

### SHEET LIST

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05	Sediment & Waste	12	Contextual Perspective
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07	Elevations - North & South		

PREPARED FOR:  
**Katie Helmuth & Jared Gashel**

DA Re-submission: Northern Beaches Council  
1/4/22 (initial submission 25/8/21)

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CLIENT K. Helmuth & J. Gashel  
Project Name Helmuth - Sydney  
Project Number 20-0523  
Site Area 443.7m<sup>2</sup>  
83 Sydney Road, Manly

Drawn By Surveyor  
Drawing Phase DA RESUB.  
Current Issue B  
Issue Date 1/04/22

Project type Alts & Ads  
**Site Survey**  
**NOT TO SCALE**

Scale A3  
Sheet No. 01

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# NOTES:

- CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- AREA AND DIMENSIONS HAVE BEEN SURVEYED FROM PLANS MADE AVAILABLE AT LAND REGISTRY SERVICES.
- ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM P.M. 620 RL 4.755 A.H.D.
- TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- SPOT LEVELS ARE ACCURATE.
- BEARINGS SHOWN ARE ON MAGNETIC MERIDIAN.

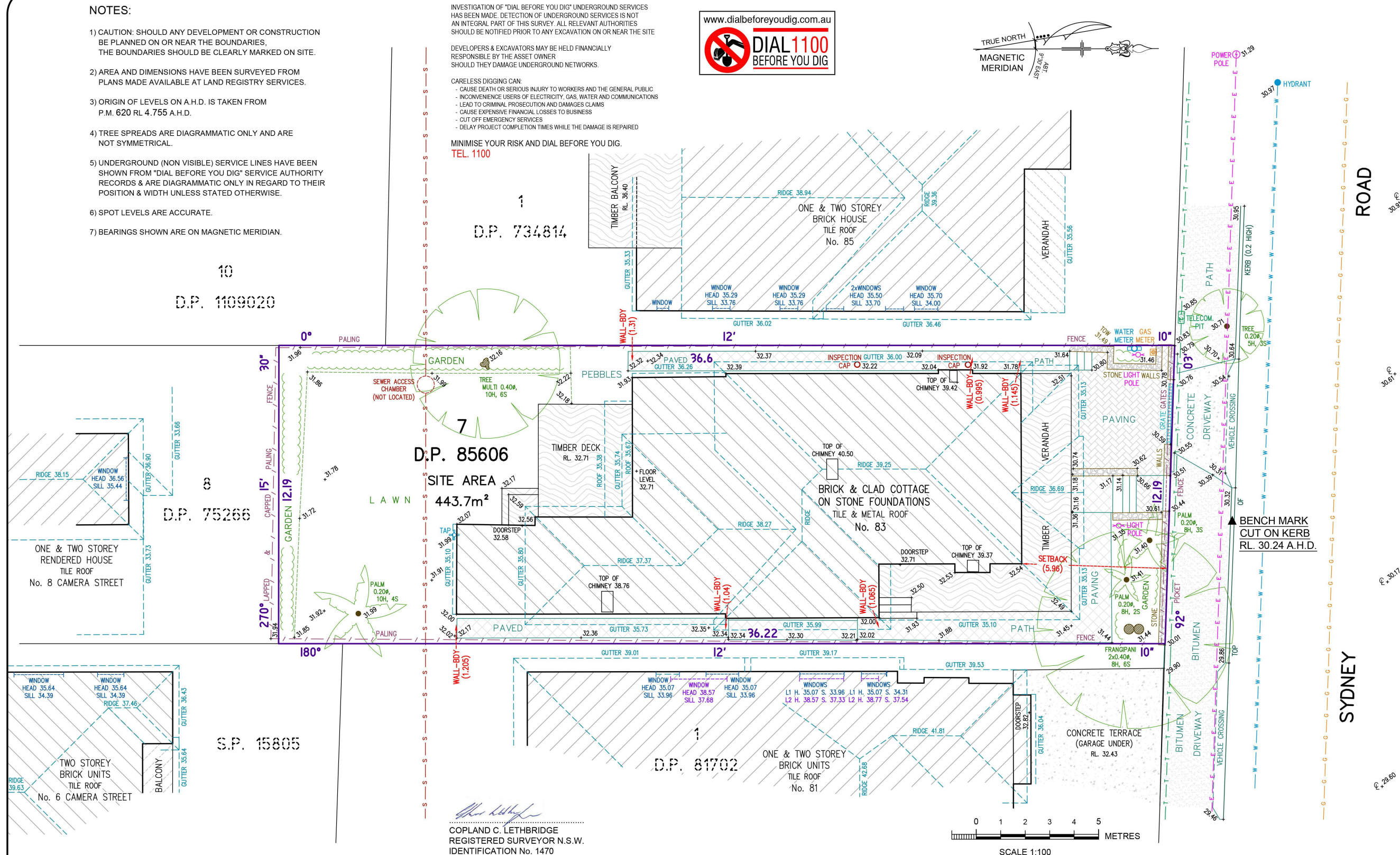
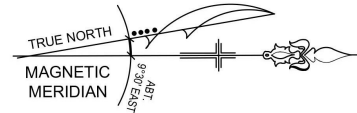
INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

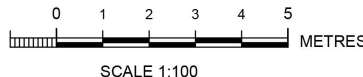


CARELESS DIGGING CAN:  
- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC  
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS  
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS  
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS  
- CUT OFF EMERGENCY SERVICES  
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.  
TEL. 1100



COPLAND C. LETHBRIDGE  
REGISTERED SURVEYOR N.S.W.  
IDENTIFICATION No. 1470



Bee & Lethbridge Pty Ltd  
Suite 2, 14 Starkey Street,  
PO Box. 330, Forestville, NSW 2087  
Phone: 9451 6757 Fax: 9975 3535  
Email: survey@beeeth.com.au  
ABN: 13 003 194 447  
www.beeeth.com.au

## LEGEND

- TREE 0.10m, 5H, 4S DENOTES APPROX. 0.10m DIAMETER of TREE
- GUTTER DENOTES APPROX. 5m HEIGHT of TREE
- TOW DENOTES APPROX. 4m SPREAD of TREE
- ROAD DENOTES CENTRE LINE OF ROAD
- TOP OF GUTTER DENOTES TOP OF GUTTER
- TOP OF WALL DENOTES TOP OF WALL
- OVERHEAD ELECTRIC LINES
- BOARDS SEWER
- TELECOMMUNICATION LINES
- WATER LINES
- GAS LINES

PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS & PHYSICAL FEATURES OVER LOT 7 IN D.P. 85606 KNOWN AS No. 83 SYDNEY ROAD, MANLY.

L.G.A.: NORTHERN BEACHES

CLIENT	Ms K. HELMUTH	REF No.	12133
PROPERTY	No. 83 SYDNEY ROAD, MANLY	SHEET No.	1 of 1
DATUM	A.H.D.	SCALE	1:100 @ A2
SURVEYED	C.L./B.W.	DATE	27/04/2020
DRAWN	S.C.	DWG No.	12133
REV No.	00		



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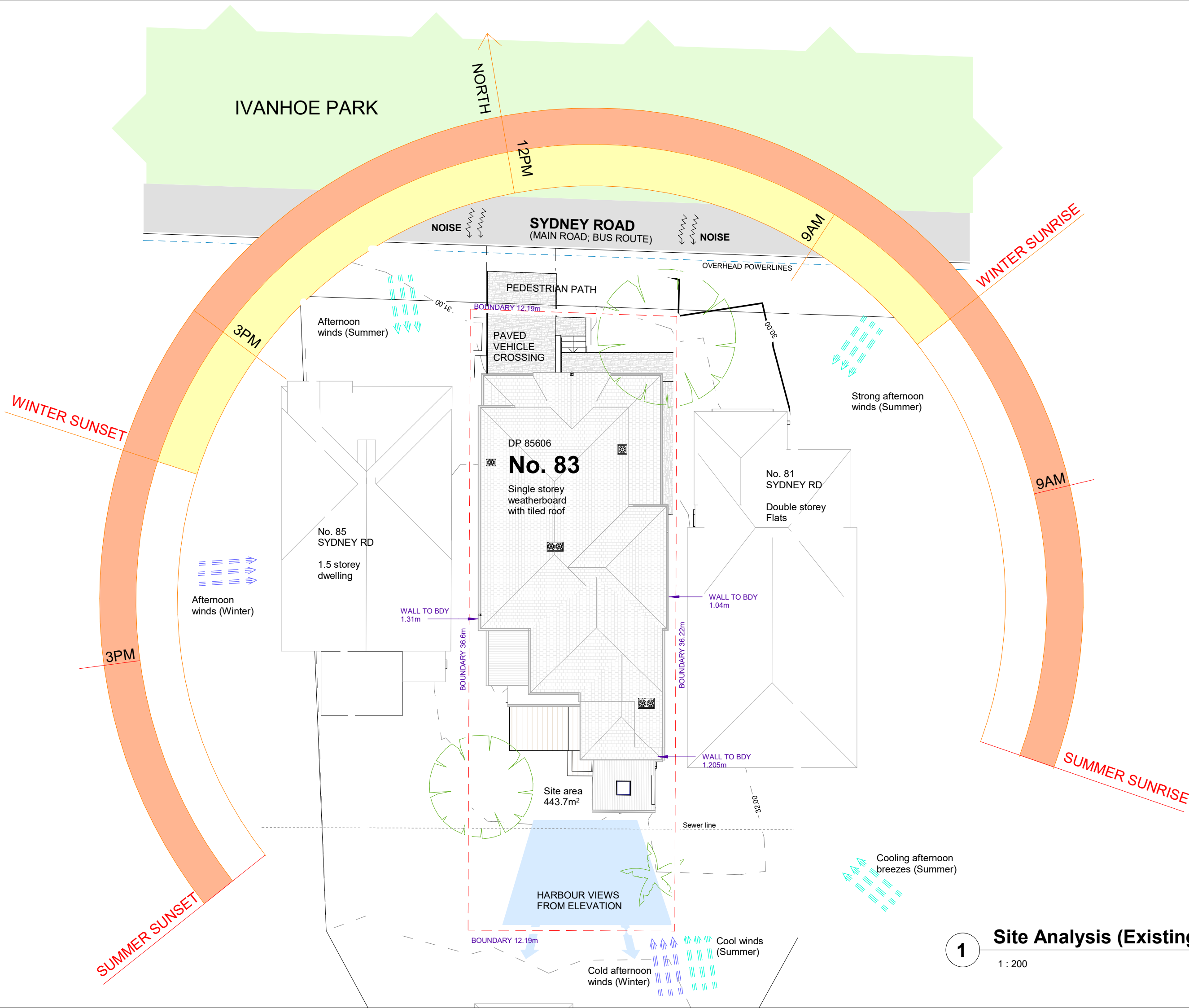
Drawn By KJ  
Drawing Phase DA RESUB.  
Current Issue B  
Issue Date 01/04/22

Project type Alts & Ads

## Site Analysis

Scale 1 : 200 A3  
Sheet No. 02

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Project type Alts & Ads

## Site Plan

Scale 1 : 150 A3  
Sheet No. 03

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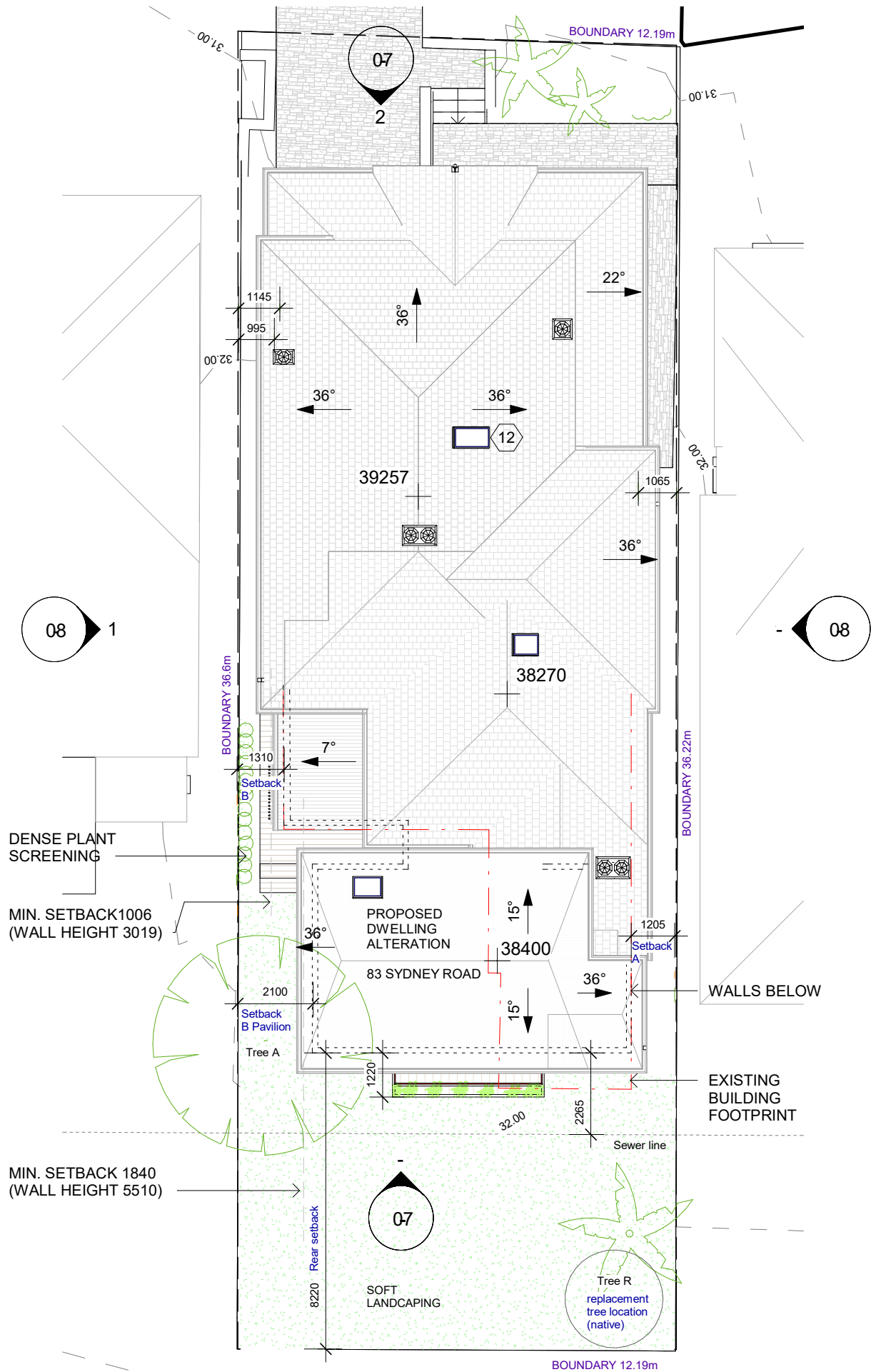
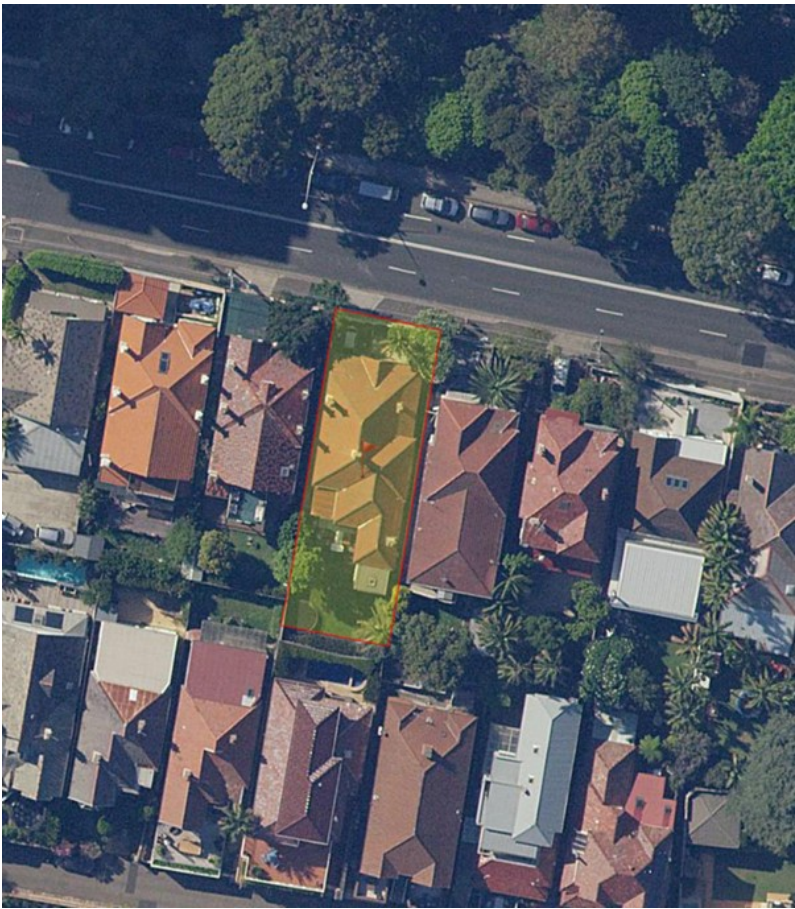
## SITE CALCULATIONS & CONTROLS

Land Zoning	R1 (General Residential)			
Site area	444 m <sup>2</sup>			
	Existing	Proposed	Control	Compliant
Ground Floor Area	162m <sup>2</sup>	182 m <sup>2</sup>		
Upper Floor Area	n/a	33 m <sup>2</sup>		
Total Floor Area	160m <sup>2</sup>	216 m <sup>2</sup>		
Floor Space Ratio	0.36:1	0.49:1	0.75:1	Yes
Total Open Space (Area OS2)	282m <sup>2</sup> /64%	270m <sup>2</sup> /61%	=/>50%	Yes
Landscaped Area (Area OS2)		125m <sup>2</sup> /46%	=/>30% TOS	Yes
Private Open Space (Area OS2)		104m <sup>2</sup>	18m <sup>2</sup>	Yes
Building Height (highest ridge)	7.385m	7.385m	11m	Unchanged
Pavilion Height (highest ridge)	n/a	6.245m	11m	Yes
Front setback	5.96m	5.96m	consistent	Unchanged
Side setback A (E)	1.205m	1.205m	n/a	Unchanged*
Side setback B (W)	1.31m	1.31m	1.0m	Yes**
Side setback B Pavilion	1.205m	2.10m	1.84m*	Yes*
Rear setback	7.27m	8.22m	8m	Yes**

\*Per Manly DCP 2013 clause 4.1.7.1

\*\* Variation sought

LANDSCAPING NOTE: Tree A is an Illawara Flame Tree, on the exempt species list. The intention is to retain this tree. In the case of disruption through building works, this tree will be replaced with a suitable native in the location specified for, "Tree R" with screening/shading plants replanted in the location of Tree A.



## Site & Landscape Plan (Proposed)

1 : 150







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Drawing Phase DA RESUB.  
Current Issue B  
Issue Date 01/04/2022

Project type Alts & Ads  
**Demolition Plan**

Scale As indicated A3  
Sheet No. 04

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MAINTENANCE WORKS  
(PAINTING & TIMBER  
RESTORATION) TO FRONT  
OF HOUSE TO UPKEEP  
HERITAGE STRUCTURE.  
NO CHANGE TO  
STRUCTURE OR PERIOD  
FEATURES

CHIMNEYS MAINTAINED.  
RESURFACE & PAINT  
EXISTING RENDER IN LIKE  
COLOUR TO UPKEEP

**CEILINGS**  
EXISTING DECORATIVE  
CEILINGS TO FRONT OF  
HOUSE PRESERVED &  
MAINTAINED

**FLOORS**  
EXISTING TIMBER  
FLOORBOARDS REPLACED  
THROUGHOUT FOR UPKEEP  
AND NATURAL CONTINUITY  
OF SPACE

**ROOF**  
CHANGES TO REAR ROOF AS  
INDICATED TO ACCOMMODATE  
STAIRCASE & SECOND  
STOREY REAR ADDITION

**VEGETATION, FENCING &  
OTHER SITE ATTRIBUTES**  
ALL TREES & EXISTING  
FENCES TO BE RETAINED.  
INTENTION TO RETAIN  
ILLAWARA FLAME TREE (IFT;  
EXEMPT SPECIES LIST); IN THE  
CASE OF IRREPAIRABLE  
DISTURBANCE TO THE IFT, A  
NEW NATIVE WILL PLANTED AT  
REAR OF SITE

**EXTERNAL WALLS**  
WHERE IN POOR CONDITION  
(AS INDICATED ON DEMO  
PLAN), REBUILD TO LIKE TO  
ENSURE ONGOING INTEGRITY

EXISTING DECK &  
COVER DEMOLISHED

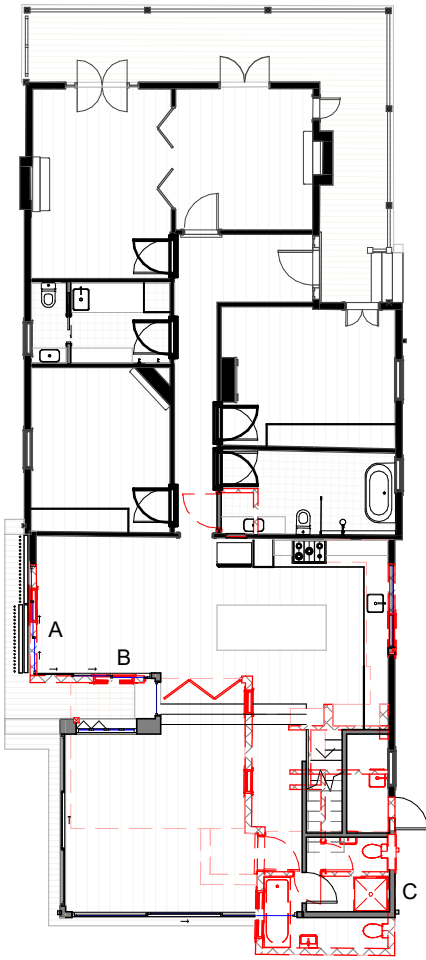
DEMOLITION OF PREVIOUS  
INTERNAL ALTERATION  
INCLUDING CEILINGS AND  
PORTION OF ROOF ABOVE,  
RETAIN CHIMNEY (NOT  
VISIBLE TO STREET FRONT)

DEMOLISH PREVIOUS  
ADDITION INCLUDING LEAN-  
TO ROOF

DP 85606

**No. 83**

Single storey  
weatherboard  
with tiled roof



EXTENT OF INTERNAL DEMOLITON

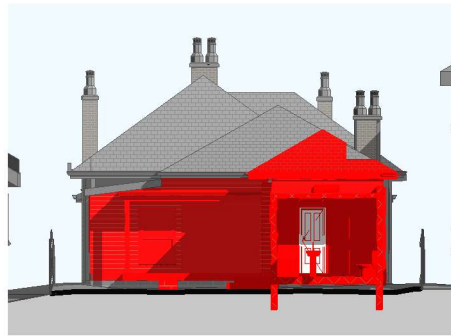
WALLS A, B & C IN POOR  
CONDITION; REBUILD TO  
SAME FINISH TO ENSURE  
ONGOING INTEGRITY



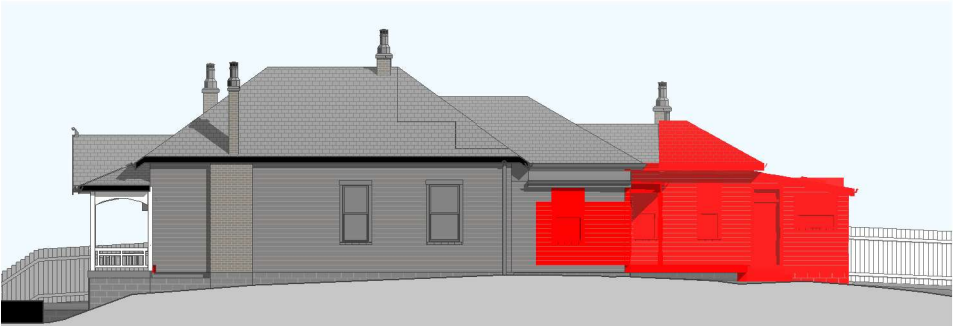
HATCHED AREA INDICATES  
EXTENT OF ROOF DEMOLITION  
FOR ALTERATION



NORTH ELEVATION/ STREET VIEW



SOUTH ELEVATION/ REAR



WEST ELEVATION/ SIDE



EAST ELEVATION/ SIDE





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Drawing Phase DA RESUB.  
Current Issue B  
Issue Date 01/04/2022

Project type Alts & Ads  
**Sediment & Waste**

Scale 1 : 150 A3  
Sheet No. 05

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### Notes Regarding Waste & Sediment

- A. Site works will not start until the erosion and sediment control works outlined in these notes are installed and functional.
- B. Sediment fences and parrier fences will be installed as shown on plan.
- C. All stockpiles will be placed in the location shown on the plan and at least 2m clear of all areas of possible concentrated water flow, including driveways.
- D. Lands on the footpath will not be disturbed during works except where essential. Stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.
- E. Approved bins for building waste, paints, acid wasings and litter will be provided and arrangements made for regular collection and disposal.
- F. Guttering will be connected to the stormwater system or rainwater tank as soon as practicable.
- G. Topsoil will be respread and all disturbed areas will be stabilised within 20 working days of the completion of works.
- H. All erosion and sediment controls will be checked at least weekly and after rain, to ensure they are maintained in a fully functional condition.

### Pollution Management on site

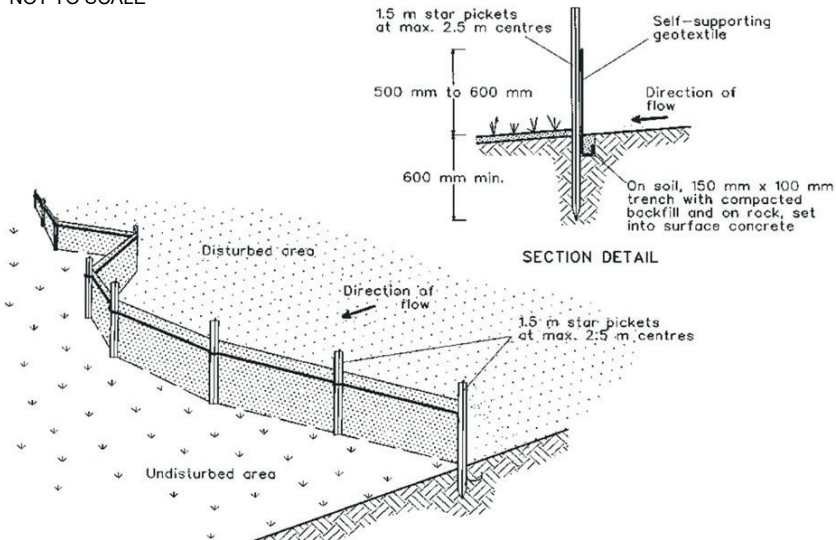
The following measures to be taken to prevent pollution on site

- Restrict access to one stable entry and exit point
- Install and maintain adequate sendement and erosion controls, with sediment fences erected as shown
- Preserve grassed area and existing vegetation by minimising the amount of land disturbed
- Ennsure stockpiles of sand, gravel, soil and similar materials are located so the material does not spill onto the road or pavement, wash into drainage lines, watercourses or depressions
- Minimise on-site vehicle activity during wet weather
- Do not pump or allow unclean water to enter the stormater system from the excess materials or cleaning tools

**EROSION AND SEDIMENT MANAGEMENT WORKS SHALL COMPLY WITH THE REQUIREMENTS FOR EROSION AND SEDIMENT MANAGEMENT PLANS CONTAINED WITHIN THE MANLY DCP, 2013 AND MANLY COUNCIL'S GUIDELINES FOR SEDIMENT AND EROSION CONTROLS ON BUILDING SITES**

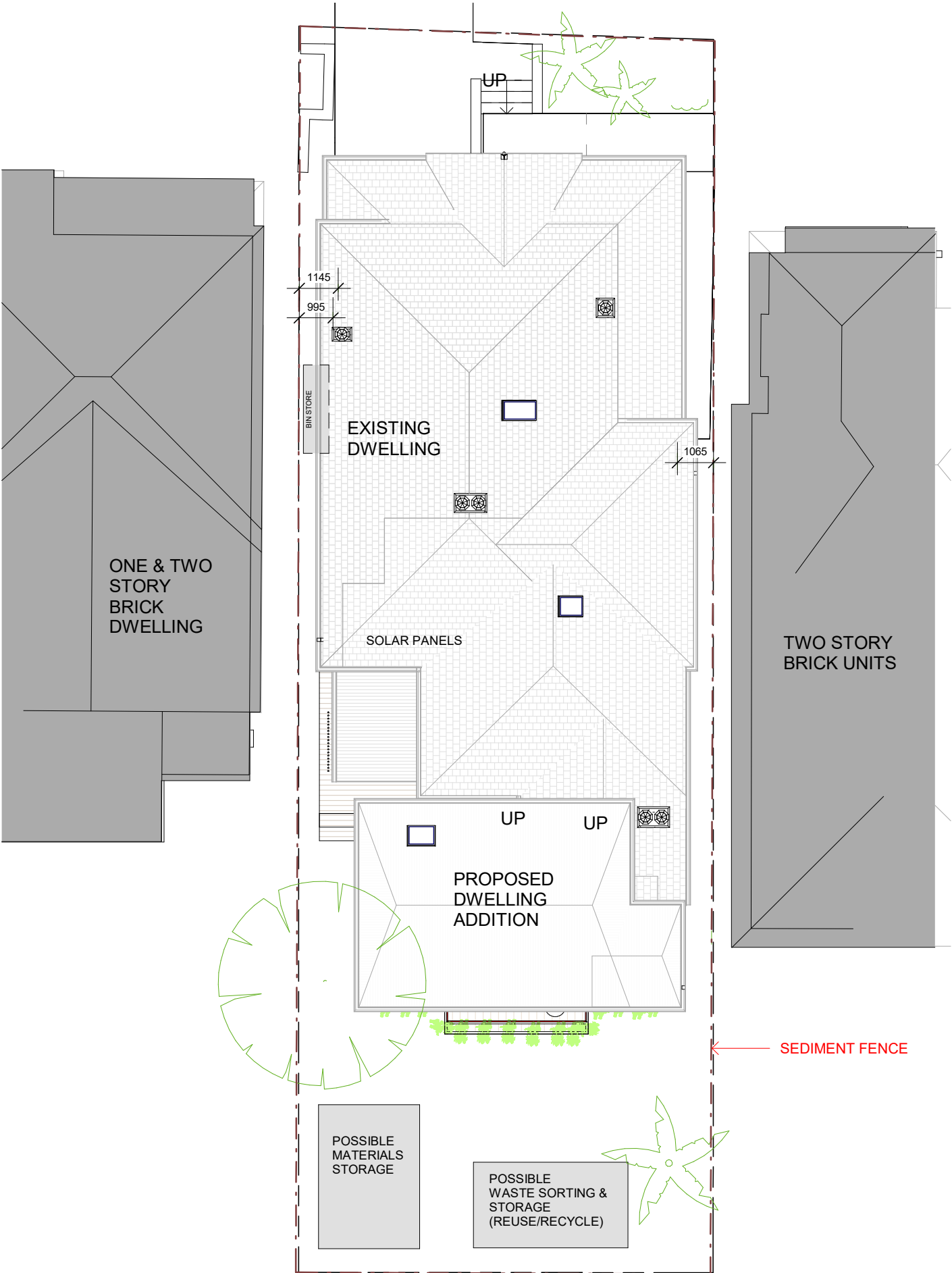
### Sediment Fence Detail

NOT TO SCALE

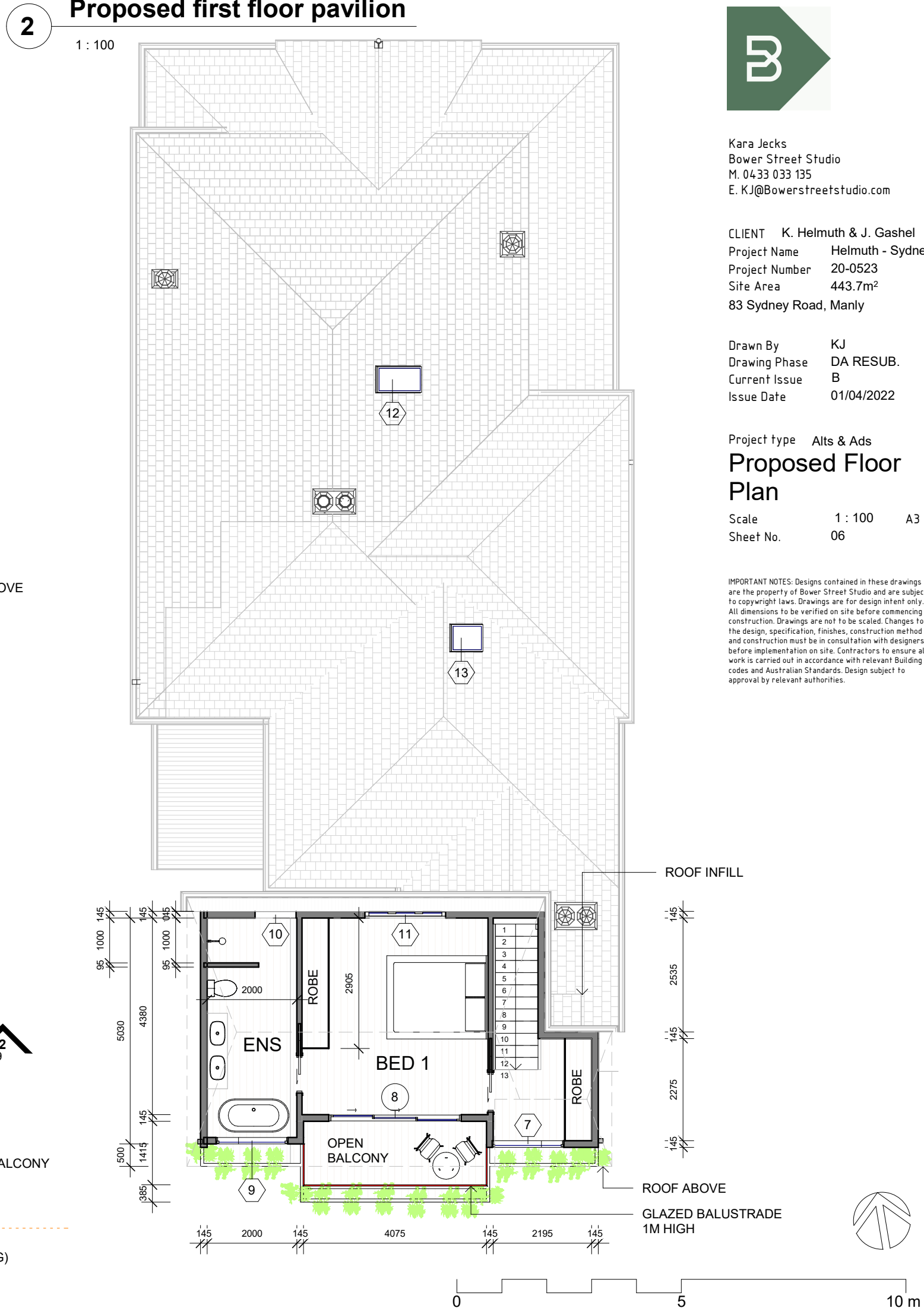
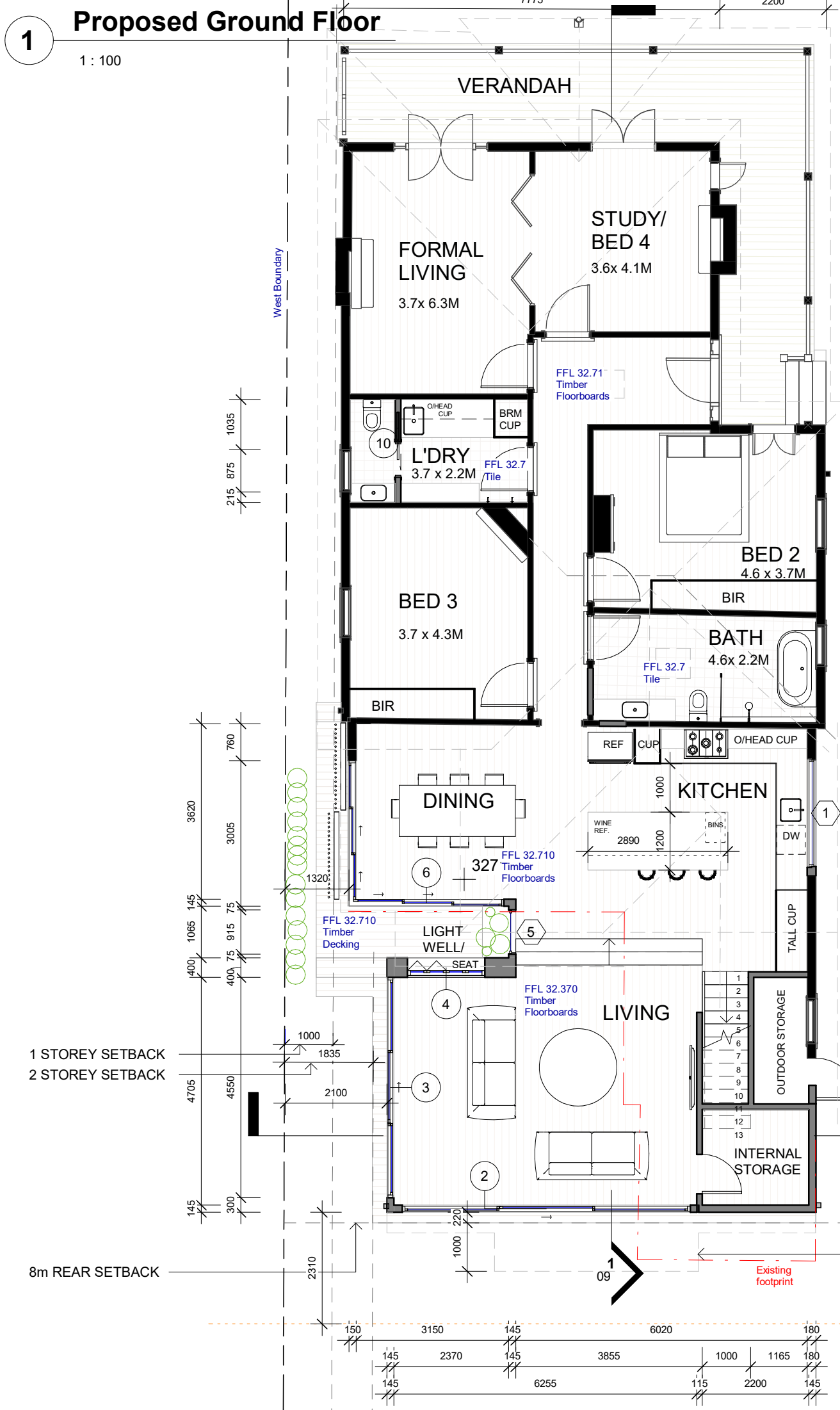


### Sediment Fence Construction Notes

1. Construct sediment fence as close to possible to parallel to the contours of the site, but with small returns as shown in drawing to limit the catchment area of any one section.
2. Dig a 150mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
3. Drive 1.5 metre long star pickets into ground at 2.5metre intervals (max), at the downslope edge of the trenge. Fit star pickets with safety caps.
4. Fix self-supporting geotextile to the upslope side of the posts, ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer.
5. Join sections of fabric at support posts with a 150mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.







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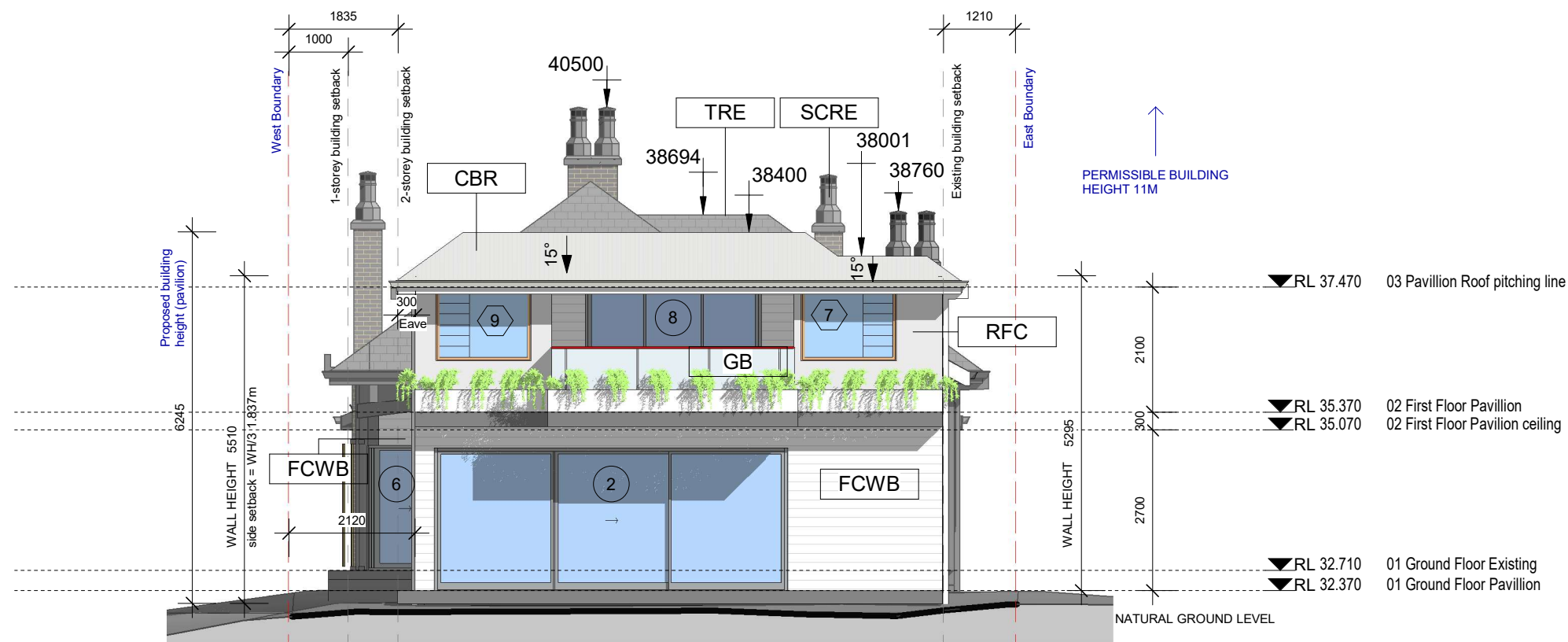
Drawn By KJ  
Drawing Phase DA RESUB.  
Current Issue B  
Issue Date 01/04/2022

Project type Alts & Ads  
**Proposed Floor Plan**

Scale 1 : 100 A3  
Sheet No. 06

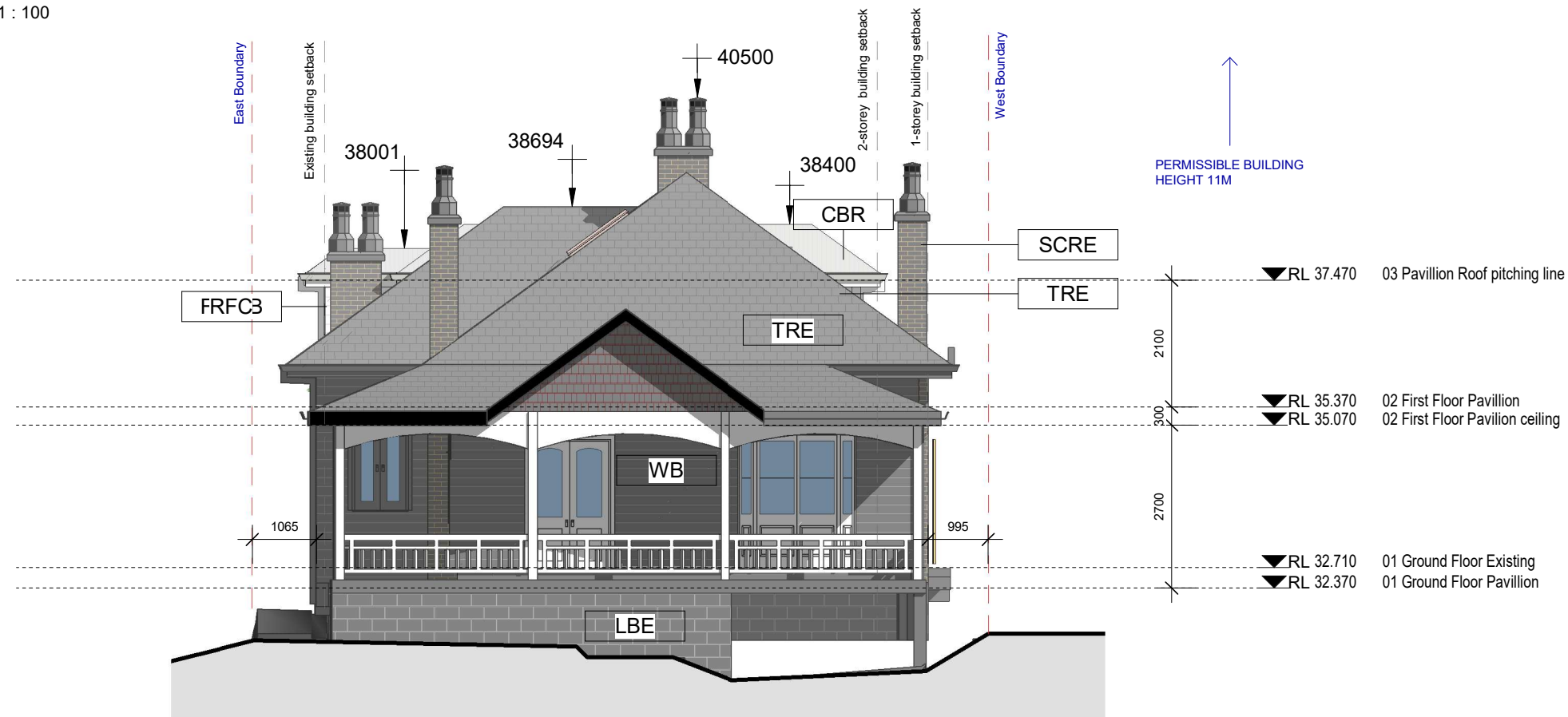
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## 1 South Elevation - proposed Pavillion

1 : 100



### LEGEND

CBR	Colorbond matt roof (Shale Grey)
FCWB	FC weatherboard (e.g Scyon Linea)
GB	Glazed balustrade 1m high
LBE	Limestone blockwork (existing)
RFC	Render-look FC cladding
SCRE	Stuccoed chimney - refurbish existing finish
TRE	Terracotta tiled roof (existing)
WB	Weatherboard (existing)

## 2 North Elevation - proposed Pavillion

1 : 100

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Project Number 20-0523  
Site Area 443.7m<sup>2</sup>

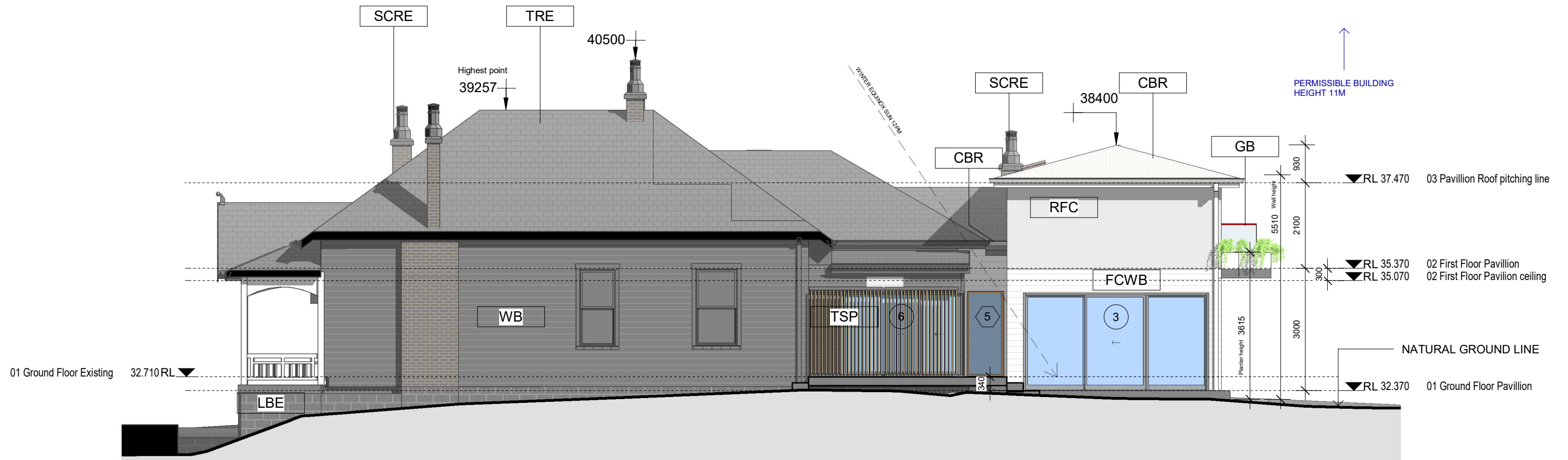
Drawn By  
Drawing Phase  
Current Issue  
Issue Date

KJ  
DA RESUB.  
A  
01/04/2022

Project type Alts & Ads  
Elevations - North & South  
Scale 1 : 100  
Sheet No. 07 A3

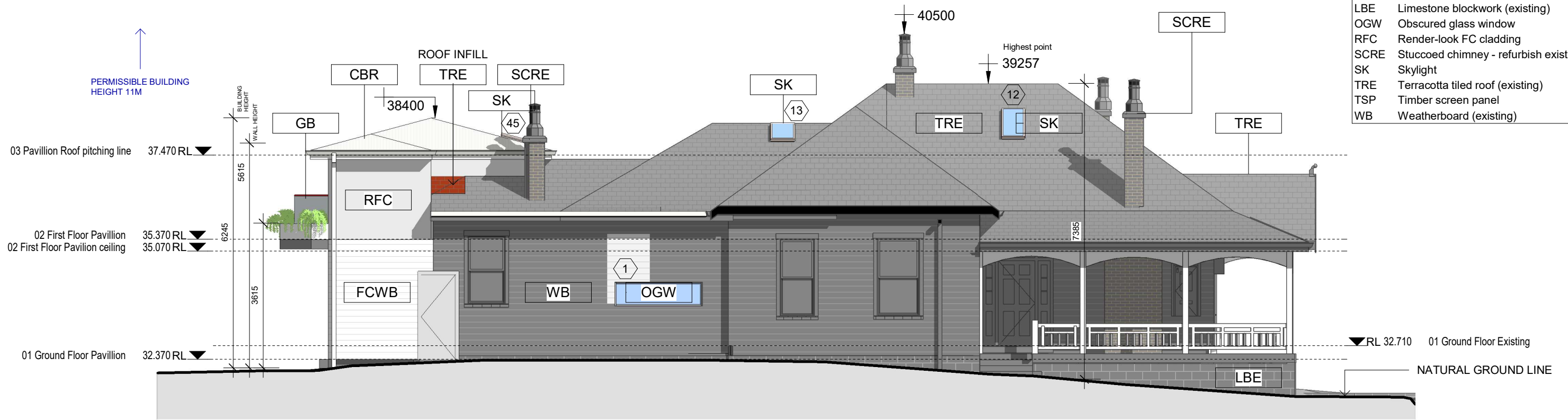
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1 West Elevation - proposed  
1 : 100

LEGEND	
CBR	Colorbond matt roof (Shale Grey)
FCWB	FC weatherboard (e.g Scyon Linea)
GB	Glazed balustrade 1m high
LBE	Limestone blockwork (existing)
OGW	Obscured glass window
RFC	Render-look FC cladding
SCRE	Stuccoed chimney - refurbish existing finish
SK	Skylight
TRE	Terracotta tiled roof (existing)
TSP	Timber screen panel
WB	Weatherboard (existing)



2 East Elevation - proposed  
1 : 100



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Drawn By  
Drawing Phase  
Current Issue  
Issue Date

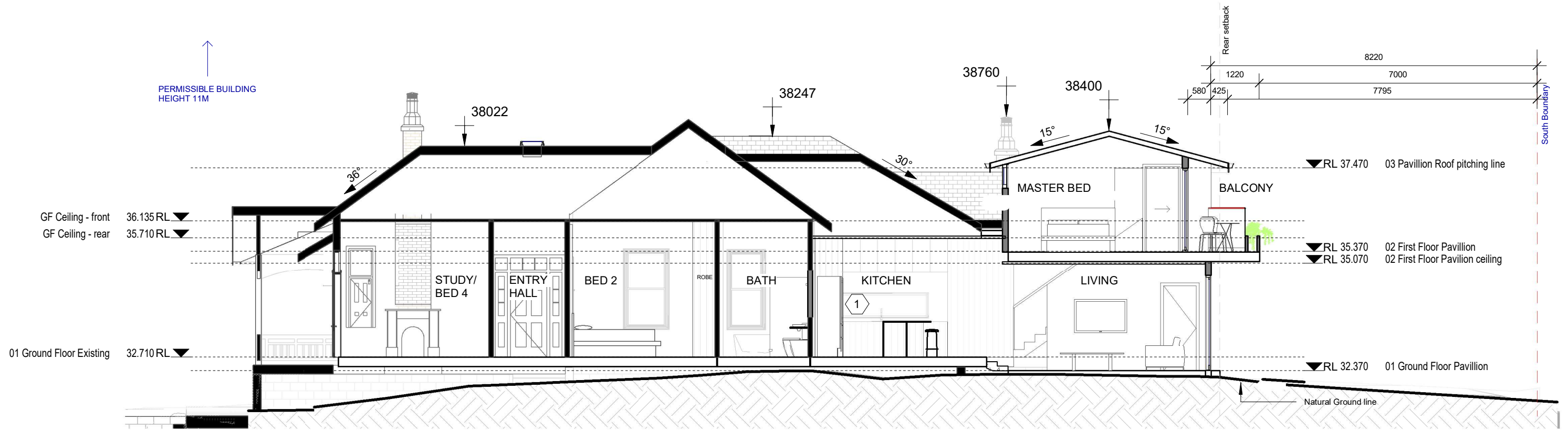
KJ  
DA RESUB.  
B  
01/04/2022

Project type Alts & Ads  
Elevations - East & West  
Scale 1 : 100 A3  
Sheet No. 08

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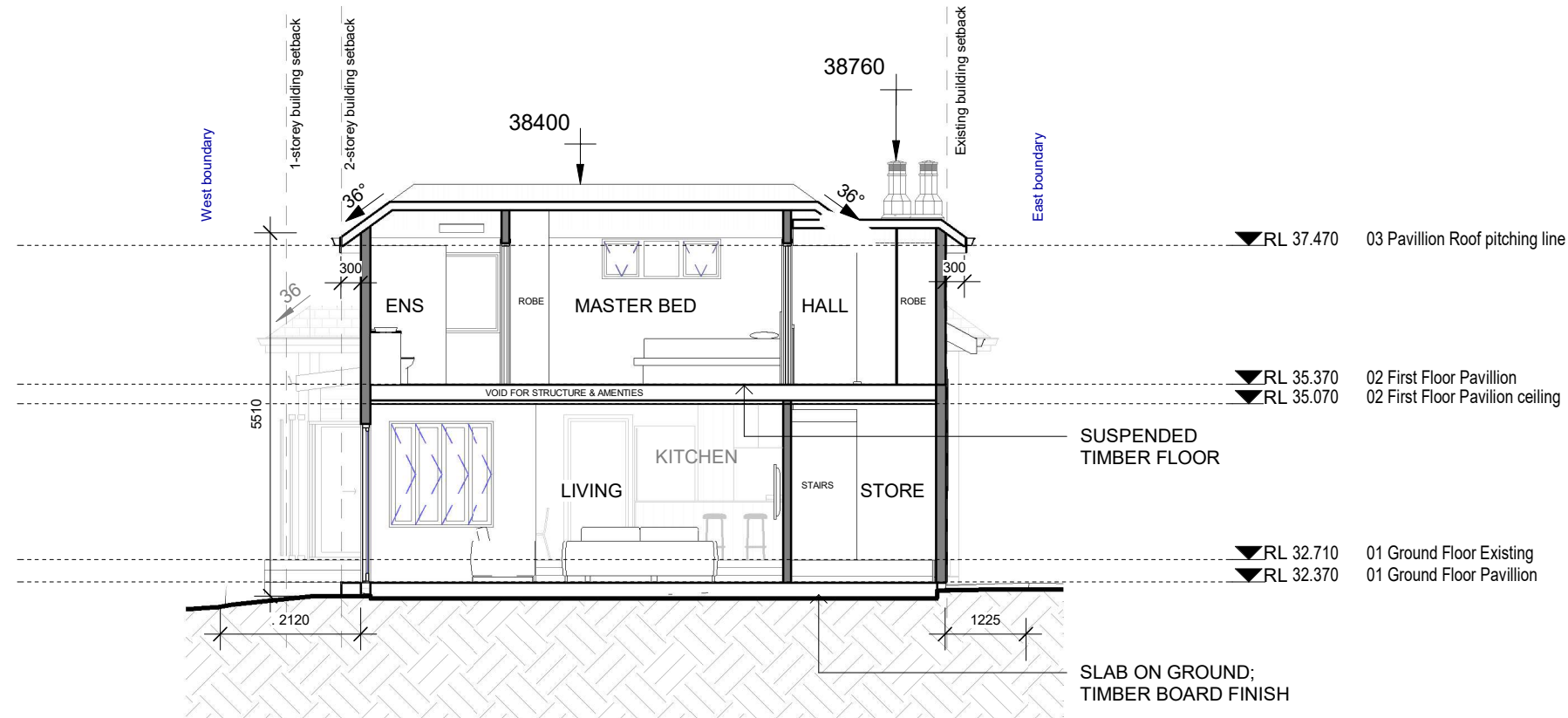
PERMISSIBLE BUILDING  
HEIGHT 11M



1

## Section North-South

1 : 100



2

## Section Pavilion East-West

1 : 100



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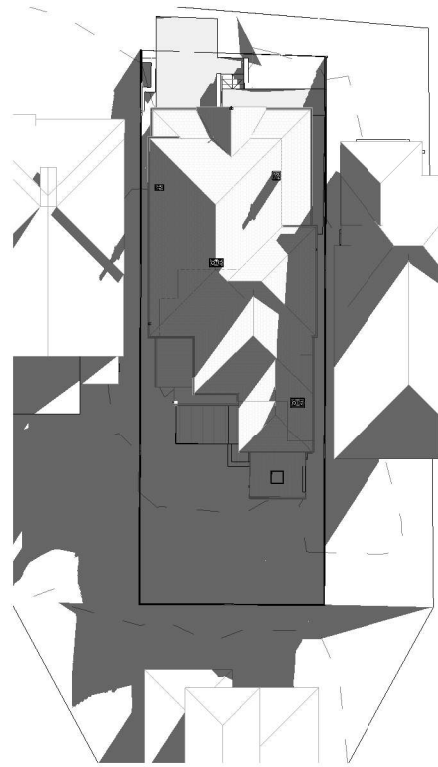
Drawn By  
Drawing Phase  
Current Issue  
Issue Date

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DA RESUB.  
B  
01/04/2022

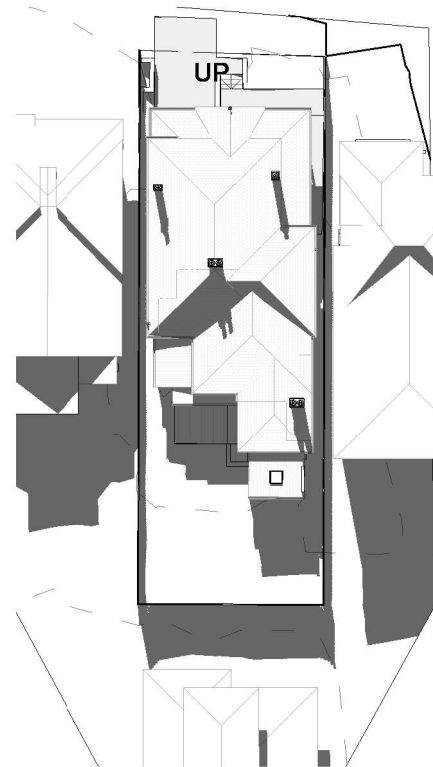
Project type Alts & Ads (Heritage)  
**Proposed Sections**  
Scale 1 : 100  
Sheet No. 09 A3

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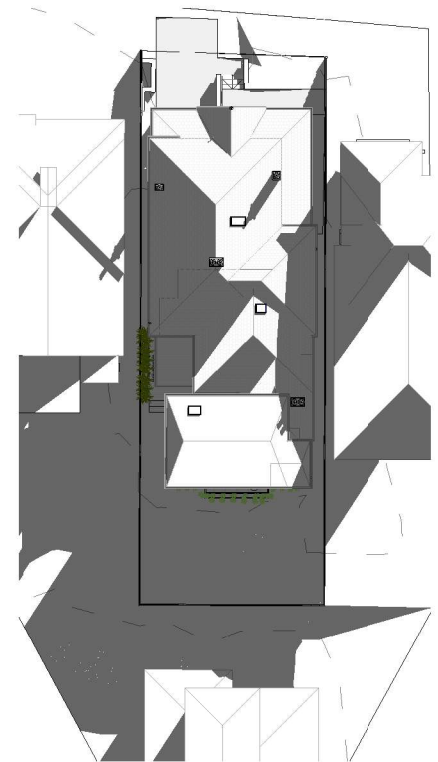
**1** Current shadow 900 21 June  
1 : 500



**2** Current shadow 1200 21 June  
1 : 500



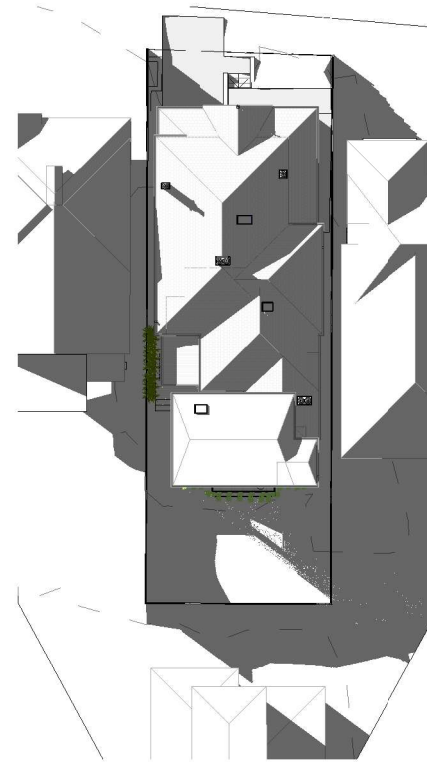
**3** Current shadow 1500 21 June  
1 : 500



**4** Proposed shadow 900 21 June  
1 : 500



**5** Proposed shadow 1200 21 June  
1 : 500



**6** Proposed shadow 1500 21 June  
1 : 500



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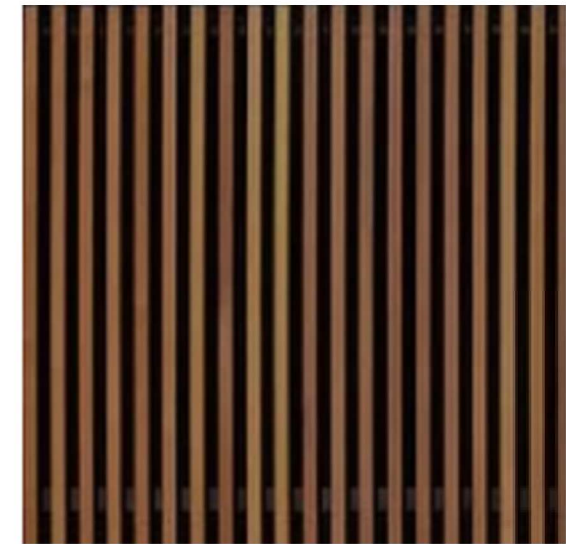
Drawn By  
Drawing Phase  
Current Issue  
Issue Date

KJ  
DA RESUB.  
B  
01/04/2022

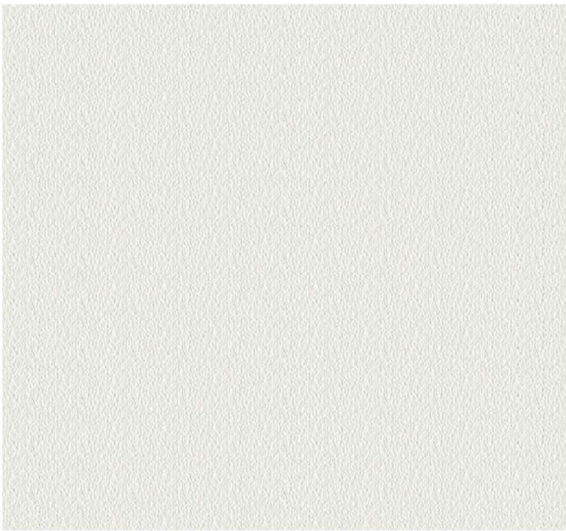
Project type Alts & Ads  
**Shadows diagram**  
Scale 1 : 500  
Sheet No. 10 A3

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TIMBER BATTEN PRIVACY  
SCREENS



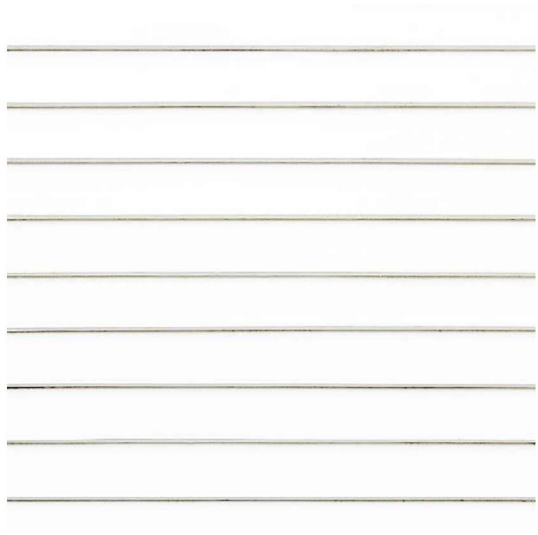
RENDER-LOOK CLADDING TO  
UPPER LEVEL PROVIDING  
TEXTURAL CONTRAST. PAINTED  
LIGHT/NEUTRAL/WHITE.



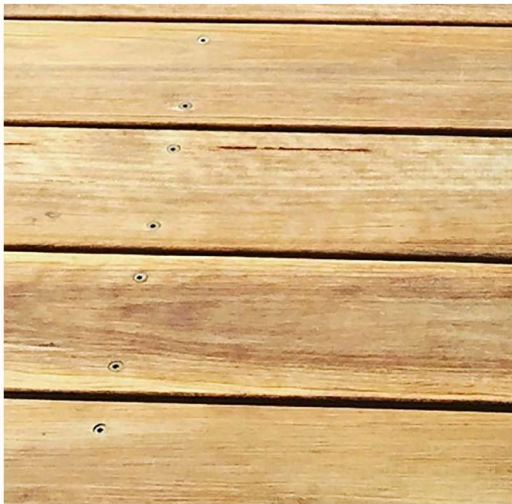
LIGHT COLOURED MATT ROOF  
E.G SHALE GREY. COLORBOND  
CUSTOM ORB PROFILE. GUTTERS  
& FASCIA TO MATCH.



CLASSIC WEATHERBOARD - TO  
MATCH EXISTING WEATHERBOARD  
ON GROUND FLOOR. PAINTED  
LIGHT NEUTRAL/WHITE



LIGHT STAIN TIMBER DECKING  
TO COMPLIMENT  
INTERNAL FLOORS & CREATE  
CONTINUITY INSIDE TO OUT



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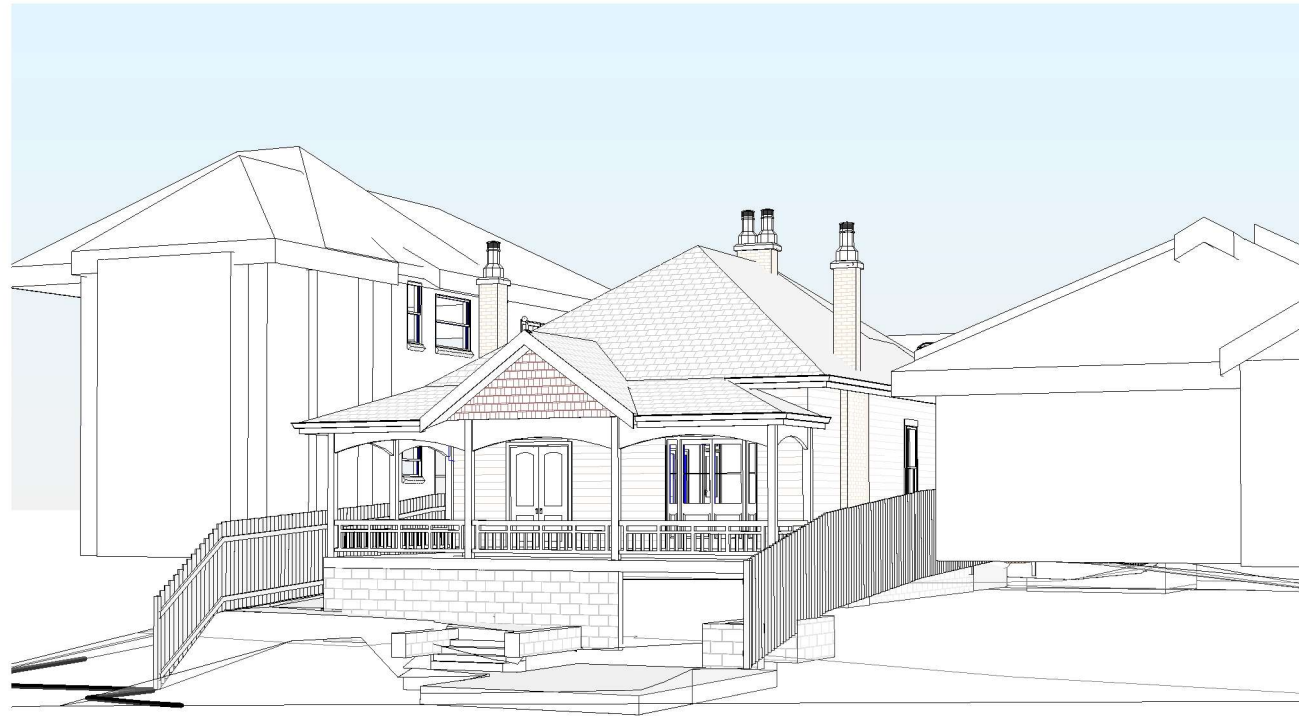
CLIENT K. Helmuth & J. Gashel  
83 Sydney Road, Manly  
Project Name Helmuth - Sydney  
Project Number 20-0523  
Site Area 443.7m<sup>2</sup>

Drawn By KJ  
Drawing Phase DA RESUB.  
Current Issue A  
Issue Date 01/04/2022

Project type Alts & Ads  
**External materials schedule**  
Scale Sheet No. 11 A3

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**1** Street context 1



**2** Street context 2



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Drawn By KJ  
Drawing Phase DA RESUB.  
Current Issue A  
Issue Date 01/04/2022

Project type  
**Contextual Perspective (proposed)**  
Scale A3  
Sheet No. 12

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Project Number 20-0523  
Site Area 443.7m<sup>2</sup>

Drawn By  
Drawing Phase  
Current Issue  
Issue Date

Author  
DA RESUB.  
A  
01/04/2022

Project type Alts & Ads  
**3D Views**  
Scale  
Sheet No. 13

A3

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