

NOTES:

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ALL STRUCTURAL MODIFICATIONS + ADDITIONS AS PER STRUCTURAL ENGINEERS DESIGN AND SPECIFICATION.

REFER TO ALL CONSULTING ENGINEERS SPECIFICATIONS FOR ALL CIVIL, STRUCTURAL, STORMWATER, FIRE AND FLOOD RELATED REQUIREMENTS.

WIND RATING: ROOF AND WALL FRAMES: REFER TO FRAMING MANUFACTURERS DESIGN AND SPECIFICATION

WINDOW SIZES TO BE CHECKED AND CONFIRMED ON SITE PRIOR TO PLACING ORDER. DIMENSIONS OF WINDOWS WITHIN BRICK EXTERNAL WALLS ARE SHOWN APPROXIMATE.
(ACTUAL BRICK OPENING SIZE TO BE CONFIRMED ON SITE).

REFER TO BUILDERS SPECIFICATION FOR FINAL MATERIALS AND FINISHES.

AUSTRALIAN STANDARDS: (BUT NOT LIMITED TO...)
AS 2601 - DEMOLITION OF STRUCTURES
AS 4100 + AS 1554 STRUCTURAL STEELWORK
AS 3959 - 2009 CONSTRUCTION
AS 3600 - CONCRETE
AS 2870 - SITE CLASSIFICATION
AS 1562 - 1992 ROOF SHEETING
AS 2588 - 1998 PLASTERBOARD
AS 3740 - 2010 WATERPROOF MEMBRANES
AS 3500 - PLUMBING AND DRAINAGE WORK
AS 4285 - 2007 SKYLIGHTS
AS 2047 + AS 1288 GLAZING ASSEMBLIES
AS 1720.1 - 2010 TIMBER RETAINING WALLS
AS 3700 - 2011 + AS 3600 - 2009 RETAINING WALLS

NATIONAL CONSTRUCTION CODE (NCC) (EX BCA)

PART 3.1.1 - EARTHWORKS
PART 3.1.2 - EARTH RETAINING STRUCTURES
PART 3.1.3 - DRAINAGE
PART 3.1.4 - TERMITE RISK MANAGEMENT
PART 3.2 - FOOTINGS AND SLAB
PART 3.3 - MASONRY
PART 3.4 - FRAMING
PART 3.4.1 - SUB FLOOR VENTILATION
PART 3.5 - ROOF AND WALL CLADDING
PART 3.6 - GLAZING
PART 3.7 - FIRE SAFETY
PART 3.7.2 - FIRE SEPARATION
PART 3.7.3 - FIRE FIRE PROTECTION OF SEPARATING WALLS AND FLOORS
PART 3.7.5 - SMOKE ALARMS
PART 3.8.1 - WET AREAS AND EXTERNAL WATERPROOFING
PART 3.8.2 - ROOM HEIGHTS
PART 3.8.3 - FACILITIES
PART 3.8.4 - LIGHTING
PART 3.8.5 - VENTILATION
PART 3.8.6 - SOUND INSULATION
PART 3.9.1 - STAIRWAY AND RAMP CONSTRUCTION
PART 3.9.2 - BARRIERS AND HANDRAILS
PART 3.10.1 - SWIMMING POOLS
PART 3.10.5 - CONSTRUCTION IN BUSHFIRE PRONE AREAS

DEVELOPMENT APPLICATION

PROJECT:
13 MAXWELL STREET
MONA VALE
LOT: 11
DP: 246225

FIRST FLOOR ADDITION + GROUND FLOOR MODIFICATIONS

1. COVER.
2. SITE PLAN.
3. SITE ANALYSIS, EROSION CONTROL + WASTE MANAGEMENT.
4. LANDSCAPE PLAN.
5. GROUND FLOOR DEMOLITION.
6. GROUND FLOOR PROPOSED.
7. FIRST FLOOR PROPOSED.
8. ROOF PLAN, FINISHES + COLOURS.
9. PROPOSED ELEVATIONS 1.
10. PROPOSED ELEVATIONS 2.
11. SECTIONS A-A + B-B.
12. SHADOWS.
13. BASIX 1.
14. BASIX 2.

Member of



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

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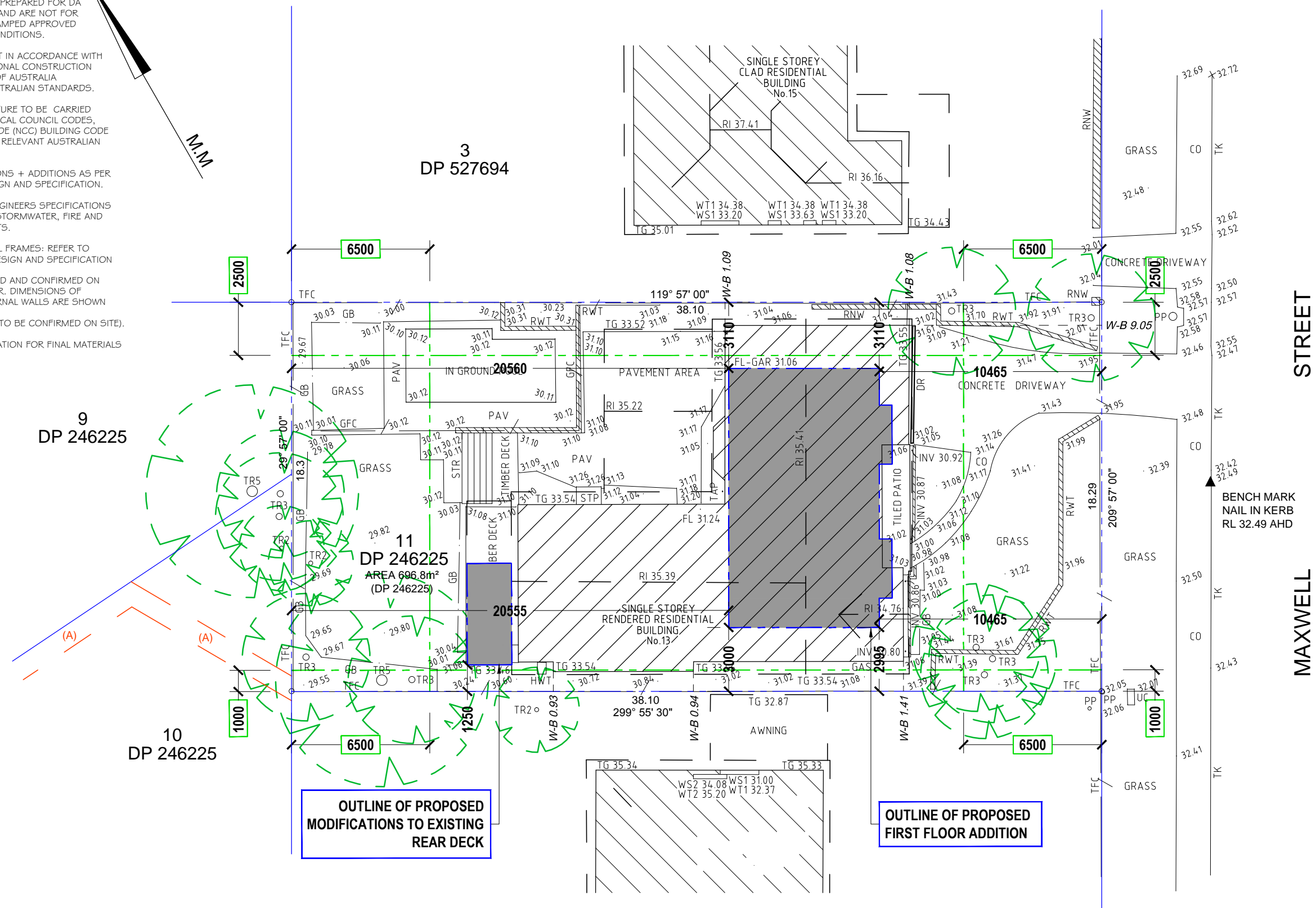
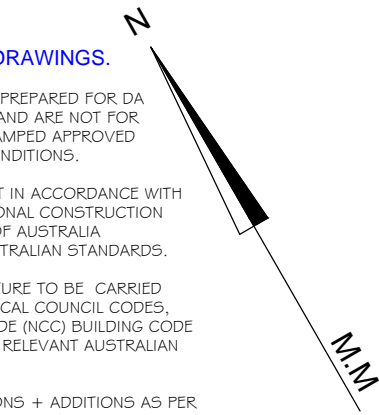
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REFER TO BUILDERS SPECIFICATION FOR FINAL MATERIALS AND FINISHES.



SITE PLAN
SCALE 1:200

DESIGN HOUSE
+
drafting studio

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MEMBER OF:

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

CLIENT:
BRIGITTE + RYAN PETRIE

ADDRESS:
13 MAXWELL STREET
MONA VALE

PROJECT:
FIRST FLOOR ADDITION + EXISTING
GROUND FLOOR MODIFICATIONS

DRAWING TITLE:
SITE PLAN

DETAILS:

DATE: 16.06.21

DRAWN: B.B

CHECKED: B.P, R.P

SCALE: 1:200

REVISIONS:

A. First issue, Town planner for submission.

B. Impervious area updates, final roof RL, proposed setbacks added, re-issue for submission.

C. -

D. -

STAGE: DEVELOPMENT APPLICATION (DA)

NORTH:

REVISION:

B

DRAWING No:
2 / 14

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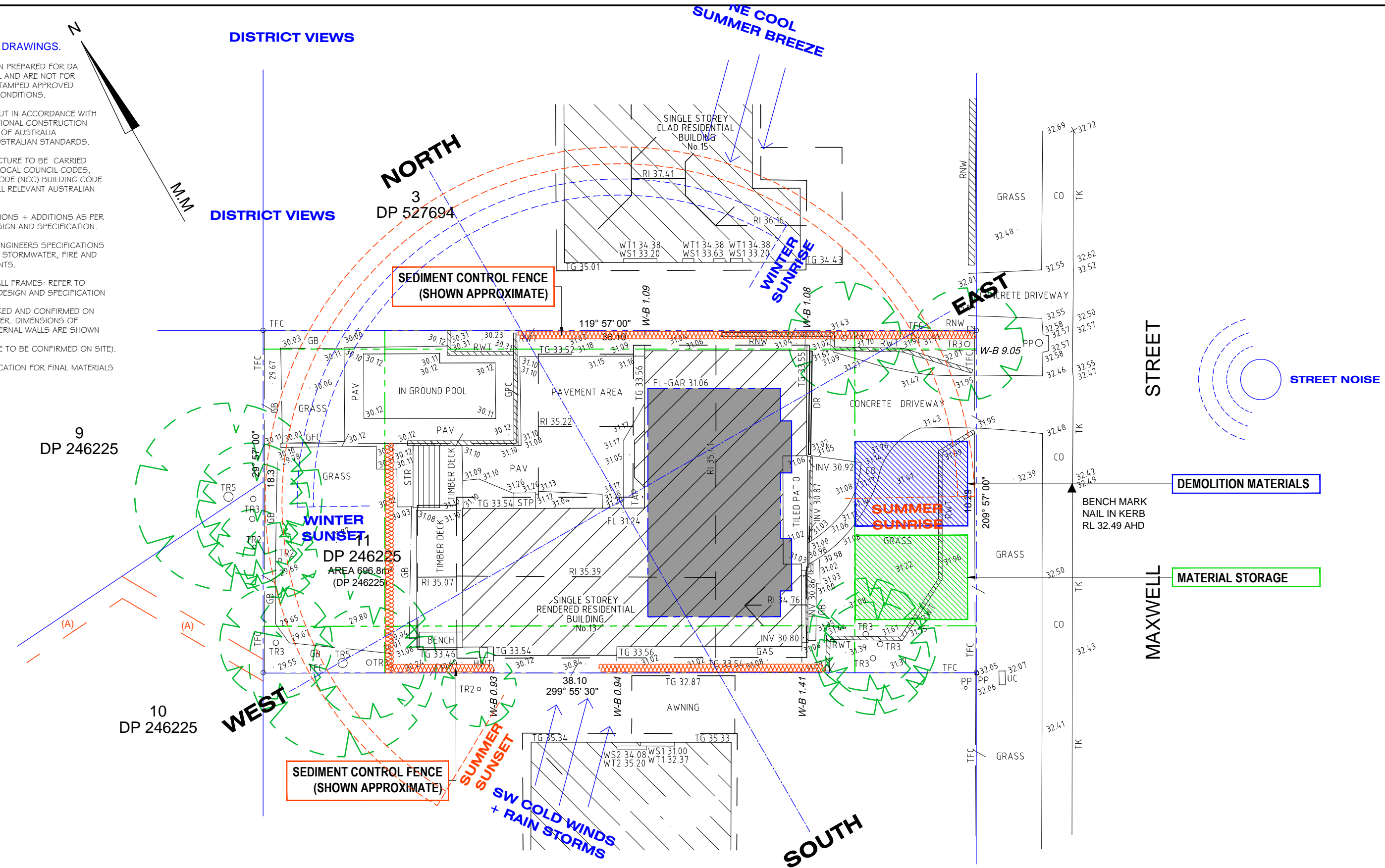
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SITE ANALYSIS, EROSION CONTROL + WASTE MANAGEMENT
SCALE 1:200

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MONA VALE

PROJECT:
FIRST FLOOR ADDITION + EXISTING GROUND FLOOR MODIFICATIONS

DRAWING TITLE:
SITE ANALYSIS, EROSION CONTROL AND WASTE MANAGEMENT

DETAILS:
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DRAWN: B.B
CHECKED: B.P, R.P
SCALE: 1:200

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NORTH: 05.09.21
21.09.21

REVISION: **B**

DRAWING No: 3 / 14

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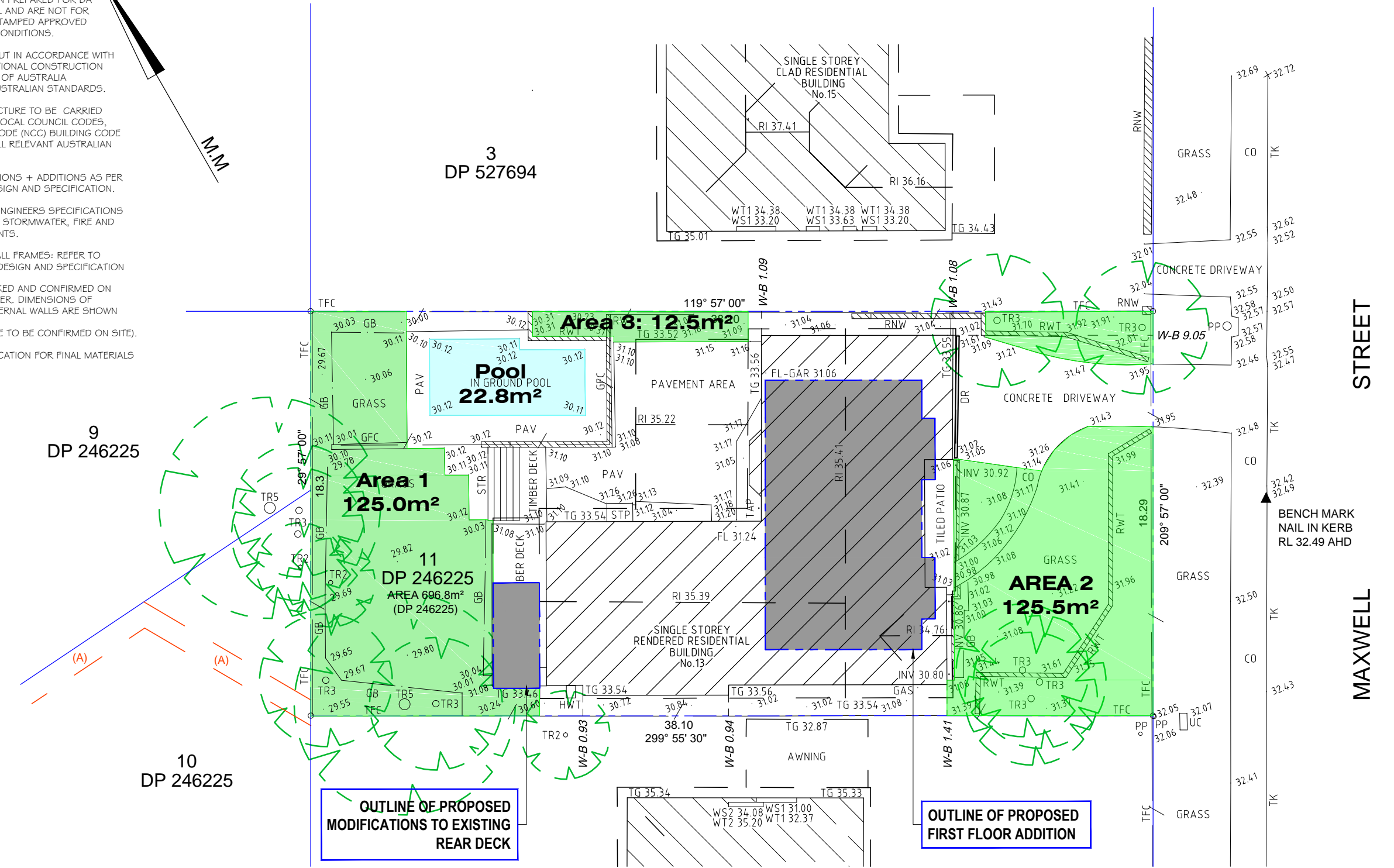
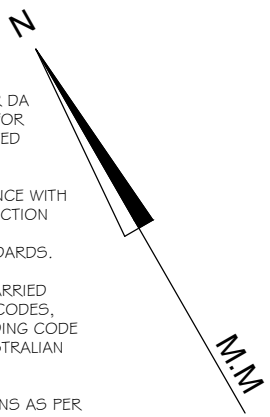
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OUTLINE OF PROPOSED MODIFICATIONS TO EXISTING REAR DECK

OUTLINE OF PROPOSED FIRST FLOOR ADDITION

LEGEND: LANDSCAPE AREAS - EXISTING UNCHANGED			
SYMBOL	DESCRIPTION	AREA (m ²)	PERCENTAGE
-	SITE AREA	696.8	100 %
■	PROPOSED OPEN LANDSCAPE AREA (MIN 1.0m)	263.0	37.7 %
AREA 1 + AREA 2 + AREA 3			

LANDSCAPE PLAN
SCALE 1:200

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MEMBER OF: **bdaa**
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CLIENT:
BRIGITTE + RYAN PETRIE

ADDRESS:
13 MAXWELL STREET
MONA VALE

PROJECT:
FIRST FLOOR ADDITION + EXISTING
GROUND FLOOR MODIFICATIONS

DRAWING TITLE:
LANDSCAPE PLAN

DETAILS:
DATE: 16.06.21
DRAWN: B.B
CHECKED: B.P, R.P
SCALE: 1:200

REVISIONS:
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B. Impervious area updates, final roof RL, proposed setbacks added, re-issue for submission.
C. -
D. -

STAGE: DEVELOPMENT APPLICATION (DA)

NORTH: 05.09.21 21.09.21

REVISION: **B**

DRAWING No: 4 / 14

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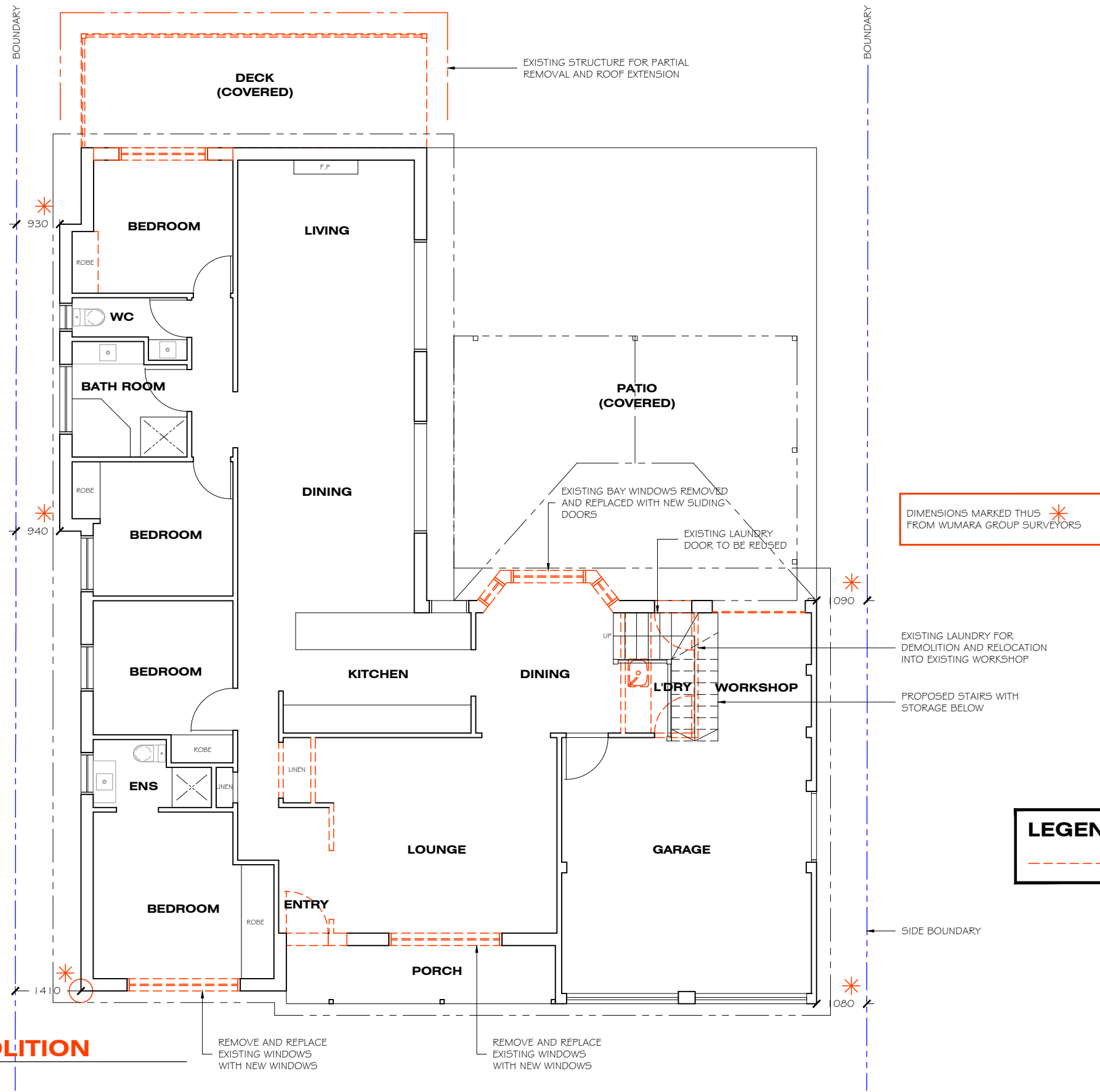
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GROUND FLOOR DEMOLITION
SCALE 1:100

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PROJECT: FIRST FLOOR ADDITION + EXISTING GROUND FLOOR MODIFICATIONS

DRAWING TITLE: GROUND FLOOR DEMOLITION

DETAILS:
DATE: 16.06.21
DRAWN: B.B
CHECKED: B.P, R.P
SCALE: 1:100

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STAGE: DEVELOPMENT APPLICATION (DA)

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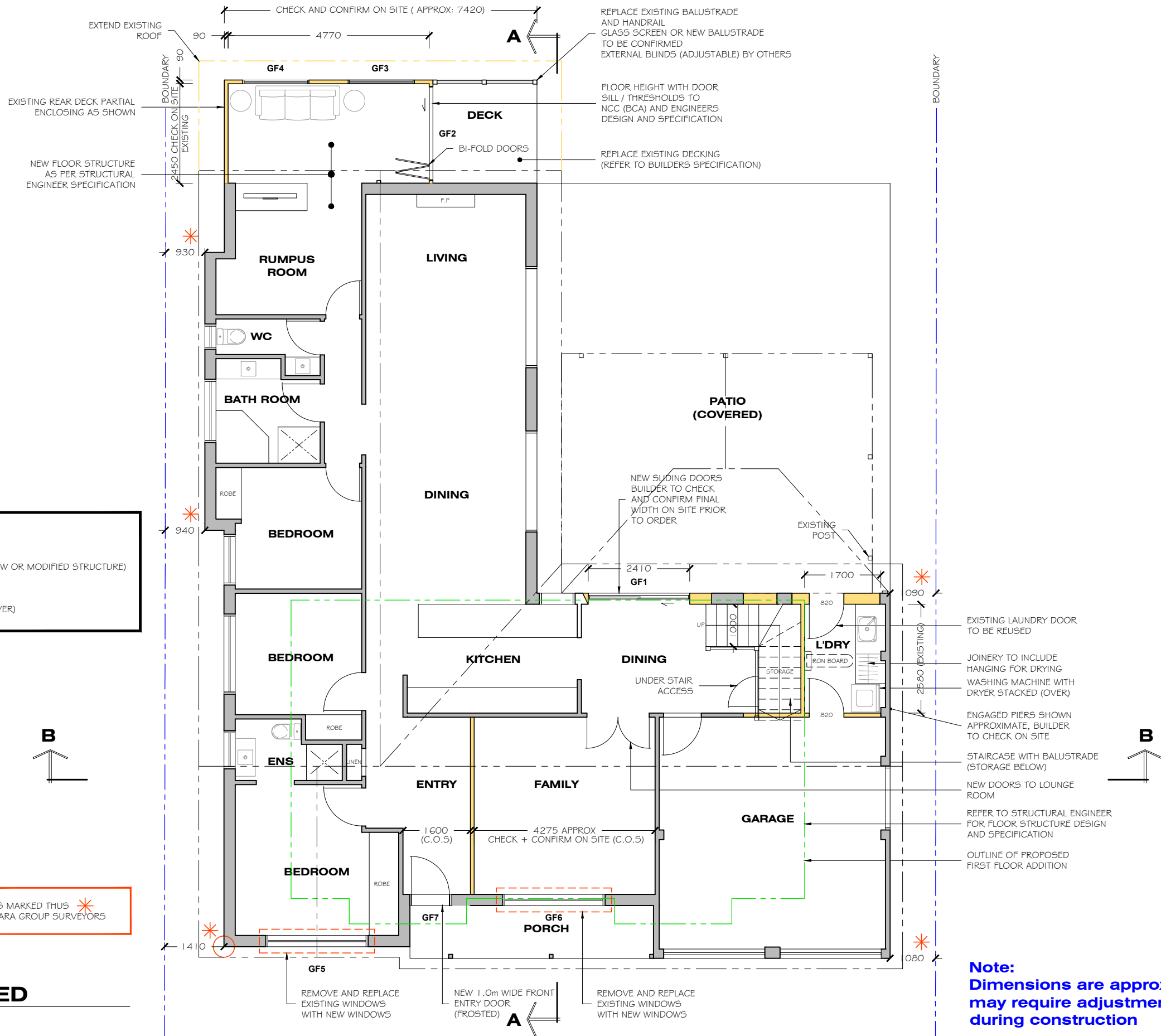
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LEGEND: GROUND FLOOR PLAN

- WALLS SHOWN THUS - PROPOSED NEW WORKS (NEW OR MODIFIED STRUCTURE)
- WALLS SHOWN THUS - EXISTING UNCHANGED
- OUTLINE OF PROPOSED FIRST FLOOR ADDITION (OVER)

DIMENSIONS MARKED THUS * FROM WUMARA GROUP SURVEYORS

GROUND FLOOR PROPOSED
SCALE 1:100



Note:
Dimensions are approximate
may require adjustment
during construction

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PROJECT:
FIRST FLOOR ADDITION + EXISTING
GROUND FLOOR MODIFICATIONS

DRAWING TITLE:
GROUND FLOOR PROPOSED

DETAILS:
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SCALE: 1:100

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REVISION: **B**

DRAWING No: 6 / 14

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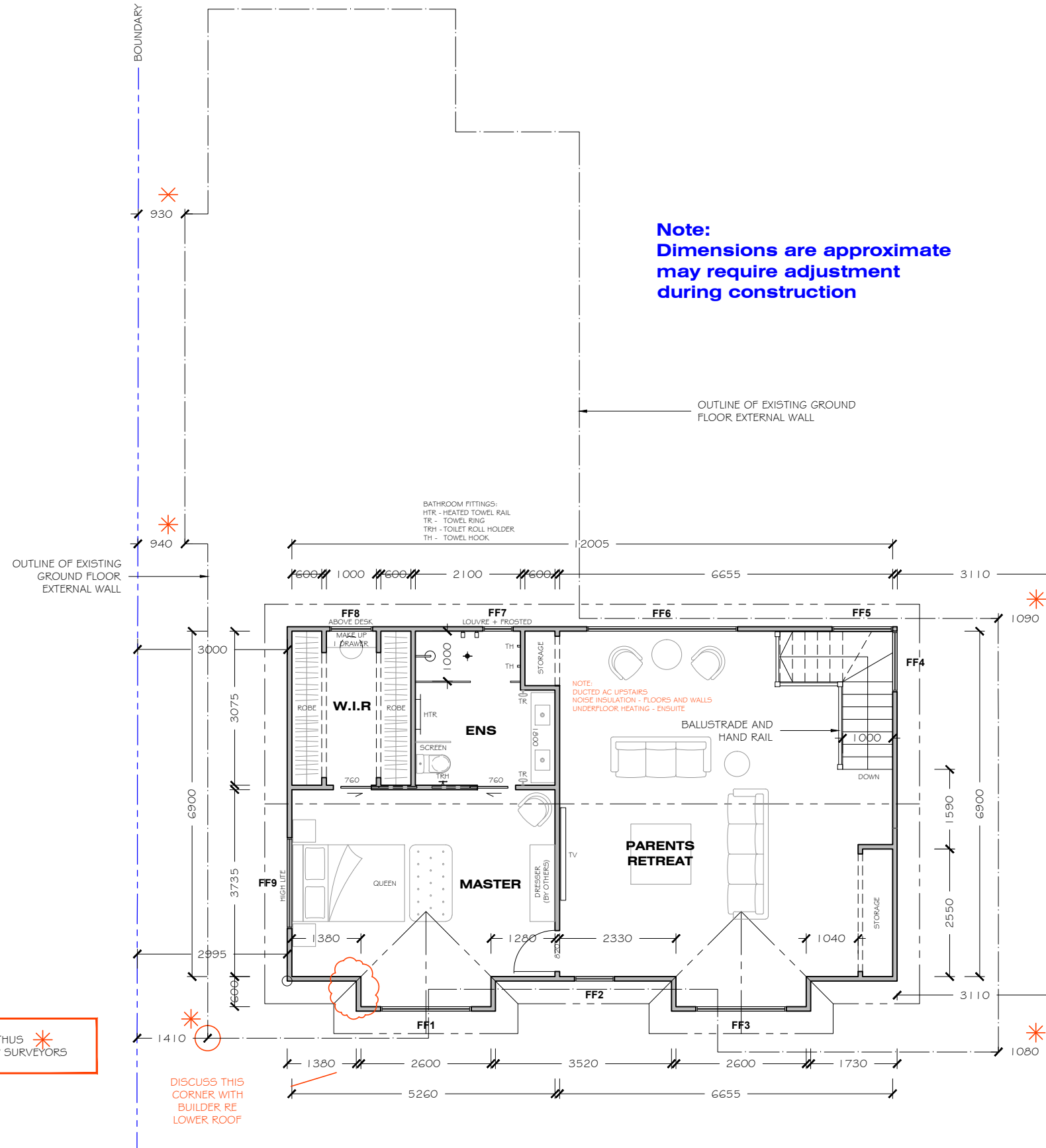
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DIMENSIONS MARKED THUS * FROM WUMARA GROUP SURVEYORS

DISCUSS THIS CORNER WITH BUILDER RE LOWER ROOF

FIRST FLOOR PROPOSED
SCALE 1:100

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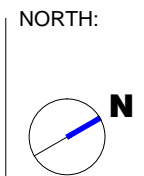
PROJECT:
FIRST FLOOR ADDITION + EXISTING
GROUND FLOOR MODIFICATIONS
DRAWING TITLE:
FIRST FLOOR PROPOSED

DETAILS:
DATE: 16.06.21
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CHECKED: B.P, R.P
SCALE: 1:100

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STAGE: DEVELOPMENT APPLICATION (DA)






05.09.21
21.09.21



REVISION:

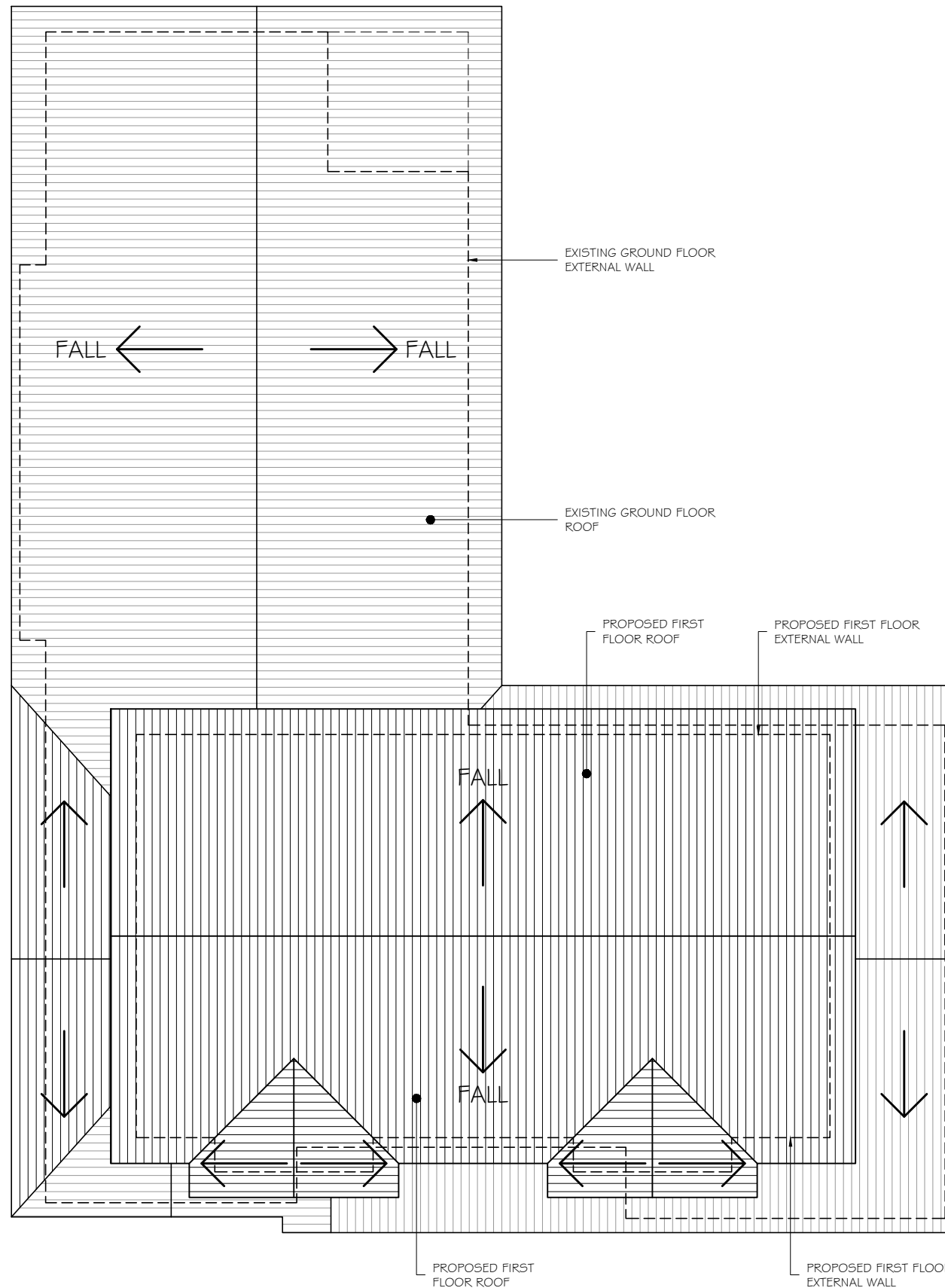
DRAWING No:
7 / 14

LEGEND: EXTERNAL COLOURS + FINISHES
(swatches shown indicative only)

ROOF		SHALE GREY
GUTTERS + DOWNPIPES		DULUX UNFORGETTABLE
WINDOWS FRAMES		DULUX VIVID WHITE
EXTERNAL WALLS		DULUX UNFORGETTABLE
FASCIA		DULUX VIVID WHITE

REFER TO BUILDER'S SPECIFICATION FOR ALL NCC (BCA) COMPLIANT EXTERNAL CLADDING

FINISHES + COLOURS



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PROPOSED ROOF PLAN

SCALE 1:100

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CLIENT:

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ADDRESS:

13 MAXWELL STREET
MONA VALE

PROJECT:

FIRST FLOOR ADDITION + EXISTING
GROUND FLOOR MODIFICATIONS

DRAWING TITLE:

ROOF PLAN, FINISHES + COLOURS

DETAILS:

DATE: 16.06.21

DRAWN: B.B

CHECKED: B.P, R.P

SCALE: 1:100

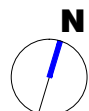
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REVISION:



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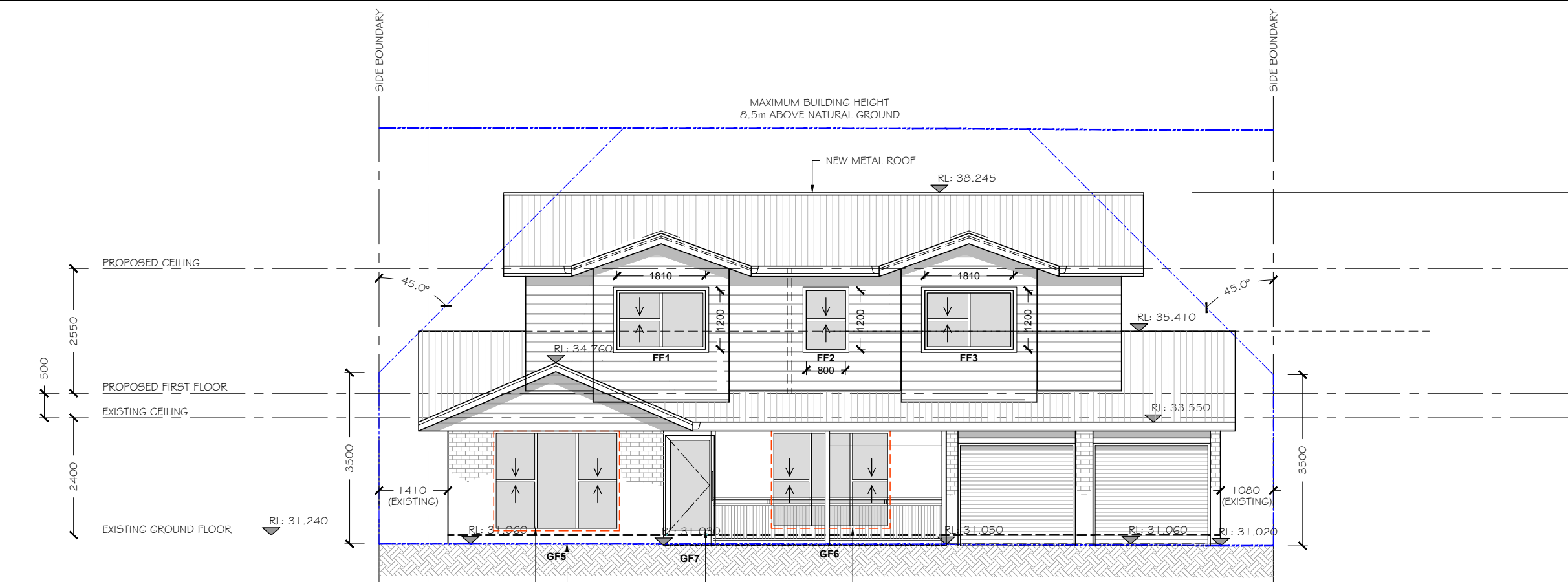
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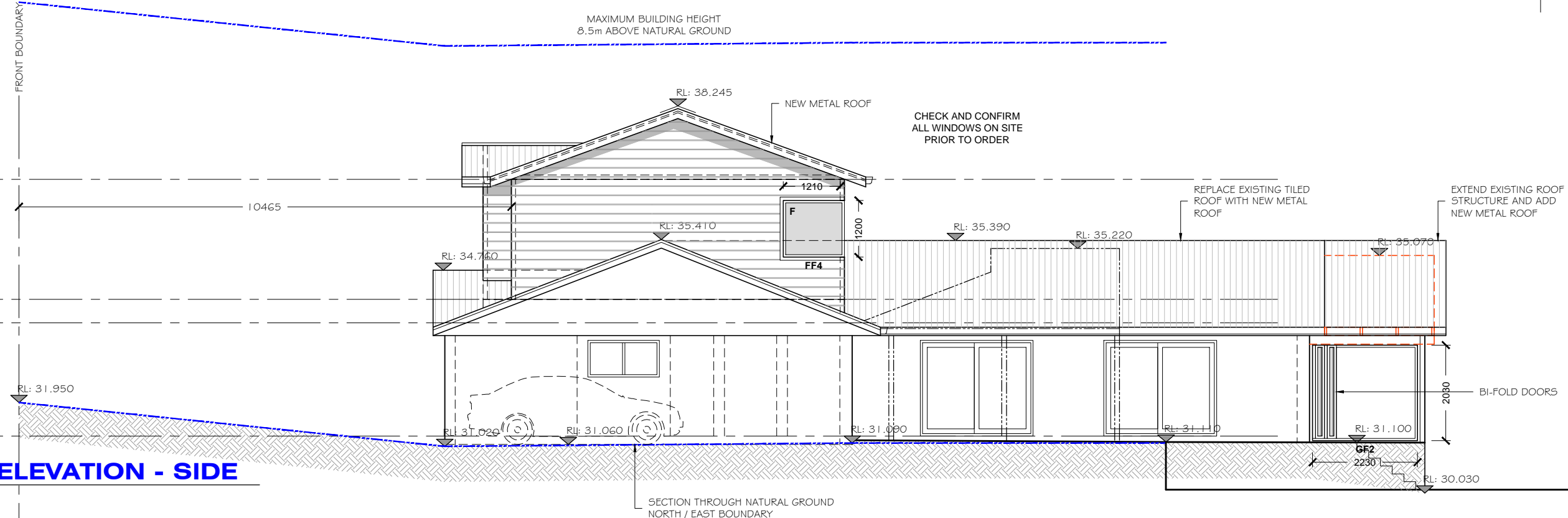
PROPOSED SOUTH ELEVATION - FRONT
SCALE 1:100

REMOVE AND REPLACE EXISTING WINDOW WITH NEW WINDOWS BRICK OPENING SIZE CHECK AND CONFIRM ON SITE PRIOR TO ORDER

SECTION THROUGH NATURAL GROUND FRONT BUILDING LINE (FROM SURVEY)

NEW 1.0m WIDE FRONT ENTRY DOOR (FROSTED)

REMOVE AND REPLACE EXISTING WINDOW WITH NEW WINDOWS BRICK OPENING SIZE CHECK AND CONFIRM ON SITE PRIOR TO ORDER



PROPOSED EAST ELEVATION - SIDE
SCALE 1:100

CHECK AND CONFIRM ALL WINDOWS ON SITE PRIOR TO ORDER

REPLACE EXISTING TILED ROOF WITH NEW METAL ROOF

EXTEND EXISTING ROOF STRUCTURE AND ADD NEW METAL ROOF

SECTION THROUGH NATURAL GROUND NORTH / EAST BOUNDARY

DESIGN HOUSE
+
drafting studio

t: 0402 021 466 e: bbench@bigpond.net.au

MEMBER OF:

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

CLIENT:
BRIGITTE + RYAN PETRIE

ADDRESS:
13 MAXWELL STREET
MONA VALE

PROJECT:
FIRST FLOOR ADDITION + EXISTING GROUND FLOOR MODIFICATIONS

DRAWING TITLE:
HOUSE ELEVATIONS 1

DETAILS:
DATE: 16.06.21
DRAWN: B.B
CHECKED: B.P, R.P
SCALE: 1:100

REVISIONS:

A. First issue, Town planner for submission.	05.09.21
B. Impervious area updates, final roof RL, proposed setbacks added, re-issue for submission.	21.09.21
C. -	
D. -	

STAGE: DEVELOPMENT APPLICATION (DA)

NORTH:

REVISION:

DRAWING No:
9 / 14

NOTES:

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THESE DRAWINGS HAVE BEEN PREPARED FOR DA SUBMISSION AND APPROVAL AND ARE NOT FOR CONSTRUCTION REFER TO STAMPED APPROVED DRAWINGS FOR APPROVAL CONDITIONS.

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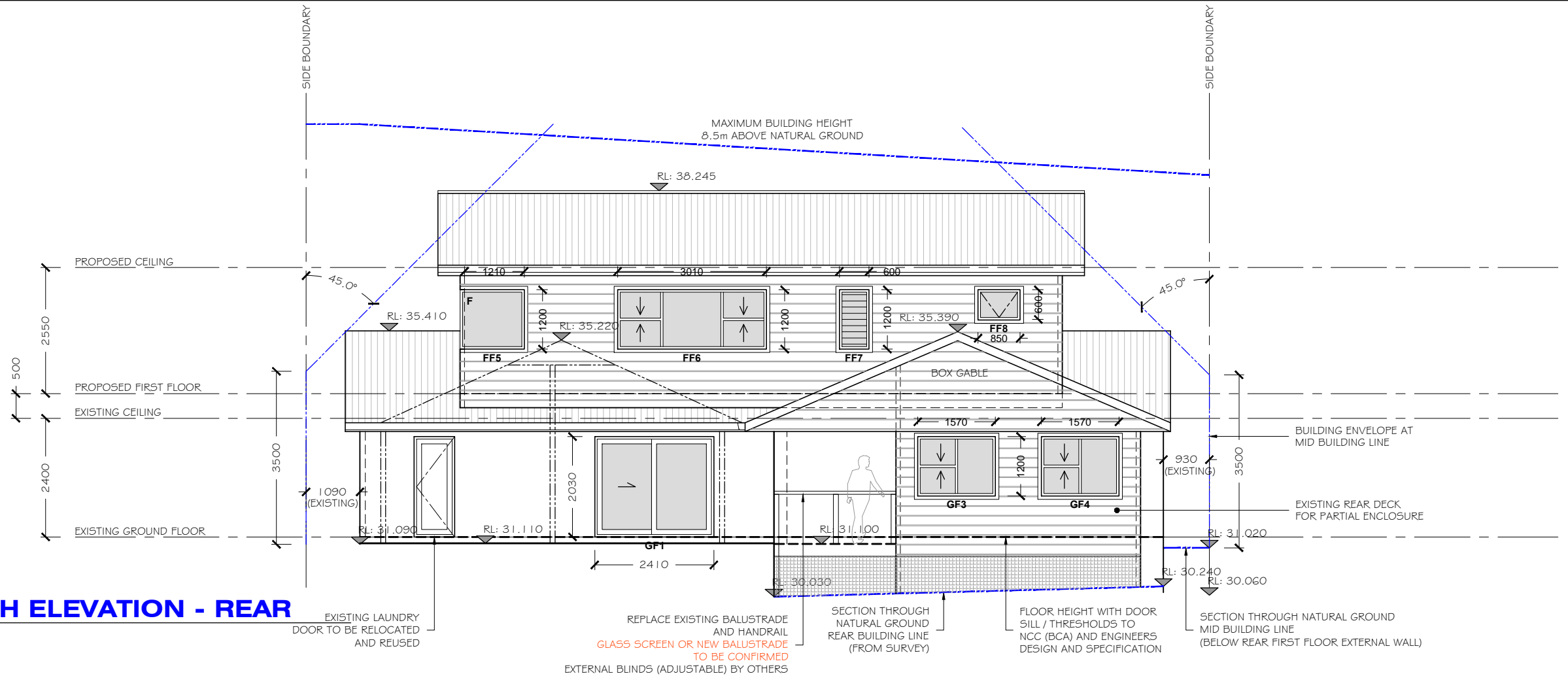
ALL STRUCTURAL MODIFICATIONS + ADDITIONS AS PER STRUCTURAL ENGINEERS DESIGN AND SPECIFICATION.

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WIND RATING: ROOF AND WALL FRAMES: REFER TO FRAMING MANUFACTURERS DESIGN AND SPECIFICATION

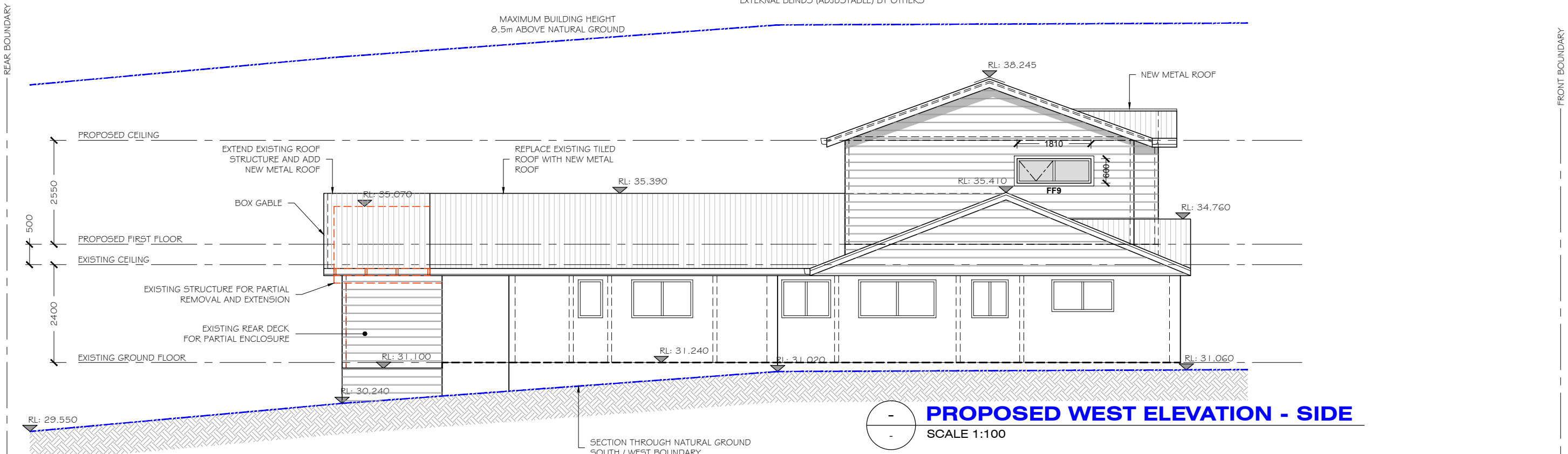
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REFER TO BUILDERS SPECIFICATION FOR FINAL MATERIALS AND FINISHES.



PROPOSED NORTH ELEVATION - REAR

SCALE 1:100



PROPOSED WEST ELEVATION - SIDE

SCALE 1:100

DESIGN HOUSE

+
drafting studio

t: 0402 021 466

e: bbench@bigpond.net.au

MEMBER OF:



**BUILDING DESIGNERS
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CLIENT:

BRIGITTE + RYAN PETRIE

ADDRESS:

13 MAXWELL STREET
MONA VALE

PROJECT:

FIRST FLOOR ADDITION + EXISTING
GROUND FLOOR MODIFICATIONS

DRAWING TITLE:

PROPOSED ELEVATIONS 2

DETAILS:

DATE: 16.06.21

DRAWN: B.B

CHECKED: B.P, R.P

SCALE: 1:100

REVISIONS:

- A. First issue, Town planner for submission.
- B. Impervious area updates, final roof RL, proposed setbacks added, re-issue for submission.
- C. -
- D. -

05.09.21

21.09.21

STAGE: DEVELOPMENT APPLICATION (DA)

NORTH:

REVISION:



DRAWING No:

10/14

NOTES:

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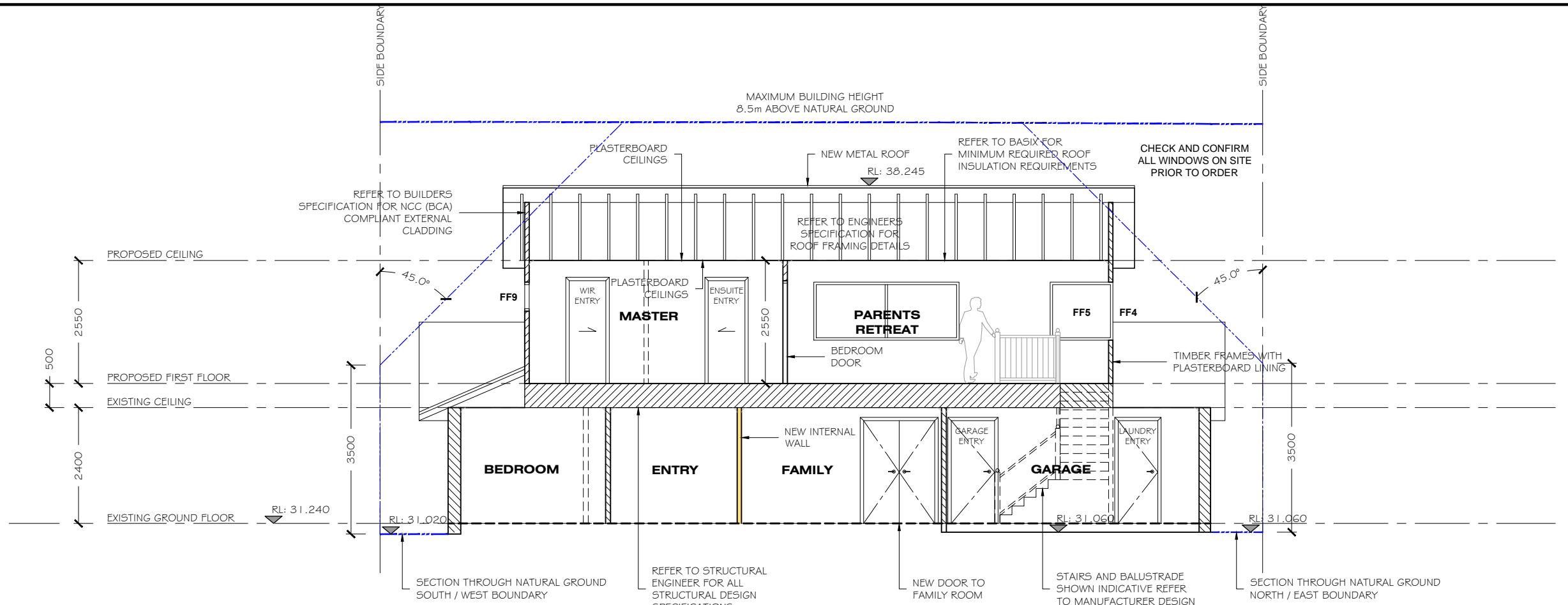
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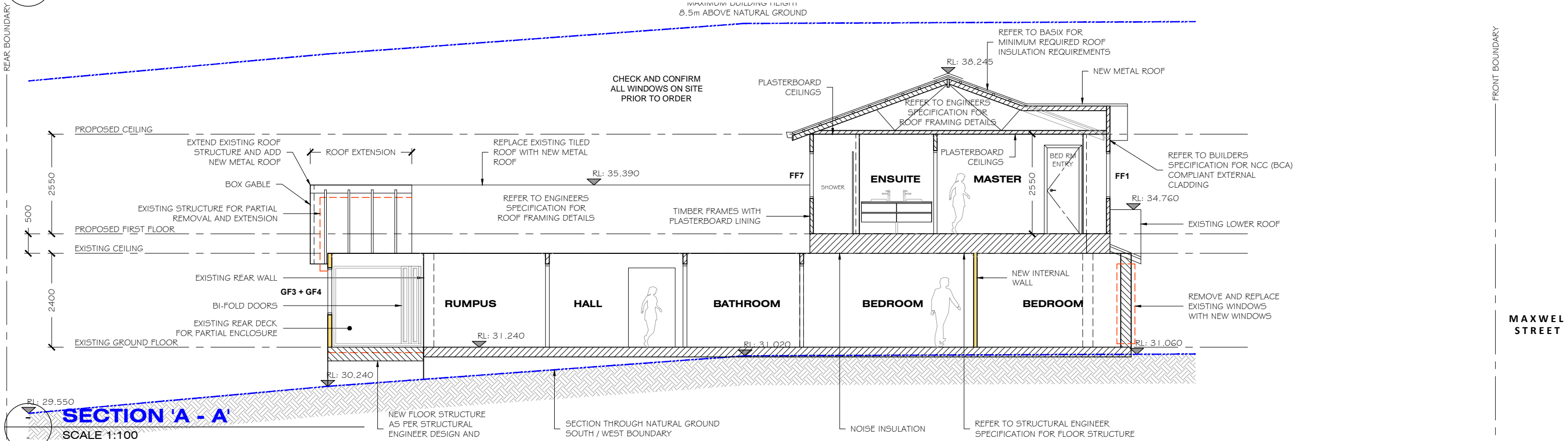
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REFER TO BUILDERS SPECIFICATION FOR FINAL MATERIALS AND FINISHES.



SECTION 'B - B'

SCALE 1:100



SECTION 'A - A'

SCALE 1:100

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PROJECT:

FIRST FLOOR ADDITION + EXISTING
GROUND FLOOR MODIFICATIONS

DRAWING TITLE:

PROPOSED SECTIONS 1

DETAILS:

DATE: 16.06.21
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CHECKED: B.P, R.P
SCALE: 1:100

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STAGE: DEVELOPMENT APPLICATION (DA)

NORTH:

05.09.21
21.09.21

REVISION:



DRAWING No:

11 / 14

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9.00am SHADOW PROPOSED ROOF EXTENSION

9.00am SHADOW EXISTING ROOF

9.00am SHADOW PROPOSED FIRST FLOOR ADDITION

12.00pm SHADOW PROPOSED FIRST FLOOR ADDITION

3.00pm SHADOW PROPOSED FIRST FLOOR ADDITION

3.00pm SHADOW EXISTING ROOF

SHADOWS
SCALE 1:200

DESIGN HOUSE
+
drafting studio

t: 0402 021 466 e: bbench@bigpond.net.au

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bdaa
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ADDRESS:
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MONA VALE

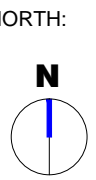
PROJECT:
FIRST FLOOR ADDITION + EXISTING
GROUND FLOOR MODIFICATIONS

DRAWING TITLE:
SHADOW DIAGRAMS

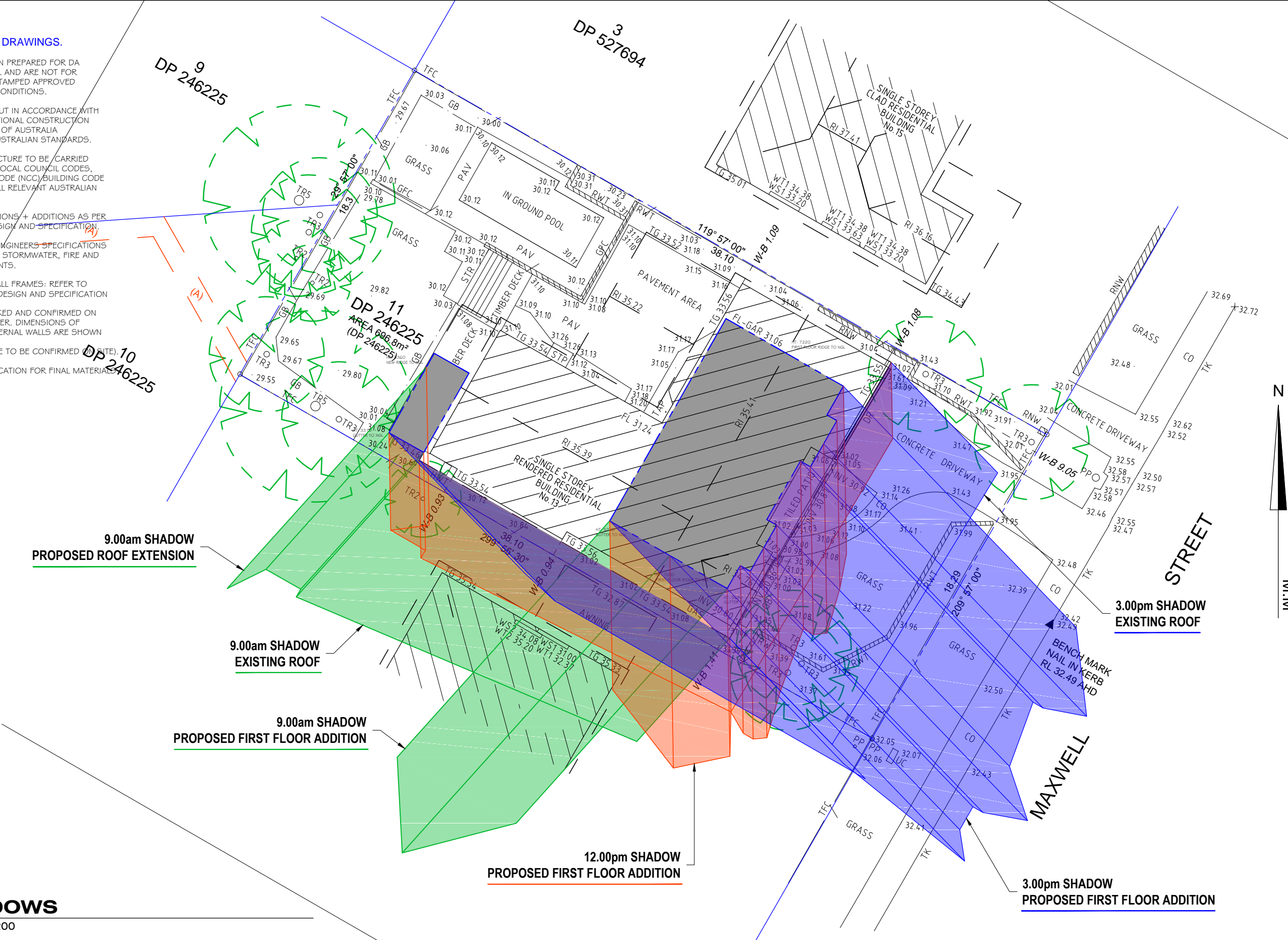
DETAILS:
DATE: 16.06.21
DRAWN: B.B
CHECKED: B.P, R.P
SCALE: 1:200

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STAGE: DEVELOPMENT APPLICATION (DA)

NORTH:
05.09.21
21.09.21



REVISION:
B
DRAWING No:
12 / 14



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A426716

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 06, September 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Petrie
Street address	13 Maxwell Street Mona Vale 2103
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 246225
Lot number	11
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Design House + Drafting Studio
ABN (if applicable):	58981334580

BASIX Certificate number: A426716

page 2 / 7

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

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REFER TO BUILDERS SPECIFICATION FOR FINAL MATERIALS AND FINISHES.

BASIX Certificate number: A426716

page 3 / 7

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																					
Insulation requirements																								
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>																					
<table border="1"> <thead> <tr> <th>Construction</th> <th>Additional insulation required (R-value)</th> <th>Other specifications</th> </tr> </thead> <tbody> <tr> <td>suspended floor with open subfloor: framed (R0.7).</td> <td>R0.8 (down) (or R1.50 including construction)</td> <td></td> </tr> <tr> <td>suspended floor above garage: framed (R0.7).</td> <td>nil</td> <td></td> </tr> <tr> <td>floor above existing dwelling or building.</td> <td>nil</td> <td></td> </tr> <tr> <td>external wall: framed (weatherboard, fibro, metal clad)</td> <td>R1.30 (or R1.70 including construction)</td> <td></td> </tr> <tr> <td>internal wall shared with garage: plasterboard (R0.36)</td> <td>nil</td> <td></td> </tr> <tr> <td>flat ceiling, pitched roof</td> <td>ceiling: R1.95 (up), roof: foil backed blanket (55 mm)</td> <td>medium (solar absorptance 0.475 - 0.70)</td> </tr> </tbody> </table>	Construction	Additional insulation required (R-value)	Other specifications	suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)		suspended floor above garage: framed (R0.7).	nil		floor above existing dwelling or building.	nil		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		internal wall shared with garage: plasterboard (R0.36)	nil		flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			
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Planning, Industry & Environment

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BASIX Certificate number: A426716

page 4 / 7

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																												
Windows and glazed doors																															
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>																												
The following requirements must also be satisfied in relation to each window and glazed door:		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>																												
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>																												
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>																												
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>																												
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>																												
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>																												
Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>																												
Windows and glazed doors glazing requirements																															
<table border="1"> <thead> <tr> <th>Window / door no.</th> <th>Orientation</th> <th>Area of glass inc. frame (m²)</th> <th>Overshadowing Height (m)</th> <th>Distance (m)</th> <th>Shading device</th> <th>Frame and glass type</th> </tr> </thead> <tbody> <tr> <td>FF1</td> <td>SE</td> <td>2.16</td> <td>0</td> <td>0</td> <td>projection/height above sill ratio >=0.23</td> <td>improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)</td> </tr> <tr> <td>FF2</td> <td>SE</td> <td>0.96</td> <td>0</td> <td>0</td> <td>eave/verandah/pergola/balcony >=600 mm</td> <td>improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)</td> </tr> <tr> <td>FF3</td> <td>SE</td> <td>2.16</td> <td>0</td> <td>0</td> <td>projection/height above sill ratio</td> <td>improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)</td> </tr> </tbody> </table>	Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type	FF1	SE	2.16	0	0	projection/height above sill ratio >=0.23	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)	FF2	SE	0.96	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)	FF3	SE	2.16	0	0	projection/height above sill ratio	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			
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FF1	SE	2.16	0	0	projection/height above sill ratio >=0.23	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)																									
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PROJECT:

FIRST FLOOR ADDITION + EXISTING
GROUND FLOOR MODIFICATIONS

DRAWING TITLE:

BASIX 1

DETAILS:

DATE: 16.06.21

DRAWN: B.B

CHECKED: B.P, R.P

SCALE: -

REVISIONS:

- A. First issue, Town planner for submission.
- B. Impervious area updates, final roof RL, proposed setbacks added, re-issue for submission.
- C. -
- D. -

05.09.21

21.09.21

NORTH:

REVISION:



DRAWING No:

13 / 14

STAGE: DEVELOPMENT APPLICATION (DA)

BASIX Certificate number: A426716 page 5 / 7

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device			
			Height (m)	Distance (m)				
FF4	NE	1.44	0	0	>=0.23 projection/height above sill ratio >=0.23			
FF5	NW	1.44	0	0	eave/verandah/ pergola/balcony >=600 mm			
FF6	NW	3.6	0	0	eave/verandah/ pergola/balcony >=600 mm			
FF7	NW	0.72	0	0	eave/verandah/ pergola/balcony >=600 mm			
FF8	NW	0.51	0	0	eave/verandah/ pergola/balcony >=600 mm			
FF9	SW	1.08	0	0	projection/height above sill ratio >=0.29			
GF1	NW	5	0	0	pergola (adjustable shade) >=900 mm			
GF2	NE	4.62	0	0	eave/verandah/ pergola/balcony >=900 mm			
GF3	NW	1.9	0	0	eave/verandah/ pergola/balcony >=600 mm			
GF4	NW	1.9	0	0	eave/verandah/ pergola/balcony >=600 mm			
GF5	SE	4.5	0	0	eave/verandah/ pergola/balcony >=600 mm			
GF6	SE	4.5	0	0	eave/verandah/ pergola/balcony >=600 mm			
GF7	SE	2	0	0	eave/verandah/ pergola/balcony			

Frame and glass type: 6.44, SHGC: 0.75

Planning, Industry & Environment Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A426716 page 6 / 7

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device			
			Height (m)	Distance (m)				
					>=900 mm			
					6.44, SHGC: 0.75			

Planning, Industry & Environment Building Sustainability Index www.basix.nsw.gov.au

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REFER TO ALL CONSULTING ENGINEERS SPECIFICATIONS FOR ALL CIVIL, STRUCTURAL, STORMWATER, FIRE AND FLOOD RELATED REQUIREMENTS.

WIND RATING: ROOF AND WALL FRAMES: REFER TO FRAMING MANUFACTURERS DESIGN AND SPECIFICATION

WINDOW SIZES TO BE CHECKED AND CONFIRMED ON SITE PRIOR TO PLACING ORDER. DIMENSIONS OF WINDOWS WITHIN BRICK EXTERNAL WALLS ARE SHOWN APPROXIMATE. (ACTUAL BRICK OPENING SIZE TO BE CONFIRMED ON SITE).

REFER TO BUILDERS SPECIFICATION FOR FINAL MATERIALS AND FINISHES.

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Planning, Industry & Environment Building Sustainability Index www.basix.nsw.gov.au



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CLIENT:
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ADDRESS:
13 MAXWELL STREET
MONA VALE

PROJECT:
FIRST FLOOR ADDITION + EXISTING
GROUND FLOOR MODIFICATIONS

DRAWING TITLE:
BASIX 2

DETAILS:
DATE: 16.06.21
DRAWN: B.B
CHECKED: B.P, R.P
SCALE: -

REVISIONS:

A. First issue, Town planner for submission.	05.09.21
B. Impervious area updates, final roof RL, proposed setbacks added, re-issue for submission.	21.09.21
C. -	
D. -	

STAGE: DEVELOPMENT APPLICATION (DA)

NORTH:

REVISION:

DRAWING No:
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