

# DEVELOPMENT APPLICATION

44 KOOLOORA AVE., FRESHWATER NSW

PREPARED ON BEHALF OF:  
NICOLE & ADRIAN STEWART

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## NORTHERN BEACHES COUNCIL CONTROLS

LOT 1 DP 171852  
Parcel formerly in Warringah Local Government  
Land Zone: R2 Low Density Residential  
Maximum Building Height: 8.5m  
Land Slip Risk Map - Area A  
DCP - Landscaped Open Space: 40% of site  
DCP - Maximum Wall Height: 7.2m  
DCP - Building Envelope: 5m

## SITE CALCULATIONS

**EXISTING AREAS:**  
DETACHED STUDY (habitable): 20m<sup>2</sup>  
DETACHED STUDY (covered porch): 8m<sup>2</sup>  
GROUND (not including detached study): 126m<sup>2</sup>  
GARAGE: 71m<sup>2</sup>  
FIRST: 105m<sup>2</sup>  
ALFRESCO: 24m<sup>2</sup>  
**TOTAL: 354m<sup>2</sup>**

**PROPOSED AREAS:**  
DETACHED STUDY (habitable): 20m<sup>2</sup>  
DETACHED STUDY (covered porch): 8m<sup>2</sup>  
GROUND (not including detached study): 197m<sup>2</sup>  
CARPORT & ENTRANCE: 54m<sup>2</sup>  
FIRST: 198m<sup>2</sup>  
ALFRESCO: 29m<sup>2</sup>  
PLANTERS: 18m<sup>2</sup>  
**TOTAL: 544m<sup>2</sup>**

LANDSCAPE CALCULATIONS	
EXISTING	PROPOSED
Site Area: 573.00m <sup>2</sup>	Site Area: 573.00m <sup>2</sup>
Existing Landscape Area.: 172.5m <sup>2</sup> (not including gravel driveway)	Proposed Landscape Area.: 181.4m <sup>2</sup> (not including gravel driveway)
Existing L.O.S: 30.1%	Proposed L.O.S: 31.6%

**emma macindoe**  
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Window ID	Orientation	Area (m <sup>2</sup> )	SHGC	U-Value	SHGC	U-Value	SHGC	U-Value
W1	SW	16.81	0	0	0	0	0	0
W2	SW	2.23	0	0	0	0	0	0

Window ID	Orientation	Area (m <sup>2</sup> )	SHGC	U-Value	SHGC	U-Value	SHGC	U-Value
W3	SE	2.41	0	0	0	0	0	0
W4	SE	2.41	0	0	0	0	0	0
W5	SE	1.41	0	0	0	0	0	0
W6	SE	1.41	2000	1.9	0	0	0	0
W7	SE	0.71	0	0	0	0	0	0
W8	SE	0.71	0	0	0	0	0	0
W9	SE	0.71	0	0	0	0	0	0
W10	SE	0.71	0	0	0	0	0	0
W11	SE	0.71	0	0	0	0	0	0
W12	SE	0.71	0	0	0	0	0	0
W13	SE	1.4	2000	1.7	0	0	0	0
W14	SE	0.84	2000	1.7	0	0	0	0
W15	SE	1.4	2000	1.7	0	0	0	0

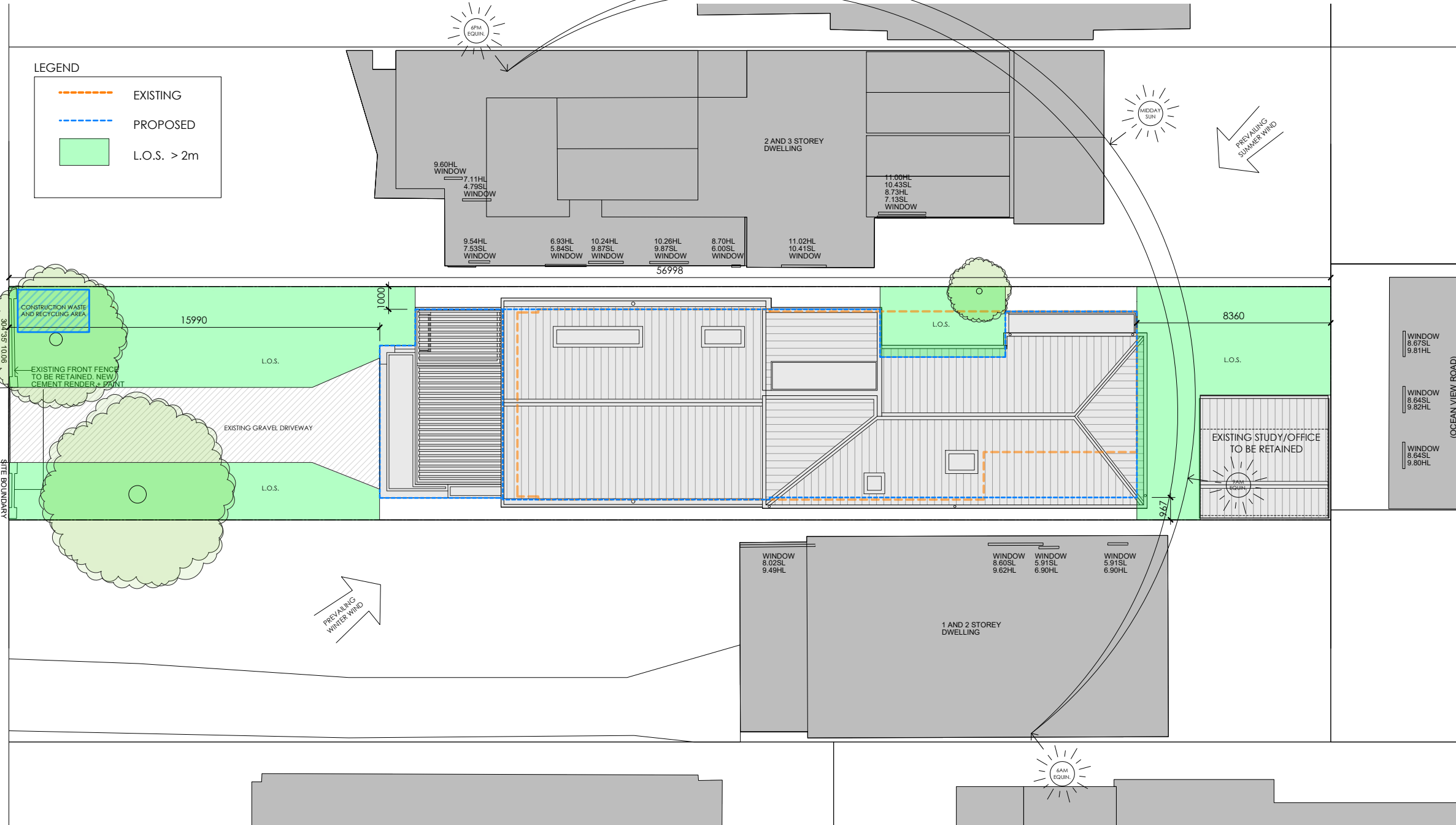
Window ID	Orientation	Area (m <sup>2</sup> )	SHGC	U-Value	SHGC	U-Value	SHGC	U-Value
W16	NE	1.41	0	0	0	0	0	0
W17	NE	5.44	5.88	5.55	0	0	0	0
W18	NW	11.8	0	0	0	0	0	0
W19	NW	13.43	0	0	0	0	0	0
W20	NE	5.11	5.88	5.55	0	0	0	0
W21	SE	4.5	0	0	0	0	0	0
W22	SE	0.71	0	0	0	0	0	0
W23	SE	1.6	5000	1.7	0	0	0	0
W24	SE	1.6	6000	1.7	0	0	0	0
W25	SE	0.71	6000	1.7	0	0	0	0
W26	SE	0.71	6000	1.7	0	0	0	0
W27	SE	1.6	6000	1.7	0	0	0	0
W28	NE	1.35	0	0	0	0	0	0

Window ID	Orientation	Area (m <sup>2</sup> )	SHGC	U-Value	SHGC	U-Value	SHGC	U-Value
W29	NE	1.35	0	0	0	0	0	0
W30	NE	6.31	0	0	0	0	0	0
W31	SW	4.61	0	0	0	0	0	0
W32	NW	14.56	0	0	0	0	0	0
W33	NE	4.82	3.88	3.55	0	0	0	0
W34	NW	3.33	3.5	3.22	0	0	0	0

<b>Project address</b>	44 Kooloora Ave Freshwater
<b>Project name</b>	44 Kooloora Avenue Freshwater 2006
<b>Local Government Area</b>	Northern Beaches Council
<b>Plan type and number</b>	Deposited Plan 171852
<b>Lot number</b>	1
<b>Section number</b>	
<b>Dwelling type</b>	Separate dwelling house
<b>Type of alteration and addition</b>	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

<b>Hot water</b>	The applicant must install the following hot water system in the development: solar (electric-heated) system that is eligible to create Renewable Energy Credits under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	✓	✓	✓
<b>Lighting</b>	The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.	✓	✓	✓
<b>Pool/spa</b>	The applicant must ensure new or altered spas/baths have a flow rate no greater than 9 litres per minute or a 3 star water rating.	✓	✓	✓
	The applicant must ensure new or altered tubs have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	✓	✓	✓
	The applicant must ensure new or altered showers have a flow rate no greater than 9 litres per minute or minimum 5 star water rating.	✓	✓	✓

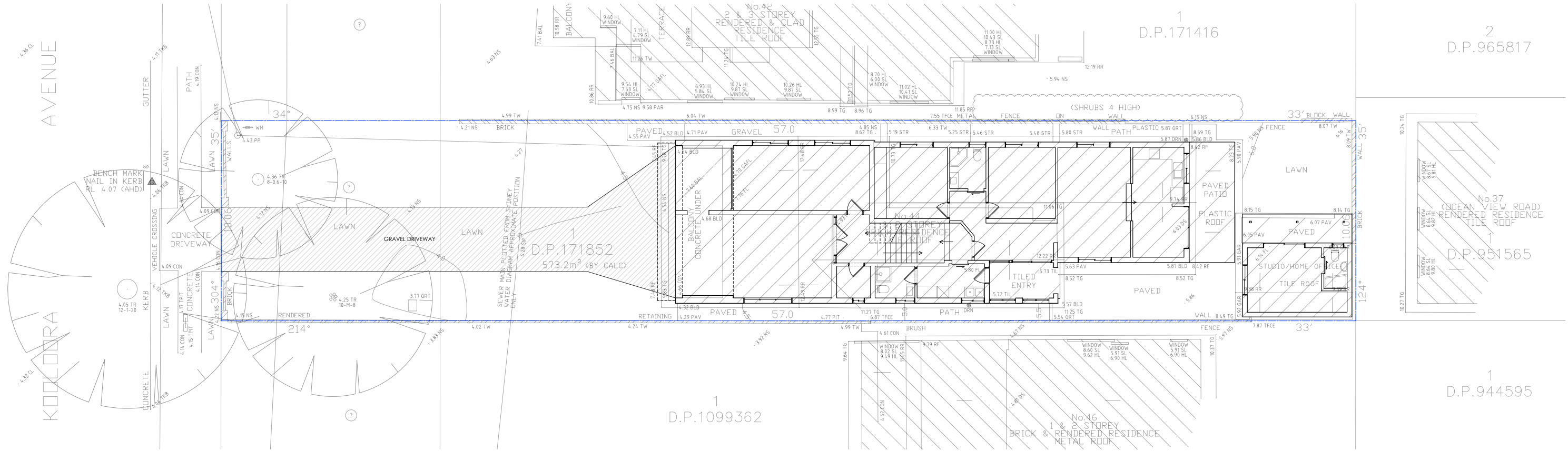
Window ID	Orientation	Area (m <sup>2</sup> )	SHGC	U-Value	SHGC	U-Value	SHGC	U-Value
W35 (TRV)	SW	0.94	no shading	0	0	0	0	0
W36 (S2)	SW	5.7	no shading	0	0	0	0	0
W37 (TRV)	SW	0.38	no shading	0	0	0	0	0
W38 (TRV)	SW	0.77	no shading	0	0	0	0	0



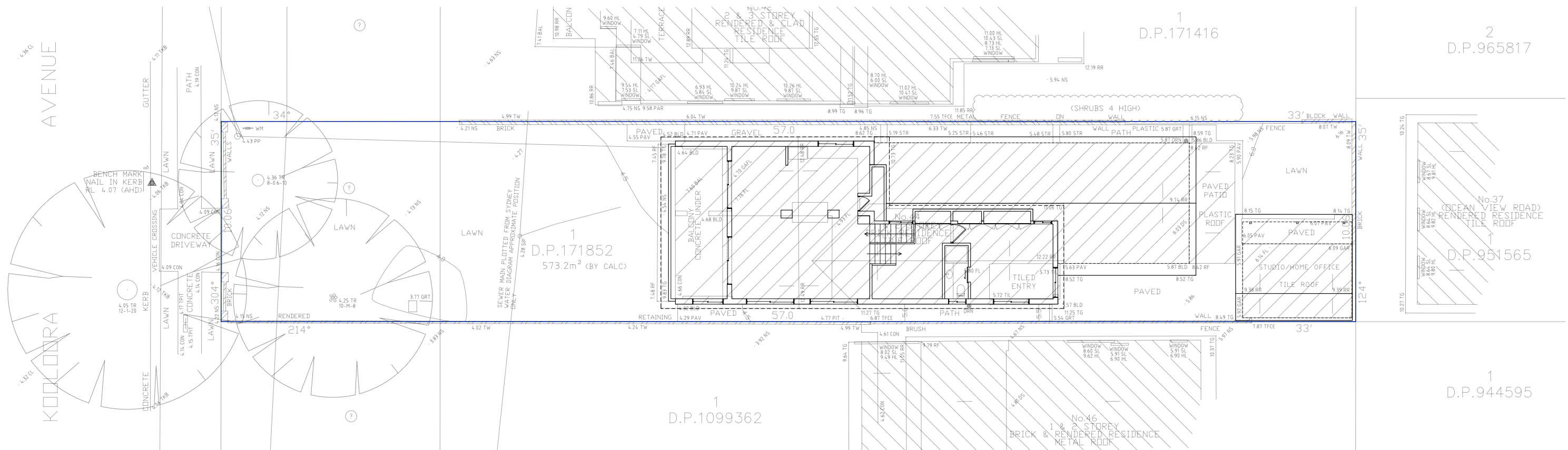
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DRAWING <b>DA01</b>	ISSUE <b>3</b>	SCALE 1:200 @ A3 1:100 @ A1
	DATE 23/11/2021	DRAWN BY F.G.R.

CLIENT <b>NICOLE &amp; ADRIAN STEWART</b>	TITLE <b>SITE PLAN &amp; SITE ANALYSIS</b>
ADDRESS <b>44 KOOLOORA AVENUE, FRESHWATER NSW</b>	

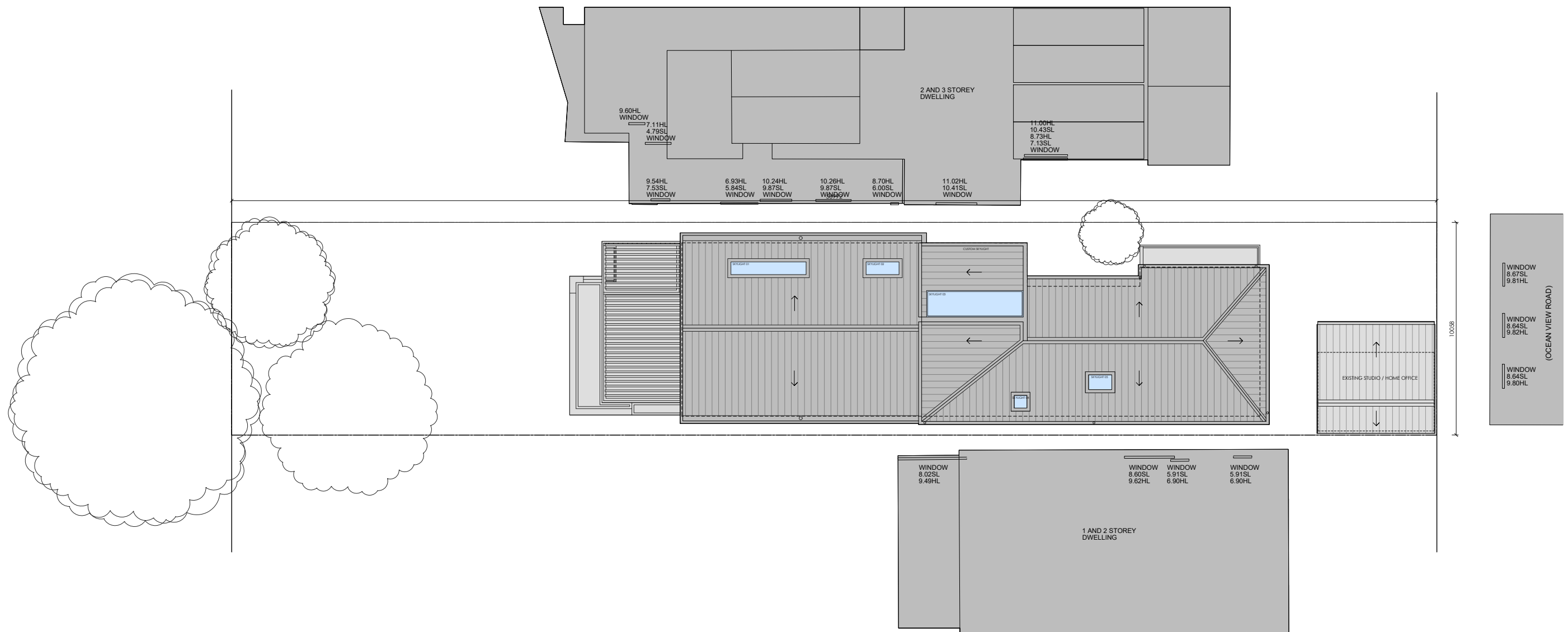


EXISTING GROUND FLOOR PLAN

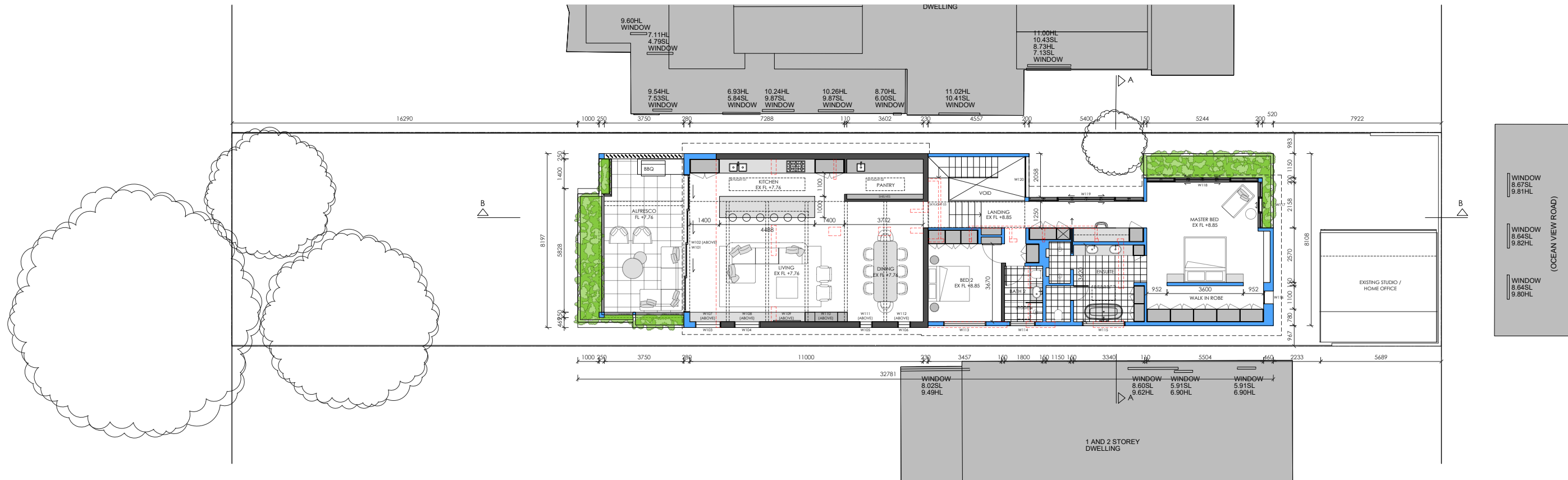


EXISTING FIRST FLOOR PLAN

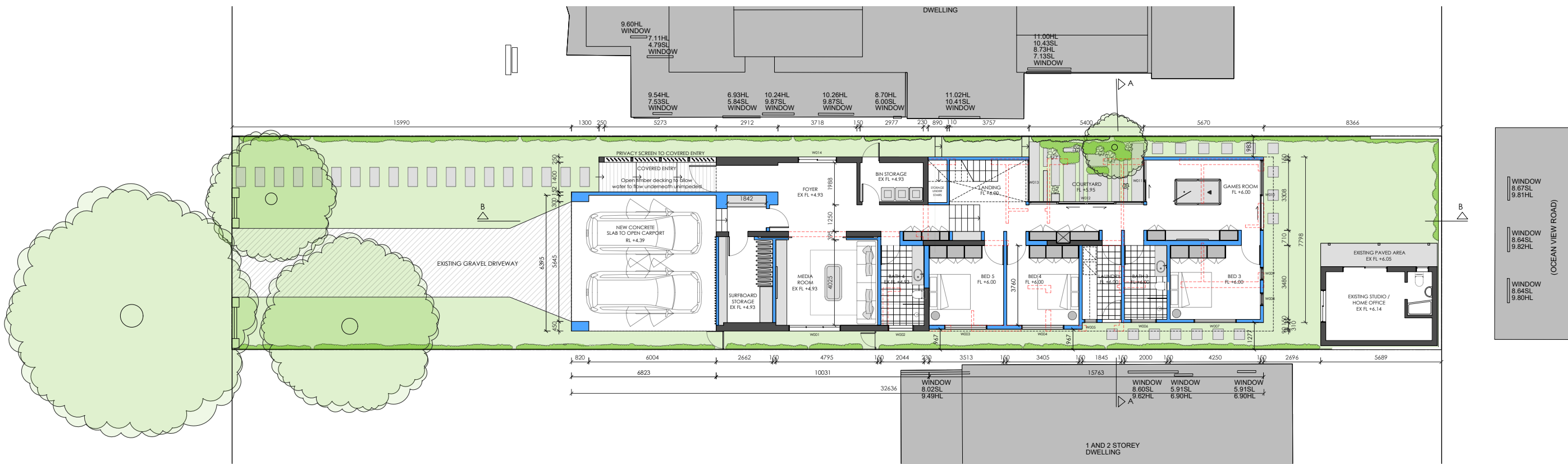








FIRST FLOOR PLAN



GROUND FLOOR PLAN

LEGEND

	EXISTING WALLS TO BE RETAINED
	PROPOSED NEW WALLS
	EXISTING WALLS TO BE DEMOLISHED

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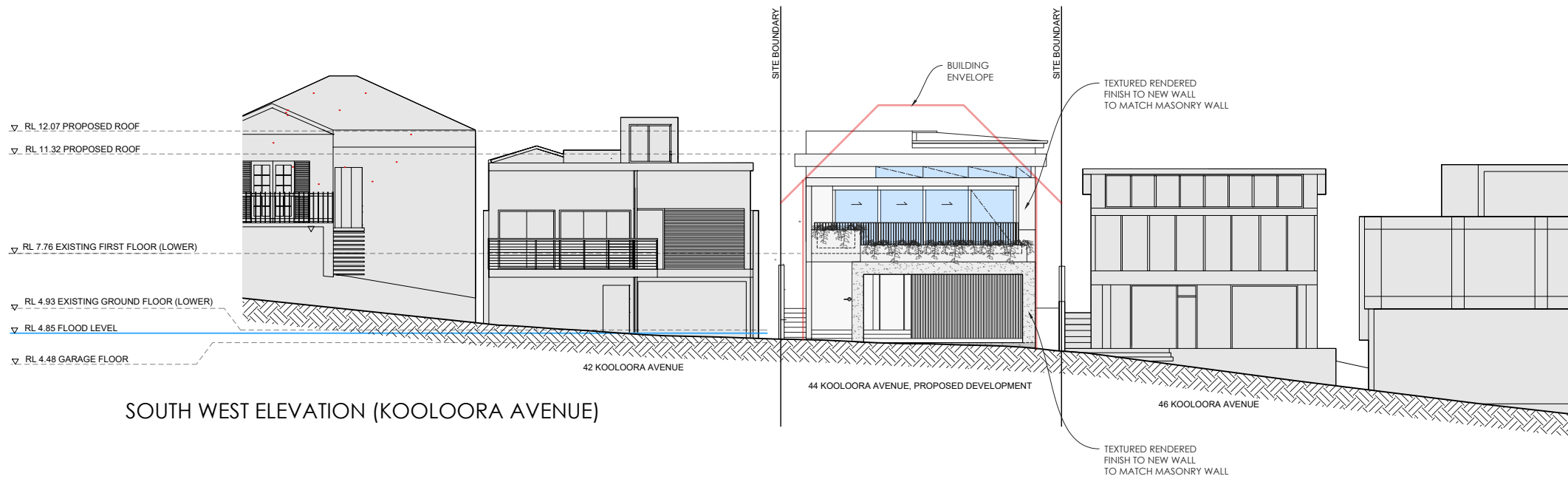
CLIENT  
NICOLE & ADRIAN  
STEWART

TITLE  
PROPOSED FLOOR PLAN AND LANDSCAPE PLAN  
ADDRESS  
44 KOOLOORA AVENUE, FRESHWATER NSW

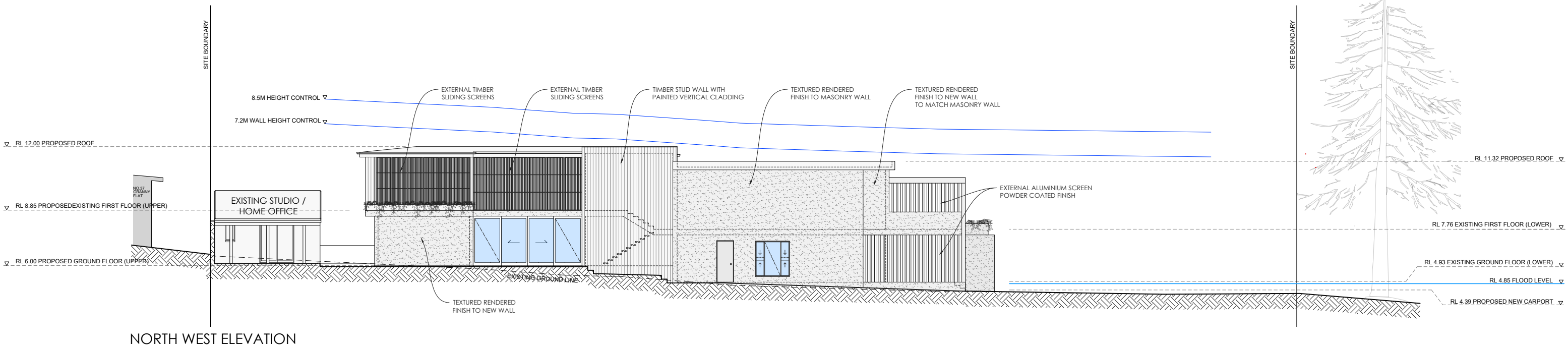
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DRAWING DA04	ISSUE 3	SCALE 1:200 @ A3 1:100 @ A1
	DATE 23/11/2021	DRAWN BY F.G.R.



SOUTH WEST ELEVATION (KOOLLOORA AVENUE)



NORTH WEST ELEVATION

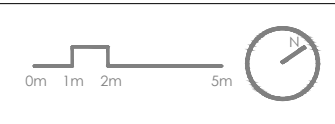
LEGEND

	EXISTING WALLS TO BE RETAINED
	PROPOSED NEW WALLS
	EXISTING WALLS TO BE DEMOLISHED

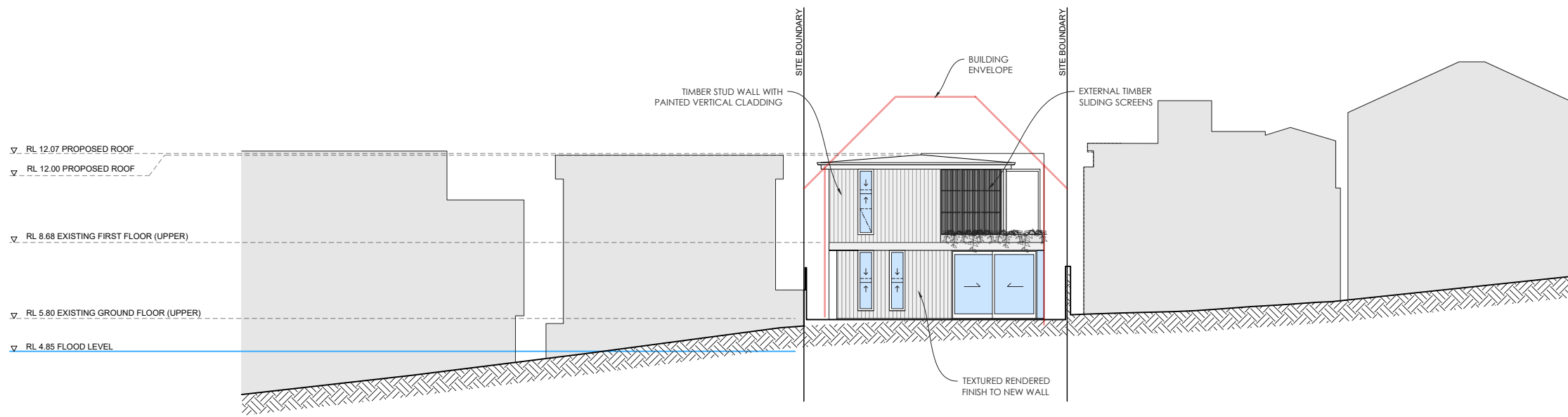
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CLIENT	NICOLE & ADRIAN STEWART
TITLE	PROPOSED ELEVATIONS
ADDRESS	44 KOOLLOORA AVENUE, FRESHWATER NSW

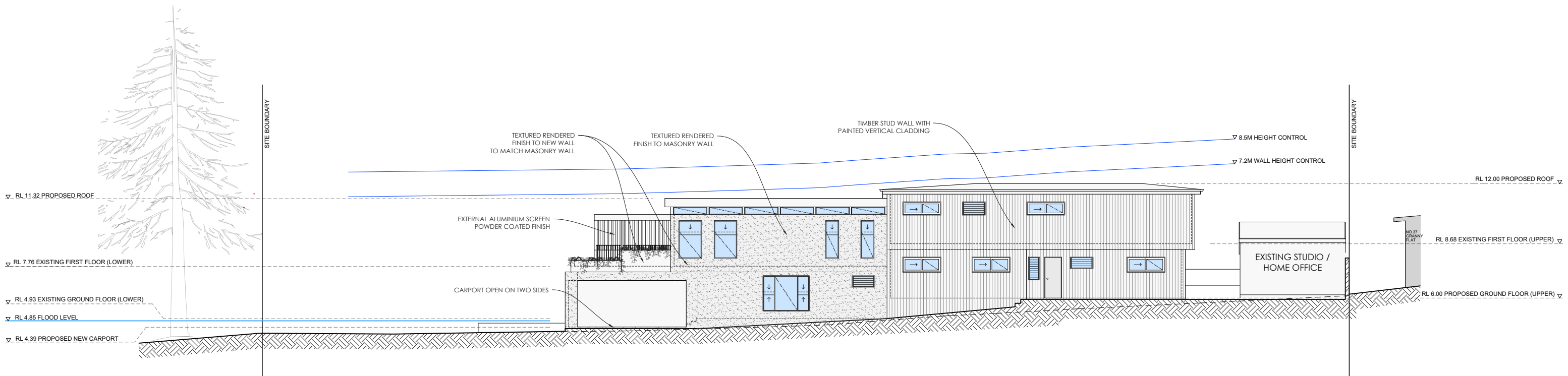
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DRAWING	DA05	ISSUE	3	SCALE	1:200 @ A3 1:100 @ A1
DATE	23/11/2021	DRAWN BY	F.G.R.		



NORTH EAST ELEVATION



SOUTH EAST ELEVATION

LEGEND

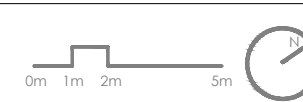
	EXISTING WALLS TO BE RETAINED
	PROPOSED NEW WALLS
	EXISTING WALLS TO BE DEMOLISHED

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CLIENT  
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TITLE  
PROPOSED ELEVATIONS  
ADDRESS  
44 KOOLOORA AVENUE, FRESHWATER NSW

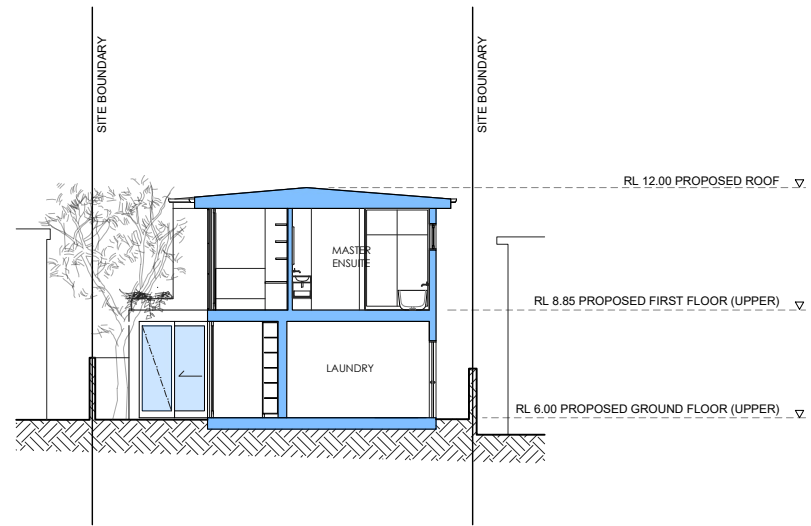
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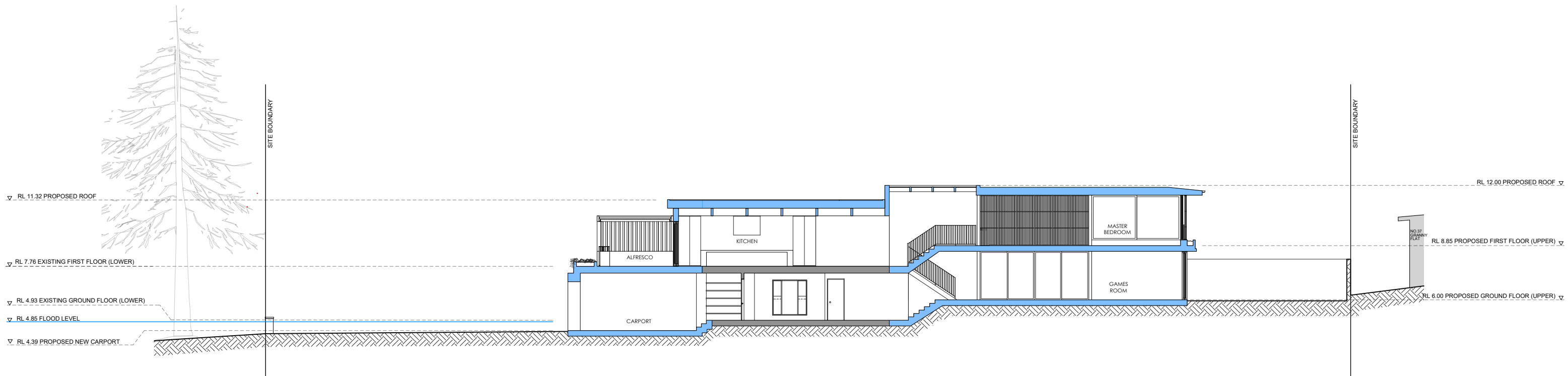
DRAWING  
DA06

ISSUE 3  
DATE 23/11/2021

SCALE 1:200 @ A3  
1:100 @ A1  
DRAWN BY  
F.G.R.



SECTION A



SECTION B

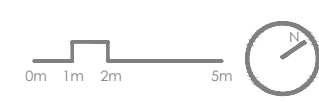
LEGEND

	EXISTING WALLS TO BE RETAINED
	PROPOSED NEW WALLS
	EXISTING WALLS TO BE DEMOLISHED

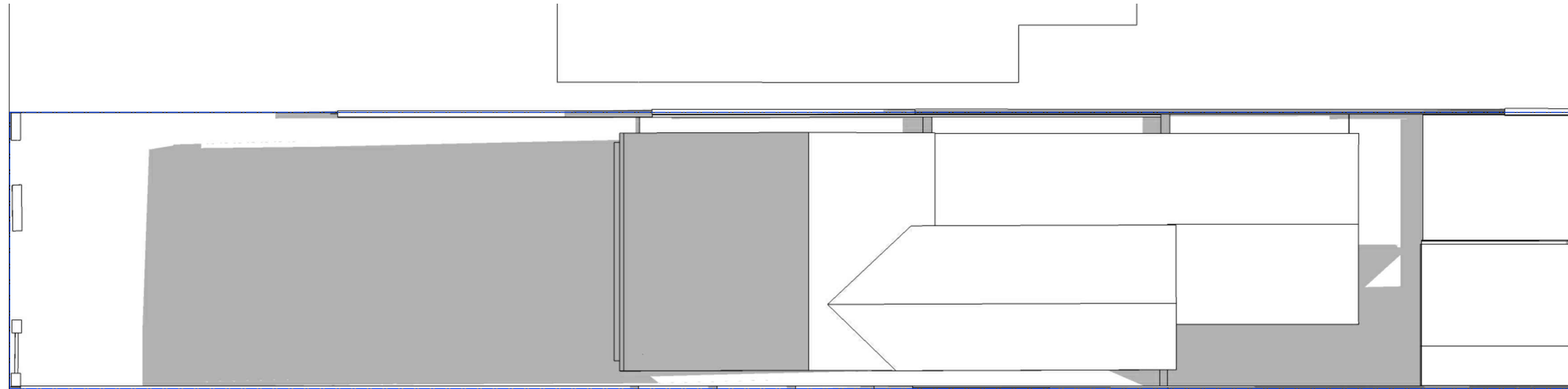
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CLIENT	NICOLE & ADRIAN STEWART
TITLE	PROPOSED SECTIONS
ADDRESS	44 KOOLOORA AVENUE, FRESHWATER NSW

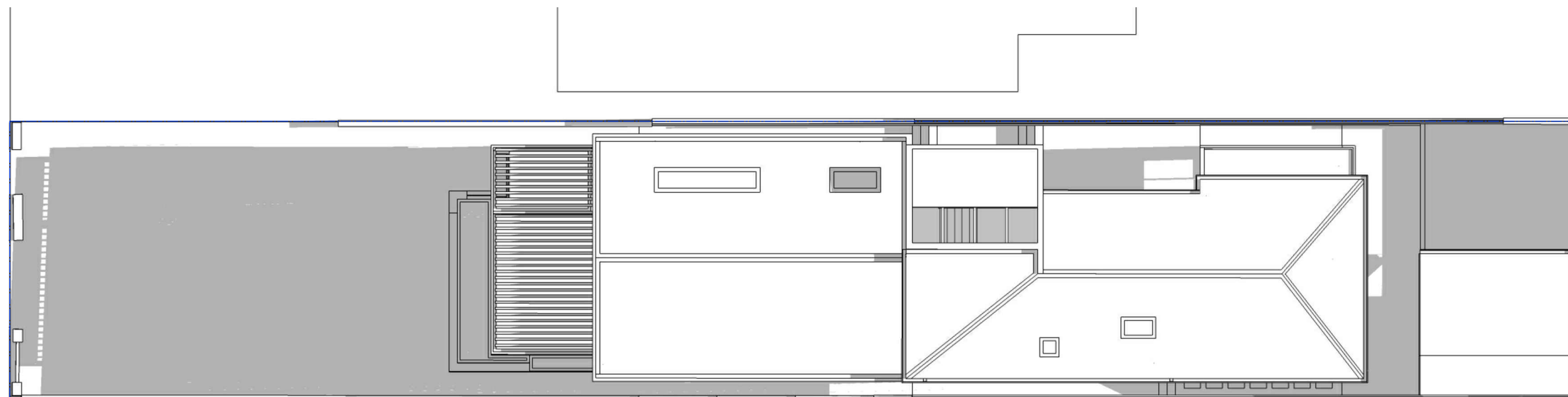
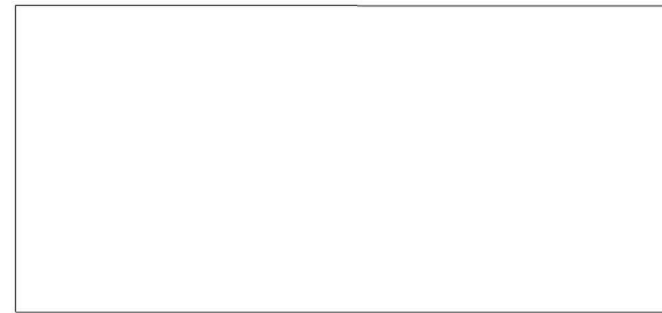
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DRAWING	DA07	ISSUE	3	SCALE	1:200 @ A3 1:100 @ A1
DATE	23/11/2021	DRAWN BY	F.G.R.		



EXISTING - WINTER, 9AM



PROPOSED - WINTER, 9AM

