

46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS. NSW.

LOT 21
DP 11430

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING
DETACHED CARPORT AND REAR DECK EXTENSION

STUART AND CHARLOTTE MENOUGE.

DA DOCUMENTATION SCHEDULE

DWG NO.	TITLE	SCALE	REV.	DATE:	DESCRIPTION:
DA_000	Cover Page & Drawing Schedule	NTS	-	15.01.25	DA
DA_001	Site Plan	1:100 @ A1 / 1:200 @ A3	-	15.01.25	DA
DA_100	Lower Ground Floor Plan	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_101	Ground Floor Plan	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_102	First Floor Plan	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_300	Elevations Sheet 01	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_301	Elevations Sheet 02	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_400	Sections Sheet 01	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_700	Landscape Plan	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_800	Shadow Diagram Plan - 9am	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_801	Shadow Diagram Plan - 12 Noon	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_802	Shadow Diagram Plan - 3pm	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_900	Stormwater Management Plan	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA
DA_901	Erosion & Sediment Control Plan	1:50 @ A1 / 1:100 @ A3	-	15.01.25	DA

SPECIALIST CONSULTANTS SUPPORTING DOCUMENTATION SCHEDULE

DWG NO.	TITLE	SCALE	REV.	DATE:	CONSULTANT:
-	Statement of Environment Effects	NTS	-	_____	Vaughan Milliagan Development Consultant
19920Adetail	Survey	1:50 @ A1 / 1:100 @ A3	-	_____	CMS
-	BASIX Certificate	NTS	-	_____	Daniel Raymond Architect

BASIX COMMITMENTS

BASIX[®]Certificate
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1783881

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 17 February 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Menogue DA
Street address	46 BUNGALOE Avenue BALGOWLAH 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP11430
Lot number	21
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by <small>(please complete before submitting to Council or PCA)</small>	
Name / Company Name: SPECIALIST ARCHITECTURAL SERVICES PTY LTD	
ABN (if applicable): 21656951656	

BASIX Certificate number A1783881

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				

page 2/4 BASIX Certificate number A1783881

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.							✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:								✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.								✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.							✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.								✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.								✓	✓
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	E	13	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W2	E	2.3	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			



FINISHES

- Colorbond custom ord roof sheeting in shale grey
- James hardie 'linea' Weatherboard cladding Dulux Lexicon Qtr painted finish
- Random square/Ashlar pattern rock faceHawksbury sandstone cladding
- Tallowwood external decking boards to silverSynteco clear decking oil
- Timber Windows & Doors Dulux Lexicon Qtr painted finish
- External Balustrade. Primed pine DAR H3 42mm balusters - 115 x 41mm top cap - 90 x 66mm on edge top bottom rail - 115mm Posts. Dulux Lexicon Qtr painted finish
- James hardie 'linea' Weatherboard cladding Dulux Lexicon Qtr painted finish
- External steps 138mm Tallow wood treads with 180mm primed pine rises finished with Synteco clear decking oil

<div><div>LEGEND:</div><div><div><div><div><div><div></div></div></div><div><div></div></div></div><div><div></div></div></div><div><div><div>RL 7.10</div></div></div></div><div><div>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION</div><div>NOTE: CONCEPT DESIGN ONLY.</div><div>NOTE: DO NOT SCALE OFF THIS DRAWING</div><div>NOTE: SUBJECT TO PLANNING APPROVAL</div></div></div> <td rowspan="3"><div><div>KEY:</div><div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div></div><div><div>DENOTES PROPOSED WALL TO BE CONSTRUCTED</div><div>DENOTES EXISTING WALL TO REMAIN</div><div>DENOTES EXISTING WALL TO BE REMOVED</div><div>DENOTES AREA OF PROPOSED ADDITION</div><div>DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING</div><div>DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:</div></div></div><td><div><div>PROJECT:</div><div>ALTERATIONS & ADDITIONS</div><div>TO EXISTING DWELLING</div></div></td><td><div><div>PROJECT STAGE:</div><div>DA</div></div></td><td><div><div>DATE OF ISSUE:</div><div>15.01.2025</div></div></td><td rowspan="3"><div><div>RAW</div><div>D AND C</div><div>RAYMOND AND WILLIAMS</div><div>DESIGN AND CONSTRUCT</div><div><div><div>Daniel Raymond</div><div>Architect</div><div>NSW Reg. #9788</div><div>dan@rawdando.com</div><div>0409 369 275</div></div><div><div>Travers Williams</div><div>Builder</div><div>Lic No.235416C</div><div>trav@rawdando.com</div><div>0421 904 523</div></div></div><div><div>COPYRIGHT OF RAW D AND C</div><div>THIS DRAWING IS NOT TO BE USED OR REPRODUCED</div><div>IN ANY FORM WITHOUT CONSENT.</div><div>DO NOT SCALE FROM THIS DRAWING</div></div></div></td></td>	<div><div>KEY:</div><div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div><div><div><div></div></div><div><div></div></div></div></div><div><div>DENOTES PROPOSED WALL TO BE CONSTRUCTED</div><div>DENOTES EXISTING WALL TO REMAIN</div><div>DENOTES EXISTING WALL TO BE REMOVED</div><div>DENOTES AREA OF PROPOSED ADDITION</div><div>DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING</div><div>DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:</div></div></div> <td><div><div>PROJECT:</div><div>ALTERATIONS & ADDITIONS</div><div>TO EXISTING DWELLING</div></div></td> <td><div><div>PROJECT STAGE:</div><div>DA</div></div></td> <td><div><div>DATE OF ISSUE:</div><div>15.01.2025</div></div></td> <td rowspan="3"><div><div>RAW</div><div>D AND C</div><div>RAYMOND AND WILLIAMS</div><div>DESIGN AND CONSTRUCT</div><div><div><div>Daniel Raymond</div><div>Architect</div><div>NSW Reg. #9788</div><div>dan@rawdando.com</div><div>0409 369 275</div></div><div><div>Travers Williams</div><div>Builder</div><div>Lic No.235416C</div><div>trav@rawdando.com</div><div>0421 904 523</div></div></div><div><div>COPYRIGHT OF RAW D AND C</div><div>THIS DRAWING IS NOT TO BE USED OR REPRODUCED</div><div>IN ANY FORM WITHOUT CONSENT.</div><div>DO NOT SCALE FROM THIS DRAWING</div></div></div></td>	<div><div>PROJECT:</div><div>ALTERATIONS & ADDITIONS</div><div>TO EXISTING DWELLING</div></div>	<div><div>PROJECT STAGE:</div><div>DA</div></div>	<div><div>DATE OF ISSUE:</div><div>15.01.2025</div></div>	<div><div>RAW</div><div>D AND C</div><div>RAYMOND AND WILLIAMS</div><div>DESIGN AND CONSTRUCT</div><div><div><div>Daniel Raymond</div><div>Architect</div><div>NSW Reg. #9788</div><div>dan@rawdando.com</div><div>0409 369 275</div></div><div><div>Travers Williams</div><div>Builder</div><div>Lic No.235416C</div><div>trav@rawdando.com</div><div>0421 904 523</div></div></div><div><div>COPYRIGHT OF RAW D AND C</div><div>THIS DRAWING IS NOT TO BE USED OR REPRODUCED</div><div>IN ANY FORM WITHOUT CONSENT.</div><div>DO NOT SCALE FROM THIS DRAWING</div></div></div>
		<div><div>CLIENT:</div><div>STUART & CHARLOTTE MENOUE</div></div>	<div><div>DRAWING TITLE:</div><div>COVER PAGE &</div><div>DRAWINGS SCHEDULE</div></div>	<div><div>DRAWING NO.</div><div>CDC-000</div></div>	
		<div><div>LOCATION</div><div>46 BUNGALOE AVENUE,</div><div>BALGOWLAH HEIGHTS. NSW.</div></div>	<div><div>SCALE:</div><div>NTS</div></div>	<div><div>REVISION:</div><div>-</div></div>	

SITE CALCULATIONS

TOTAL SITE AREA : 461 SQ.M
PROPOSED CARPORT FLOOR AREA: 24 SQ.M
EXISTING DRIVEWAY AREA: 16 SQ.M
EXISTING LOWER GROUND FLOOR AREA: 52 SQ.M
PROPOSED LOWER GROUND FLOOR AREA: 52 SQ.M
EXISTING GROUND FLOOR AREA: 141 SQ.M
PROPOSED GROUND FLOOR AREA: 133 SQ.M
EXISTING GROUND FLOOR EXTERNAL DECK AREA: 13 SQ.M
PROPOSED GROUND FLOOR EXTERNAL DECK AREA: 38 SQ.M
PROPOSED FIRST FLOOR AREA: 60 SQ.M
EXISTING ROOF AREA : 204 SQ.M
PROPOSED ROOF AREA: 241 SQ.M
TOTAL HABITAT INTERNAL FLOOR AREA (GFA): 245 SQ.M
EXISTING / CDC APPROVED FSR: 253 SQ.M / 461 SQ.M = 0.55
PROPOSED FSR: 245 SQ.M / 461 SQ.M = 0.53

EXISTING SOFT LANDSCAPE AREA: 75.5 SQ.M (16.5%)
EXISTING HARDSTAND AREA: 385.5 SQ.M (83.5%)
PROPOSED SOFT LANDSCAPE AREA: 153 SQ.M (33%)
PROPOSED HARDSTAND AREA (INC POOL): 308 SQ.M (67%)

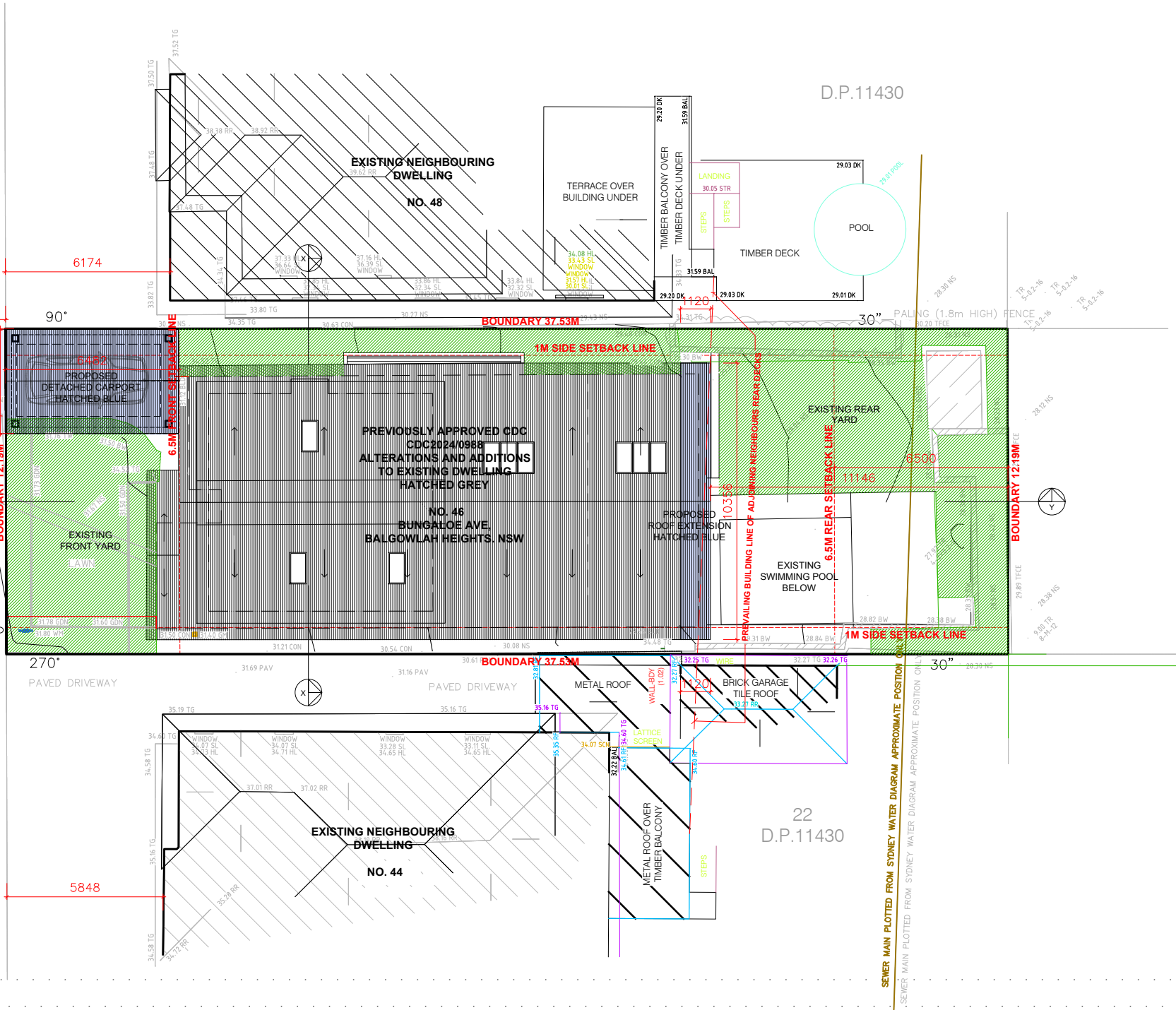
BUNGALOE AVENUE

(BITUMEN FORMATION)

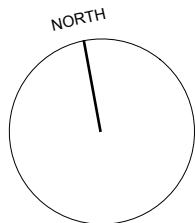
BENCH MARK
NAIL IN KERB
RL 32.82 (AHD)

SEWER MAIN PLOTTED FROM SYDNEY WATER DIAGRAM APPROXIMATE POSITION ONLY

CONCRETE DRIVEWAY



SITE PLAN 1:100 @ A1 OR 1:200 @ A3



LEGEND:

DENOTES EXISTING SPOT LEVEL
 DENOTES PROPOSED LEVEL

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 DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:

PROJECT:
ALTERATIONS & ADDITIONS
TO EXISTING DWELLING

CLIENT:
STUART & CHARLOTTE MENOGUE

LOCATION
46 BUNGALOE AVENUE,
BALGOWLAH HEIGHTS. NSW.

PROJECT STAGE:
DA

DRAWING TITLE:
SITE PLAN

SCALE:
1:100 @ A3

DATE OF ISSUE:
27.11.2024

DRAWING NO.
DA-001

REVISION:
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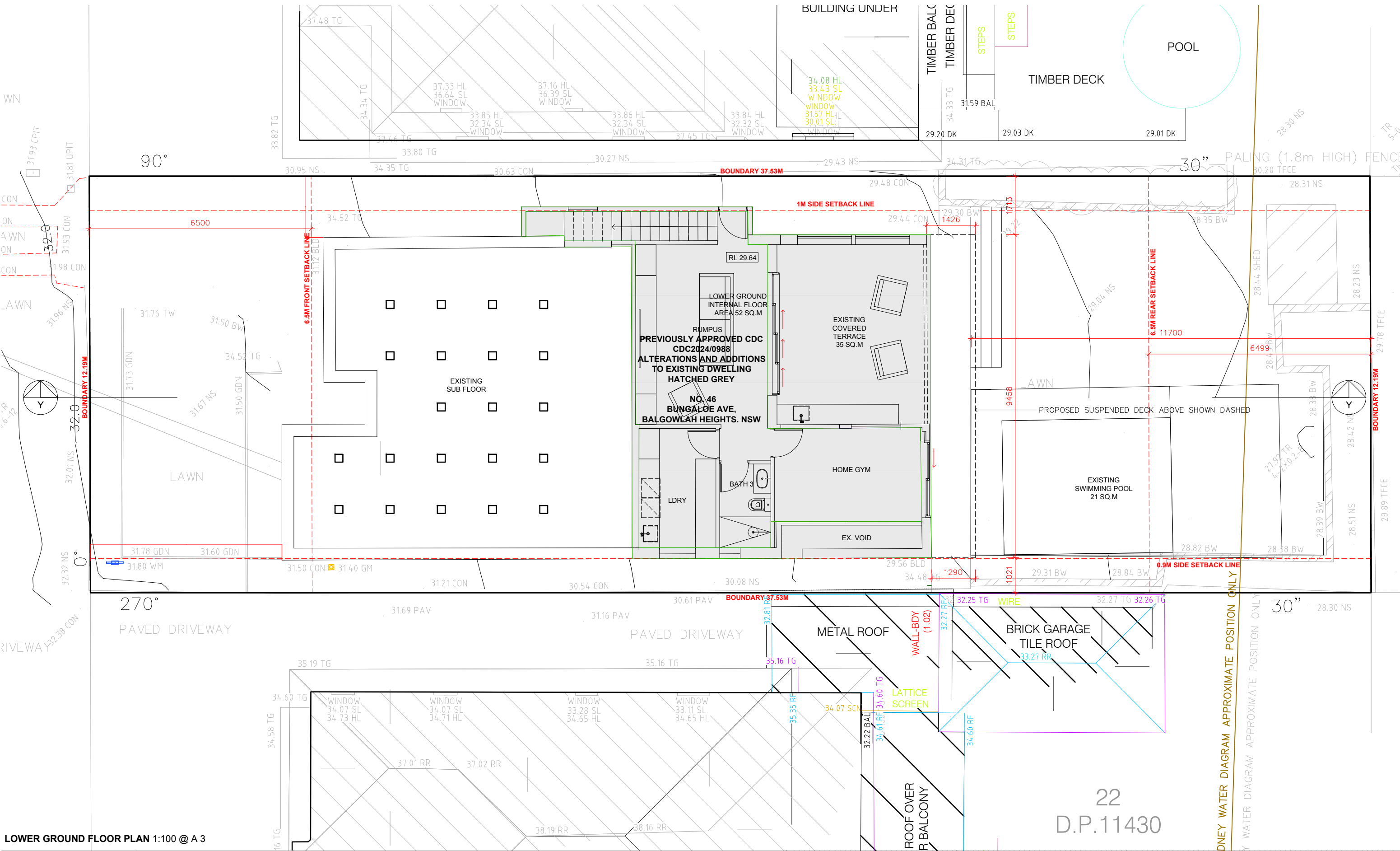
RAW

RAYMOND AND WILLIAMS
ARCHITECTURAL DESIGN AND CONSTRUCTION

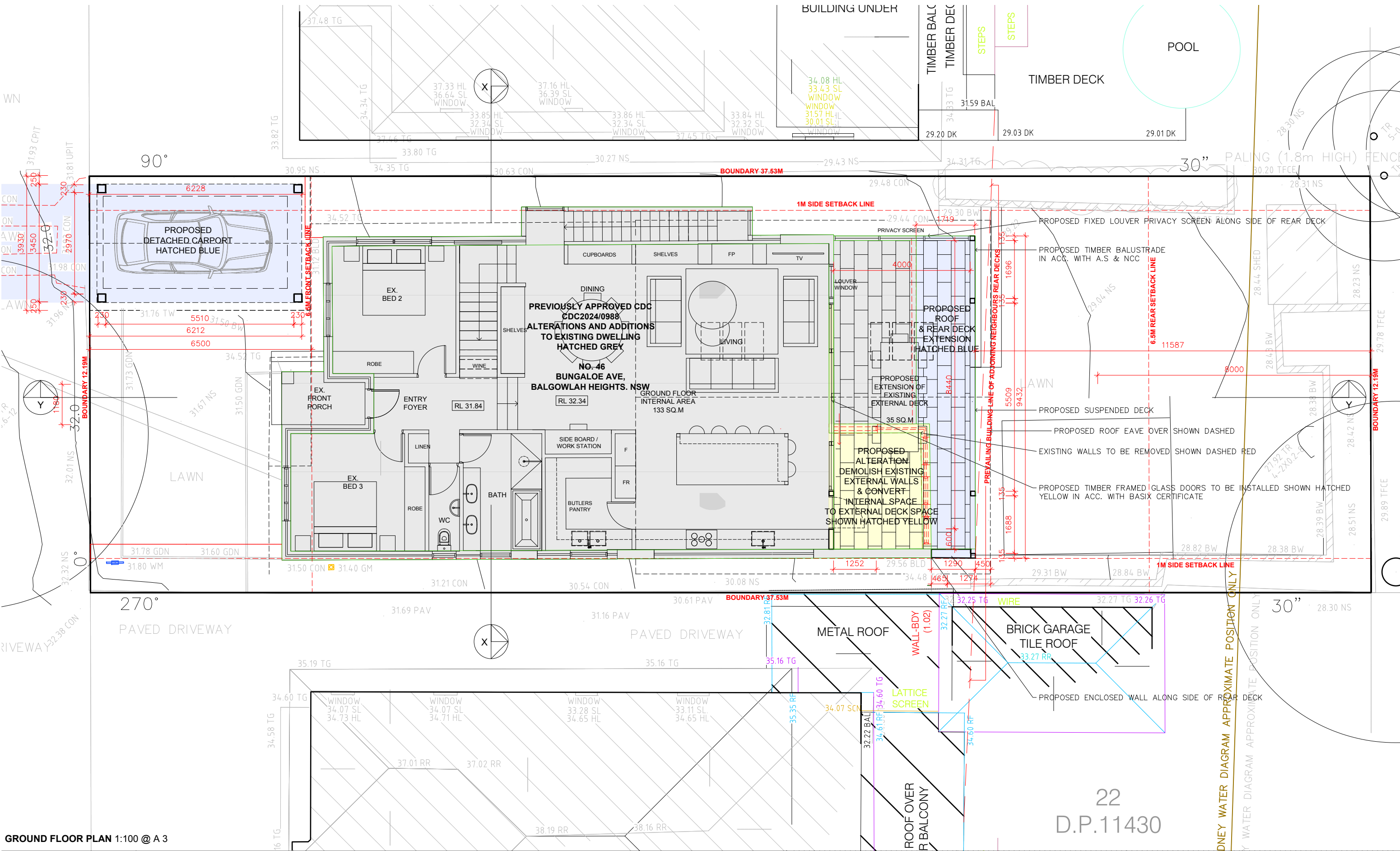
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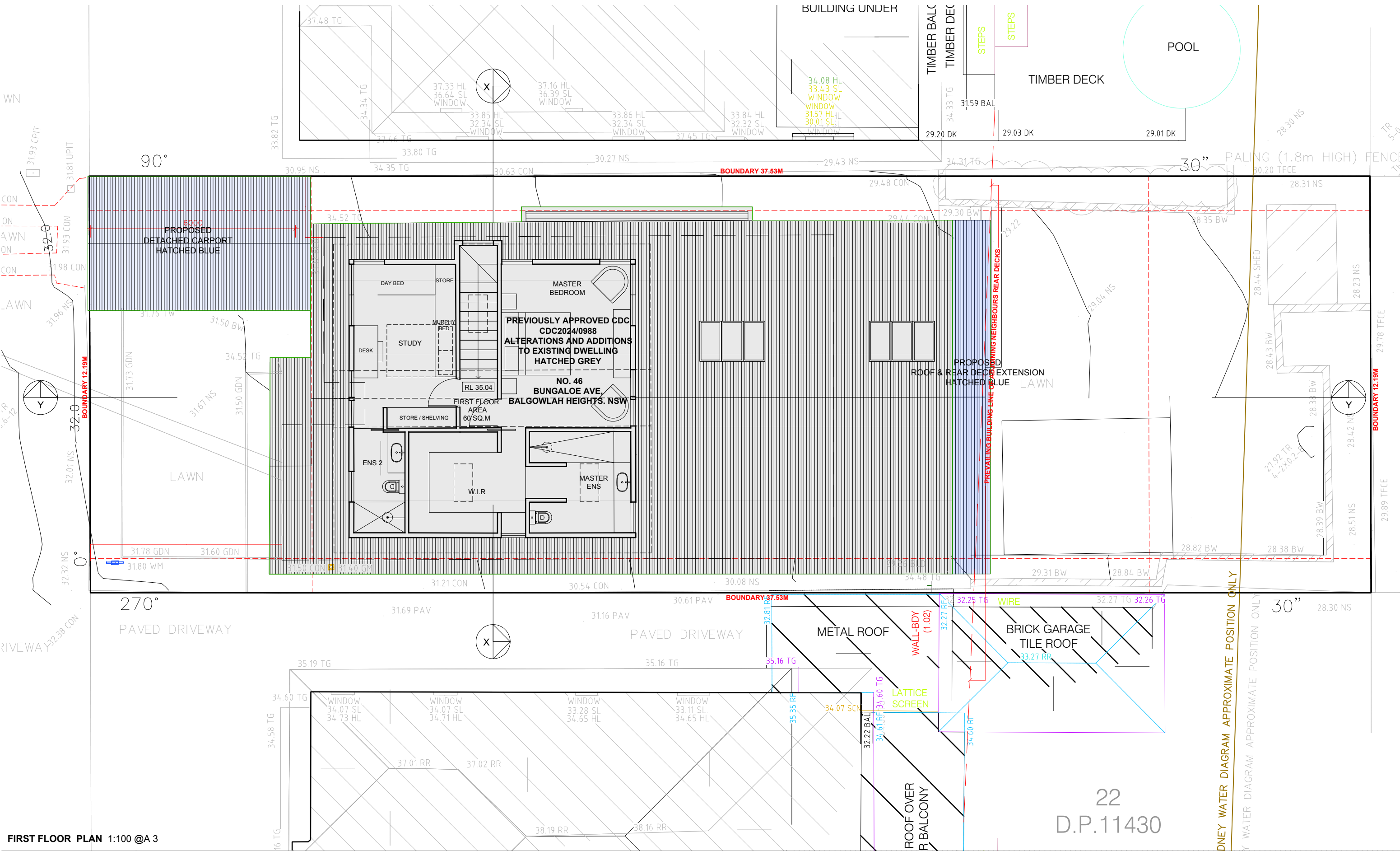


<p>NORTH</p>	<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p>KEY:</p> <p> DENOTES PROPOSED WALL TO BE CONSTRUCTED</p> <p> DENOTES EXISTING WALL TO REMAIN</p> <p> DENOTES EXISTING WALL TO BE REMOVED</p> <p> DENOTES AREA OF PROPOSED ADDITION</p> <p> DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING</p> <p> DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:</p>	<p>PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING</p> <p>CLIENT: STUART & CHARLOTTE MENOGUE</p> <p>LOCATION 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS. NSW.</p>	<p>PROJECT STAGE: CONCEPT</p> <p>DRAWING TITLE: LOWER GROUND FLOOR PLAN</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 11.11.2024</p> <p>DRAWING NO. CD-104</p> <p>REVISION: H</p>	<p>RAW</p> <p>RAYMOND AND WILLIAMS ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>Daniel Raymond Architect NSW Reg. #9788 dan@rawdandc.com 0409 369 275</p> <p>Travers Williams Builder Lic No.235416C trav@rawdandc.com 0421 904 523</p> <p>COPYRIGHT OF RAW D AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
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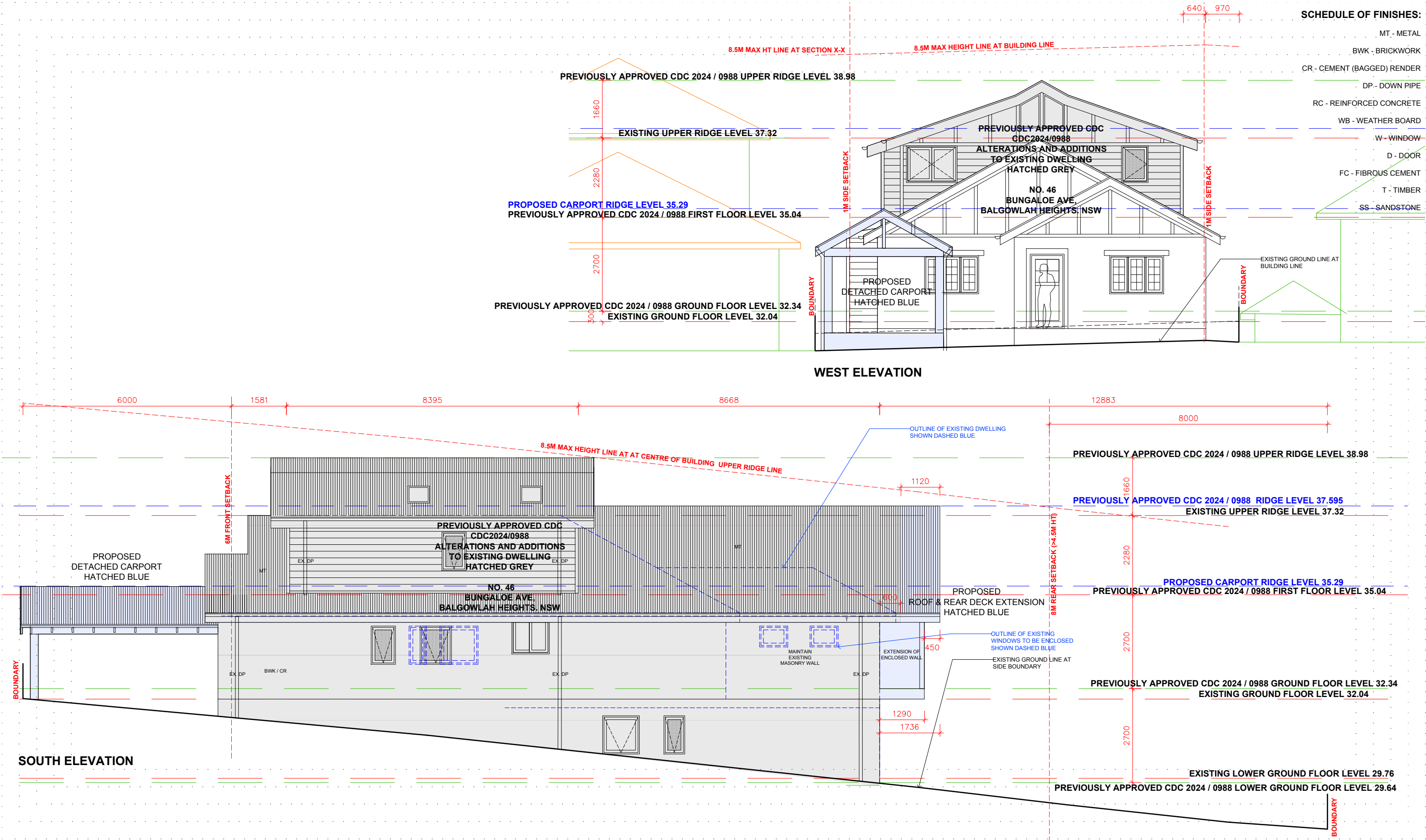
GROUND FLOOR PLAN 1:100 @ A 3

	<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p> DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p>KEY:</p> <p> DENOTES PROPOSED WALL TO BE CONSTRUCTED</p> <p> DENOTES EXISTING WALL TO REMAIN</p> <p> DENOTES EXISTING WALL TO BE REMOVED</p> <p> DENOTES AREA OF PROPOSED ADDITION</p> <p> DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING</p> <p> DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:</p>	<p>PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING</p> <p>CLIENT: STUART & CHARLOTTE MENOGUE</p> <p>LOCATION 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS, NSW.</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: GROUND FLOOR PLAN</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 15.01.25</p> <p>DRAWING NO. CD-101</p> <p>REVISION: -</p>	<p>RAW</p> <p>RAYMOND AND WILLIAMS ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>Daniel Raymond Architect NSW Reg. #9788 dan@rawdandc.com 0409 369 275</p> <p>Travers Williams Builder Lic No.235416C trav@rawdandc.com 0421 904 523</p> <p><small>COPYRIGHT OF RAW D AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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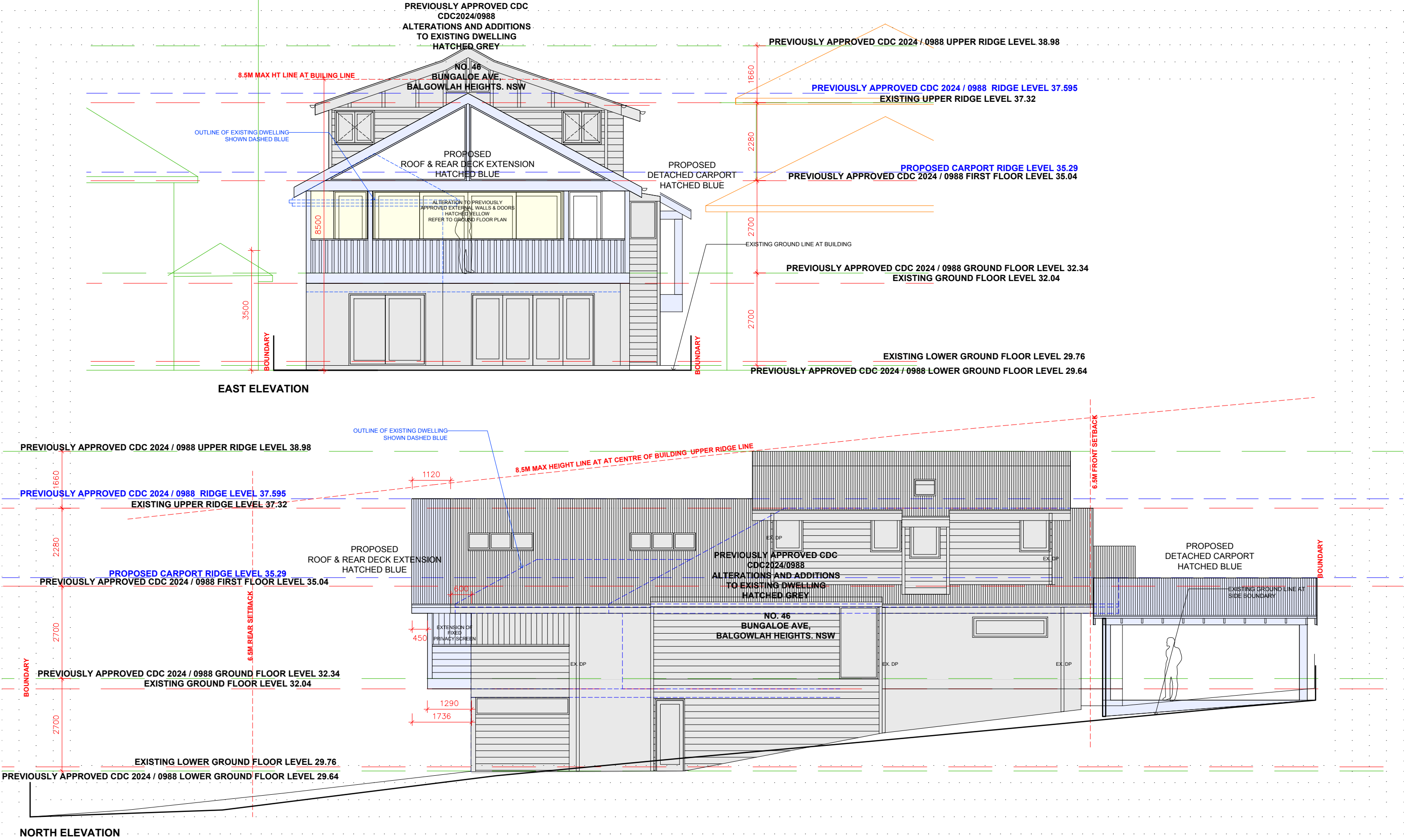
FIRST FLOOR PLAN 1:100 @A 3

	LEGEND: DENOTES EXISTING SPOT LEVEL DENOTES PROPOSED LEVEL NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL	KEY: DENOTES PROPOSED WALL TO BE CONSTRUCTED DENOTES EXISTING WALL TO REMAIN DENOTES EXISTING WALL TO BE REMOVED DENOTES AREA OF PROPOSED ADDITION DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:	PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING CLIENT: STUART & CHARLOTTE MENOGUE LOCATION 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS. NSW.	PROJECT STAGE: DA DRAWING TITLE: FIRST FLOOR PLAN SCALE: 1:100 @ A3	DATE OF ISSUE: 15.01.2025 DRAWING NO. CD-102 REVISION: -	RAW RAYMOND AND WILLIAMS ARCHITECTURAL DESIGN AND CONSTRUCTION Daniel Raymond Architect NSW Reg. #9788 dan@rawdandc.com 0409 369 275 Travers Williams Builder Lic No.235416C trav@rawdandc.com 0421 904 523 COPYRIGHT OF RAW D AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING
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ELEVATION SHEET 01 1:50 @ A1 OR 1:100 @ A3

<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p>KEY:</p> <p> DENOTES PROPOSED WALL TO BE CONSTRUCTED</p> <p> DENOTES EXISTING WALL TO REMAIN</p> <p> DENOTES EXISTING WALL TO BE REMOVED</p> <p> DENOTES AREA OF PROPOSED ADDITION</p> <p> DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING</p> <p> DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:</p> <p>PREVIOUSLY APPROVED CDC 2024 / 0988 LOWER GROUND FLOOR LEVEL 29.64</p>	<p>PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING</p> <p>CLIENT: STUART & CHARLOTTE MENOGUE</p> <p>LOCATION 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS. NSW.</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: ELEVATIONS SHEET 01</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 04.11.2024</p> <p>DRAWING NO. DA-300</p> <p>REVISION: -</p>	<p>RAW</p> <p>RAYMOND AND WILLIAMS ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>Daniel Raymond NSW Reg. #9788 dan@rawdandc.com 0409 369 275</p> <p>Travers Williams Builder Lic No.235416C trav@rawdandc.com 0421 904 523</p> <p><small>COPYRIGHT OF RAW D AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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LEGEND:

- DENOTES EXISTING SPOT LEVEL
- DENOTES PROPOSED LEVEL

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KEY:

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- DENOTES EXISTING WALL TO REMAIN
- DENOTES EXISTING WALL TO BE REMOVED
- DENOTES AREA OF PROPOSED ADDITION
- DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING
- DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:

PROJECT:
ALTERATIONS & ADDITIONS
TO EXISTING DWELLING

CLIENT:
STUART & CHARLOTTE MENOGUE

LOCATION
46 BUNGALOE AVENUE,
BALGOWLAH HEIGHTS, NSW.

PROJECT STAGE:
DA

DRAWING TITLE:
ELEVATION
SHEET 02

SCALE:
1:100 @ A3

DATE OF ISSUE:
27.11.2024

DRAWING NO.
DA-302

REVISION:
-

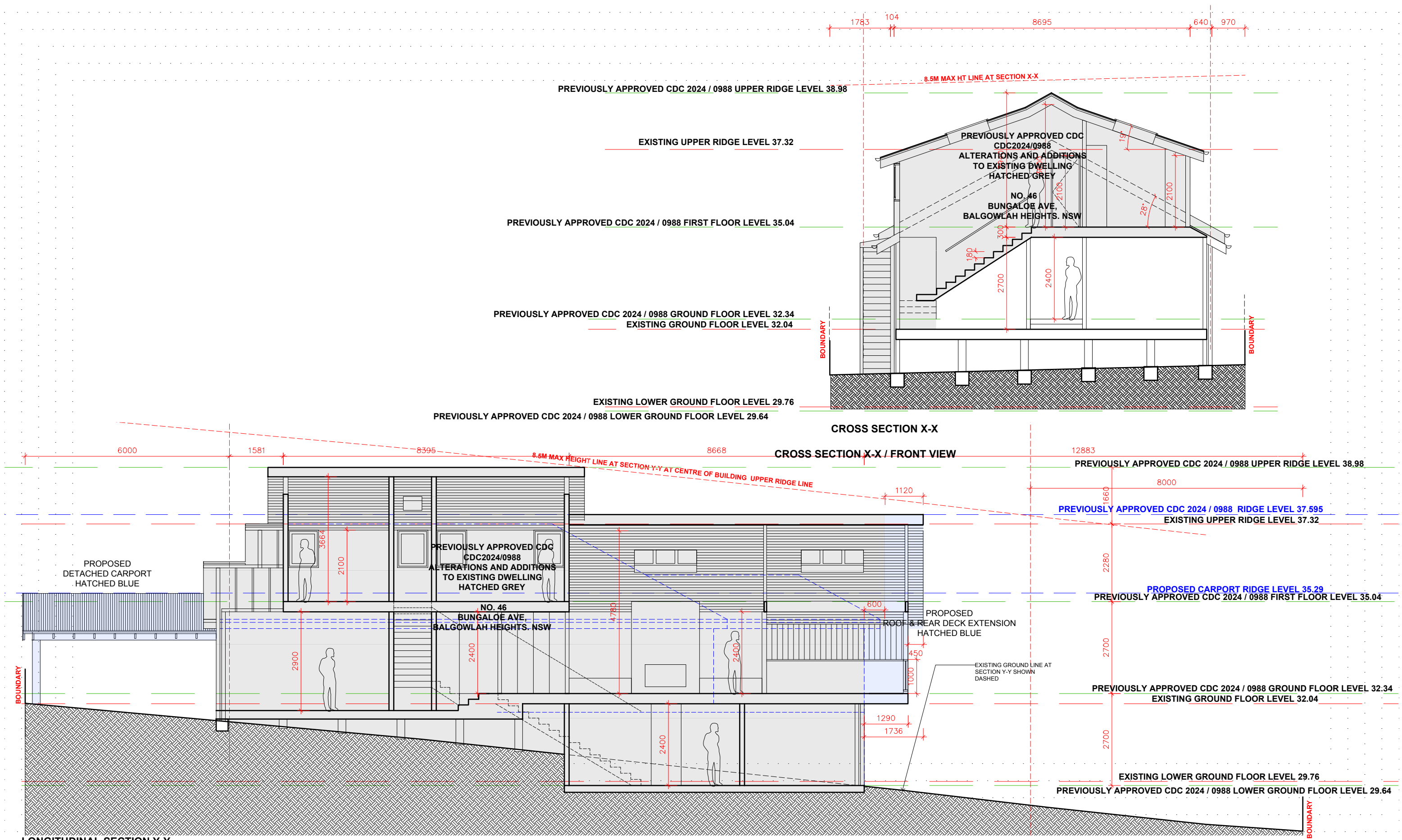
RAW








RAYMOND AND WILLIAMS
ARCHITECTURAL DESIGN AND CONSTRUCTION

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Architect
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0409 369 275

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Builder
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0421 904 523

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<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p>KEY:</p> <p> DENOTES PROPOSED WALL TO BE CONSTRUCTED</p> <p> DENOTES EXISTING WALL TO REMAIN</p> <p> DENOTES EXISTING WALL TO BE REMOVED</p> <p> DENOTES AREA OF PROPOSED ADDITION</p> <p> DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING</p> <p> DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:</p>	<p>PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING</p> <p>CLIENT: STUART & CHARLOTTE MENOGUE</p> <p>LOCATION 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS. NSW.</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: SECTION SHEET 01</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 27.11.2024</p> <p>DRAWING NO. CD-300</p> <p>REVISION: G</p>	<p>RAW</p> <p>RAYMOND AND WILLIAMS ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>Daniel Raymond Architect NSW Reg. #9788 dan@rawdandc.com 0409 369 275</p> <p>Travers Williams Builder Lic No.235416C trav@rawdandc.com 0421 904 523</p> <p><small>COPYRIGHT OF RAW D AND C. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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SITE CALCULATIONS

TOTAL SITE AREA : 461 SQ.M
PROPOSED CARPORT FLOOR AREA: 24 SQ.M
EXISTING DRIVEWAY AREA: 16 SQ.M
EXISTING LOWER GROUND FLOOR AREA: 52 SQ.M
PROPOSED LOWER GROUND FLOOR AREA: 52 SQ.M
EXISTING GROUND FLOOR AREA: 141 SQ.M
PROPOSED GROUND FLOOR AREA: 133 SQ.M
EXISTING GROUND FLOOR EXTERNAL DECK AREA: 13 SQ.M
PROPOSED GROUND FLOOR EXTERNAL DECK AREA: 38 SQ.M
PROPOSED FIRST FLOOR AREA: 60 SQ.M
EXISTING ROOF AREA : 204 SQ.M
PROPOSED ROOF AREA: 241 SQ.M
TOTAL HABITAL INTERNAL FLOOR AREA (GFA): 245 SQ.M
EXISTING FSR: 253 SQ.M / 461 SQ.M = 0.55
PROPOSED FSR: 245 SQ.M / 461 SQ.M = 0.53

EXISTING SOFT LANDSCAPE AREA: 75.5 SQ.M (16.5%)
EXISTING HARDSTAND AREA: 385.5 SQ.M (83.5%)
PROPOSED SOFT LANDSCAPE AREA:153 SQ.M (33%)
PROPOSED HARDSTAND AREA (INC POOL): 308 SQ.M (67%)

KEY:

- DENOTES CALCULATED SOFT LANDSCAPE AREA
- DENOTES GRASS LAWN AREA
- DENOTES CONCRETE DRIVEWAY SURFACE
- DENOTES EXISTING TREE TO BE REMOVED
- DENOTES PROPOSED FEATURE TREE
- DENOTES EXISTING TREE
- DENOTES PROPOSED CABBAGE TREE PALM
- DENOTES PROPOSED SHRUB
- DENOTES PROPOSED SCREENING HEDGE
- DENOTES PRPOSED FEATURE PLANT
- DENOTES PROPOSED GRASSES AND GROUND COVERS
- DENOTES PROPOSED TIMBER DECK AREA
- DENOTES PROPOSED STEPPING STONES

PROPOSED LANDSCAPE PLAN 1:100 @ A1 OR 1:200 @A 3

KEY:

- DENOTES PROPOSED WALL TO BE CONSTRUCTED
- DENOTES EXISTING WALL TO REMAIN
- DENOTES EXISTING WALL TO BE REMOVED
- DENOTES AREA OF PROPOSED ADDITION
- DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING
- DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:

LANDSCAPE CONSTRUCTION NOTES

TREE PROTECTION

All trees nominated to be retained are to be protected throughout the duration of the demolition and construction periods. All tree protection enclosures must be established prior to commencement of demolition works and shall comprise a fence enclosure around the PZ of the tree. The project Arborist must be present to supervise any excavation, trenching or tunneling within the PZ of any retained trees if required. Keep the area within the enclosure free of construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Do not cut tree roots exceeding 50mm diameter. Where it is necessary to cut tree roots, use handsaw, cut cleanly, do not rip with machinery and such that the cutting does not unduly disturb the remaining root system. If damage does occur to a tree, the project Arborist is to attend prior to repairing damage and during repair work. If a tree is damaged and repair work is considered impractical, or is attempted and fails, give notice and obtain instructions.

SUBSOIL

Excavate to bring the subsoil to a minimum of 300mm below finished design levels, to allow for infilling with topsoil mix. Break up the soil to a further depth of 100mm. Remove all building rubble, waste oil, cement and other material harmful to plant growth from planting beds prior to placement of topsoil. Cultivate to a minimum depth of 100mm over areas to be planted or grassed. Do not disturb services or tree roots; if necessary, cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to the required design levels after cultivation. Confirm that the planting beds are free draining. If not install sub-soil drainage lines and connect to stormwater system. Apply additives after ripping or cultivation and incorporate into the upper 100mm layer of the subsoil.

TOPSOIL

Where possible use site topsoil and compost mixed at a rate of 4 soil : 1 compost, thoroughly mixed before placement. If imported soil is required soil shall be same or similar to Australian Native Landscapes Premium garden mix or similar for garden bed areas or Turf Underlay mix for turf areas. Spread topsoil on the prepared subsoil and grade evenly, making the necessary allowances so that required finished levels and contours are achieved after light compaction. Compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which is ready for planting. Spread topsoil to the following typical depths: Planting beds: 300mm Grass areas: 100mm

PLANTING

trees: excavate a plant hole to twice the diameter of the root ball and at least 100mm deeper than the root ball. break up the base of the hole to a further depth of 100mm, and loosen the compacted sides of the hole. shade/ground covers: excavate a hole to depth for the plant plus 100mm all round, provide plants which have large healthy root systems, with no evidence of root curl, restriction, damage, are vigorous, well established, free from diseases and pests, of good form consistent with the species or variety, and are hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site. trees: provide trees which, unless required to be multi-stemmed, have a single leading shoot. trees should be staked as specified. label at least 100mm above the ground with a durable, readable tag. do not plant in unsuitable weather conditions such as extreme heat or rain. in overcast or sandy soils, suspend excavation when the soil is wet, or during frost periods. when the hold is of the correct size, remove the plant from the container with minimum disturbance to the root ball. ensure that the root ball is moist and place in the final position, in the hole and plant, with the top soil level of the plant root ball level with the finished surface of the surrounding soil or 75mm below ground level to allow placement of mulch. backfill with topsoil mixture. lightly tamp and water to eliminate air pockets. ensure that topsoil is not placed over the top of the rootball, so that the plant stem is the same height as in the container. thoroughly water plants before planting and immediately after planting. in planting beds and individual plantings, place slow release fertiliser in the ground around plants at the time of planting at the rate recommended by the manufacturer.

MULCHING

All garden bed areas are to be mulched to 75mm depth with same or similar to Forest Blend. Provide mulch/gravel which is free of deleterious and extraneous matter such as stones, soil, weeds and sticks. Place mulch/gravel clear of plant stems, and rake to an even surface flush with the surrounding finished levels.

DECORATIVE GRAVEL

All areas nominated as Decorative Gravel are to be finished as detailed with sandstone pebbles 10mm-20mm average diameter, same or similar to that supplied by Australian Native Landscapes. Selected pebbles are to be free of deleterious and extraneous matter such as stones, cement, soil, weeds and sticks. Tamp pebbles to an even surface flush with the surrounding finished levels.

DECORATIVE ROCK MULCH

All areas nominated as Decorative Rock Mulch are to be finished with sandstone spalls, average diameter 80mm-120mm, same or similar to those supplied by Benedicts Sand and Gravel.

DECOMPOSED GRANITE PAVEMENT

Decomposed granite is to be fine-crushed river gravel (5mm-7mm), to a depth of 50mm, placed on a 50mm bed of coarse gravel on 100mm consolidated hardcore. Gravel is to be compacted and trimmed to provide falls and a free draining surface.

INSTALLATION OF BRICK GARDEN EDGE

A stretcher or single paver brick edge is to be installed to separate turf and garden beds. Secure pavers on rough mortar footing 100mm thick and ensure uniform 10mm joints between each brick to create flush struck joints. Refer to edging and turfing detail.

FERTILISER

Fertiliser is to be slow release fertiliser equivalent to "Osmocote" and is to be applied at manufacturer's specified rates.

DRAINAGE

Ensure adequate drainage to all garden beds, gravel and lawn areas. Install 100mm agricultural pipe with sock as required in garden beds and behind all retaining walls. Agricultural pipes to drain to junction pits and connect to stormwater system. Ensure paved areas are free draining. Install pits if required. (Refer to Hydraulic Engineering).

RETAINING WALLS

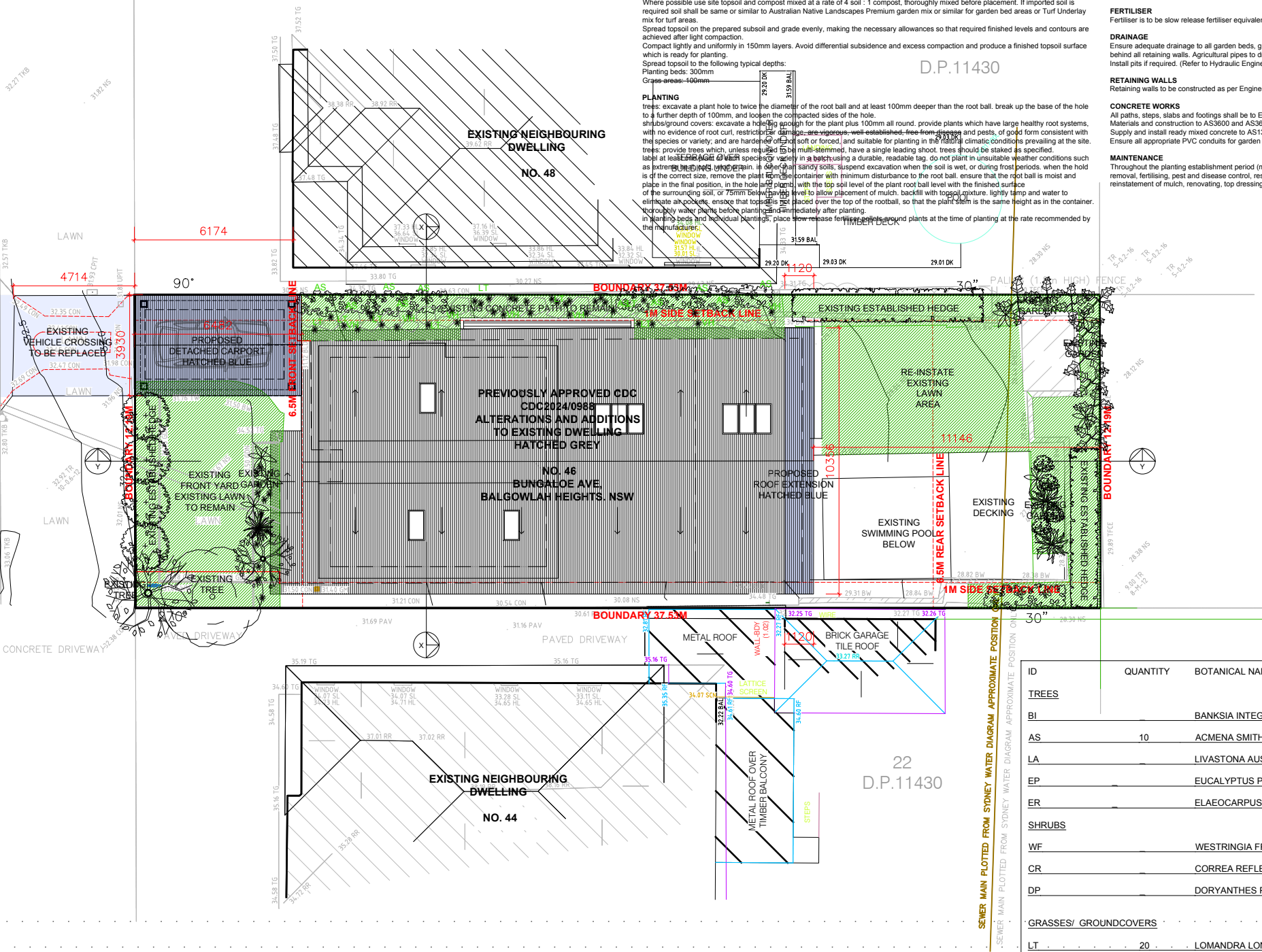
Retaining walls to be constructed as per Engineer's details.

CONCRETE WORKS

All paths, steps, slabs and footings shall be to Engineer's specification. Materials and construction to AS3600 and AS3610. Supply and install ready mixed concrete to AS1379 with selected aggregate. Ensure all appropriate PVC conduits for garden lighting and irrigation systems are placed before concrete and paving installation.

MAINTENANCE

Throughout the planting establishment period (minimum 12 weeks), carry out maintenance work including watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, reseeding, returfing, staking and tying, replanting, cultivating, pruning, hedges clipping, aerating, reinstatement of mulch, renovating, top dressing and keeping the site neat and tidy. Continue to replace failed, damaged or stolen plants.



ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SCHEDULED SIZE
TREES				
BI		BANKSIA INTEGRIFOLIA	COASTAL BANKSIA	75LT
AS	10	ACMENA SMITHII	BROAD-LEAF LILLYPILLY	45LT
LA		LIVASTONA AUSTRALIS	CABBAGE TREE PALM	75LT
EP		EUCALYPTUS PUNCTATA	GREY GUM	75LT
ER		ELAEOCARPUS RETICULATUS	BLUE BERRY ASH	45LT
SHRUBS				
WF		WESTRINGIA FRUTICOSA	COASTAL ROSEMARY	300MM
CR		CORREA REFLEXA	COMMON CORREA	300MM
DP		DORYANTHES PALMERI	GYMEA LILLY	300MM
GRASSES/ GROUNDCOVERS				
LT	20	LOMANDRA LONGIFOLIA	SPINY-HEADED MAT RUSH	100MM
VH	30	VIOLA HEDERACEA	NATIVE VIOLET	100MM
A		ALOPECURUS	FOXTAIL GRASS	150MM
DR		DICHONDRA REPENS	KIDNEY WEED	100MM
C		CARPOBROTUS	PIGFACE	100MM

LEGEND:

- DENOTES EXISTING SPOT LEVEL
- DENOTES PROPOSED LEVEL

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NOTE: SUBJECT TO PLANNING APPROVAL

PROJECT:
ALTERATIONS & ADDITIONS
TO EXISTING DWELLING

PROJECT STAGE:
DA

DATE OF ISSUE:
15.01.2025

RAW

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DRAWING TITLE:
LANDSCAPE PLAN

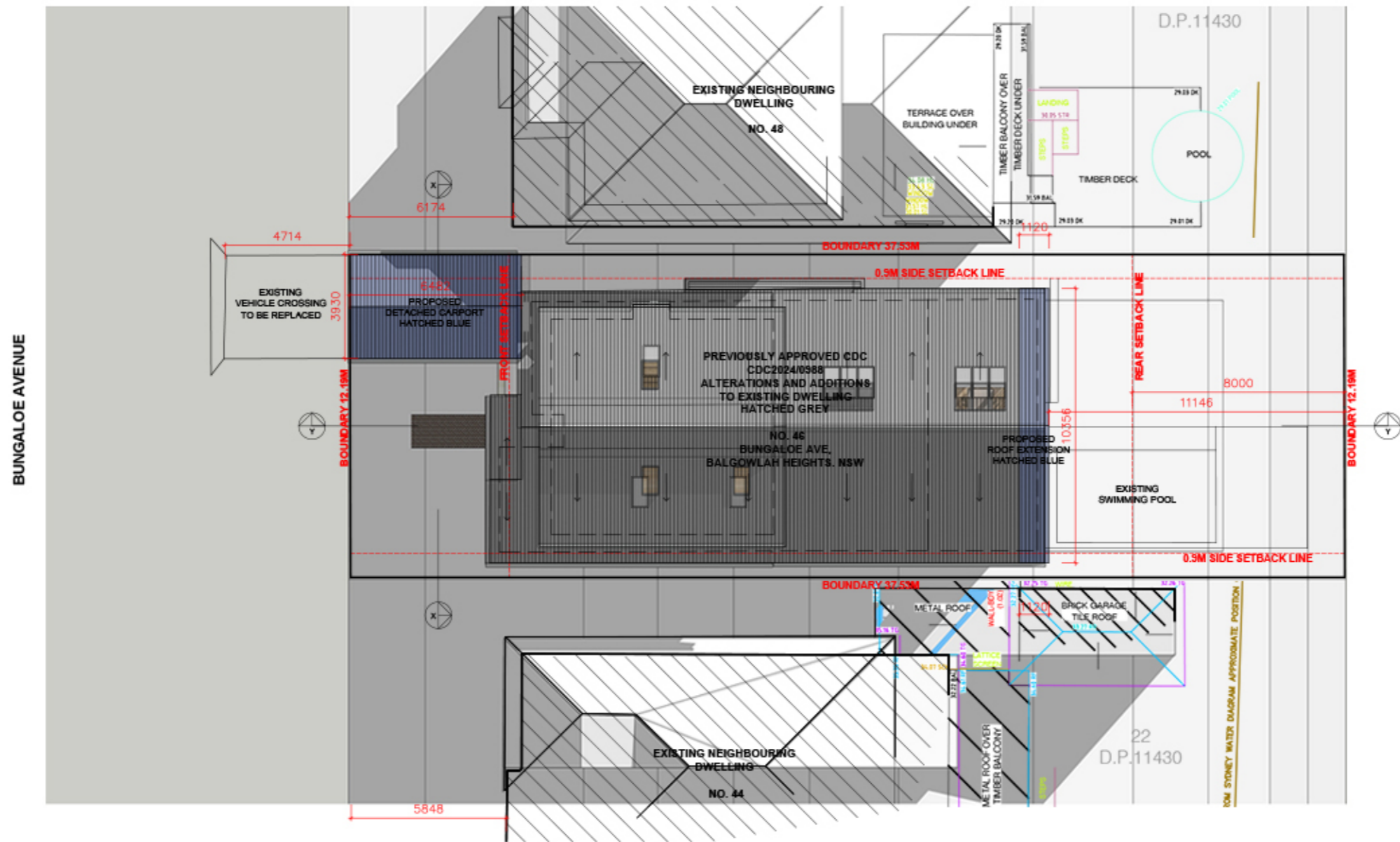
DRAWING NO.
DA-700

REVISION:
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SCALE:
1:100 @ A3

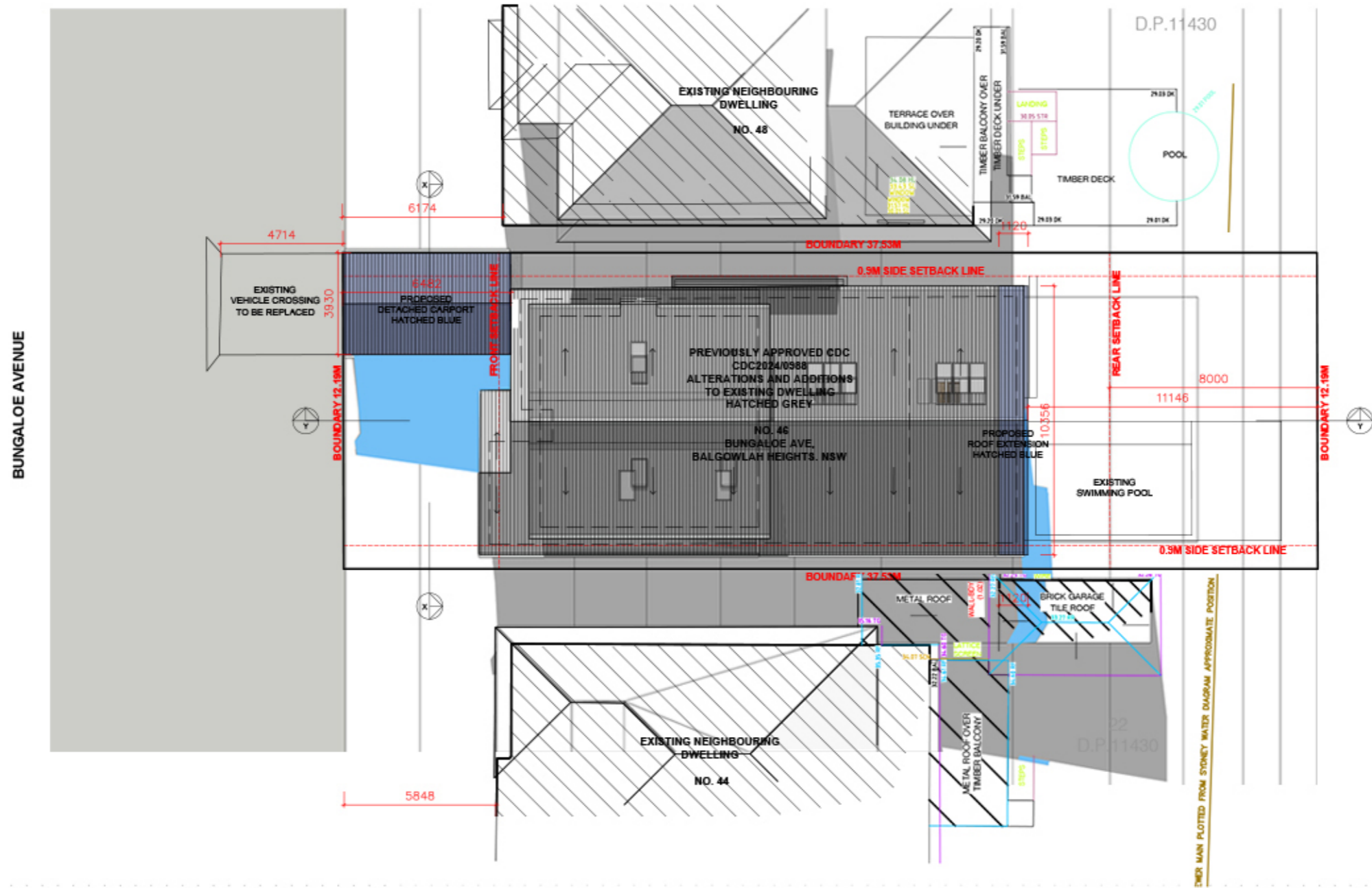
LOCATION
46 BUNGALOE AVENUE,
BALGOWLAH HEIGHTS. NSW.

CLIENT:
STUART & CHARLOTTE MENOGUE




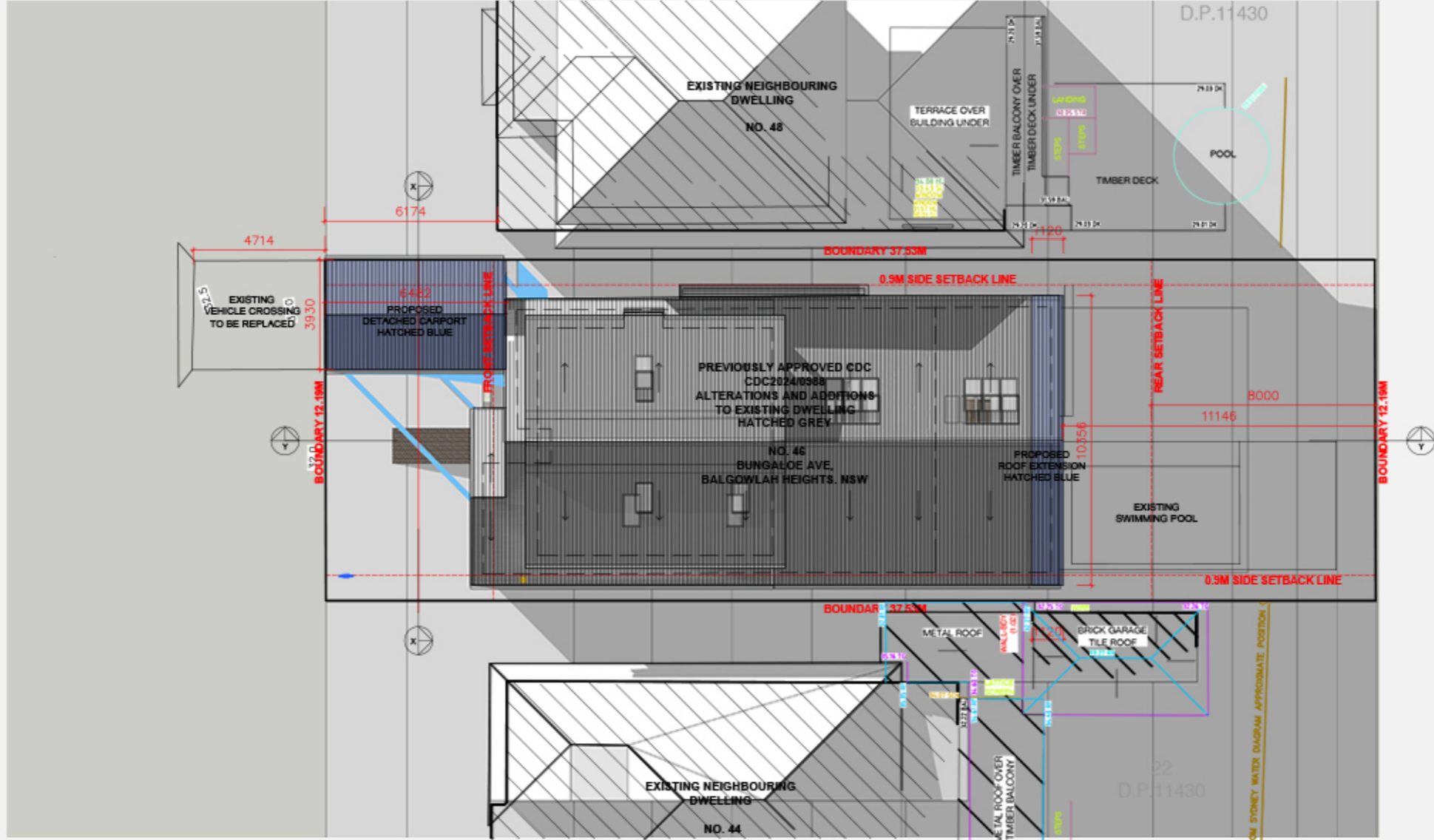
PROPOSED SHADOW DIAGRAM PLAN / 9AM JUNE 21 / 1:100 @ A1 OR 1:200 @ A3

	<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p>KEY:</p> <ul style="list-style-type: none">DENOTES PROPOSED WALL TO BE CONSTRUCTEDDENOTES EXISTING WALL TO REMAINDENOTES EXISTING WALL TO BE REMOVEDDENOTES AREA OF PROPOSED ADDITIONDENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLINGDENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:	<p>PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING</p> <p>CLIENT: STUART & CHARLOTTE MENOGUE</p> <p>LOCATION 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS, NSW.</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: SHADOW DIAGRAM PLAN 9AM - JUNE 21</p> <p>SCALE: 1:200 @ A3</p>	<p>DATE OF ISSUE: 15.01.2025</p> <p>DRAWING NO. DA-800</p> <p>REVISION: -</p>	<p>RAW RAYMOND AND WILLIAMS ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>Daniel Raymond Architect NSW Reg. #97180 dan@rawdco.com 0439 989 275</p> <p>Travis Williams Builder Lic No 23541160 trav@rawdco.com 0421 904 825</p> <p><small>COPYRIGHT OF RAW AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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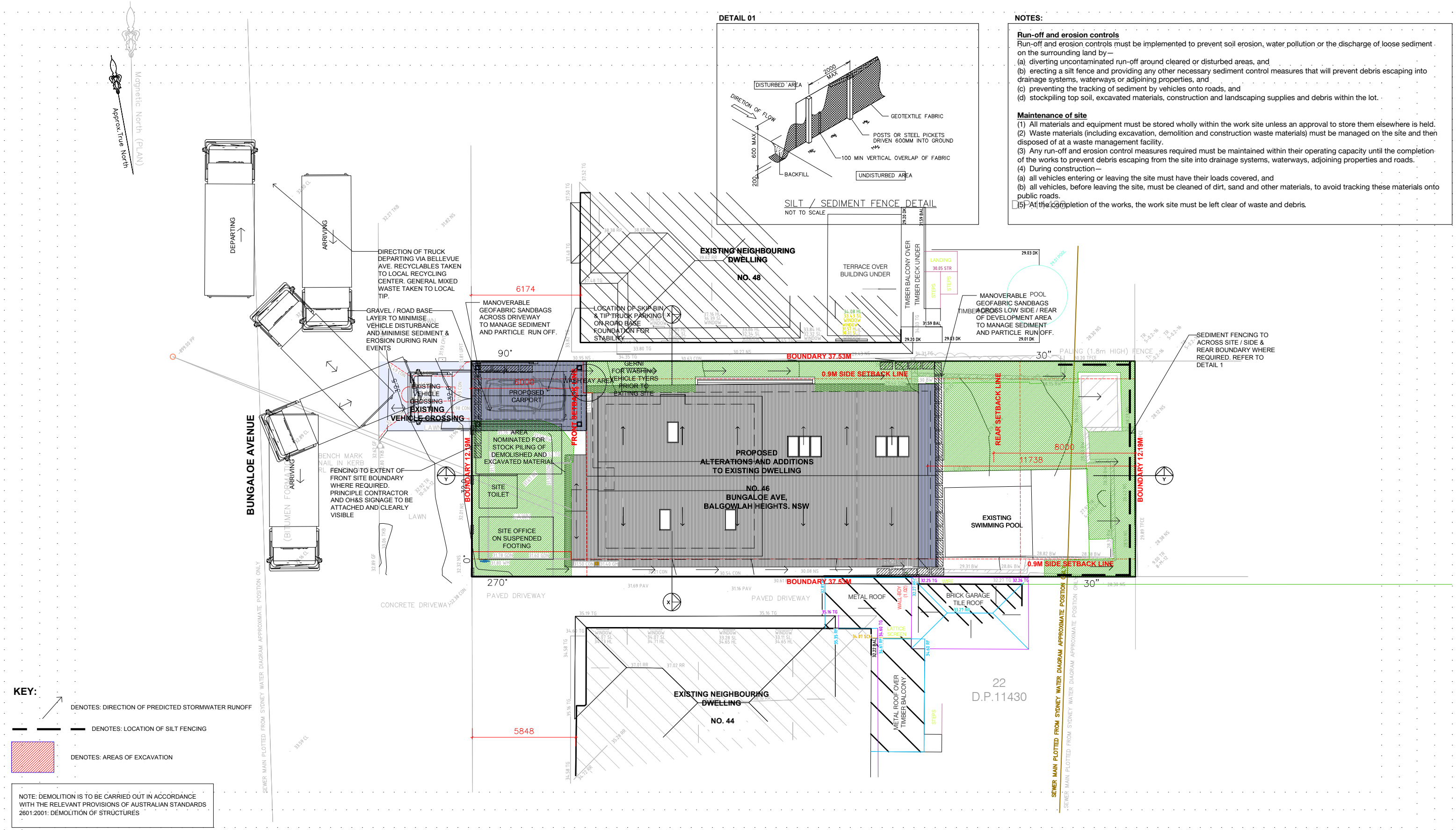
PROPOSED SHADOW DIAGRAM PLAN / 12 MOONBUNE 21001 @ 001 @ A11 @ 001 @ 003 @ A 3

	<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p>KEY:</p> <ul style="list-style-type: none">DENOTES PROPOSED WALL TO BE CONSTRUCTEDDENOTES EXISTING WALL TO REMAINDENOTES EXISTING WALL TO BE REMOVEDDENOTES AREA OF PROPOSED ADDITIONDENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLINGDENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:	<p>PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING</p> <p>CLIENT: STUART & CHARLOTTE MENOGUE</p> <p>LOCATION 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS, NSW.</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: SHADOW DIAGRAM PLAN 12 MOONBUNE 21001 @ 001 @ A11 @ 001 @ 003 @ A 3</p> <p>SCALE: 1:200 @ A3</p>	<p>DATE OF ISSUE: 15.01.2025</p> <p>DRAWING NO. DA-803</p> <p>REVISION: -</p>	<p>RAW</p> <p>RAYMOND AND WILLIAMS ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>David Raymond Architect NSW Reg. #07388 d.r@rawdco.com 0409 999 275</p> <p>Travis Williams Builder Lic No 23561100 t.w@rawdco.com 0421 604 625</p> <p><small>COPYRIGHT OF RAW D AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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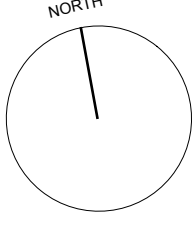


PROPOSED SHADOW DIAGRAM PLAN / 3PM JUNE 21 / 1:100 @ A1 OR 1:200 @ A3

	<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p>KEY:</p> <ul style="list-style-type: none">DENOTES PROPOSED WALL TO BE CONSTRUCTEDDENOTES EXISTING WALL TO REMAINDENOTES EXISTING WALL TO BE REMOVEDDENOTES AREA OF PROPOSED ADDITIONDENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLINGDENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:	<p>PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING</p> <p>CLIENT: STUART & CHARLOTTE MENOGUE</p> <p>LOCATION 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS. NSW.</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: SHADOW DIAGRAM PLAN 3PM - JUNE 21</p> <p>SCALE: 1:200 @ A3</p>	<p>DATE OF ISSUE: 15.01.2025</p> <p>DRAWING NO. DA-802</p> <p>REVISION: -</p>	<p>RAW</p> <p>RAYMOND AND WILLIAMS ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>Daniel Raymond Architect NSW Reg. #97180 dan@rawdco.com 0409 989 275</p> <p>Travis Williams Builder Lic No 23561160 trav@rawdco.com 0421 904 825</p> <p><small>COPYRIGHT OF RAW AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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EROSION & SEDIMENT CONTROL PLAN 1:100 @ A1 OR 1:200 @ A3

	<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p>KEY:</p> <ul style="list-style-type: none">— DENOTES PROPOSED WALL TO BE CONSTRUCTED— DENOTES EXISTING WALL TO REMAIN— DENOTES EXISTING WALL TO BE REMOVED— DENOTES AREA OF PROPOSED ADDITION— DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING— DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:	<p>PROJECT: ALTERATIONS & ADDITIONS TO EXISTING DWELLING</p> <p>CLIENT: STUART & CHARLOTTE MENOGUE</p> <p>LOCATION 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS. NSW.</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: EROSION & SEDIMENT CONTROL PLAN</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 15.01.2025</p> <p>DRAWING NO. DA-901</p> <p>REVISION: —</p>	<p>RAW</p> <p>RAYMOND AND WILLIAMS ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>Daniel Raymond Architect NSW Reg. #9788 dan@rawdandc.com 0409 369 275</p> <p>Travers Williams Builder Lic No 235416C trav@rawdandc.com 0421 904 523</p> <p><small>COPYRIGHT OF RAW D AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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