responsibility of the contractor. This drawing is the copyright of Nick Bell Architects and must not be used, copied or re-produced in whole or part except by written agreement. Nominated Architect: Nick Bell - NSW Registration Number 8322</small>		DWG NO.	ALAN-DA-910
		REVISION	A

LEGEND

KEY	MATERIAL	FINISH	COLOUR
F 01	STEEL ROOFING- KLIP LOK	COLORBOND	DUNE
F 02	STEEL ROOFING GUTTERS + DOWNPIPES	COLORBOND	MONUMENT
F 03	TIMBER CLADDING	CHARRED	WESTERN RED CEDAR 'BEACH CLAD'
F 04	RENDERED EXSULITE CLADDING	PAINT	DULUX 'TERRACE WHITE'
F 05	TIMBER SCREENING	OIL	WESTERN RED CEDAR- NATURAL
F 06	SANDSTONE CLAD MASONRY	ROCK FACE	SANDSTONE 'DRYSTONE LOOK'
F 07	RENDERED MASONRY	PAINT	DULUX 'TERRACE WHITE'
F 08	STEEL TRIMS	PAINT	DULUX M.I.O. 'NATURAL GREY'
F 09	ALUMINIUM FRAMED WINDOWS AND DOORS	POWDERCOAT	DULUX 'ELECTRO DARK BRONZE FLAT'
F 10	GARAGE DOOR	COLORBOND	MONUMENT



NICK BELL ARCHITECTS
 +61 2 9699 3572
 ADMIN@NICKBELLARCHITECTS.COM
 L2 27 RENNY ST, PADDINGTON NSW 2021
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REV	DATE	DESCRIPTION
A	12.12.19	ISSUED FOR DEVELOPMENT APPLICATION

REV	DATE	DESCRIPTION

CLIENT	O'HANLON, GIULIANO & EL KHOURI	DRAWING	SCHEDULE OF EXTERNAL FINISHES: LOT B
ADDRESS	27 ALAN AVENUE SEAFORTH NSW 2092	SCALE	1:100 @ A2
<small>Check all dimensions on site and report any discrepancies immediately before proceeding with the works. DO NOT SCALE FROM DRAWINGS. Accuracy of dimensions on site are the responsibility of the contractor. This drawing is the copyright of Nick Bell Architects and must not be used, copied or re-produced in whole or part except by written agreement. Nominated Architect: Nick Bell - NSW Registration Number 8322</small>		DWG NO.	ALAN-DA-911
		REVISION	A

01 SITE ANALYSIS PLAN

EXISTING ATTACHED DOUBLE GARAGE BUILT FORWARD OF THE FRONT BUILDING LINE

TWO STOREY DWELLING. FACE BRICK VENEER WALLS WITH PITCHED TILED ROOF

EXISTING TREES. REFER TO ARBORIST REPORT FOR DETAILS

No.25
TWO STOREY
BRICK DWELLING
TILE ROOF

821
DP 819810

81
DP 4889

682
DP 1149802

822
DP 5835

B
DP 361283

No.29
SINGLE STOREY
BRICK DWELLING
TILE ROOF

2
DP 505813

AVENUE

ALAN

CROWN

ROAD

In summer
nor-easterly breezes

DWELLING OF PROPERTY TO REAR BUILT CLOSE TO REAR BOUNDARY AND OVERLOOK SITE. ADDITIONAL PRIVACY MEASURES REQUIRED.

Winter 9am
Equinox 9am

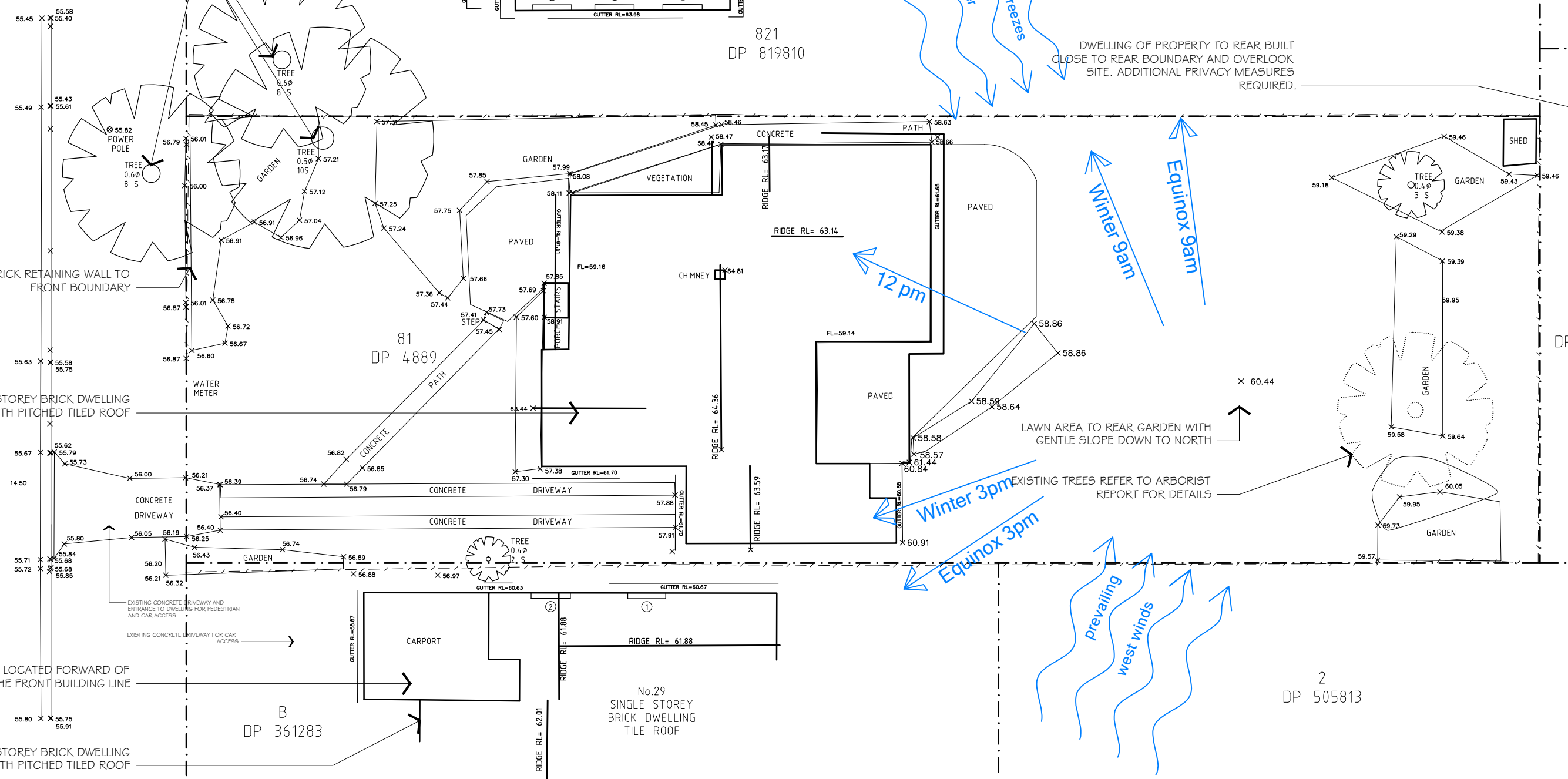
12 pm

Winter 3pm
Equinox 3pm

prevailing
west winds

LAWN AREA TO REAR GARDEN WITH GENTLE SLOPE DOWN TO NORTH

EXISTING TREES REFER TO ARBORIST REPORT FOR DETAILS



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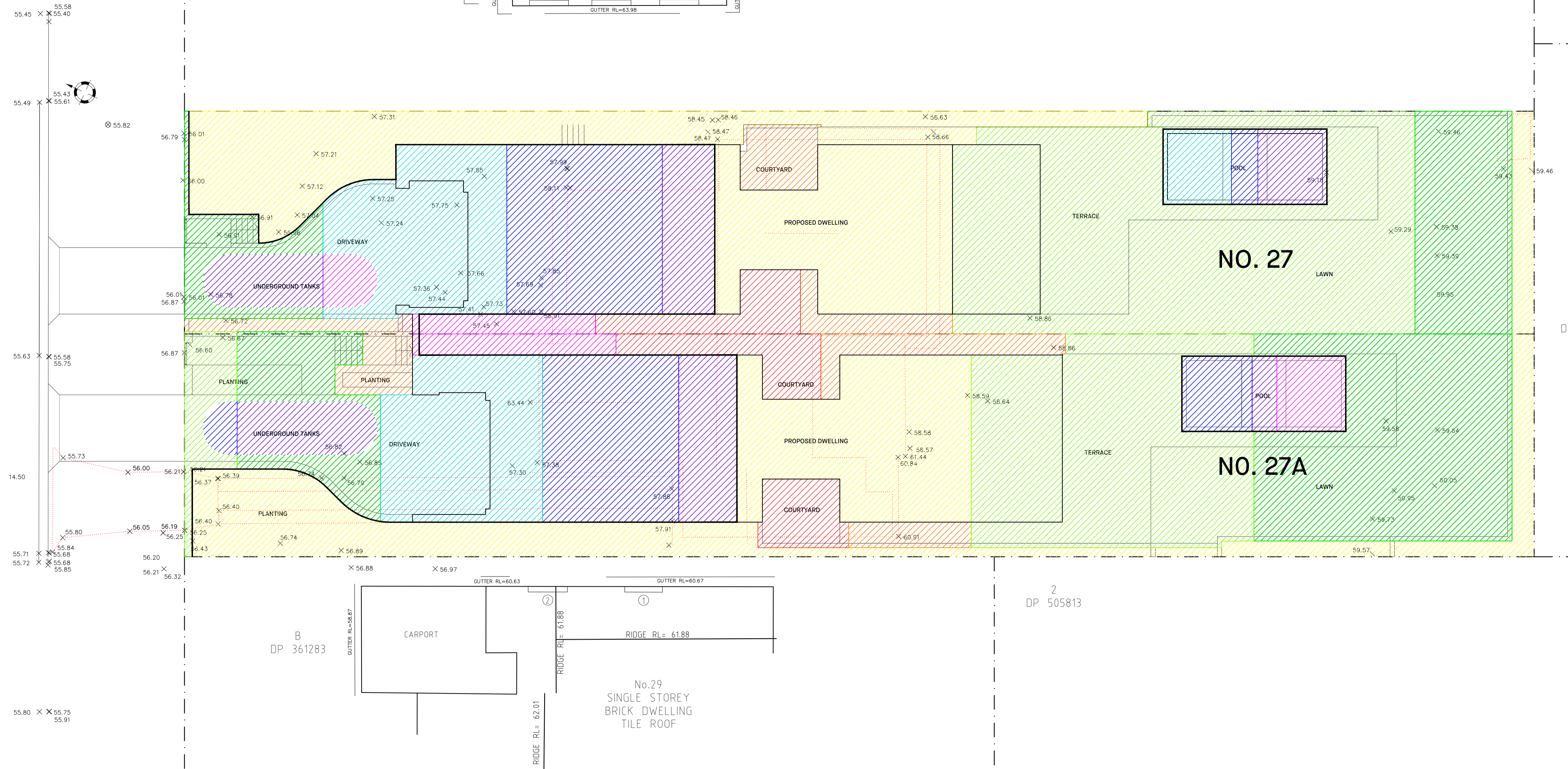
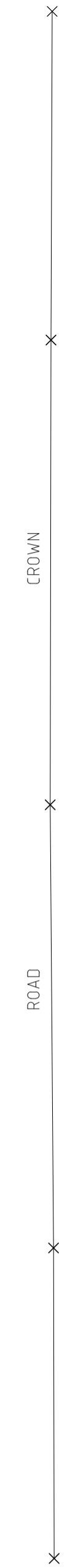
REV	DATE	DESCRIPTION	KEY
A	06.12.19	ISSUED FOR DEVELOPMENT APPLICATION	

CLIENT	O'HANLON, GIULIANO & EL KHOURI	DRAWING	SITE ANALYSIS PLAN
ADDRESS	27 ALAN AVENUE SEAFORTH NSW 2092	SCALE	1:200 @ A3
		DWG NO.	ALAN-DA-920
		REVISION	A

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AVENUE

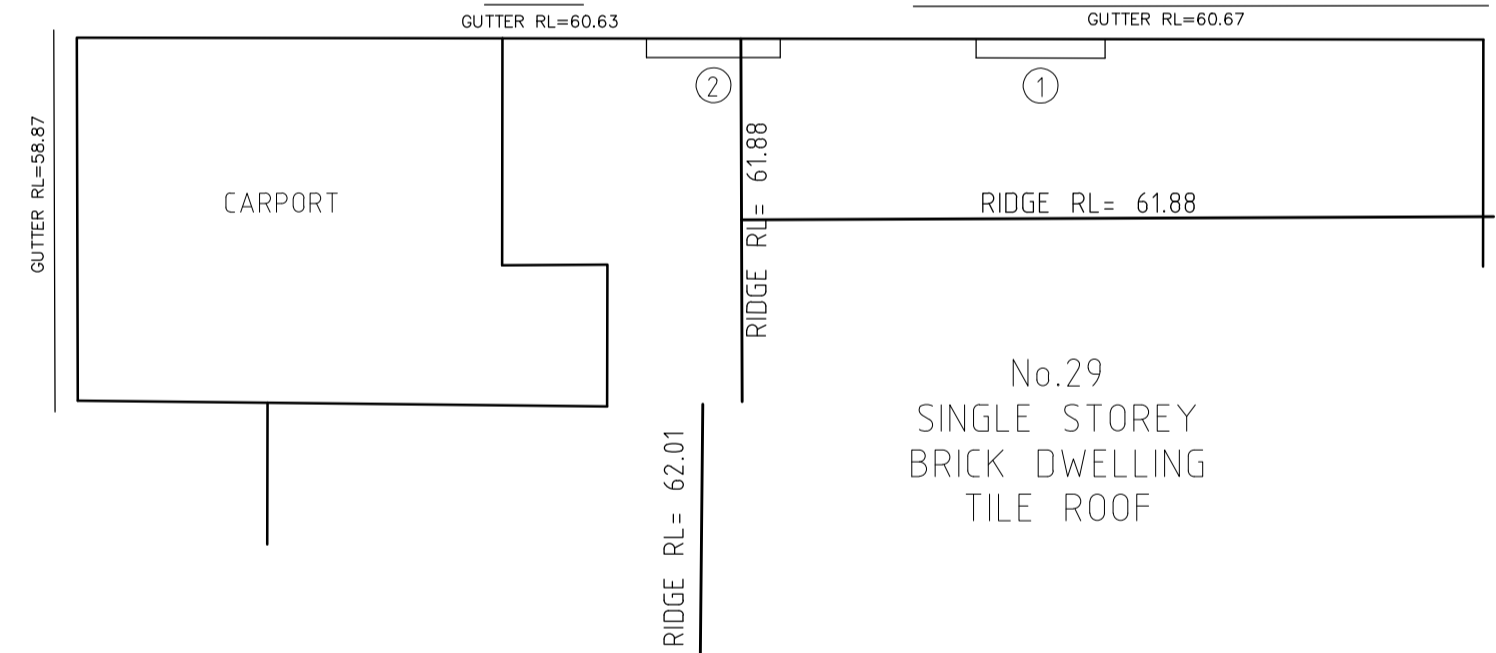
ALAN



822
DP 583580

2
DP 505813

B
DP 361283



No.29
SINGLE STOREY
BRICK DWELLING
TILE ROOF

KEY	
	OUTLINE OF EXISTING STRUCTURE TO BE DEMOLISHED
	EXISTING SPOT LEVEL
	PROPOSED LEVEL
DIFFERENCE IN GROUND LEVEL EXISTING TO PROPOSED:	
FILL	
	+1000 to 1500mm
	+500 to 1000mm
	+0 to 500mm
NO CHANGE	
	NATURAL GROUND LEVEL RETAINED
EXCAVATION	
	-0 to 500mm
	-500 to 1000mm
	-1000 to 1500mm
	-1500 to 2000mm
	-2000 to 2500mm
	-2500 to 3000mm

NICK BELL ARCHITECTS +61 2 9699 3572 ADMIN@NICKBELLARCHITECTS.COM L2 27 RENNY ST, PADDINGTON NSW 2021 NICKBELLARCHITECTS.COM	REV DATE DESCRIPTION A 27.09.19 ISSUED FOR CONSULTANT REVIEW B 06.12.19 ISSUED FOR DEVELOPMENT APPLICATION	REV DATE DESCRIPTION	CLIENT O'HANLON, GIULIANO & EL KHOURI ADDRESS 27 ALAN AVENUE SEAFORTH NSW 2092	DRAWING EXCAVATION AND FILL PLAN SCALE 1:100 @ A1 DWG NO. ALAN-DA-960 REVISION B
	<small>Check all dimensions on site and report any discrepancies immediately before proceeding with the works. DO NOT SCALE FROM DRAWINGS. Accuracy of dimensions on site are the responsibility of the contractor. This drawing is the copyright of Nick Bell Architects and must not be used, copied or re-produced in whole or part except by written agreement. Nominated Architect: NICK BELL - NSW Registration Number: 6322</small>			
	Nick Bell Architects is a registered architectural firm under the Architectural Act 2006.			



01 VIEW OF THE PROPOSAL FROM ALAN AVE



02 VIEW OF THE PROPOSAL FROM ALAN AVE

**NICK BELL
ARCHITECTS**

+61 2 9699 3572
ADMIN@NICKBELLARCHITECTS.COM
L2 27 RENNY ST, PADDINGTON NSW 2021
NICKBELLARCHITECTS.COM

REV	DATE	DESCRIPTION	KEY
A	27.09.19	ISSUED FOR CONSULTANT REVIEW	
B	06.12.19	ISSUED FOR DEVELOPMENT APPLICATION	

CLIENT	O'HANLON, GIULIANO & EL KHOURI
ADDRESS	27 ALAN AVENUE SEAFORTH NSW 2092
<small>Check all dimensions on site and report any discrepancies immediately before proceeding with the works. DO NOT SCALE FROM DRAWINGS. Accuracy of dimensions on site are the responsibility of the contractor. This drawing is the copyright of Nick Bell Architects and must not be used, copied or re-produced in whole or part except by written agreement. Nominated Architect: Nick Bell - NSW Registration Number 8322</small>	

DRAWING	PERSPECTIVES
SCALE	N/A
DWG NO.	ALAN-DA-980
REVISION	B



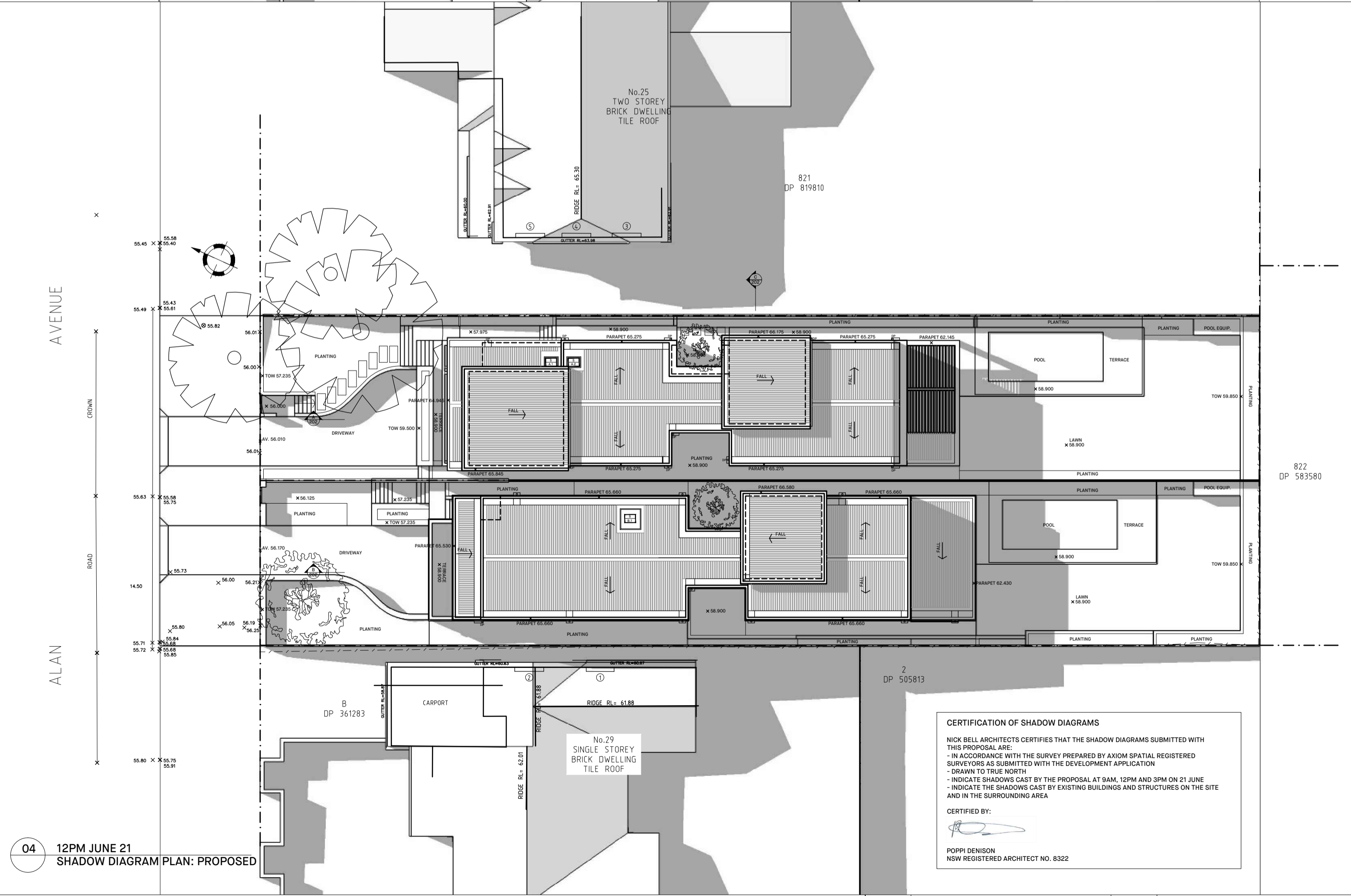
01 9AM JUNE 21 SHADOW DIAGRAM PLAN: EXISTING



02 9AM JUNE 21 SHADOW DIAGRAM PLAN: PROPOSED



03 12PM JUNE 21 SHADOW DIAGRAM PLAN: EXISTING



04 12PM JUNE 21 SHADOW DIAGRAM PLAN: PROPOSED

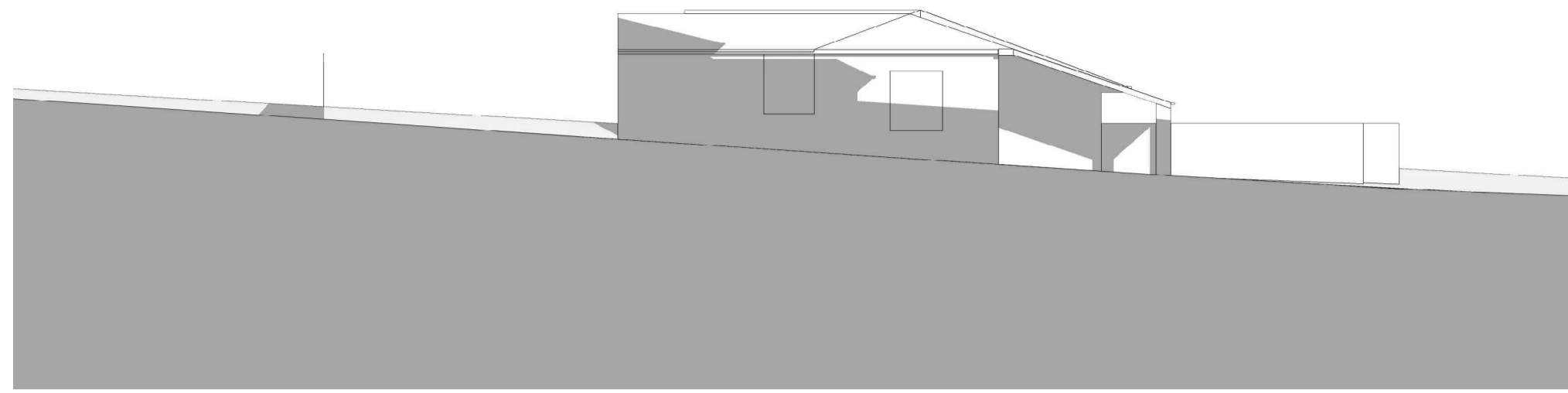
CERTIFICATION OF SHADOW DIAGRAMS
 NICK BELL ARCHITECTS CERTIFIES THAT THE SHADOW DIAGRAMS SUBMITTED WITH THIS PROPOSAL ARE:
 - IN ACCORDANCE WITH THE SURVEY PREPARED BY ANOM SPATIAL REGISTERED SURVEYORS AS SUBMITTED WITH THE DEVELOPMENT APPLICATION
 - DRAWN TO TRUE NORTH
 - INDICATE SHADOWS CAST BY THE PROPOSAL AT 9AM, 12PM AND 3PM ON 21 JUNE
 - INDICATE THE SHADOWS CAST BY EXISTING BUILDINGS AND STRUCTURES ON THE SITE AND IN THE SURROUNDING AREA
 CERTIFIED BY:
 POPPI DENISON
 NSW REGISTERED ARCHITECT NO. 8322

NICK BELL ARCHITECTS
 +61 2 9699 3572
 ADMIN@NICKBELLARCHITECTS.COM
 L2 27 RENNY ST, PADDINGTON NSW 2021
 NICKBELLARCHITECTS.COM

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION	KEY
A	06.12.19	ISSUED FOR DEVELOPMENT APPLICATION				

CLIENT	O'HANLON, GIULIANO & EL KHOURI	DRAWING	9AM & 12PM PLAN SHADOW DIAGRAMS
ADDRESS	27 ALAN AVENUE SEAFORTH NSW 2092	SCALE	1:200 @ A1
DWG NO.	ALAN-DA-900	REVISION	A

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 Nominated Architect: NICK BELL - NSW Registration Number 8322



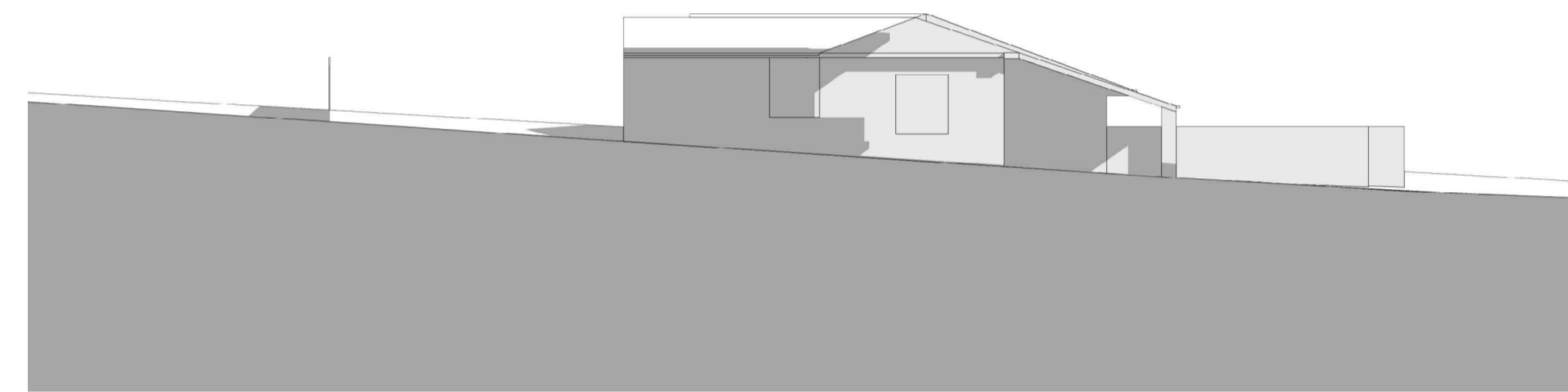
01 9AM JUNE 21: ELEVATION SHADOW DIAGRAM
29 ALAN AVE WEST ELEVATION: EXISTING



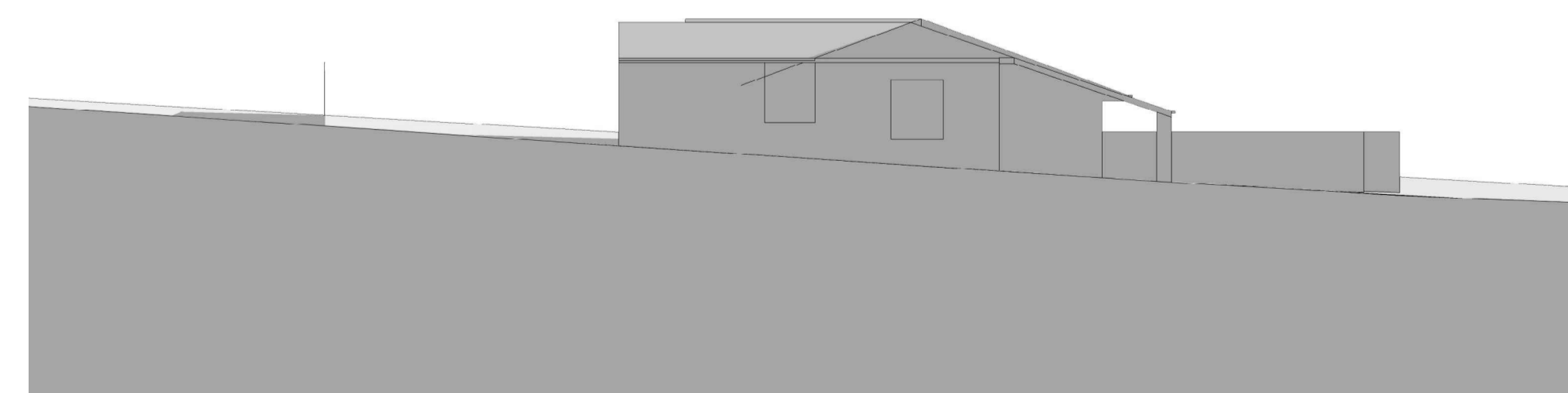
02 9AM JUNE 21: ELEVATION SHADOW DIAGRAM
29 ALAN AVE WEST ELEVATION: PROPOSED



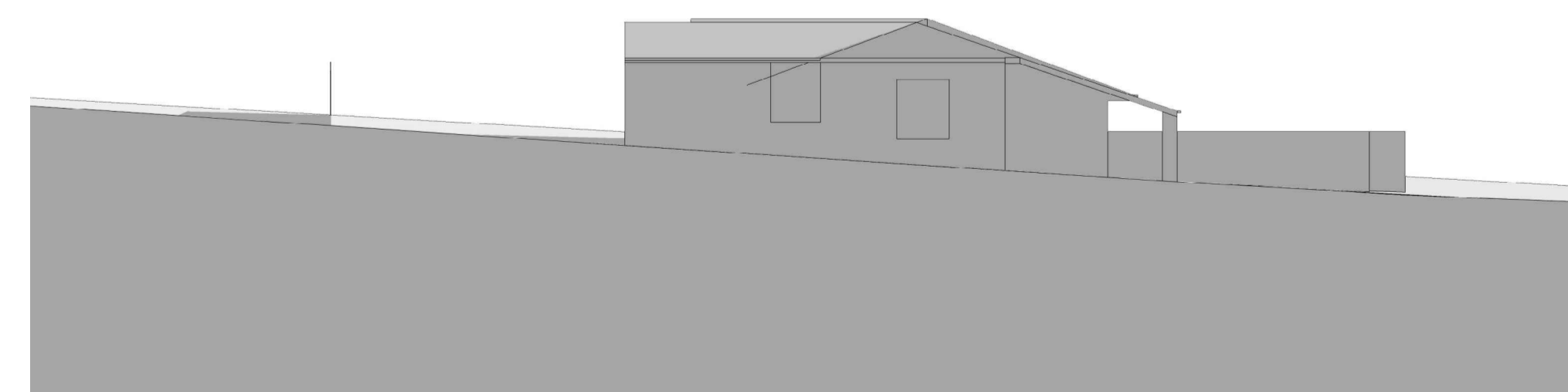
03 12PM JUNE 21: ELEVATION SHADOW DIAGRAM
29 ALAN AVE WEST ELEVATION: EXISTING



02 12PM JUNE 21: ELEVATION SHADOW DIAGRAM
29 ALAN AVE WEST ELEVATION: PROPOSED



05 3PM JUNE 21: ELEVATION SHADOW DIAGRAM
29 ALAN AVE WEST ELEVATION: EXISTING

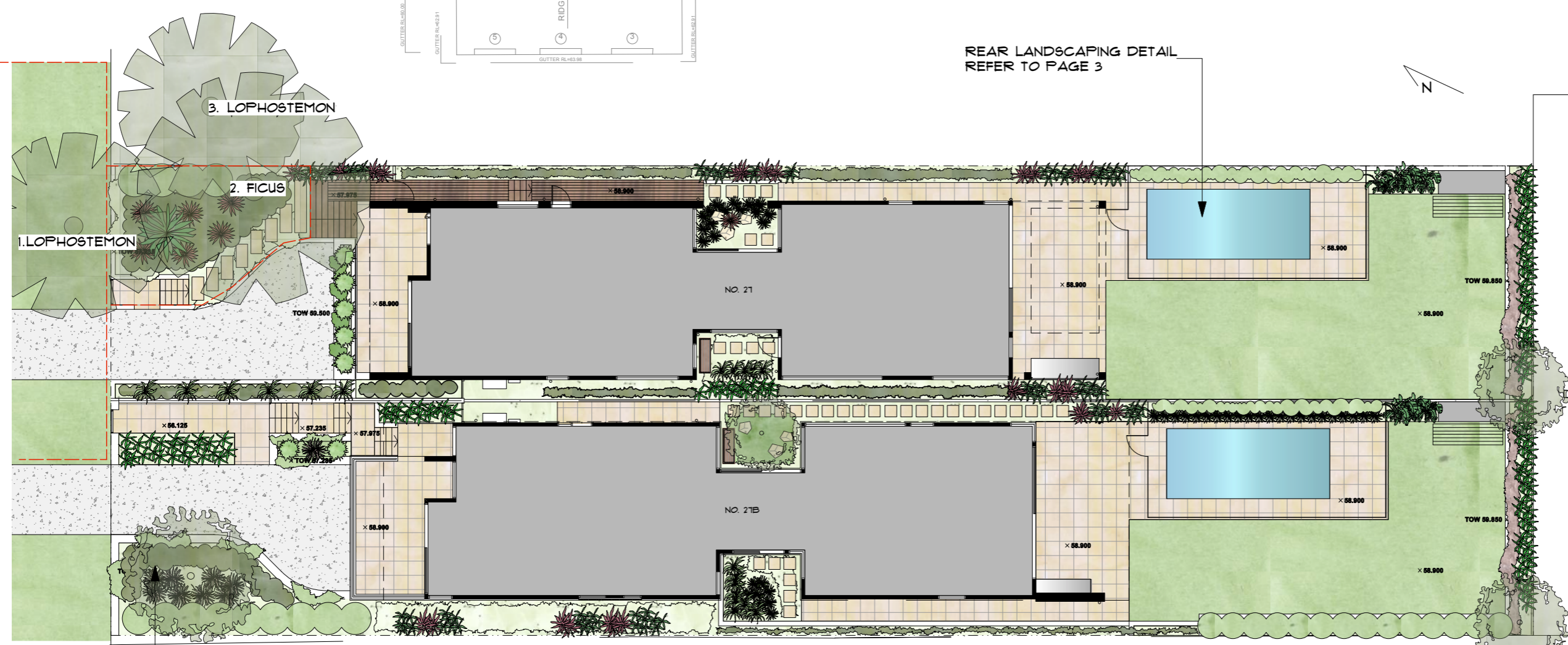


06 3PM JUNE 21: ELEVATION SHADOW DIAGRAM
29 ALAN AVE WEST ELEVATION: PROPOSED

CERTIFICATION OF SHADOW DIAGRAMS
 NICK BELL ARCHITECTS CERTIFIES THAT THE SHADOW DIAGRAMS SUBMITTED WITH THIS PROPOSAL ARE:
 - IN ACCORDANCE WITH THE SURVEY PREPARED BY AXIOM SPATIAL REGISTERED SURVEYORS AS SUBMITTED WITH THE DEVELOPMENT APPLICATION.
 - DRAWN TO TRUE NORTH
 - INDICATE SHADOWS CAST BY THE PROPOSAL AT 9AM, 12PM AND 3PM ON 21 JUNE
 - INDICATE THE SHADOWS CAST BY EXISTING BUILDINGS AND STRUCTURES ON THE SITE AND IN THE SURROUNDING AREA
 CERTIFIED BY:

 POPPI DENISON
 NSW REGISTERED ARCHITECT NO. 8322

NICK BELL ARCHITECTS <small>+61 2 9699 3572 ADMIN@NICKBELLARCHITECTS.COM L2 27 RENNY ST, PADDINGTON NSW 2021 NICKBELLARCHITECTS.COM</small>	REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION	KEY	CLIENT	O'HANLON, GIULIANO & EL KHOURI	DRAWING	27 ALAN AVE WINTER SOLSTICE ELEVATION SHADOW DIAGRAMS
	A	06.12.19	ISSUED FOR DEVELOPMENT APPLICATION						ADDRESS	27 ALAN AVENUE SEAFORTH NSW 2092	SCALE
								Check all dimensions on site and report any discrepancies immediately before proceeding with the works. DO NOT SCALE FROM DRAWINGS. Accuracy of dimensions on site are the responsibility of the contractor. This drawing is the copyright of Nick Bell Architects and must not be used, copied or re-produced in whole or part except by written agreement. Nominated Architect: NICK BELL - NSW Registration number 6322	DWD NO.	ALAN-DA-902	
								REVISION	A		



SITE ADDRESS
27 ALAN AVE SEAFORTH

CLIENT
O'HANLON
GIULIANO & EL KHOURI

PLAN TYPE
LANDSCAPE PLANS

PAGE
1 LANDSCAPE SITE PLAN

822
DP 583580

SITE INFORMATION

DRAWING
LSCP 1376

DATE
25/10/19

ISSUE	SCALE
A	1:200@A3

PLANTING SCHEDULE

TREES & PALMS		
QTY	PLANT	SIZE
1	SYZYGIUM OLEOSUM	200MM
2	TRISTANIOPSIS LUSCIOUS	300MM
1	ACER SANGO KAKU	45L
1	HOWEA FORSTERIANA	45L

SCREEN PLANTING		
QTY	PLANT	SIZE
27	VIBURNUM 'EMERALD LUSTRE'	200MM
20	BAMBUSA 'GOLD STRIPE'	250MM

LOW SHRUBS & GRASSES		
QTY	PLANT	SIZE
15	RHAPHIOLEPSIS 'SNOW MAIDEN'	200MM
9	BAMBUSA GUANGXIENSIS	200MM
24	RHAPHIOLEPSIS 'ORIENTAL PEARL'	200MM
9	PHORMIUM 'DARK DELIGHT'	200MM
6	HELICONA 'KAWAUCHI'	300MM
18	BLECHNUM 'SILVER LADY'	200MM
6	STRELITZIA JUNCEA	200MM
1	ALCANTAREA RUBRA	250MM
20	DIANELLA 'SILVER STREAK'	200MM
1	CRASSULA SPP.	200MM
24	RADERMACHERA 'SUMMERSCENT'	200MM
11	ASPLENIUM NIDUS	200MM

'TROPICAL STYLE' BOUNDARY PLANTING		
QTY	PLANT	SIZE
12	RAPHIS EXCELSA	300MM
15	CORDYLINE NEGRA/PINK DIAMOND	200MM
12	CHAMAEDOREA SEIFRIZII	200MM

GROUND COVERS & CLIMBERS		
QTY	PLANT	SIZE
40	VIOLA HEDERACEA	100MM
8	SENECIO SERPENS	150MM
50	TRACHELOSPERMUM JASMINOIDES	200MM
8	TRACHELOSPERMUM ASIATICUM	150MM
18	ALTERNANTHERA DENTATA	150MM
4	CASURINA COUSIN IT	150MM
8	DICHONDRA SILVER FALLS	150MM

LEGEND

- HEDGES AND SCREEN PLANTING
- SIR WALTER LAWN
- CONCRETE
- GARDEN AREA
- PROPOSED TREE'S
- EXISTING TREE
- TREE TO BE REMOVED
- SMALL SHRUBS
- PAVING
- RETAINING WALL

LANDSCAPE CALCULATIONS (REFER TO ARCHITECTS PLANS)

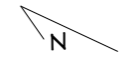
--- TPZ (REFER TO ARBORIST REPORT)

EXISTING SIGNIFICANT TREE'S (REFER TO ARBORIST REPORT)

TREE NO.	TREE TYPE	ACTION
1	LOPHOSTEMON CONFERTUS	RETAIN
2	FICUS RUBIGINOSA	RETAIN
3	LOPHOSTEMON CONFERTUS	RETAIN

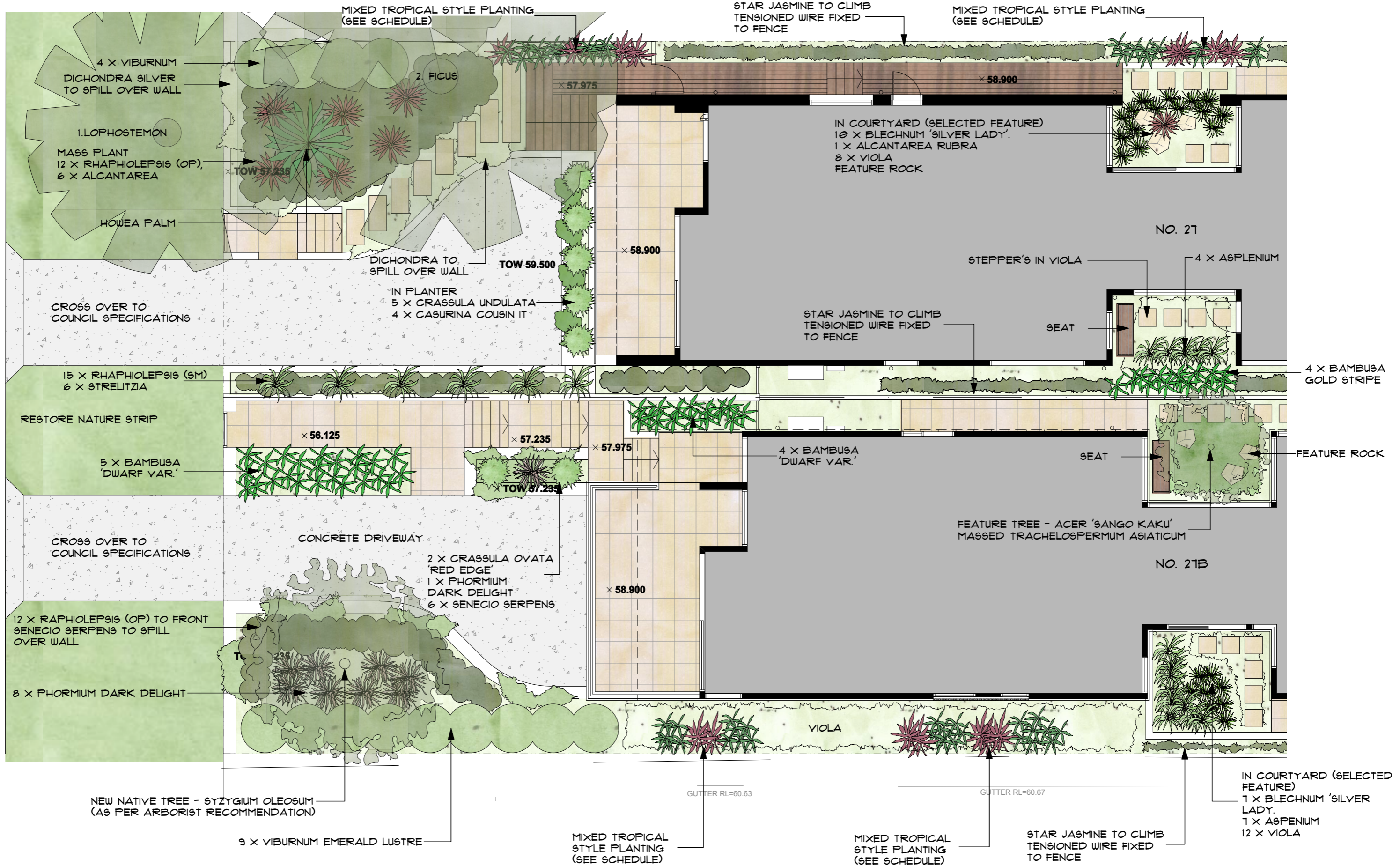
FRONT YARD LANDSCAPING
REFER TO PAGE 2

REAR LANDSCAPING DETAIL
REFER TO PAGE 3

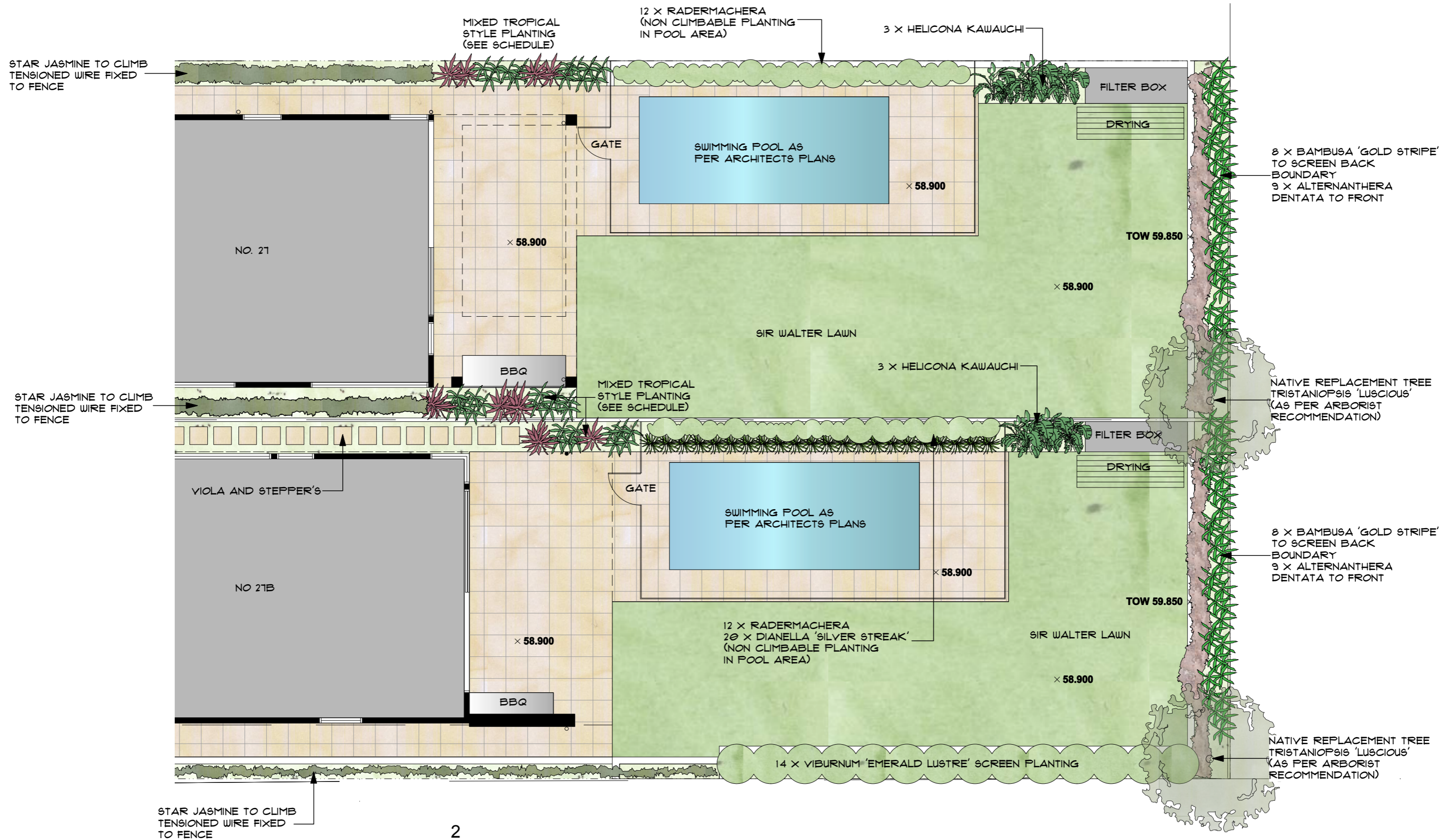


LANDSCAPE DESIGN

ALL DIMENSIONS TO BE VERIFIED ONSITE.
ALL WORKS TO BE IN ACCORDANCE WITH
BCA AND RELEVANT GOVERNMENT CODES.



SITE ADDRESS 21 ALAN AVE SEAFORTH	PLAN TYPE LANDSCAPE PLANS	SITE / DRAWING INFORMATION LSCP 1316	DRAWING / ISSUE LSCP 199 A	SCALE 1:100@A3	
CLIENT O'HANLON GIULIANO & EL KHOURI			DATE 25/10/19	PAGE 2. FRONT DETAIL	



2
DP 505813

SITE ADDRESS	PLAN TYPE	SITE / DRAWING INFORMATION	DRAWING / ISSUE	SCALE
21 ALAN AVE SEAFORTH	LANDSCAPE PLANS	LSCP 1316	LSCP ISS A	1:100@A3
CLIENT O'HANLON GIULIANO & EL KHOURI			DATE 25/10/19	PAGE 3. REAR DETAIL



SPECIFICATIONS

SITE PREPARATION

PLANTED MATERIAL TO BE STORED IN POTS ON SITE IN ORDER TO BE REPLANTED WHERE SPECIFIED. ANY EXISTING TREES AND VEGETATION TO BE RETAINED SHALL BE PRESERVED AND PROTECTED FROM DAMAGE OF ANY SORT DURING THE EXECUTION OF LANDSCAPE WORK. IN PARTICULAR, ROOT SYSTEMS OF EXISTING PLANTS MUST NOT BE DISTURBED. ANY NEARBY SITE WORKS SHOULD BE CARRIED OUT CAREFULLY USING HAND TOOLS. STORAGE OF MATERIALS, MIXING OF MATERIALS, VEHICLE PARKING, DISPOSAL OF LIQUIDS, MACHINERY REPAIRS AND REFUELING, SITE OFFICE AND SHEDS, AND THE LIGHTING OF FIRES SHALL NOT OCCUR WITHIN THREE (3) METRES OF ANY EXISTING OR NEW TREES. DO NOT STOCKPILE SOIL, RUBBLE OR OTHER DEBRIS CLEARED FROM THE SITE, OR BUILDING MATERIALS WITHIN THE DRIP LINE OF EXISTING OR NEW TREES. ALL VEGETATION NOT SHOWN ON PLAN TO BE REMOVED. NO TREE REMOVAL IS TO OCCUR WITHOUT THE PRESENCE OF THE ARBORIST.

SERVICES

SERVICES AND UTILITIES SHOWN HAVE BEEN LOCATED BY PHYSICAL EVIDENCE AND/OR BY REFERENCE TO SURVEYS PROVIDED. FITS MAY NOT HAVE BEEN OPENED TO VERIFY THE TYPE OF UTILITY. EXCAVATION HAS NOT BEEN CARRIED OUT TO CONFIRM UNDERGROUND LOCATION. SERVICE DETAILS SHOULD BE CONFIRMED WITH THE RELEVANT SERVICE AUTHORITY DURING DESIGN AND PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SOIL PREPARATION

REMOVE MIN 300MM OF EXISTING SITE SOIL WHERE IT DOES NOT INTERFERE WITH THE ROOTS OF THE EXISTING TREES PROVIDE SOIL PROFILES AS FOLLOWS:

PLANTER BOX MIX

SIMILAR TO THAT SUPPLIED BY ANL TO ALL GARDEN BEDS AS SPECIFIED ON THE PLAN. ANY IMPORTED SOIL OR SOIL BLENDS USING SITE TOPSOIL MATERIALS USED IN THE TOP 600MM OF ANY LANDSCAPED AREA FINISHED SOIL PROFILE SHALL MEET THE REQUIREMENTS OF AS 4419 - 2003 'SOILS FOR LANDSCAPING AND GARDEN USE'. SOILS SHALL BE PLACED AND COMPACTED IN LAYERS TO PREVENT UNDUE SETTLEMENT. SUB-BASE FILLING AND PLACEMENT SHALL MEET THE ENGINEERS MATERIAL AND COMPACTION REQUIREMENTS.

EROSION CONTROL

WHERE GRADIENTS IN FINISHED SURFACE LEVEL EXCEED 1:2.5 MULCH IS TO BE HELD IN PLACE WITH AN UNOBTRUSIVE BIODEGRADABLE FIT FOR PURPOSE NETTING WITH THE NETTING TO BE FIXED IN PLACE AS THE MANUFACTURERS SPECIFICATION FOR THIS PARTICULAR SITUATION.

STAKING

ALL TREES NOT SELF SUPPORTING AND TREES GENERALLY SHALL BE PROVIDED WITH POINTED HARDWOOD STAKES AS FOLLOWS: TREES UP TO CONTAINER SIZE OF 25L - 2 X 25MM X 25MM X 1M HIGH STAKES AT EACH TREE ABOVE CONTAINER SIZE OF 25L - 2 X 50 X 50 X 2.1 HIGH STAKES EACH TIES SHALL BE OF 50MM WIDE JUTE MESH WEBBING TIED 'FIGURE EIGHT PATTERN' TO SUPPORT THE PLANT AND TIES TO BE FIXED SECURELY TO STAKES

SOIL IMPROVEMENT

WHERE SITE TOPSOIL IS TO BE USED IT SHALL BE IMPROVED BY ADDING BOTANY HUMAS OR SIMILAR AT A RATIO OF 1:3 BY VOLUME.

PLANTING MATERIALS

PLANTS SHALL CORRESPOND TO THE PLANTING INDEX. THERE SHALL BE NO SUBSTITUTION IN QUALITY OR QUANTITY OF MATERIAL UNLESS OTHERWISE SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY MATERIAL SHOWING SIGNS OF DISEASE, DISTORTED GROWTH HABIT OR MALPRACTICE. PLANTS TO BE PLACED IN THE GROUND NO MORE THAN 48 HOURS AFTER ARRIVAL ON SITE. PLANTS TO BE PLANTED IN ACCORDANCE WITH THE PLANTING DETAIL. PLANTING HOLES TO BE DUG DOUBLE THE WIDTH OF THE POT SIZE AND BACKFILLED WITH ORGANIC SOIL AND NATIVE FERTILISER. THE FINISHED LEVEL OF THE PLANT IS TO FINISH FLUSH WITH THE EXISTING POT LEVEL. NO BACKFILLING AROUND THE STEM OF THE PLANT WITH EITHER SOIL OR MULCH.

EDGING

PAVER EDGE INSTALLED ON MORTAR AND BRICKTOR BTW LAWN AND GARDENS

TURF

USE PREMIUM SIR WALTER TURF OVER 250MM RIPPED SUBGRADE WITH MINIMUM OF 50MM TURF UNDERLAY.

MULCH


ALL PLANTER BEDS AND GARDEN AREAS SHALL HAVE CYPRESS MULCH.. ALL MULCH IS TO BE FREE OF DELETERIOUS MATTER SUCH AS SOIL, WEEDS AND STICKS.

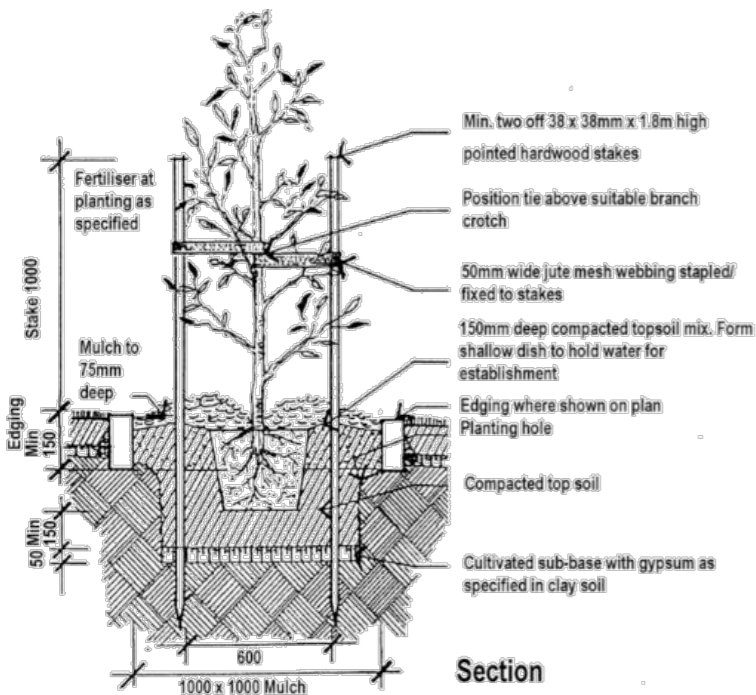
MAINTENANCE

ON COMPLETION OF WORK ALL PLANTING AREAS ARE TO BE FERTILISED WITH ORGANIC LIFE, SLOW RELEASE FERTILISER (OSMOCOTE 8-9 MONTH) WHICH IS TO BE SUFFICIENTLY WATERED IN, AS WELL AS A SOLUBLE FERTILISER SIMILAR TO SEASOL APPLIED IN ACCORDANCE WITH THE MANUFACTURERS DETAILS. REAPPLY AS PER DIRECTIONS. 'WATERING IN' PERIOD OF 3 MONTHS IS APPLICABLE. WATER SHOULD BE APPLIED DURING THIS PERIOD SO AS PLANTS DO NOT GET TO THE STAGE OF WILTING. TIP PRUNING IS ENCOURAGED AT 3 MONTHS TO PROMOTE FULLER GROWTH

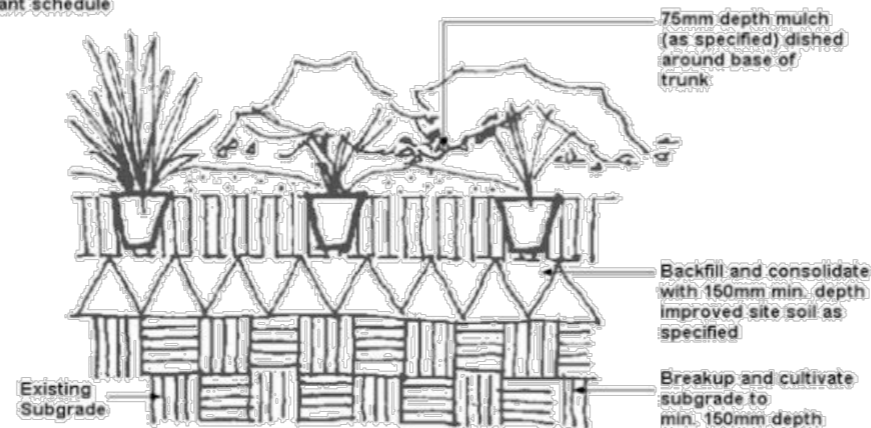
HARD CONSTRUCTION

ALL CIVIL, STRUCTURAL AND HYDRAULIC WORK ASSOCIATED WITH THIS PROJECT SHALL BE TO CONSULTING ENGINEER'S DETAILS. ALL EXTERNAL STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH CLAUSE D2.13 OF THE BUILDING CODE OF AUSTRALIA.

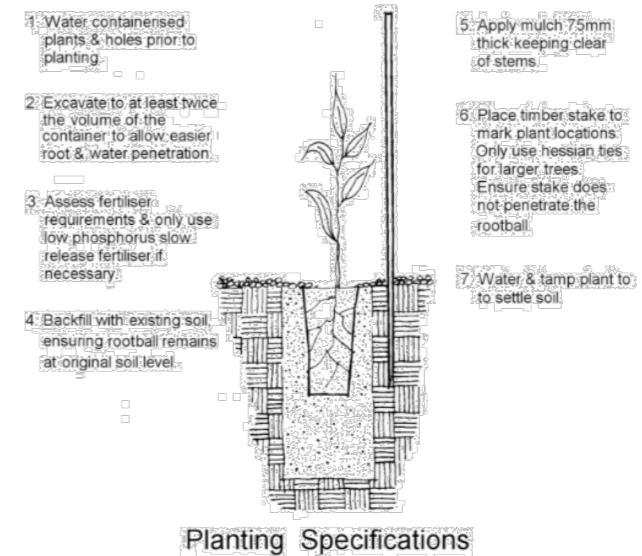
SITE ADDRESS	
21 ALAN AVE SEAFORTH	
CLIENT	
O'HANLON GIULIANO & EL KHOURI	
PLAN TYPE	
LANDSCAPE PLANS	
PAGE	
4. SPECIFICATIONS	
SITE INFORMATION	
DRAWING	
LSCP 1316	
DATE	
25/10/19	
ISSUE	SCALE
A	
	
<p>ALL DIMENSIONS TO BE VERIFIED ONSITE. ALL WORKS TO BE IN ACCORDANCE WITH BCA AND RELEVANT GOVERNMENT CODES.</p>	

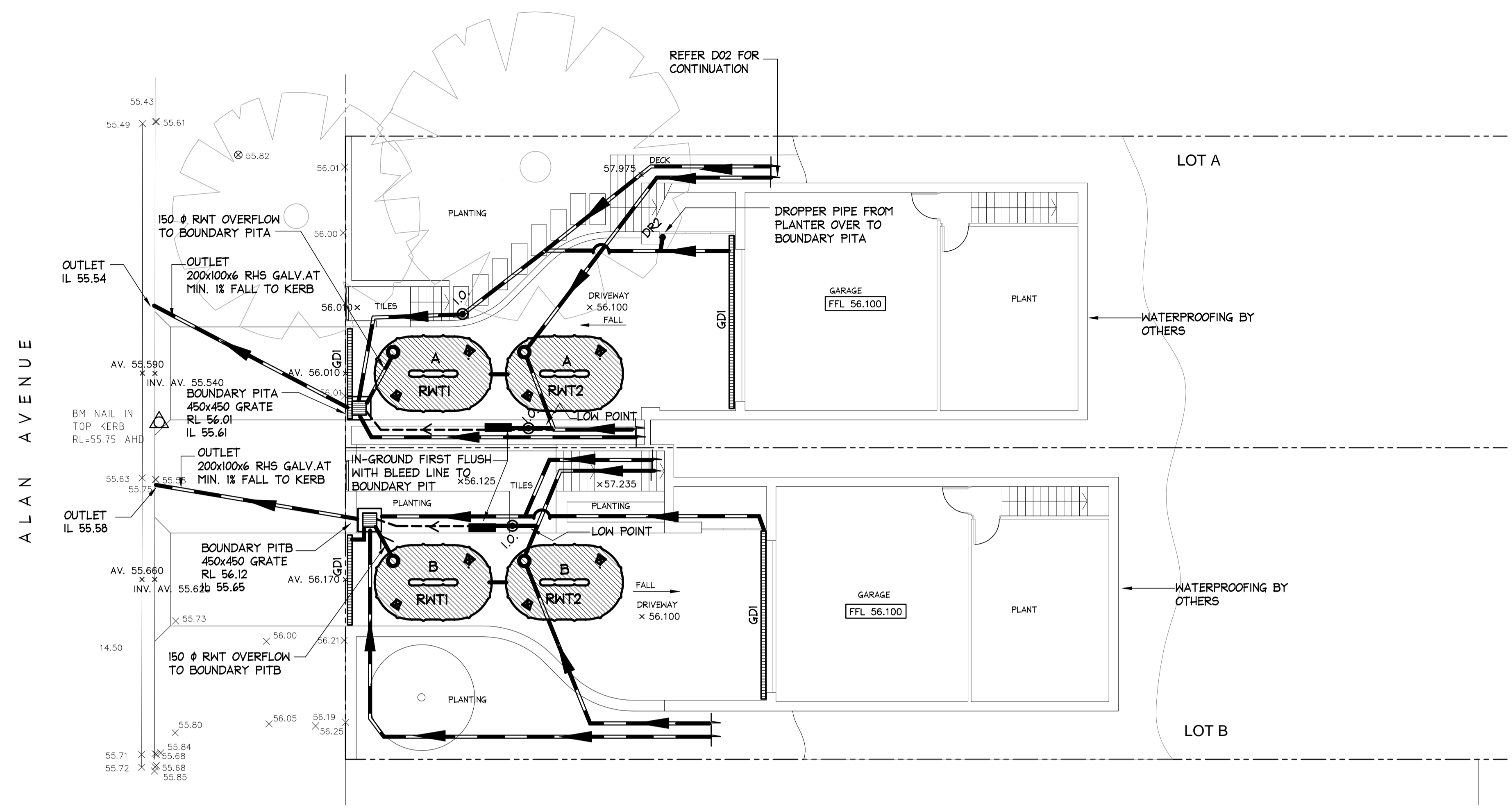
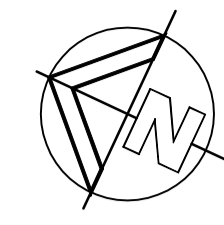


Shrub planting refer to plant schedule



PLANTING SPECIFICATIONS





BASEMENT - DRAINAGE PLAN
SCALE = 1 : 100

ONSITE DETENTION SYSTEM SUMMARY NOTES FOR LOT A	
TOTAL SITE AREA	613 m ²
PRE DEVELOPMENT IMPERVIOUS AREA	212 m ² (35%)
POST DEVELOPMENT IMPERVIOUS AREA	355 m ² (58%)
PRE DEVELOPMENT SITE DISCHARGE (USE 35% IMPERVIOUS RATIO)	
5 YR	17 l/s
100 YR	34 l/s
POST DEVELOPMENT SITE DISCHARGE	
5 YR	16 l/s
100 YR	17 l/s
OSD REQUIREMENT	
RWT REQUIRED TO PROVIDE 100% OSD OFFSET	9.0 m ³
RWT REQUIREMENT (BASIX)	10.0 m ³ (NOTE: 10.0 m ³ PROVIDED)
REVISED OSD VOLUME (AFTER OFFSET)	0 m ³

ONSITE DETENTION SYSTEM SUMMARY NOTES FOR LOT B	
TOTAL SITE AREA	613 m ²
PRE DEVELOPMENT IMPERVIOUS AREA	182 m ² (30%)
POST DEVELOPMENT IMPERVIOUS AREA	362 m ² (59%)
PRE DEVELOPMENT SITE DISCHARGE (USE 30% IMPERVIOUS RATIO)	
5 YR	16 l/s
100 YR	31 l/s
POST DEVELOPMENT SITE DISCHARGE	
5 YR	16 l/s
100 YR	16 l/s
OSD REQUIREMENT	
RWT REQUIRED TO PROVIDE 100% OSD OFFSET	9.0 m ³
RWT REQUIREMENT (BASIX)	10.0 m ³ (NOTE: 10.0 m ³ PROVIDED)
REVISED OSD VOLUME (AFTER OFFSET)	0 m ³

LEGEND

- 100mm Ø DOWNPIPE TO DISCHARGE TO RWT
- 100mm Ø DROPPER PIPE TO DISCHARGE TO BOUNDARY PIT
- RAINHEAD WITH 100mm Ø DOWNPIPE DISCHARGE TO RWT
- RAINHEAD WITH 100mm Ø DOWNPIPE DISCHARGE TO BOUNDARY PIT
- SUMP WITH 100mm Ø DOWNPIPE DISCHARGE TO RWT
- BOX GUTTER, REFER TO DETAILS
- SPREADER
- NEW STORMWATER PIPE
- STORMWATER PIPE FLOW DIRECTION
- STORMWATER PIT
- INSPECTION OPENING
- GRATED DRAIN
GDI - 150 MIN DEPTH x 150 WIDE GRATED DRAIN
GD2 - STORMTECH 65AG GRATED DRAIN
- RWT 1, RWT 2** UNDERGROUND RAINWATER TANKS (UNDER DRIVEWAY)
TOROID BAGELS - 3780L x 2400W x 1950D
RWT 1 = 5000 L
RWT 2 = 5000 L

NOTE: ALL DRAINAGE LINES ARE INDICATIVE ONLY. LOCATION MAY VARY DUE TO CONSTRAINTS.

NOTE:
STORMWATER DRAWINGS DO NOT INCLUDE SUBSOIL AGRICULTURAL DRAINAGE DETAILS FOR D.A. SUBMISSION. NORTHERN BEACHES CONSULTING ENGINEERS PTY LTD MUST BE COMMISSIONED TO INCLUDE THESE DETAILS ONLY WHEN CONSTRUCTION CERTIFICATE AND/OR CONSTRUCTION DOCUMENTATION IS COMPLETE AND PROVIDED.

NOTE: EXCAVATION AROUND TREES
CARE SHOULD BE TAKEN WHEN UNDERTAKING WORKS IN THE VICINITY OF SELECTED TREES NOT TO DISTURB THE TREE ROOT SYSTEM. HAND DIGGING OF TRENCHES ETC MAY BE NECESSARY. REFER ARBORISTS REPORT.

NOTE:
ALL DPI DOWN PIPES TO DISCHARGE INTO RAINWATER RE-USE TANKS IN ACCORDANCE WITH AS 3500.3



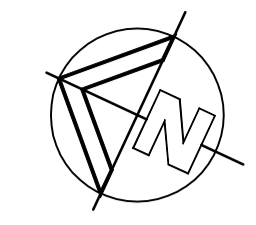
NOTE:
NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.
DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.
CARELESS DIGGING CAN:
- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED
MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG. - TEL. 1100

ISSUED FOR D.A. SUBMISSION ONLY NOT FOR CONSTRUCTION

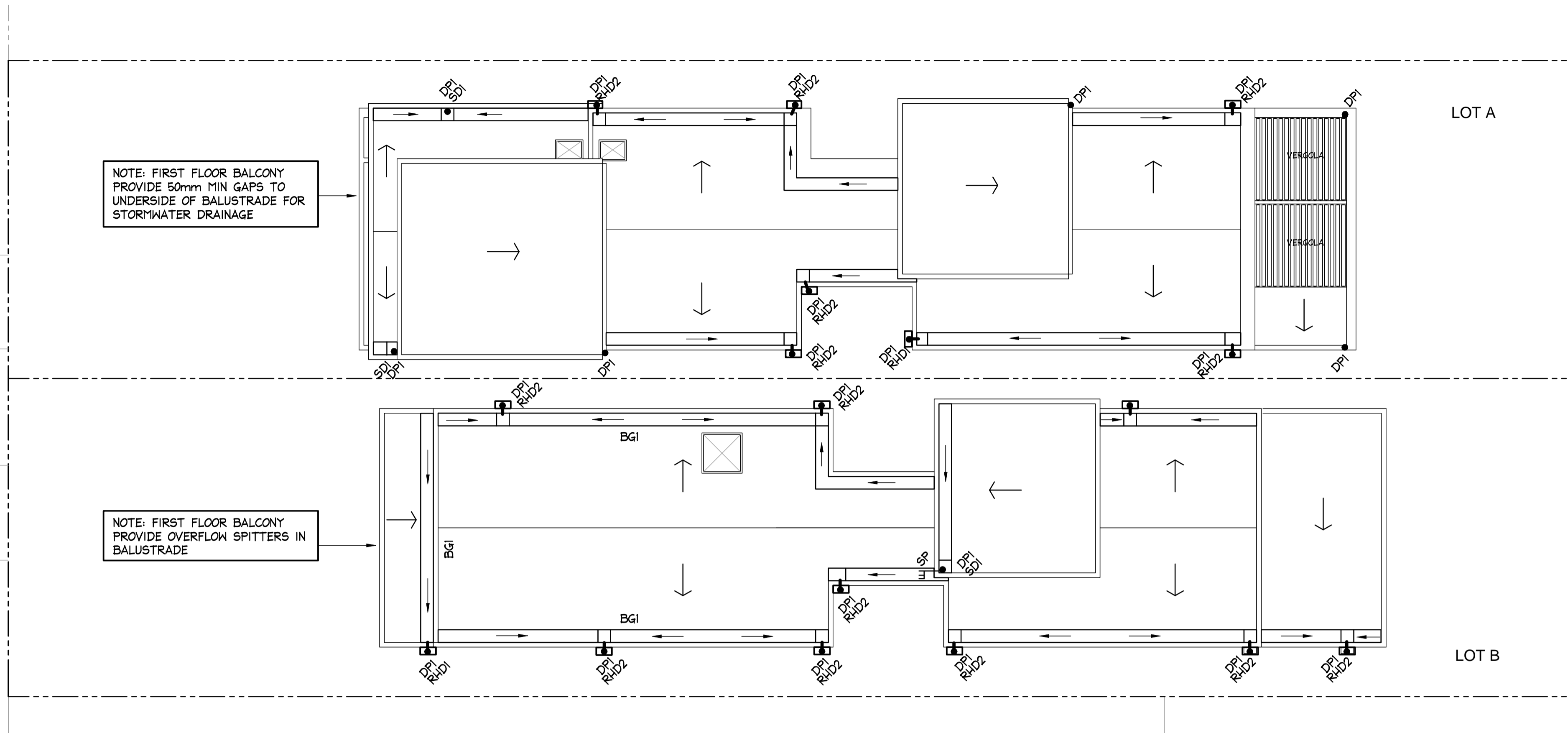
IF IN DOUBT ASK

DOCUMENT CERTIFICATION				Architect:	NICK BELL ARCHITECTS	Project:	NEW RESIDENCE 27 ALAN AVENUE SEAFORTH	Date:	NOV. 2019	Design:	CH	Drawn:	MC	
Date:	06-12-2019	Issue:	A	Description:	ISSUED FOR COMMENT	By:	MC	Review:	CF	Author:	Rick G Wray	Director:	BE(Civil), CP(Eng), MIE(Aust.), NER, RPEQ: 08293. (Director NB Consulting Engineers)	
Date:		Issue:		Description:		By:		Review:		Client:	RA EL KHOURI	Drawing Title:	STORMWATER MANAGEMENT BASEMENT DRAINAGE PLAN	
								Job No:	1909132	Drawing No:		D01	Issue:	B

NB Consulting Engineers



ALAN AVENUE



NOTE: BOX GUTTERS
 ALL BOX GUTTER SYSTEMS SHOWN ON THESE PLANS ARE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH THE ASSOCIATED DETAILS. IF ANY CHANGE TO THE BOX GUTTER CONFIGURATION IS PROPOSED, NOTIFY THE ENGINEER FOR RE-DESIGN. IF THE INSTALLED BOX GUTTER DOES NOT STRICTLY COMPLY WITH OUR DESIGN, CERTIFICATION OF THE HYDRAULIC SYSTEM MAY BE REFUSED.

ROOF - DRAINAGE PLAN

SCALE = 1 : 100

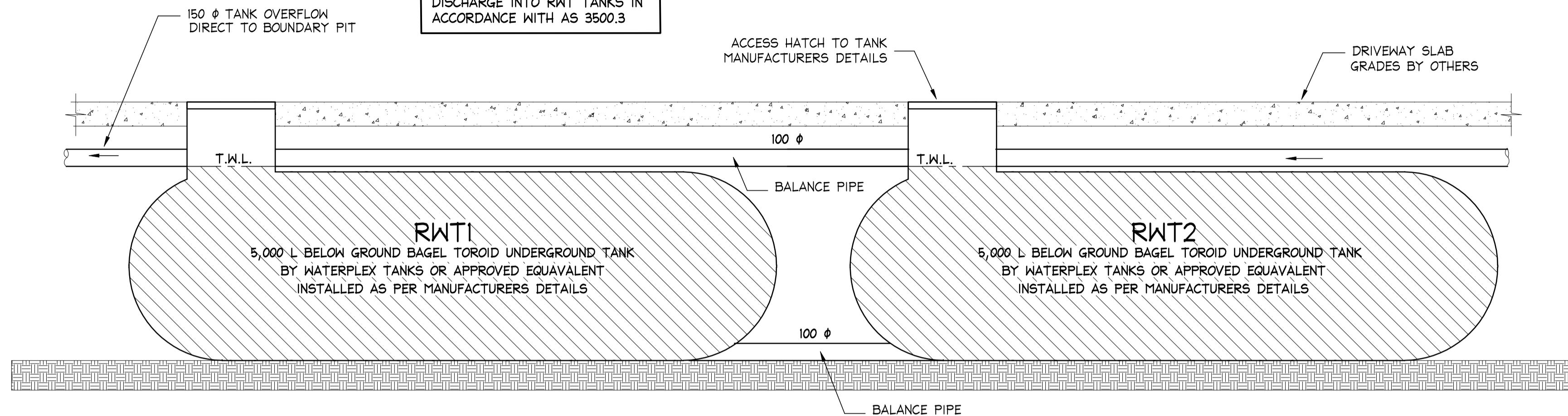
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AI		DOCUMENT CERTIFICATION		NB Consulting Engineers STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616 Sydney: Ph: (02) 9984 7000 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E : nb@nbconsulting.com.au W : www.nbconsulting.com.au		Architect: NICK BELL ARCHITECTS Client: RA EL KHOURI		Project: NEW RESIDENCE 27 ALAN AVENUE SEAFORTH		Date: NOV. 2019	Design: CH	Drawn: MC
Date: 06-12-2019	Issue: B	Description: ISSUED FOR DA SUBMISSION		By: MC	Review: CF	Drawing Title: STORMWATER MANAGEMENT ROOF DRAINAGE PLAN AND DETAILS		Job No: 1909132	Drawing No: D03	Issue: A		

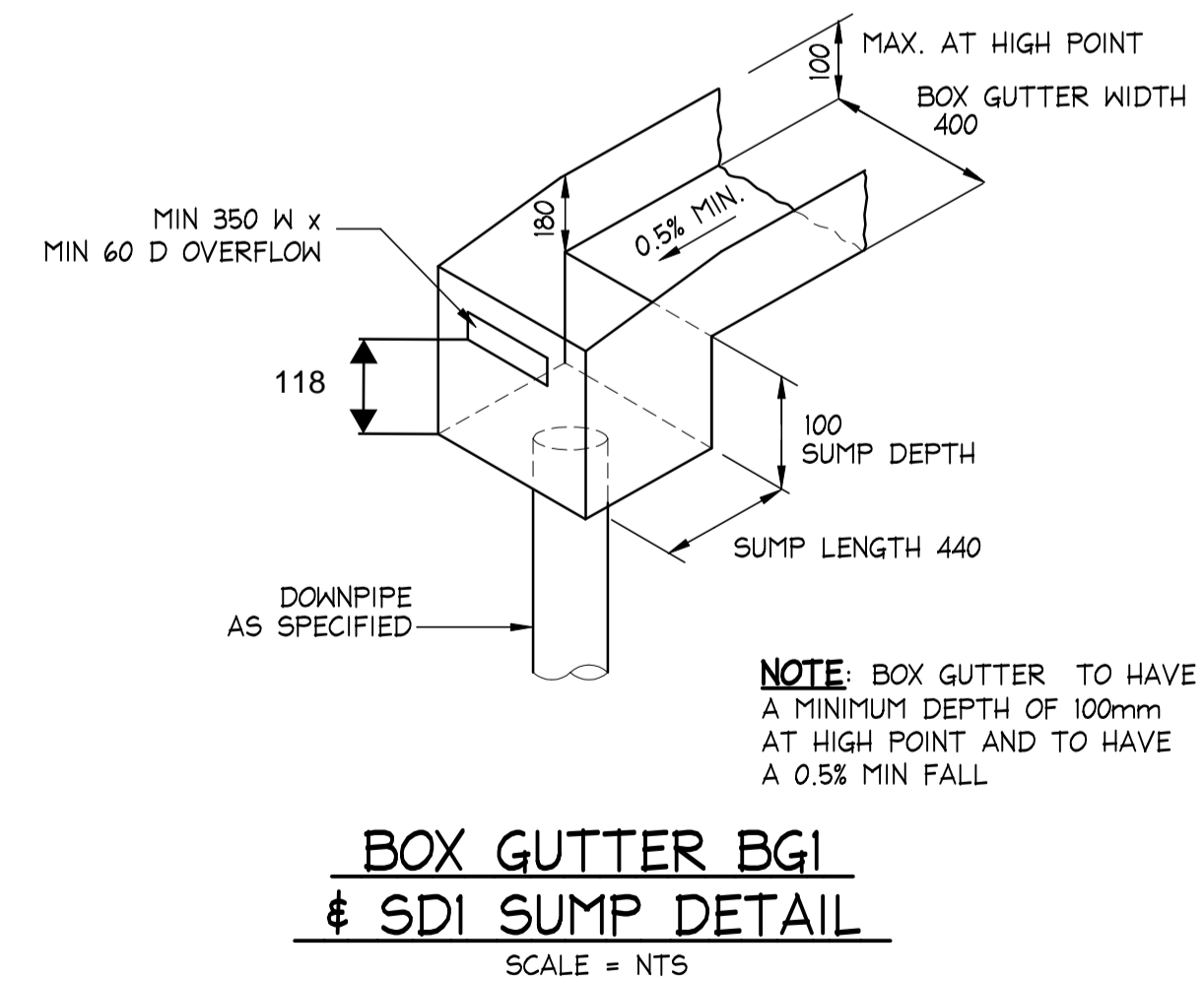
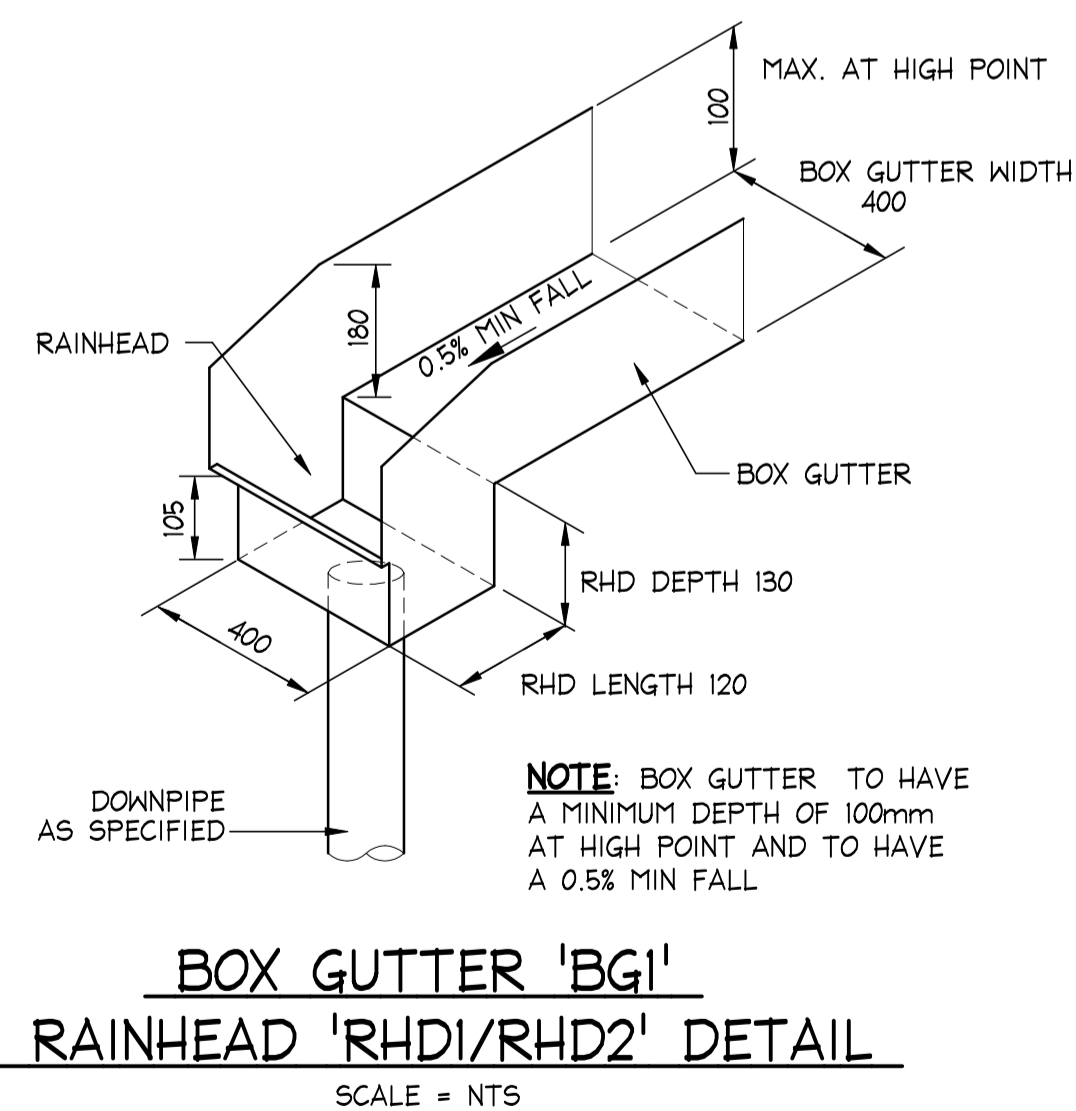
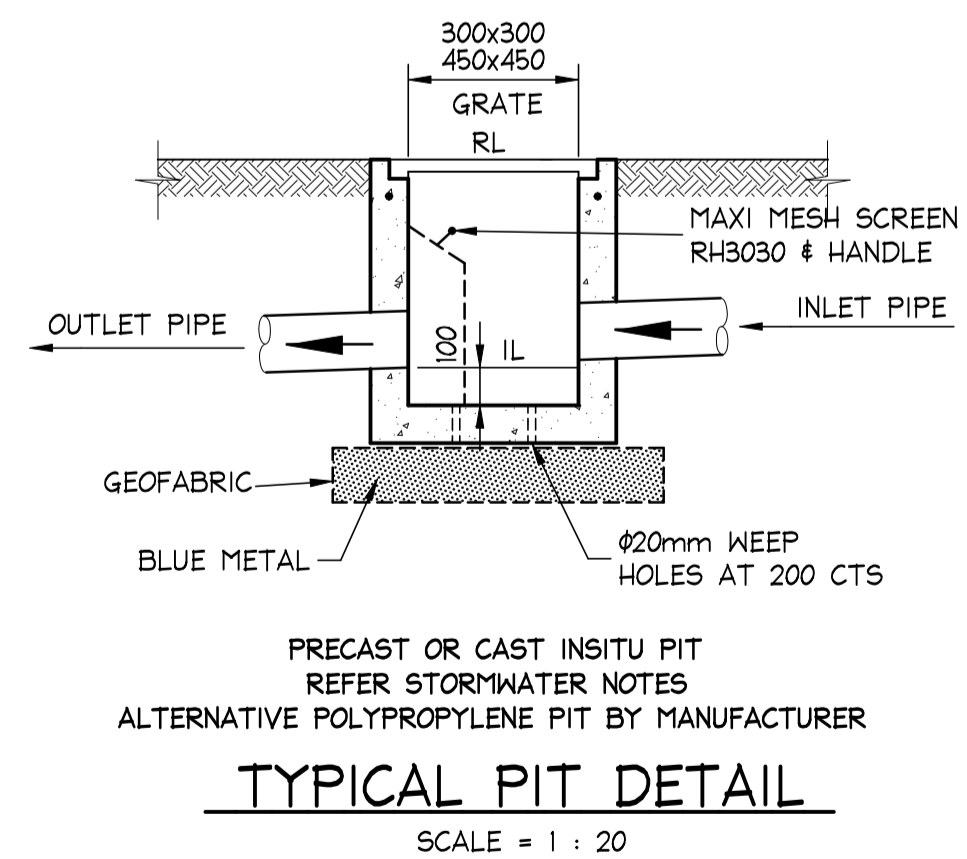
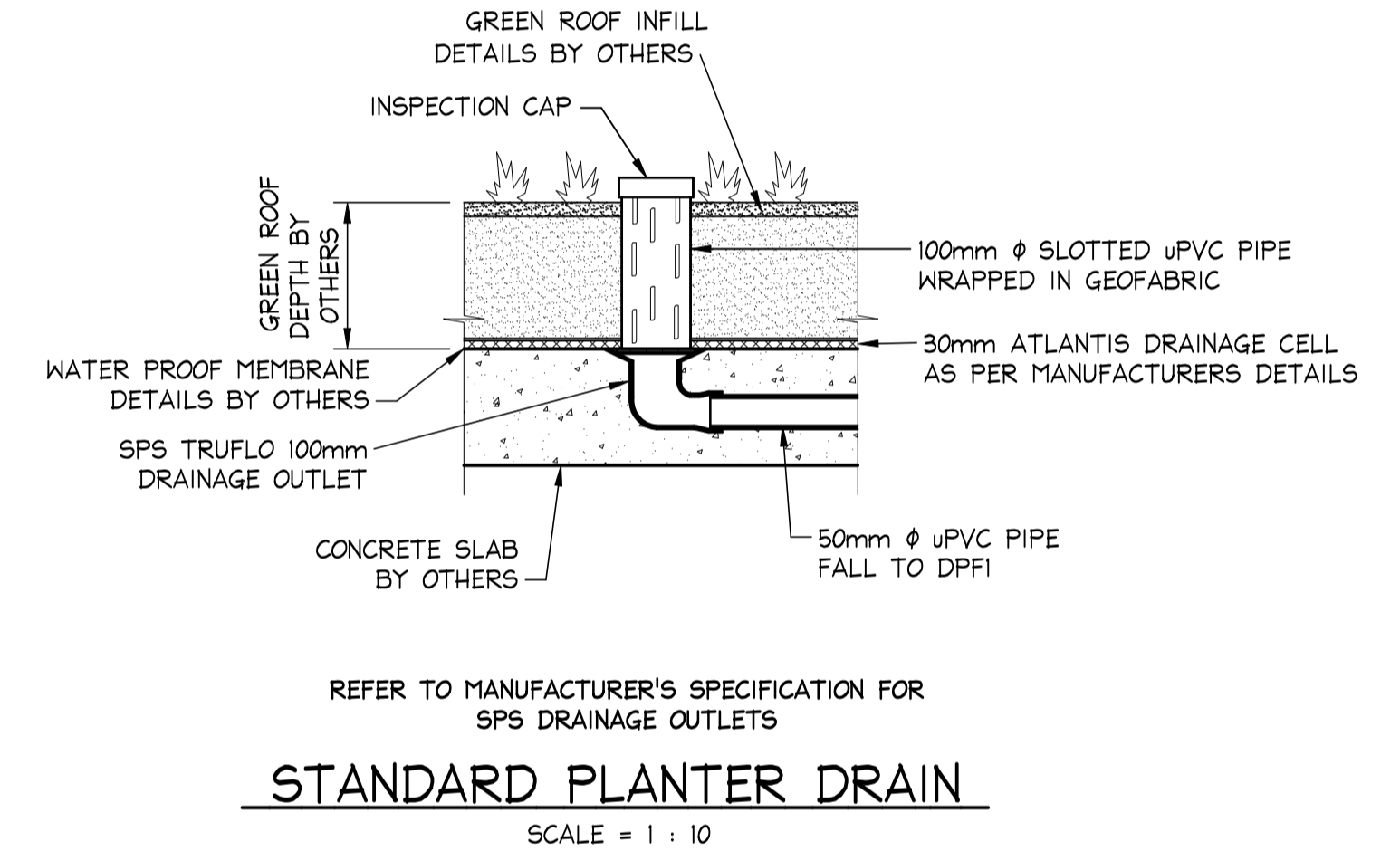
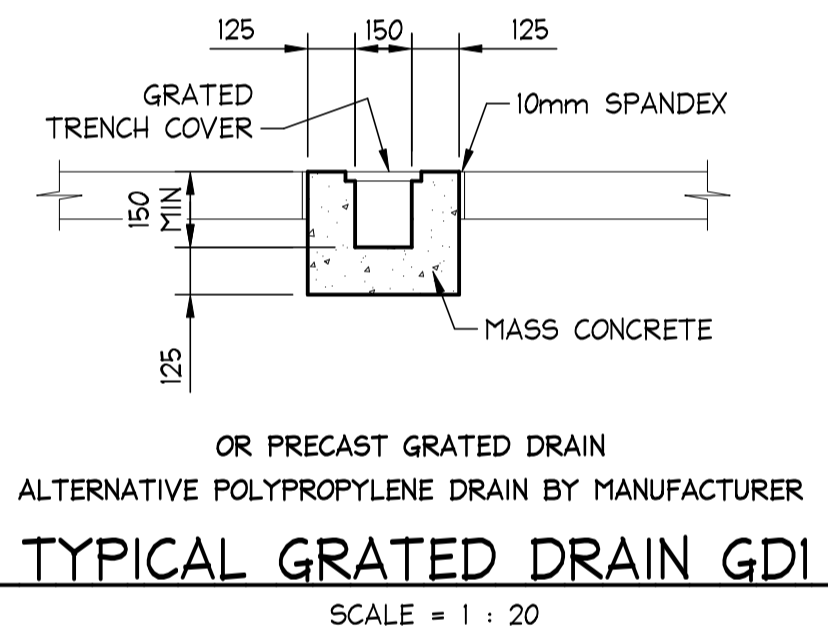
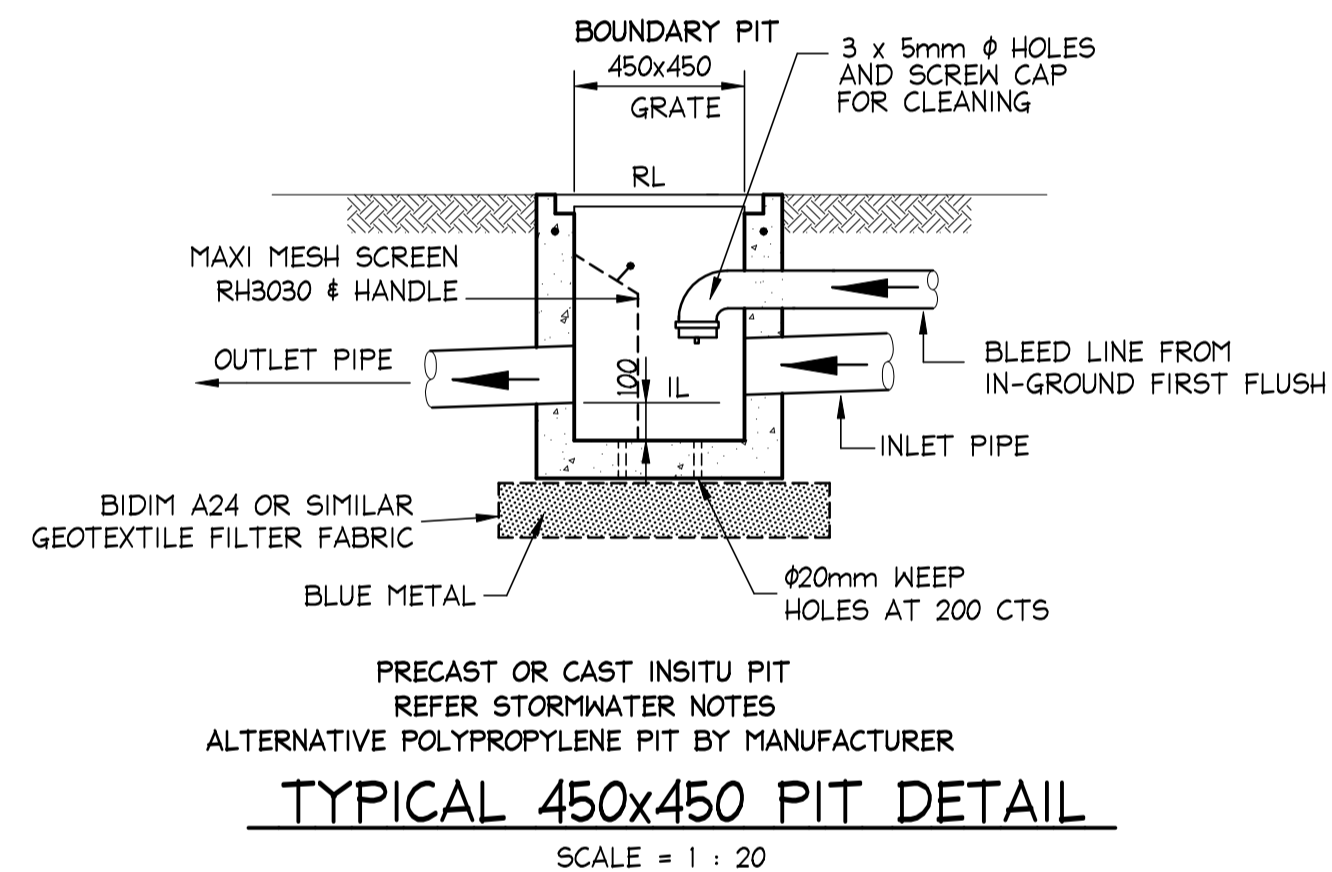
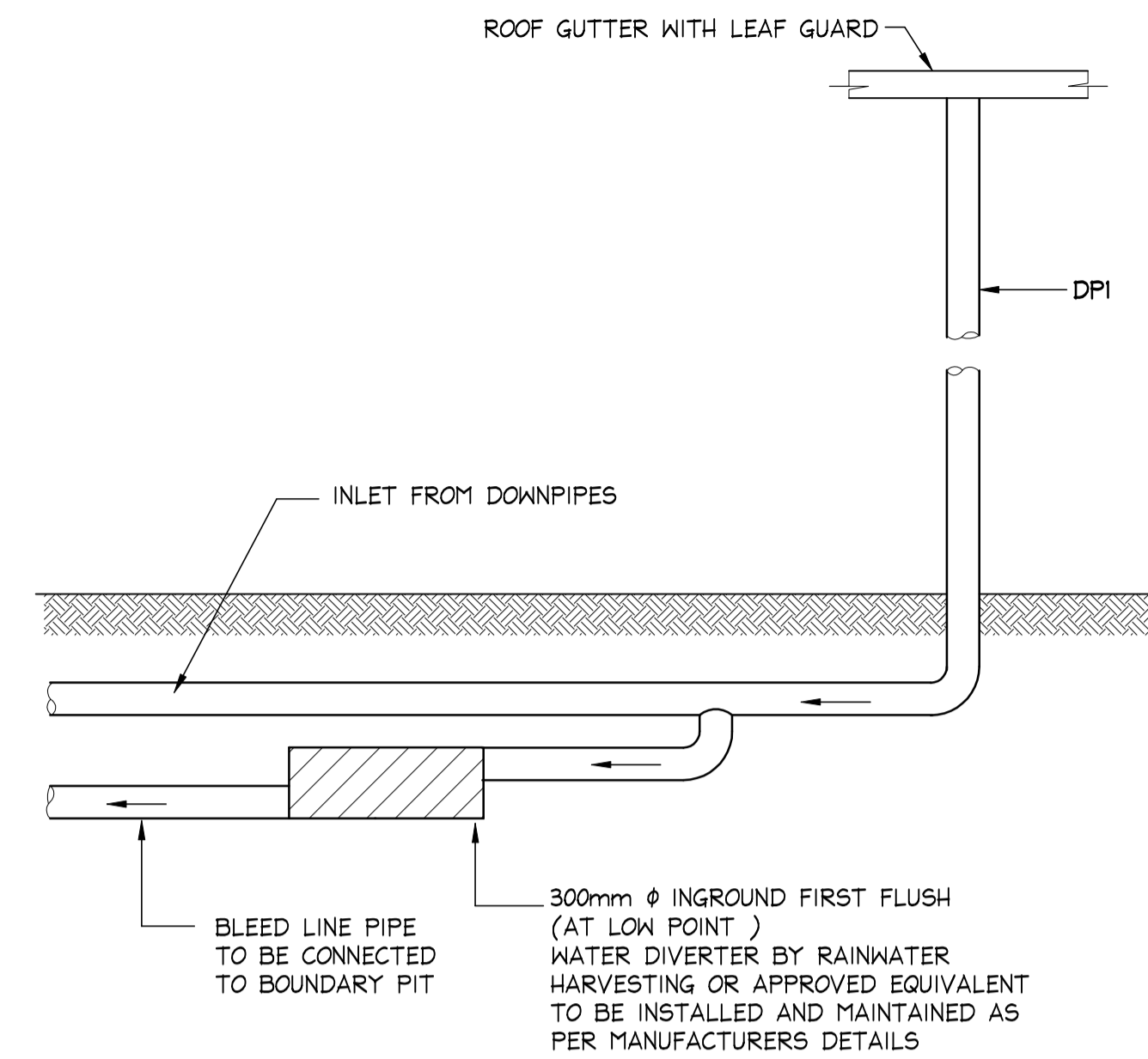
NB Consulting Engineers

NOTE:
ALL DPI DOWNPIPES PIPES TO DISCHARGE INTO RWT TANKS IN ACCORDANCE WITH AS 3500.3



TYPICAL SECTION OF BELOW GROUND RWT TANKS

SCALE = N.T.S.



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Date:	Issue:	Description:	By:		Review:	Client:	RA EL KHOURI	Drawing Title:	STORMWATER MANAGEMENT DETAILS	Job No:	1909132	Drawing No:	D04	Issue:
06-12-2019	B	ISSUED FOR DA SUBMISSION	MC	CF										
	A	ISSUED FOR COMMENT	MC											