

- LEGEND
- existing tree to be removed
 - existing tree to be retained
 - proposed tree
 - ct ceramic tiles
 - dp downpipe
 - do drainage outlet
 - rwt rain water tank
 - of overflow
 - oshr outdoor shower
 - gm gas meter
 - existing RL's
 - outline of existing buildings to be demolished
 - T.O.W. top of wall
 - T.O.P. top of parapet

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REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	09/2020
B	DA AMENDMENTS	03/2021
C	DA AMENDMENTS	03/2021
D	DA AMENDMENTS	05/2021

CONTROLS
ZONE:
E4 ENVIRONMENTAL LIVING
ACID SULFATE SOILS:
CLASS 5
MAX BUILDING HEIGHT:
10m MAX BUILDING HEIGHT
GEOTECHNICAL HAZARD:
H1 GEOTECHNICAL HAZARD
LANDSCAPE AREA:
80% LANDSCAPE AREA = 376.03m²
(no impervious area)

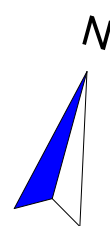
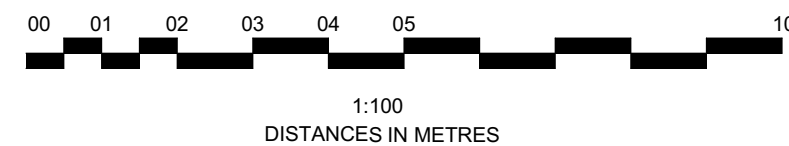
BUILDING FOOTPRINT
EXISTING: 175.72m²
PROPOSED: 147.85m²

PROJECT
PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS
ADDRESS
13 PACIFIC ROAD PALM BEACH, NSW, 2108 LOT NO. 404 | DP NO. 19651


SITE ROOF PLAN
ARCHITECT
JAMISA ARCHITECTS PTY LTD
Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

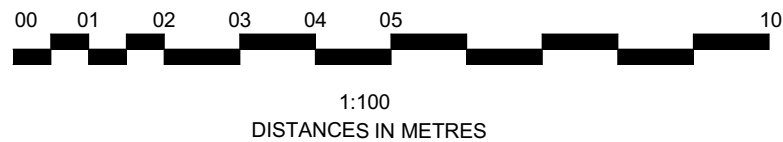
SCALE: 1:100 @ A1
DRAWN: MC
CHECKED: JG
SUBMISSION DATE: SEPTEMBER 2020
JOB NUMBER: 03/2018/07

DRAWING NUMBER: **DA01** ISSUE: **D**



LEGEND

-  existing tree to be removed
-  existing tree to be retained
-  proposed tree
- ct ceramic tiles
- tf timber floor
- dp downpipe
- do drainage outlet
- rwt rain water tank
- of overflow
- hr handrail
- gm gas meter
- T.O.W. top of wall
- T.O.P. top of parapet
- sd smoke detector
- sp structural post
- shr shower
- gb glass balustrade
- existing RL's existing RL's
- x2:1.10 outline of existing buildings to be demolished



PROJECT	
PROPOSED DWELLING HOUSE	
FOR	
WILLIAM & NANCY GROUNDS	
ADDRESS	
13 PACIFIC ROAD PALM	
BEACH, NSW, 2108 LOT NO.	
404 DP NO. 19651	
DRAWING TITLE	
LOWER GROUND FLOOR	
PLAN	
ARCHITECT	
JAMISA ARCHITECTS PTY LTD	
Nominated Architect: Jamie Grounds NSW Registration No. 7265	
Suite 4, 112 Cronulla St, Cronulla	
PH/FAX. 9523 6499	
SCALE	1:100 @ A1
DRAWN	MC
CHECKED	JG
SUBMISSION DATE	SEPTEMBER 2020
JOB NUMBER	03/2018/07
DRAWING NUMBER	ISSUE
DA02	

Symbol	Type	Finish
	280mm Double Cavity Brick	Rendered
	270mm Double Cavity Brick	Face Brick
	250mm Double Brick	Rendered (external + internal face)
	200mm AFS Logic Wall	
	110mm Single Brick	Face Brick
	90mm Timber Framed	

Symbol	Description
	existing tree to be removed
	existing tree to be retained
	proposed tree
ct	ceramic tiles
tf	timber floor
dp	downpipe
do	drainage outlet
rw	rain water tank
ov	overflow
oshr	outdoor shower
gm	gas meter
T.O.W.	top of wall
T.O.P.	top of parapet
sd	smoke detector
sp	structural post
shr	shower
wip	walk in pantry
ref	refrigerator
cpd	cupboard
pty	pantry
ov	oven
wm	washing machine
dry	dryer
hr	handrail
gb	glass balustrade
x21.10	existing RL's
- - -	outline of existing buildings to be demolished

GROUND FLOOR PLAN
SCALE 1:100

PACIFIC ROAD
(20.115 WIDE)

ROAD
(20.115 WIDE)

SEWER INSPECTION PIT

SEWER INSPECTION PIT

AA SK-01

CONCRETE VEHICLE CROSSING

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CARPOT

CONCRETE SLAB

CONCRETE SLAB

CONCRETE SLAB

CONCRETE SLAB

CONCRETE SLAB

CONCRETE SLAB

CONCRETE SLAB

CONCRETE SLAB

CONCRETE SLAB

CONCRETE SLAB

to boundary corner

to boundary corner

to boundary corner

to boundary corner

to boundary corner

ONE AND TWO STOREY RENDERED AND CLAD RESIDENCE No.11

ONE STOREY CLAD RESIDENCE No.15

LOT 403 DP 19651

LOT 404 DP.19651 604.8m²

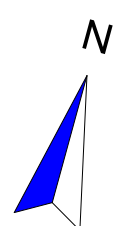
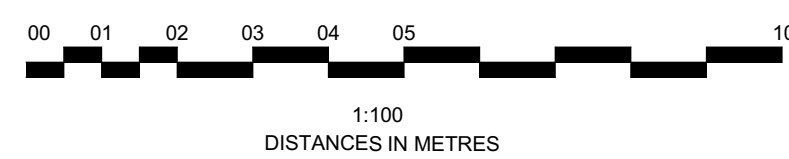
BOUNDARY 37.495

BOUNDARY 43.74

1600	995	1335	1135	1200	1150	3000	900	1980	250	400
110	cpd	110	wine	200						
1600	1600	3395	3395	3395	3395	5050	3130			
200	laundry	10	wc	110	w.i.p	280	4860	2005	200	925
10915							5140	3130		

1600	995	1335	1135	1200	1150	3000	900	1980	250	400
110	cpd	110	wine	200						
1600	1600	3395	3395	3395	3395	5050	3130			
200	laundry	10	wc	110	w.i.p	280	4860	2005	200	925
10915							5140	3130		

1600	995	1335	1135	1200	1150	3000	900	1980	250	400
110	cpd	110	wine	200						
1600	1600	3395	3395	3395	3395	5050	3130			
200	laundry	10	wc	110	w.i.p	280	4860	2005	200	925
10915							5140	3130		



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REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	09/2020
B	DA AMENDMENTS	03/2021
C	DA AMENDMENTS	03/2021
D	DA AMENDMENTS	05/2021
<p>1. First floor plan reconfigured with the rear first floor setback increased by 2.365m to ensure compliance with the maximum 10m Building Height limit.</p> <p>2. The width of the first floor balcony has been reduced and the storage area at the rear of the carport has been deleted.</p> <p>3. The non trafficable portion of the first floor balcony has been removed to comply with the maximum 10m Building Height limit.</p> <p>4. The carport roof over the proposed driveway has been reduced in length by 4.505m to comply with the maximum 10m Building Height limit.</p> <p>5. The southern portion of the ground floor and lower ground floor balconies shown hatched on plan have been removed.</p> <p>6. The ramp on the lower ground floor has been setback a further 600mm from the southern side boundary.</p> <p>7. The southern external wall of the WC and Butlers Pantry on the ground floor have been aligned with the external walls above and below.</p> <p>8. The southern side solid driveway has been replaced with an open form fence.</p>		
<p>1. All floors lowered by 500mm and driveway grade adjusted to suit maximum transition grade of 12.5%.</p> <p>2. First floor balcony reduced in width to 2.2m to increase neighbour views to Barrerojo Lighthouse.</p> <p>3. Ground floor and lower ground floor balconies extended by 500mm to improve stepped building form and to make balconies more usable.</p> <p>4. Tiered landscaping and stairs off ground floor patio adjusted to suit revised building levels.</p>		
PROJECT		
PROPOSED DWELLING HOUSE		
FOR WILLIAM & NANCY GROUNDS		
ADDRESS		
13 PACIFIC ROAD PALM BEACH, NSW, 2108 LOT NO. 404 DP NO. 19651		
DRAWING TITLE		
GROUND FLOOR PLAN		
ARCHITECT		
JAMISA ARCHITECTS PTY LTD		
Nominated Architect: Jamie Grounds NSW Registration No. 7265		
Suite 4, 112 Cronulla St, Cronulla		
PH/FAX: 9523 6499		
SCALE	1:100 @ A1	
DRAWN	MC	
CHECKED	JG	
SUBMISSION DATE	SEPTEMBER 2020	
JOB NUMBER	03/2018/07	
DRAWING NUMBER	DA03	ISSUE
		D

WALL LEGEND		
Symbol	Type	Finish
	280mm Double Cavity Brick	Rendered
	250mm Double Brick	Rendered (external + internal face)
	110mm Timber Framed	Lightweight Cladding
	90mm Timber Framed	

FIRST FLOOR PLAN
SCALE 1:100

PACIFIC
(20.115 WIDE)

ROAD
(20.115 WIDE)

SEWER
INSPECTION
PIT

SEWER
INSPECTION
PIT

AA
SK-01

CONCRETE VEHICLE CROSSING

CARPOT

CONCRETE
SLAB

SEWER
INSPECTION
PIT

AA
SK-01

CONCRETE VEHICLE CROSSING

CARPOT

CONCRETE
SLAB

5751	170	8030	23712
535	1100	6760	2220
535	1100	280	2220
535	110	2510	2220
535	110	3780	2220
535	3780	3600	2220
535	3780	3600	2220
535	3780	3600	2220

ONE STOREY
CLAD RESIDENCE
No.15

FLOOR LEVEL
81.8 RL

DOOR
FL 81.8 RL

HEAD 83.87 RL

WINDOW
SILL 82.71 RL

HEAD 83.97 RL

WINDOW
SILL 82.71 RL

HEAD 83.97 RL

WINDOW
SILL 82.71 RL

HEAD 83.97 RL

WINDOW
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HEAD 83.97 RL

WINDOW
SILL 82.71 RL

HEAD 83.97 RL

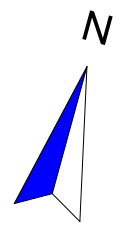
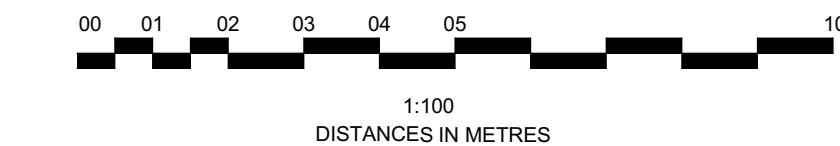
63° 43' 00"
BOUNDARY 37.495

LOT 405
DP 19651

LOT 404
DP 19651
604.8m²

BOUNDARY 43.74

LOT 403
DP 19651



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REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	09/2020
B	DA AMENDMENTS	03/2021
C	DA AMENDMENTS	03/2021
D	DA AMENDMENTS	05/2021

1. First floor plan reconfigured with the rear first floor setback increased by 2.365m to ensure compliance with the maximum 10m Building Height limit.

2. The width of the first floor balcony has been reduced and the storage area at the rear of the carport has been deleted.

3. The non trafficable portion of the first floor balcony has been removed to comply with the maximum 10m Building Height limit.

4. The carport roof over the proposed driveway has been reduced in length by 4.505m to comply with the maximum 10m Building Height limit.

5. The southern portion of the ground floor and lower ground floor balconies shown hatched on plan have been removed.

6. The ramp on the lower ground floor has been setback a further 600mm from the southern side boundary.

7. The southern external wall of the WC and Butlers Pantry on the ground floor have been aligned with the external walls above and below.

8. The southern side solid driveway has been replaced with an open form fence.

1. All floors lowered by 500mm and driveway grade adjusted to suit maximum transition grade of 12.5%.

2. First floor balcony reduced in width to 2.2m to increase neighbour views to Barrerojoey Lighthouse.

3. Ground floor and lower ground floor balconies extended by 500mm to improve stepped building form and to make balconies more usable.

4. Tiered landscaping and stairs off ground floor patio adjusted to suit revised building levels.

Area Included in FSR

shr shower
dp downpipe
ct ceramic tiles
cpt carpet
sd smoke detector
nr handrail

tf timber floor
gm gas meter
em electrical meter
do drainage outlet
gb glass balustrade
oshr outdoor shower

PROJECT

PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS

ADDRESS

13 PACIFIC ROAD PALM
BEACH, NSW, 2108 LOT NO.
404 | DP NO. 19651

DRAWING TITLE

FIRST FLOOR PLAN

ARCHITECT

JAMISA ARCHITECTS PTY LTD

Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

SCALE 1:100 @ A1

DRAWN MC

CHECKED JG

SUBMISSION DATE SEPTEMBER 2020

JOB NUMBER 03/2018/07

DRAWING NUMBER

ISSUE

DA04

D

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REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	09/2020
B	DA AMENDMENTS	03/2021
C	DA AMENDMENTS	03/2021
D	DA AMENDMENTS	05/2021

LEGEND

- of overflow
- dp downpipe
- tc timber cladding
- T.O.P top of parapet
- rpw rendered & painted masonry wall
- hw hot water system
- em elec. meter
- gm gas meter
- - - outline of existing buildings to be demolished
- SC stone cladding

PROJECT

PROPOSED DWELLING HOUSE FOR WILLIAM & NANCY GROUNDS

ADDRESS
13 PACIFIC ROAD PALM
BEACH, NSW, 2108 LOT NO.
404 | DP NO. 19651

DRAWING TITLE

ELEVATIONS

ARCHITECT

JAMISA ARCHITECTS PTY LTD
Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

SCALE 1:100 @ A1

DRAWN MC

CHECKED JG

SUBMISSION DATE SEPTEMBER 2020

JOB NUMBER 03/2018/07

DRAWING NUMBER

DA05

ISSUE

D

NORTH ELEVATION

SCALE 1:100

WEST ELEVATION E1

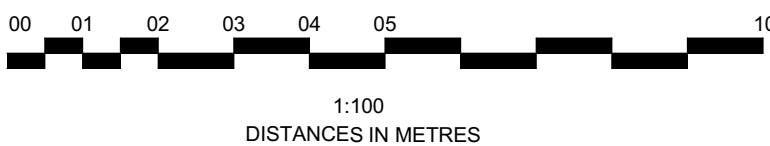
SCALE 1:100

SOUTH ELEVATION

SCALE 1:100

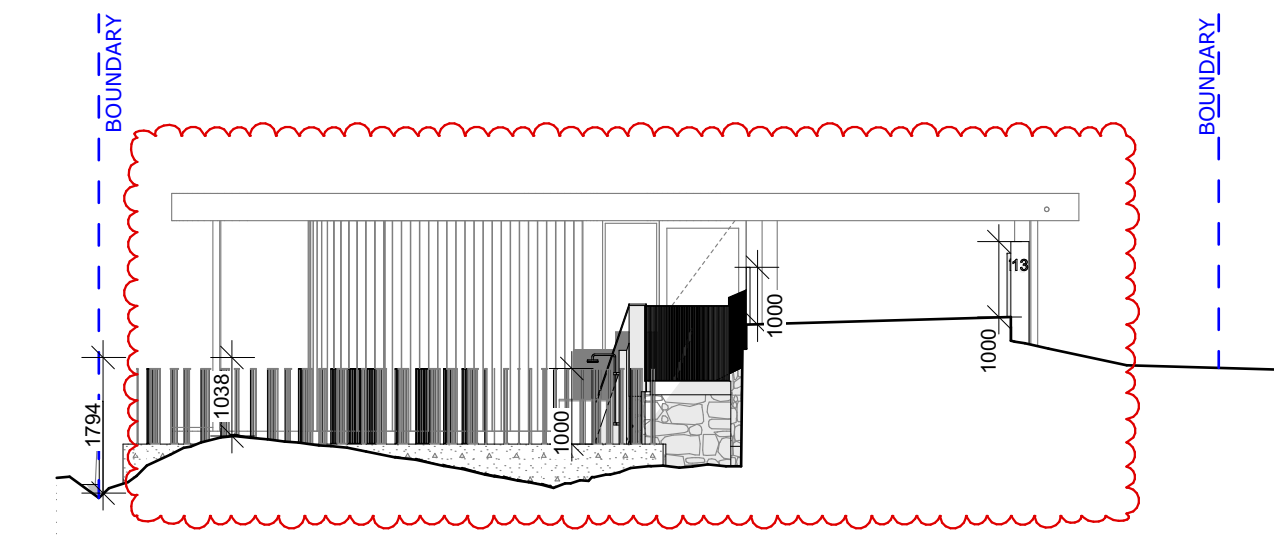
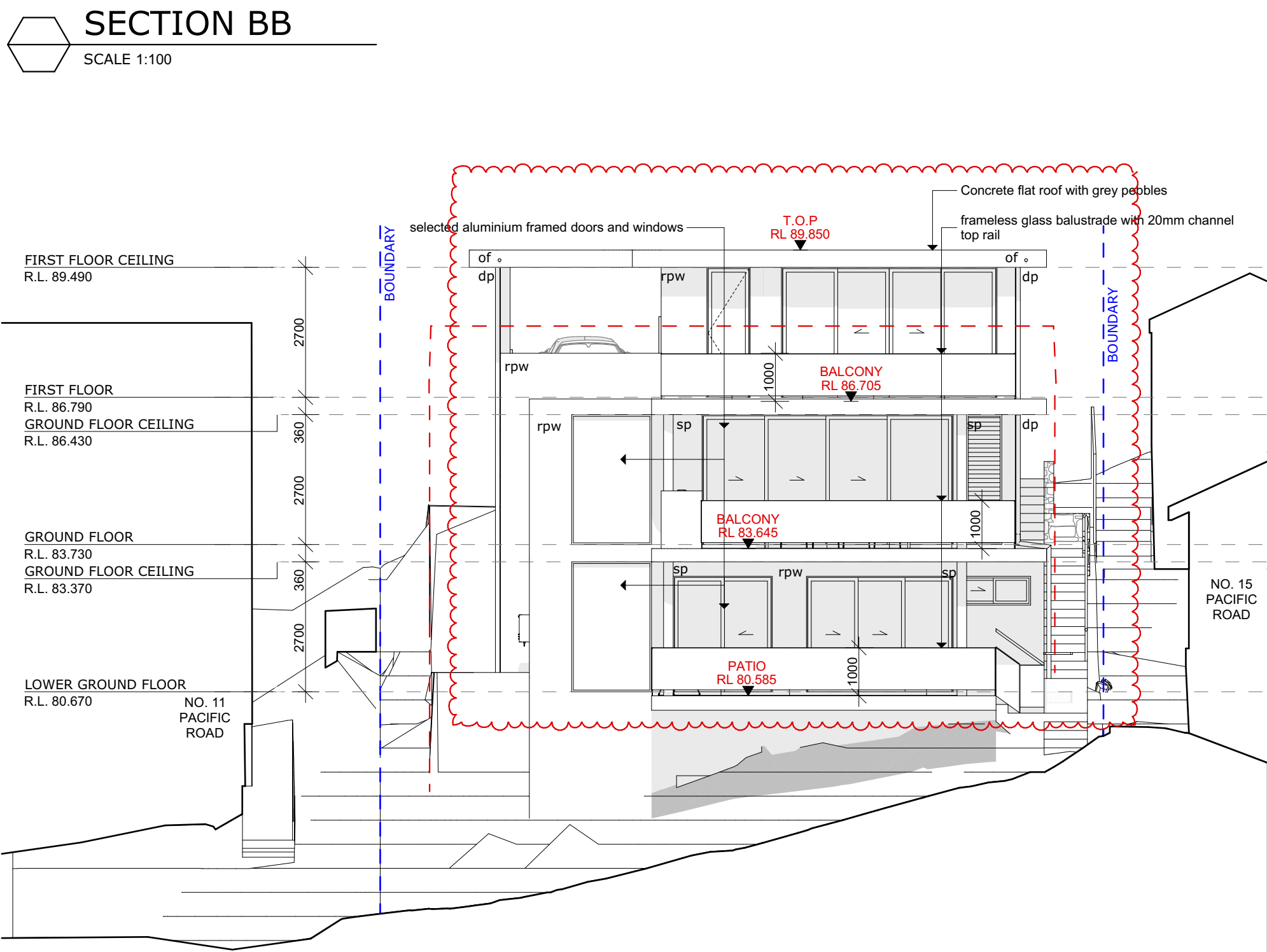
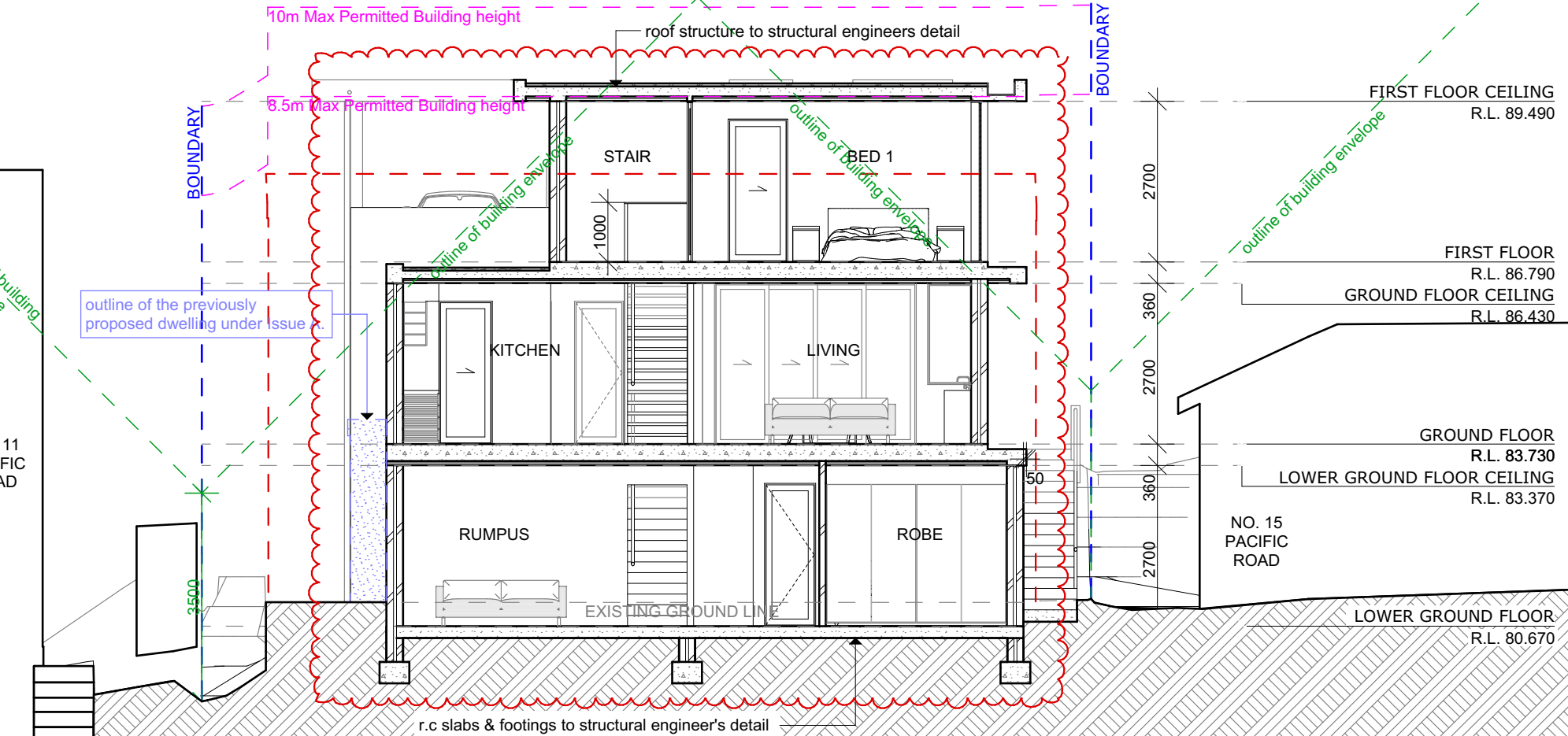
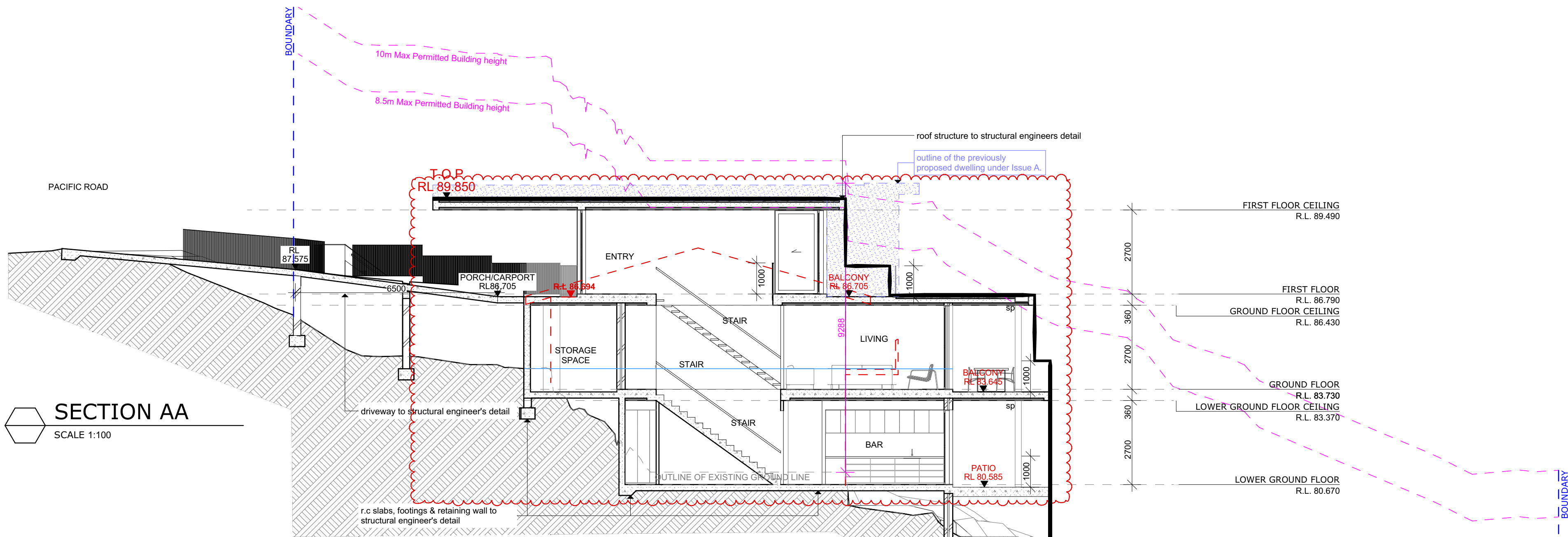
WEST ELEVATION

SCALE 1:100



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REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	09/2020
B	DA AMENDMENTS 1. First floor plan reconfigured with the rear first floor setback increased by 2.355m to ensure compliance with the maximum 10m Building Height limit. 2. The width of the first floor balcony has been reduced and the storage area at the rear of the carport has been deleted. 3. The non trafficable portion of the first floor balcony has been removed to comply with the maximum 10m Building Height limit. 4. The carport roof over the proposed driveway has been reduced in length by 4.505m to comply with the maximum 10m Building Height limit. 5. The southern portion of the ground floor and lower ground floor balconies shown hatched on plan have been removed. 6. The ramp up on the lower ground floor has been setback a further 600mm from the southern side boundary. 7. The southern external wall of the WC and Butlers Pantry on the ground floor have been aligned with the external walls above and below. 8. The southern side solid driveway has been replaced with an open form fence.	03/2021
C	DA AMENDMENTS	03/2021
D	DA AMENDMENTS 1. All floors lowered by 500mm and driveway grade adjusted to suit maximum transition grade of 12.5%. 2. First floor balcony reduced in width to 2.2m to increase neighbour views to Barringeroy Lighthouse. 3. Ground floor and lower ground floor balconies extended by 500mm to improve stepped building form and to make balconies more usable. 4. Tiered landscaping and stairs off ground floor patio adjusted to suit revised building levels.	05/2021



LEGEND
of overflow
sp structural post
dp downpipe
rpw rendered & painted masonry wall
— outline of existing buildings to be demolished

PROJECT

PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS

ADDRESS
13 PACIFIC ROAD PALM
BEACH, NSW, 2108 LOT NO.
404 | DP NO. 19651

SECTIONS

ARCHITECT
JAMISA ARCHITECTS PTY LTD
Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

SCALE 1:100 @ A1
DRAWN MC
CHECKED JG
SUBMISSION DATE SEPTEMBER 2020
JOB NUMBER 03/2018/07

DRAWING NUMBER ISSUE
DA06 D

