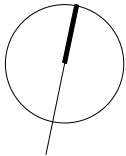


27 GRENFELL AVENUE, NORTH NARRABEEN

NEW GARAGE AND SECONDARY DWELLING



2

LOCATION PLAN

NTS

ARCHITECTURAL DRAWING LIST

DA_00	COVER SHEET	NTS
DA_01	DRAWING NOTES	NTS
DA_02	SITE ANALYSIS PLAN	1:200
DA_03	DEMOLITION AND EXCAVATION PLAN	1:200
DA_04	PROPOSED GARAGE PLAN	1:100
DA_05	PROPOSED GRANNY FLAT PLAN	1:100
DA_06	PROPOSED ROOF PLAN	1:100
DA_10	EAST ELEVATION	1:100
DA_11	NORTH ELEVATION	1:100
DA_12	SOUTH ELEVATION	1:100
DA_20	LONG SECTION A-A	1:100
DA_21	CROSS SECTION B-B	1:100
DA_22	MODIFIED DRIVEWAY CALCULATIONS	1:100
DA_30	SHADOW DIAGRAMS	NTS
DA_40	EXTERNAL CALCULATIONS	1:200
DA_41	INTERNAL CALCULATIONS	1:200
DA_50	BUILDING ENVELOPE AND HEIGHT ALLOWANCE DIAGRAM	NTS

NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY



Project:
ALTERATION AND ADDITIONS
27 GRENFELL AVENUE, NORTH NARRABEEN

Client:
JO-ANNE BENNETT

Drawing Name:
COVER

Job Number:
2032

Scale:
NTS

Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: DA_00
Revision: A

DRAWING NOTES AND SPECIFICATION

BASIX COMMITMENTS

ALTERNATIVE WATER

THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 2000 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.

THERMAL COMFORT

THE APPLICANT MUST SHOW ON THE PLANS ACCOMPANYING THE DEVELOPMENT APPLICATION FOR THE PROPOSED DEVELOPMENT, ALL MATTER WHICH THE ASSESSOR CERTIFICATE REQUIRES TO BE SHOWN ON THOSE PLANS. THOSE PLANS MUST BEAR A STAMP OF ENDORSEMENT FROM THE ACCREDITED ASSESSOR TO CERTIFY THAT THIS IS THE CASE. THE APPLICANT MUST SHOW ON THE PLANS ACCOMPANYING THE APPLICATION FOR A CONSTRUCTION CERTIFICATE (OR COMPLYING DEVELOPMENT CERTIFICATE, IF APPLICABLE), ALL THERMAL PERFORMANCE SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE, AND ALL ASPECTS OF THE PROPOSED DEVELOPMENT WHICH WERE USED TO CALCULATE THOSE SPECIFICATIONS.

GENERAL

THE DWELLING MUST NOT HAVE MORE THAN 2 STOREYS

THE CONDI/TIONED FLOOR AREA OF THE DWELLING MUST NOT EXCEED 300 SQUARE METRES.

THE DWELLING MUST NOT CONTAIN OPEN MEZZANIE ARE/A EXCEEDING 25 SQUARE METRES.

THE DWELLING MUST NOT CONTAIN A THIRD HABITABLE ATTIC ROOM.

CONSTRUCTION

THE APPLICANT MUST CONSTRUCT THE FLOORS AND WALLS OF THE DWELLING IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 6.65 square metres	nil	
floor - suspended floor above enclosed subfloor, 53.3 square metres, other/undecided	1.30 (or 1.3 including construction) (down)	
external wall - framed (weatherboard, fibre cement, metal clad)	3.00 (or 3.40 including construction)	
external wall - cavity brick	0.50 (or 1.17 including construction)	
external wall - brick veneer	2.86 (or 3.40 including construction)	
external wall - other/undecided	3.40 (including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 5 (up), roof: foil/sarking	framed; medium (solar absorptance 0.475-0.70)

WINDOWS

THE APPLICANT MUST MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES DESCRIBED IN THE TABLE BELOW, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-East facing					
WG.01	1600	700	aluminium, single, clear	none	>4 m high, 2-5 m away
W1.04	2100	3200	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 1000 mm, 780 mm above head of window or glazed door	>4 m high, 5-8 m away
W1.05	1600	700	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 1000 mm, 800 mm above head of window or glazed door	>4 m high, 5-8 m away
W1.08	500	5460	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 1000 mm, 0 mm above head of window or glazed door	not overshadowed
East facing					
W1.06	1500	1500	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 450 mm, 850 mm above head of window or glazed door	not overshadowed
South-East facing					
W1.02	650	1400	aluminium, single, clear	eave 450 mm, 1050 mm above head of window or glazed door	not overshadowed
W1.03	1600	600	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed
South facing					
W1.01	1600	1350	aluminium, single, clear	eave 450 mm, 250 mm above head of window or glazed door	not overshadowed
North-West facing					
W1.08	500	3300	aluminium, single, clear	eave 450 mm, 900 mm above head of window or glazed door	2-4 m high, 5-8 m away

HOT WATER

THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT, OR A SYSTEM WITH A HIGHER ENERGY RATING: GAS INSTANTANEOUS WITH A PERFORMANCE OF 3 STARS.

NATURAL LIGHTING

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING.

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 1 BATHROOM(S)/TOILETS(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

ALTERNATIVE ENERGY

THE APPLICANT MUST INSTALL A PHOTOVALTAIC SYSTEM WITH THE CAPACITY TO GENERATE AT LEAST 0.3 KILOWATTS/ OF ELECTRICITY AS PART OF THE DEVELOPMENT. THE APPLICANT MUST CONNECT THIS SYSTEM TO THE DEVLEIPMENET'S ELECTRICAL SYSTEM.

LANDSCAPE

THE APPLICANT MUST PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT 9sqm OF THE SITE.

NOTES

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REVISION SCHEDULE				LEGEND / KEY
Rev.	Date	Issued By	Revision Notes	
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION	



Project:
ALTERATION AND ADDITIONS
27 GRENELL AVENUE, NORTH NARRABEEN

Client:
JO-ANNE BENNETT

Drawing Name:
DRAWING NOTES AND SPECIFICATION

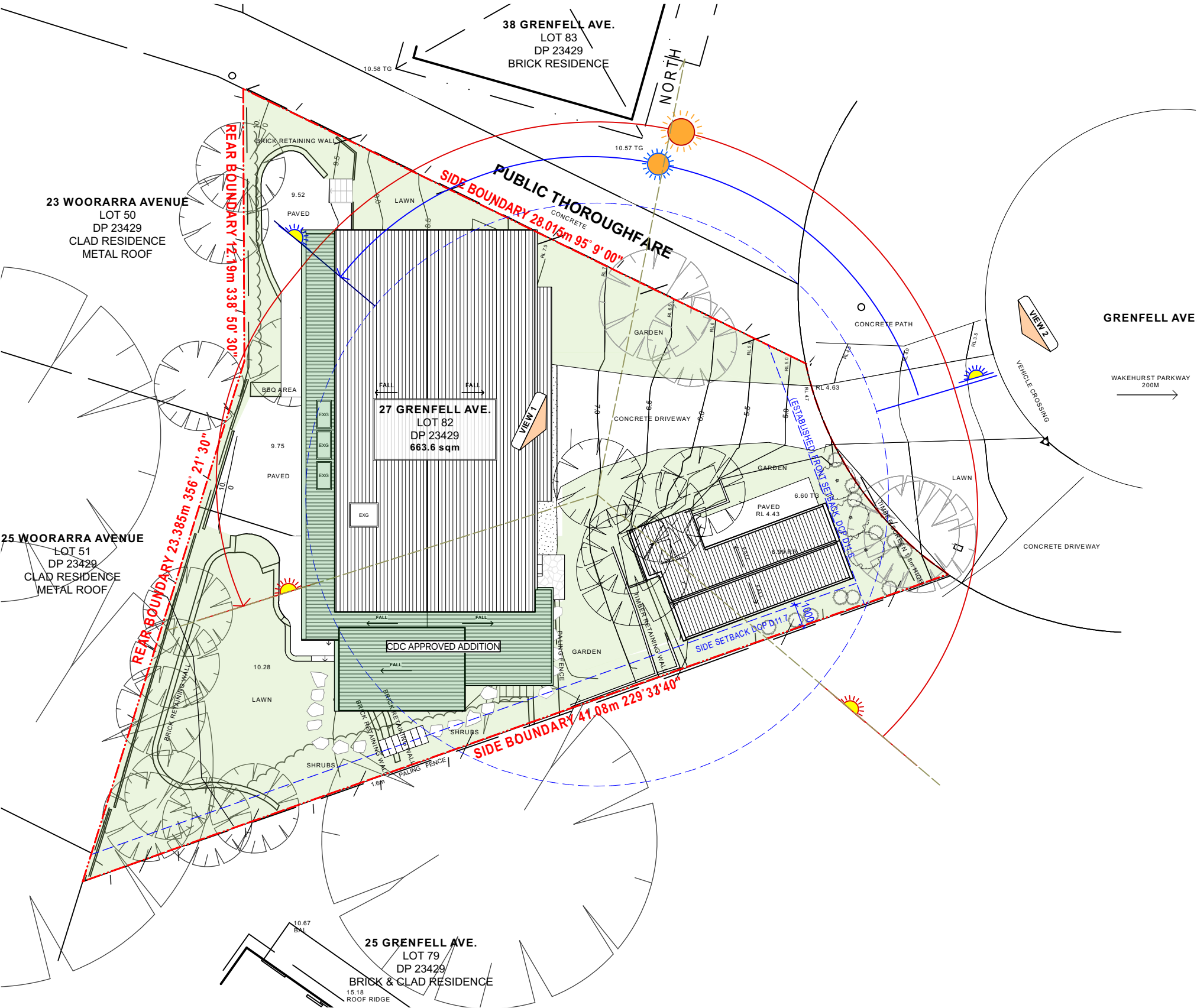
Job Number:
2032

Scale:
NTS

Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: DA_01
Revision: A



VIEW_1



VIEW_2



NOTES
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Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY	
	CDC APPROVED ADDITION - SL2021-/0054



Project:
ALTERATION AND ADDITIONS
27 GRENFELL AVENUE, NORTH NARRABEEN

Client:
JO-ANNE BENNETT

Drawing Name:
SITE ANALYSIS PLAN

Job Number:
2032

Scale:
1:200

Plot Date:
10/6/21

Drawn By:
PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No:
DA_02

Revision:
A

nominated architect: Jacqueline Bennett 6536



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY	
	DEMOLISHED
	NEW WALLS
	EXCAVATION
	TREES TO BE REMOVED
	TREES TO BE RETAINED

AWN
BG
BAL1
BATH
BWK01.02...
CLA01
COL
CONC
DP

AWNING
BOX GUTTER
HORIZONTAL BALUSTRADE
BATHROOM
BRICKWORK TYPE 1,2.
HORIZONTAL WEATHERBOARD
COLUMN
CONCRETE FINISH
DOWNPIPE

EXG
FAC
FG
FC
GT01.02...
LDY
MRS
PER
PB

EXISTING
FASCIA
FIXED GLASS
FIBRE CEMENT SHEET, PAINT FINISH
GATE TYPE 1,2...
LAUNDRY
METAL ROOF SHEETING
PERGOLA
PLASTERBOARD, PAINT FINISH.

PLD
R+P
R
SCR 01
SD
SP
WG
W1

PANEL LIFT DOOR
RENDER AND PAINT FINISH
ROBE
VERTICAL BATTEN SCREEN
SLIDING DOOR
SLIDING PANEL
GARAGE FLOOR WINDOW
GROUND FLOOR WINDOW



Project:
**ALTERATION AND ADDITIONS
27 GRENFELL AVENUE, NORTH NARRABEEN**

Client:
JO-ANNE BENNETT

Drawing Name:
DEMOLITION AND EXCAVATION PLAN

Job Number:
2032

Scale:
1:200

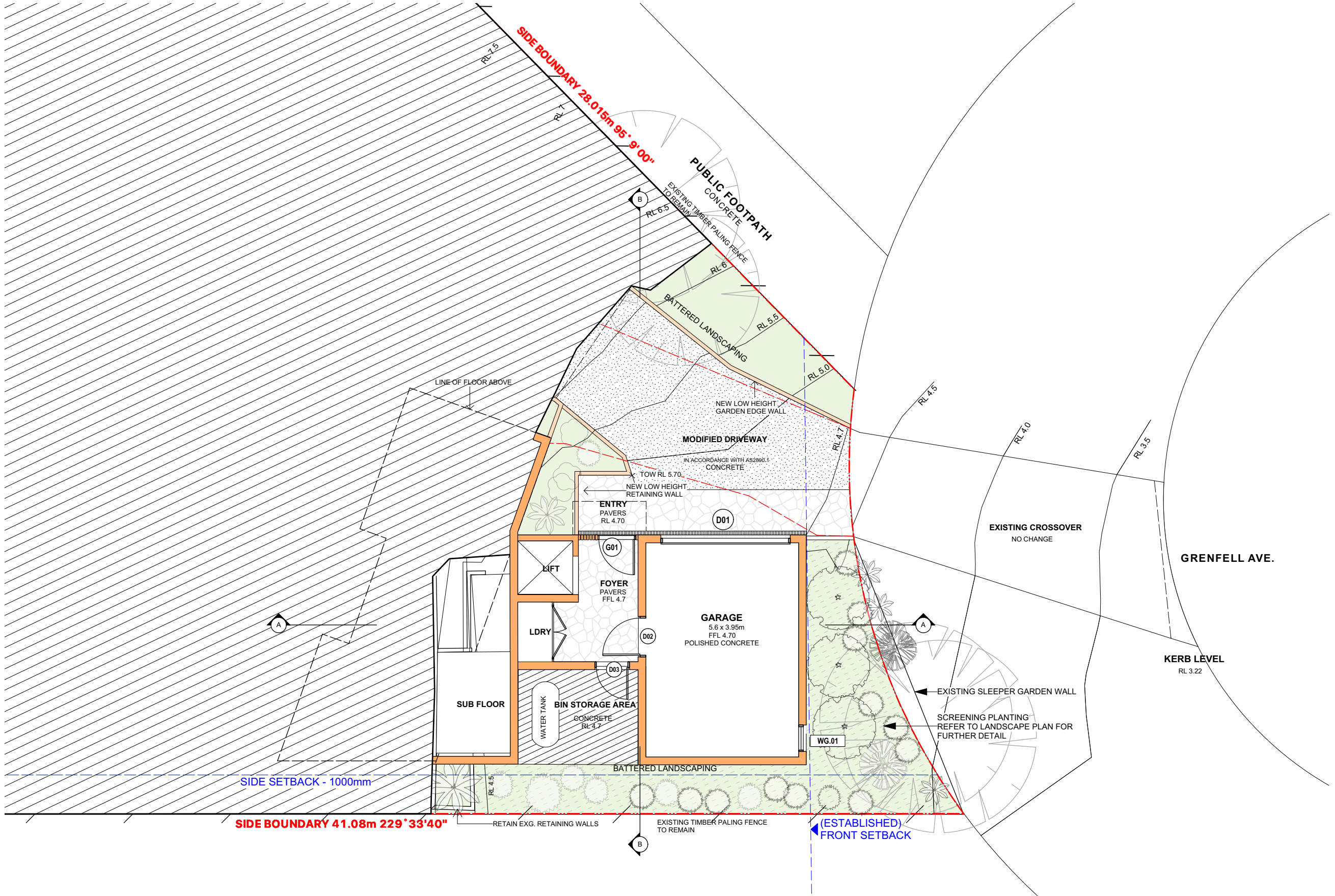
Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: **DA_03**
Revision: **A**

nominated architect: Jacqueline Bennett 6536

Suite 4.04, 1 Chandos St, St Leonards NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY	
---	DEMOLISHED
	NEW WALLS
⊗	TREES TO BE REMOVED
⊗	TREES TO BE RETAINED

AWN
BG
BAL1
BATH
BWK01.02...
CLA01
COL
CONC
DP

AWNING
BOX GUTTER
HORIZONTAL BALUSTRADE
BATHROOM
BRICKWORK TYPE 1,2.
HORIZONTAL WEATHERBOARD
COLUMN
CONCRETE FINISH
DOWNPIPE

EXG
FAC
FG
FC
GT01.02...
LDY
MRS
PER
PB

EXISTING
FASCIA
FIXED GLASS
FIBRE CEMENT SHEET, PAINT FINISH
GATE TYPE 1,2...
LAUNDRY
METAL ROOF SHEETING
PERGOLA
PLASTERBOARD, PAINT FINISH.

PLD
R+P
R
SCR 01
SD
SP
WG
W1

PANEL LIFT DOOR
RENDER AND PAINT FINISH
ROBE
VERTICAL BATTEN SCREEN
SLIDING DOOR
SLIDING PANEL
GARAGE FLOOR WINDOW
GROUND FLOOR WINDOW



Project:
**ALTERATION AND ADDITIONS
27 GRENFELL AVENUE, NORTH NARRABEEN**

Client:
JO-ANNE BENNETT

Drawing Name:
PROPOSED GARAGE PLAN

Job Number:
2032

Scale:
1:100

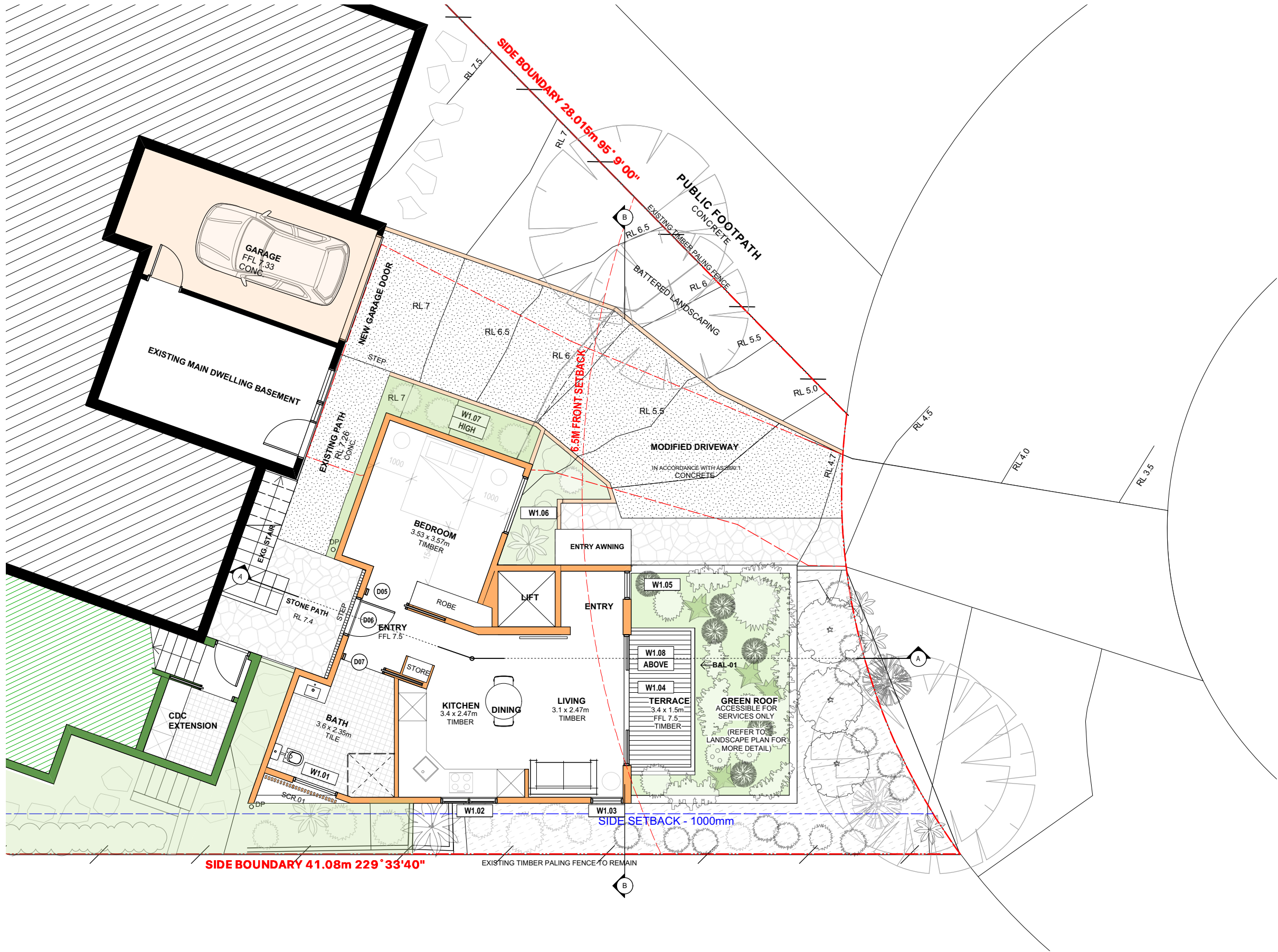
Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: **DA_04**
Revision: **A**

nominated architect: Jacqueline Bennett 6536

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY	
	DEMOLISHED
	NEW WALLS
	TREES TO BE REMOVED
	TREES TO BE RETAINED

AWN
BG
BAL1
BATH
BWK01.02...
CLA01
COL
CONC
DP

AWNING
BOX GUTTER
HORIZONTAL BALUSTRADE
BATHROOM
BRICKWORK TYPE 1,2...
HORIZONTAL WEATHERBOARD
COLUMN
CONCRETE FINISH
DOWNPIPE

EXG
FAC
FG
FC
GT01.02...
LDY
MRS
PER
PB

EXISTING
FASCIA
FIXED GLASS
FIBRE CEMENT SHEET, PAINT FINISH
GATE TYPE 1,2...
LAUNDRY
METAL ROOF SHEETING
PERGOLA
PLASTERBOARD, PAINT FINISH.

PLD
R+P
R
SCR 01
SD
SP
WG
W1

PANEL LIFT DOOR
RENDER AND PAINT FINISH
ROBE
VERTICAL BATTEN SCREEN
SLIDING DOOR
SLIDING PANEL
GARAGE FLOOR WINDOW
GROUND FLOOR WINDOW



Project:
**ALTERATION AND ADDITIONS
27 GRENELL AVENUE, NORTH NARRABEEN**

Client:
JO-ANNE BENNETT

Drawing Name:
PROPOSED GRANNY FLAT PLAN

Job Number:
2032

Scale:
1:100

Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: **DA_05**
Revision: **A**

nominated architect: Jacqueline Bennett 6536

Suite 4.04, 1 Chandos St, St Leonards NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au



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Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY	
	DEMOLISHED
	NEW WALLS
	TREES TO BE REMOVED
	TREES TO BE RETAINED

AWN
BG
BAL1
BATH
BWK01.02...
CLA01
COL
CONC
DP

AWNING
BOX GUTTER
HORIZONTAL BALUSTRADE
BATHROOM
BRICKWORK TYPE 1,2...
HORIZONTAL WEATHERBOARD
COLUMN
CONCRETE FINISH
DOWNPIPE

EXG
FAC
FG
FC
GT01.02...
LDY
MRS
PER
PB

EXISTING
FASCIA
FIXED GLASS
FIBRE CEMENT SHEET, PAINT FINISH
GATE TYPE 1,2...
LAUNDRY
METAL ROOF SHEETING
PERGOLA
PLASTERBOARD, PAINT FINISH.

PLD
R+P
R
SCR 01
SD
SP
WG
W1

PANEL LIFT DOOR
RENDER AND PAINT FINISH
ROBE
VERTICAL BATTEN SCREEN
SLIDING DOOR
SLIDING PANEL
GARAGE FLOOR WINDOW
GROUND FLOOR WINDOW



Project:
ALTERATION AND ADDITIONS
27 GRENFELL AVENUE, NORTH NARRABEEN

Client:
JO-ANNE BENNETT

Drawing Name:
PROPOSED ROOF PLAN

Job Number:
2032

Scale:
1:100

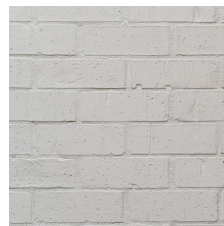
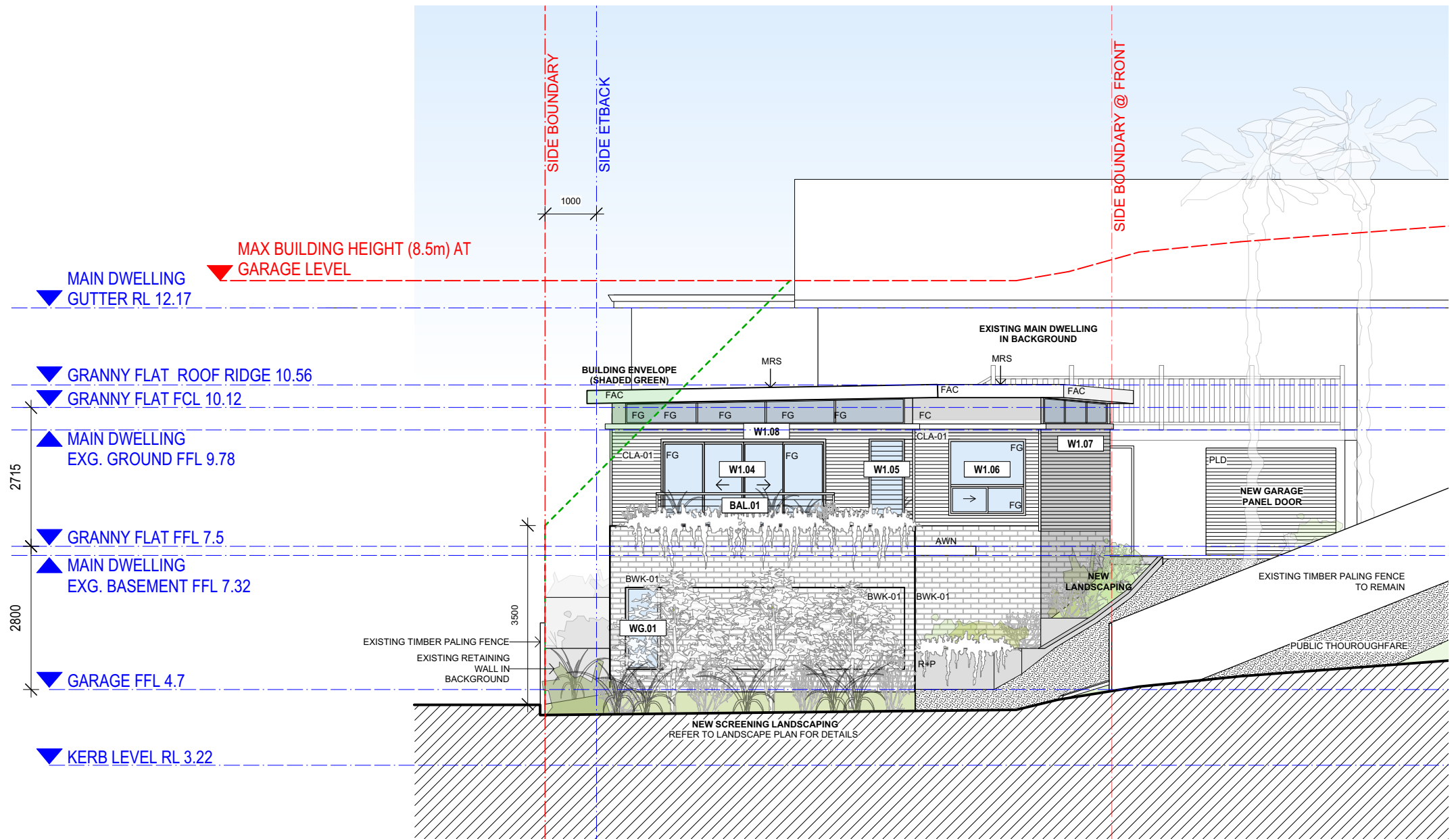
Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

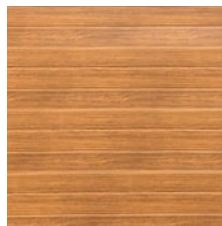
Drawing No: **DA_06**
Revision: **A**

nominated architect: Jacqueline Bennett 6536

Suite 4.04, 1 Chandos St, St Leonards NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au



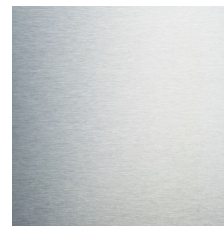
BWK_01- BAGGED BRICK



PLD - TIMBER PANEL LIFT GARAGE DOOR



CLA_01 - HORIZONTAL WEATHERBOARD CLADDING



WINDOWS - ALUMINIUM CLEAR ANODISED



MRS - SPANDEK METAL ROOF SHEETING



NOTES

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REVISION SCHEDULE

Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY

--- DEMOLISHED

NEW WALLS

TREES TO BE REMOVED

TREES TO BE RETAINED

AWN
BG
BAL1
BATH
BWK01.02...
CLA01
COL
CONC
DP

AWNING
BOX GUTTER
HORIZONTAL BALUSTRADE
BATHROOM
BRICKWORK TYPE 1,2
HORIZONTAL WEATHERBOARD
COLUMN
CONCRETE FINISH
DOWNPIPE

EXG
FAC
FG
FC
GT01.02...
LDY
MRS
PER
PB

EXISTING
FASCIA
FIXED GLASS
FIBRE CEMENT SHEET, PAINT FINISH
GATE TYPE 1,2...
LAUNDRY
METAL ROOF SHEETING
PERGOLA
PLASTERBOARD, PAINT FINISH.

PLD
R+P
R
SCR 01
SD
SP
WG
W1

PANEL LIFT DOOR
RENDER AND PAINT FINISH
ROBE
VERTICAL BATTEN SCREEN
SLIDING DOOR
SLIDING PANEL
GARAGE FLOOR WINDOW
GROUND FLOOR WINDOW



Bennett Murada Architects

Project:
ALTERATION AND ADDITIONS
27 GRENELL AVENUE, NORTH NARRABEEN

Client:
JO-ANNE BENNETT

Drawing Name:
EAST ELEVATION + MATERIAL PALETTE

Job Number:
2032

Scale:
1:100

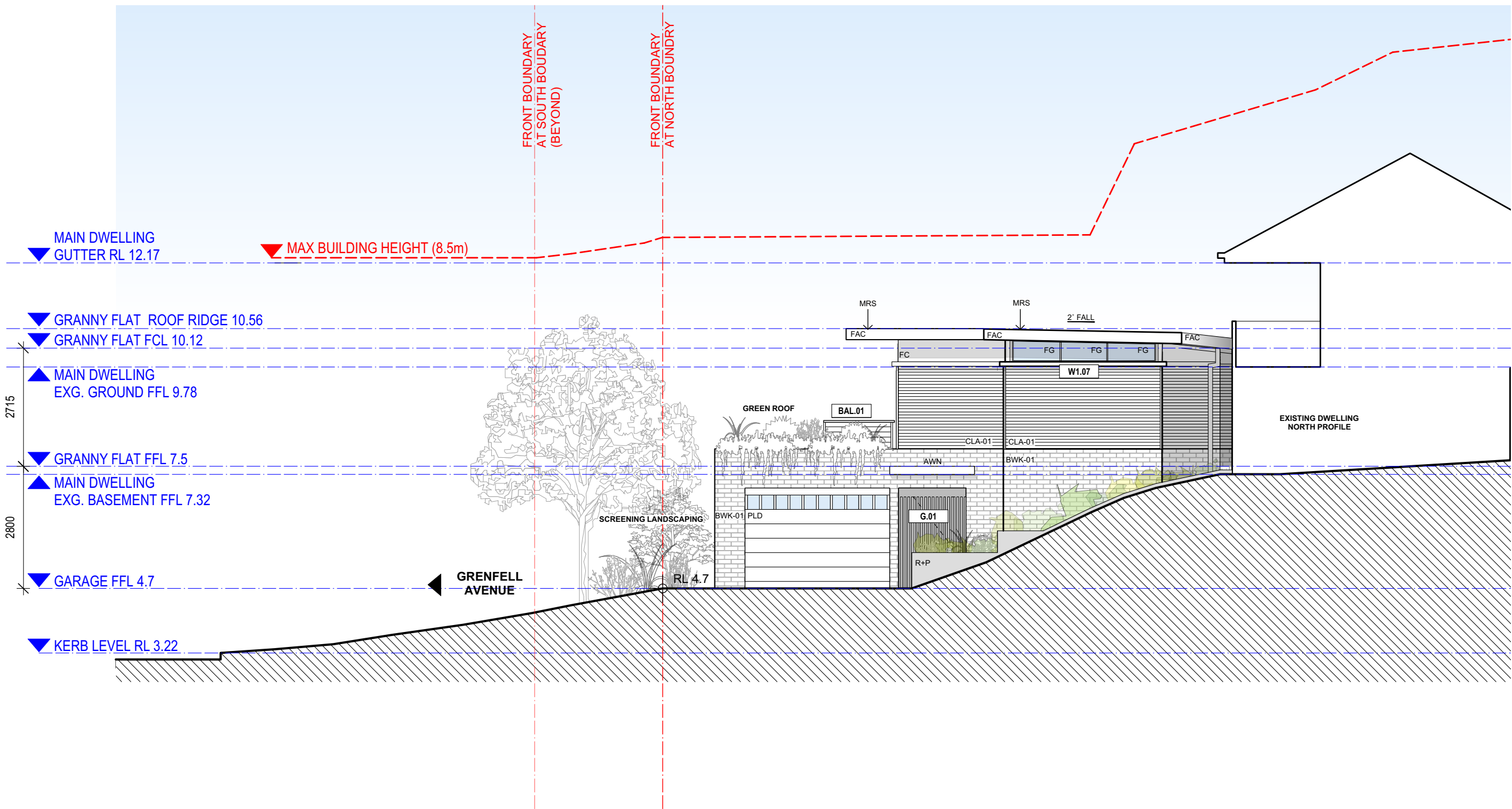
Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: **DA_10**
Revision: **A**

nominated architect: Jacqueline Bennett 6536

Suite 4.04, 1 Chandos St, St Leonards NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au



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LEGEND / KEY	
	DEMOLISHED
	NEW WALLS
	TREES TO BE REMOVED
	TREES TO BE RETAINED

AWN
BG
BAL1
BATH
BWK01.02...
CLA01
COL
CONC
DP

AWNING
BOX GUTTER
HORIZONTAL BALUSTRADE
BATHROOM
BRICKWORK TYPE 1,2...
HORIZONTAL WEATHERBOARD
COLUMN
CONCRETE FINISH
DOWNPIPE

EXG
FAC
FG
FC
GT01.02...
LDY
MRS
PER
PB

EXISTING
FASCIA
FIXED GLASS
FIBRE CEMENT SHEET, PAINT FINISH
GATE TYPE 1,2...
LAUNDRY
METAL ROOF SHEETING
PERGOLA
PLASTERBOARD, PAINT FINISH.

PLD
R+P
R
SCR 01
SD
SP
WG
W1

PANEL LIFT DOOR
RENDER AND PAINT FINISH
ROBE
VERTICAL BATTEN SCREEN
SLIDING DOOR
SLIDING PANEL
GARAGE FLOOR WINDOW
GROUND FLOOR WINDOW



Project:
**ALTERATION AND ADDITIONS
27 GRENFELL AVENUE, NORTH NARRABEEN**

Client:
JO-ANNE BENNETT

Drawing Name:
NORTH ELEVATION

Job Number:
2032

Scale:
1:100

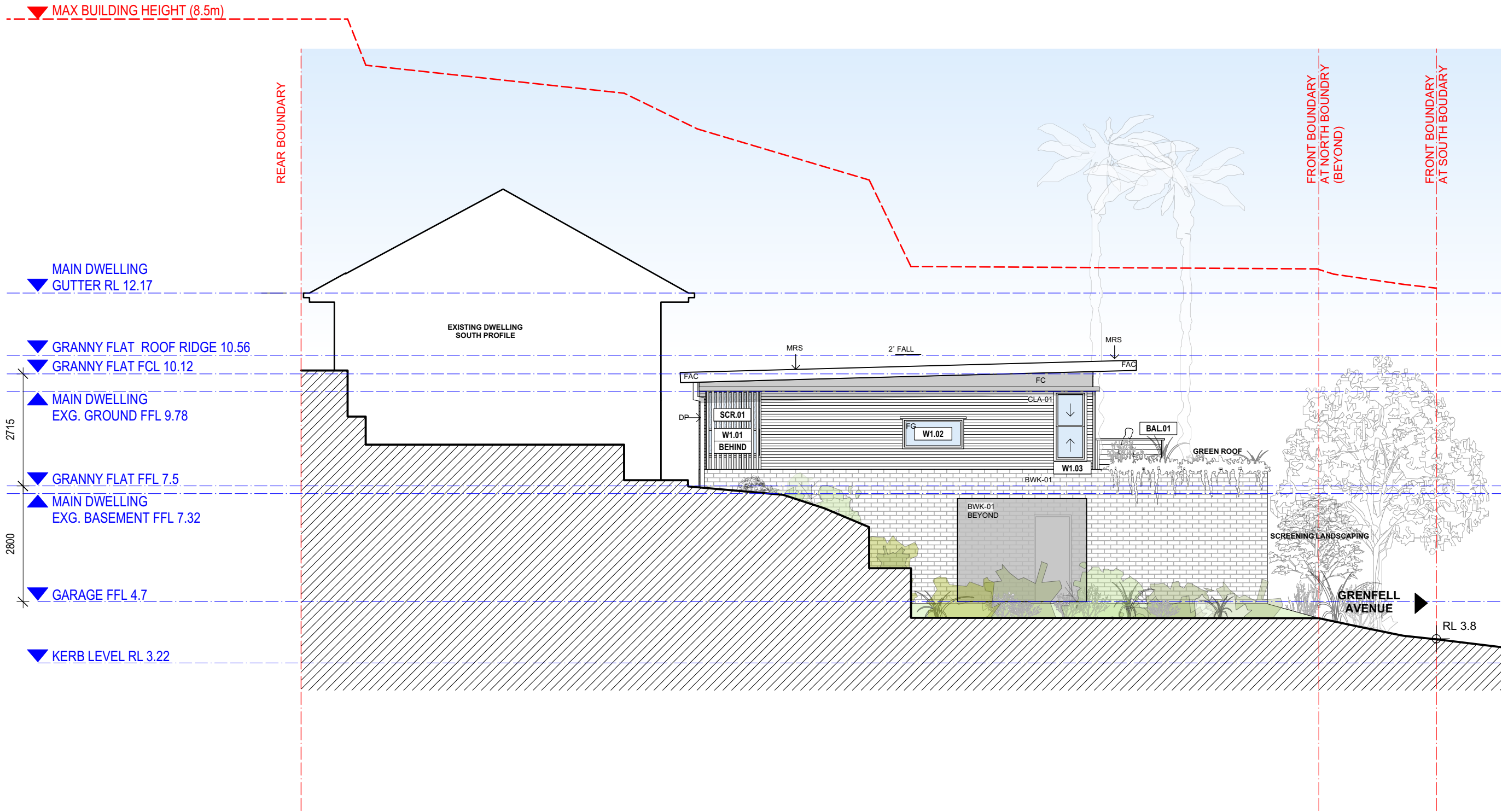
Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: **DA_11**
Revision: **A**

nominated architect: Jacqueline Bennett 6536

Suite 4.04, 1 Chandos St, St Leonards NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY	
	DEMOLISHED
	NEW WALLS
	TREES TO BE REMOVED
	TREES TO BE RETAINED

AWN
BG
BAL1
BATH
BWK01.02...
CLA01
COL
CONC
DP

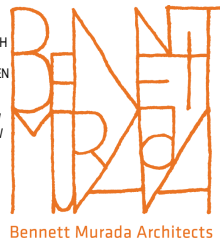
AWNING
BOX GUTTER
HORIZONTAL BALUSTRADE
BATHROOM
BRICKWORK TYPE 1,2.
HORIZONTAL WEATHERBOARD
COLUMN
CONCRETE FINISH
DOWNPIPE

EXG
FAC
FG
FC
GT01.02...
LDY
MRS
PER
PB

EXISTING
FASCIA
FIXED GLASS
FIBRE CEMENT SHEET, PAINT FINISH
GATE TYPE 1,2...
LAUNDRY
METAL ROOF SHEETING
PERGOLA
PLASTERBOARD, PAINT FINISH.

PLD
R+P
R
SCR 01
SD
SP
WG
W1

PANEL LIFT DOOR
RENDER AND PAINT FINISH
ROBE
VERTICAL BATTEN SCREEN
SLIDING DOOR
SLIDING PANEL
GARAGE FLOOR WINDOW
GROUND FLOOR WINDOW



Project:
**ALTERATION AND ADDITIONS
27 GRENFELL AVENUE, NORTH NARRABEEN**

Client:
JO-ANNE BENNETT

Drawing Name:
SOUTH ELEVATION

Job Number:
2032

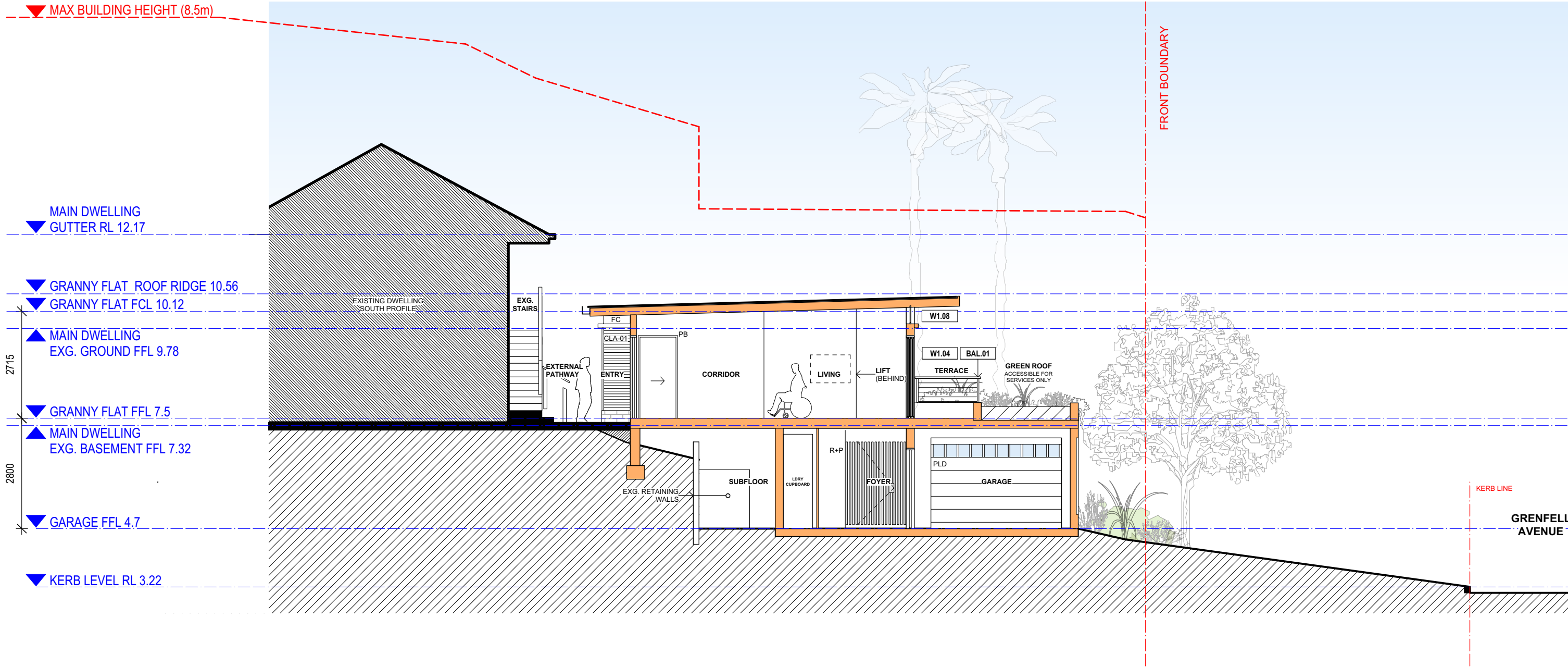
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Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: **DA_12**
Revision: **A**

nominated architect: Jacqueline Bennett 6536



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY	
	DEMOLISHED
	NEW WALLS
	TREES TO BE REMOVED
	TREES TO BE RETAINED

AWN
BG
BAL1
BATH
BWK01.02...
CLA01
COL
CONC
DP

AWNING
BOX GUTTER
HORIZONTAL BALUSTRADE
BATHROOM
BRICKWORK TYPE 1,2.
HORIZONTAL WEATHERBOARD
COLUMN
CONCRETE FINISH
DOWNPIPE

EXG
FAC
FG
FC
GT01.02...
LDY
MRS
PER
PB

EXISTING
FASCIA
FIXED GLASS
FIBRE CEMENT SHEET, PAINT FINISH
GATE TYPE 1,2...
LAUNDRY
METAL ROOF SHEETING
PERGOLA
PLASTERBOARD, PAINT FINISH.

PLD
R+P
R
SCR 01
SD
SP
WG
W1

PANEL LIFT DOOR
RENDER AND PAINT FINISH
ROBE
VERTICAL BATTEN SCREEN
SLIDING DOOR
SLIDING PANEL
GARAGE FLOOR WINDOW
GROUND FLOOR WINDOW



Project:
**ALTERATION AND ADDITIONS
27 GRENELL AVENUE, NORTH NARRABEEN**

Client:
JO-ANNE BENNETT

Drawing Name:
LONG SECTION A-A

Job Number:
2032

Scale:
1:100

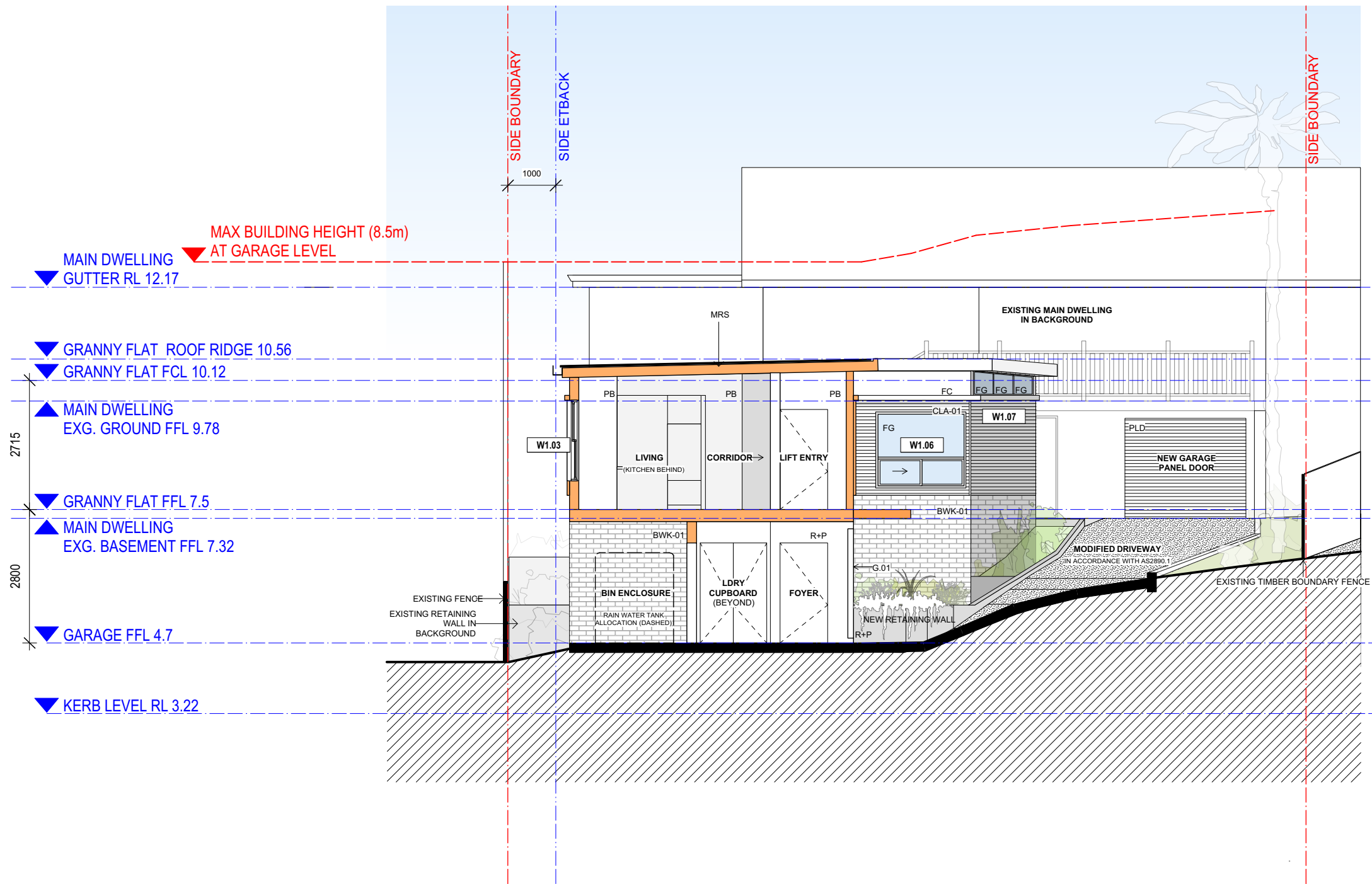
Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
FOR DEVELOPMENT APPLICATION

Drawing No: **DA_20**
Revision: **A**

nominated architect: Jacqueline Bennett 6536

Suite 4.04, 1 Chandos St, St Leonards NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY	
	DEMOLISHED
	NEW WALLS
	TREES TO BE REMOVED
	TREES TO BE RETAINED

AWN
BG
BAL1
BATH
BWK01.02...
CLA01
COL
CONC
DP

AWNING
BOX GUTTER
HORIZONTAL BALUSTRADE
BATHROOM
BRICKWORK TYPE 1,2...
HORIZONTAL WEATHERBOARD
COLUMN
CONCRETE FINISH
DOWNPIPE

EXG
FAC
FG
FC
GT01.02...
LDY
MRS
PER
PB

EXISTING
FASCIA
FIXED GLASS
FIBRE CEMENT SHEET. PAINT FINISH
GATE TYPE 1,2...
LAUNDRY
METAL ROOF SHEETING
PERGOLA
PLASTERBOARD. PAINT FINISH.

PLD
R+P
R
SCR 01
SD
SP
WG
W1

PANEL LIFT DOOR
RENDER AND PAINT FINISH
ROBE
VERTICAL BATTEN SCREEN
SLIDING DOOR
SLIDING PANEL
GARAGE FLOOR WINDOW
GROUND FLOOR WINDOW



Project:
**ALTERATION AND ADDITIONS
27 GRENELL AVENUE, NORTH NARRABEEN**

Client:
JO-ANNE BENNETT

Drawing Name:
CROSS SECTION B-B

Job Number:
2032

Scale:
1:100

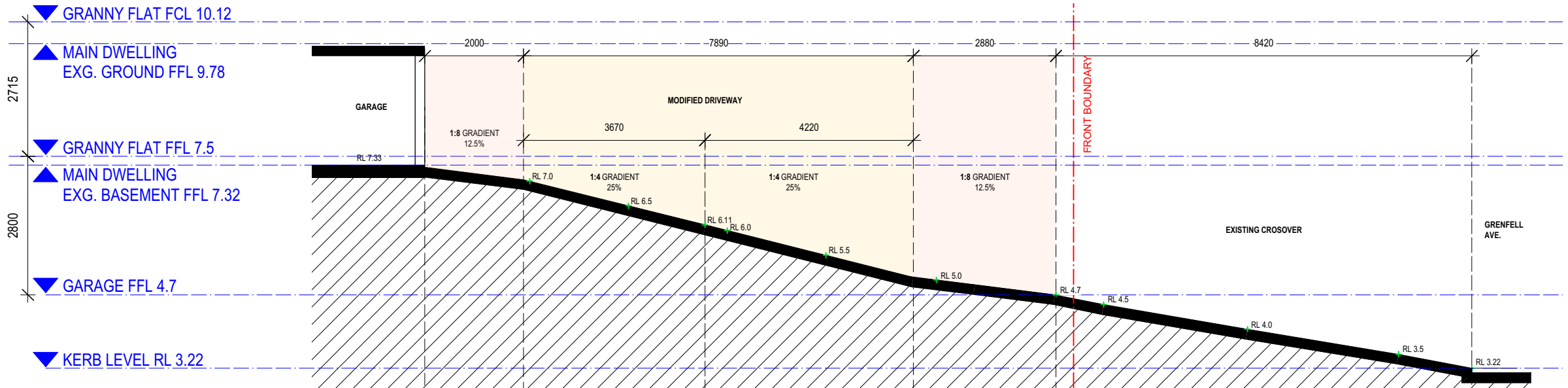
Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

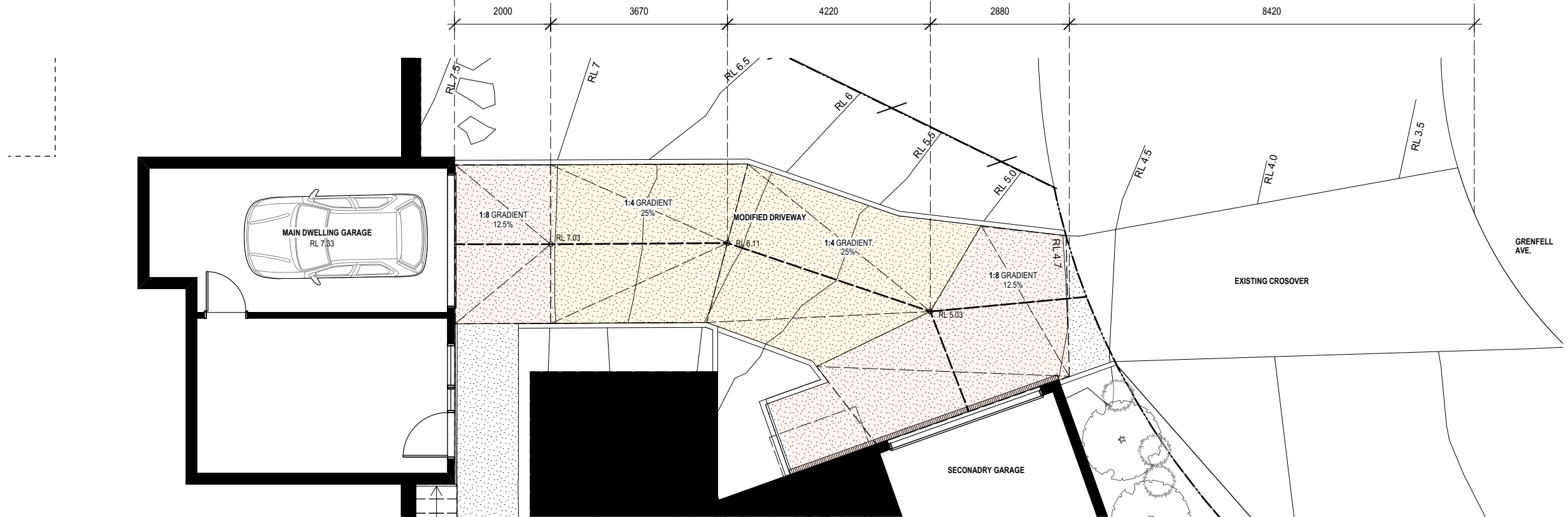
Drawing No: **DA_21**
Revision: **A**

nominated architect: Jacqueline Bennett 6536

Suite 4.04, 1 Chandos St, St Leonards NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au



1 DRIVEWAY SECTION
1:100 @A3



2 DRIVEWAY PLAN
1:100 @A3



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REVISION SCHEDULE

Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY

---	DEMOLISHED
---	NEW WALLS
⊗	TREES TO BE REMOVED
⊙	TREES TO BE RETAINED

AWN
BG
BAL1
BATH
BWK01.02...
CLA01
COL
CONC
DP

AWNING
BOX GUTTER
HORIZONTAL BALUSTRADE
BATHROOM
BRICKWORK TYPE 1.2.
HORIZONTAL WEATHERBOARD
COLUMN
CONCRETE FINISH
DOWNSPIPE

EXG
FAC
FG
FC
GT01.02...
LDY
MRS
PER
PB

EXISTING
FASCIA
FIXED GLASS
FIBRE CEMENT SHEET. PAINT FINISH
GATE TYPE 1.2...
LAUNDRY
METAL ROOF SHEETING
PERGOLA
PLASTERBOARD. PAINT FINISH.

PLD
R+P
R
SCR 01
SD
SP
WG
W1

PANEL LIFT DOOR
RENDER AND PAINT F
ROBE
VERTICAL BATTEN SC
SLIDING DOOR
SLIDING PANEL
GARAGE FLOOR WINI
GROUND FLOOR WIN



Project:
**ALTERATION AND ADDITIONS
27 GRENELL AVENUE, NORTH NARRABEEN**

Client:
JO-ANNE BENNETT

Drawing Name:
MODIFIED DRIVEWAY CALCULATIONS

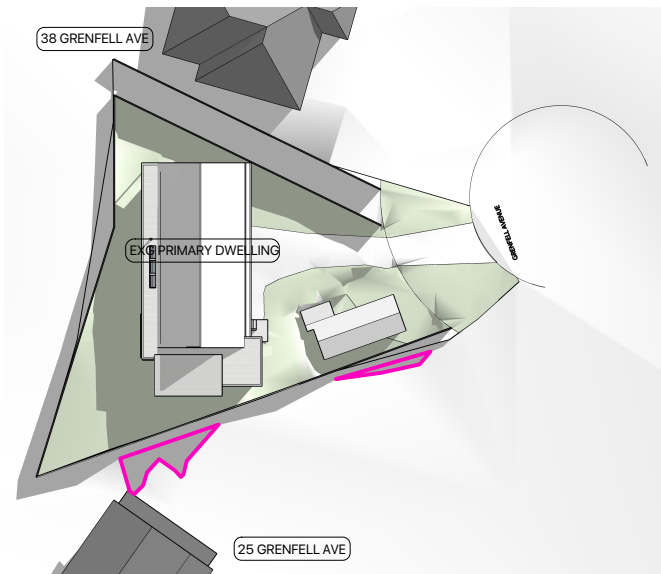
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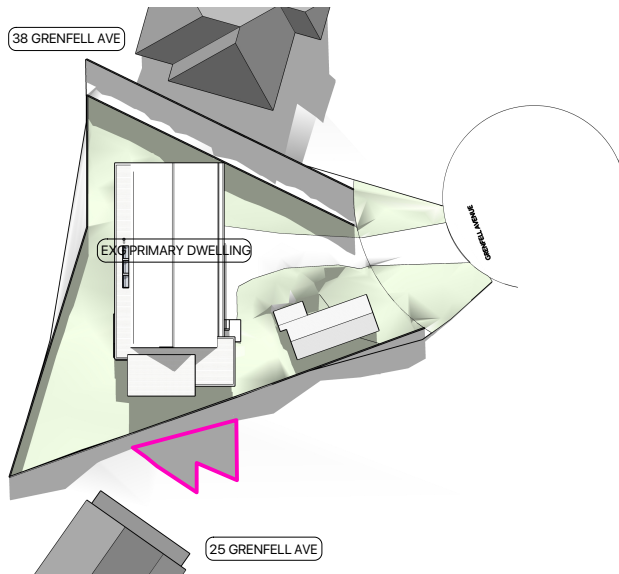
Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

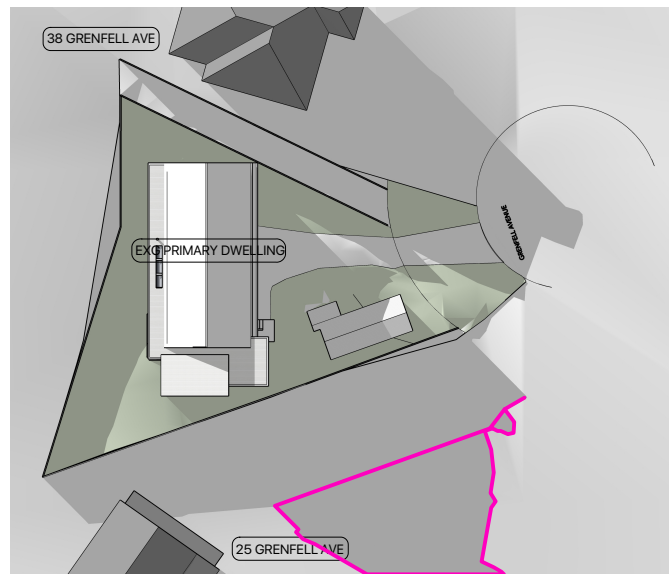
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Revision: **A**



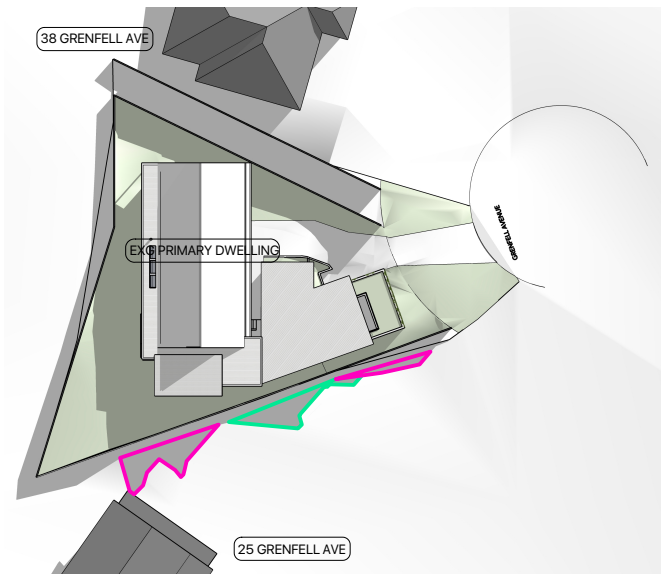
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EXISTING BUILDING



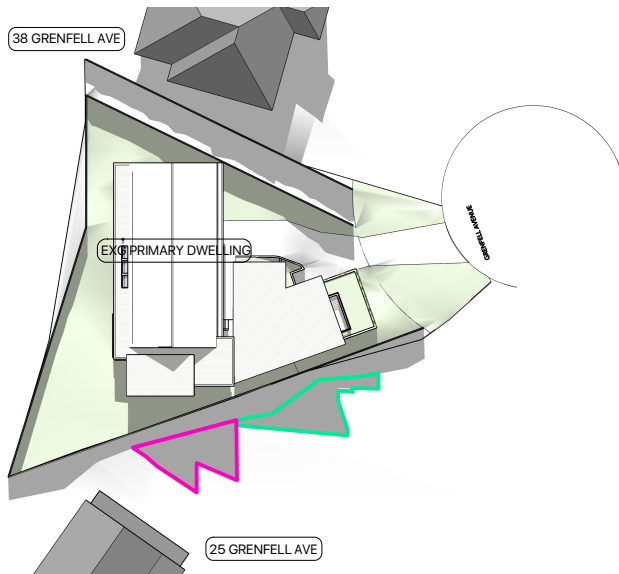
2 JUNE 21 - 12:00PM
EXISTING BUILDING



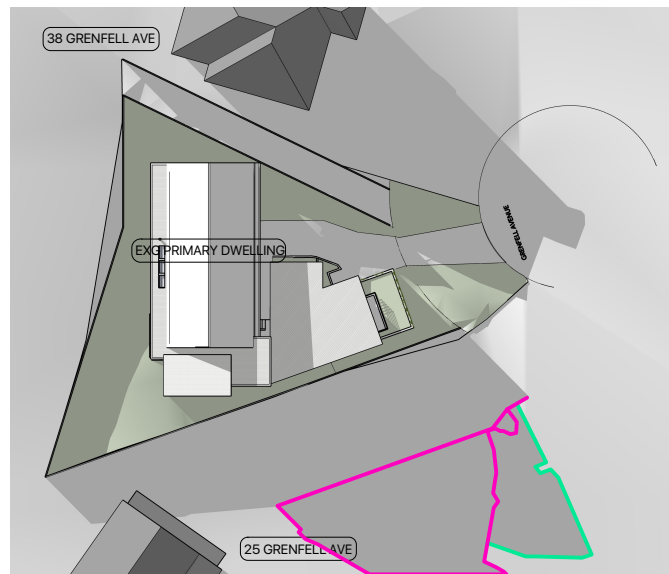
3 JUNE 21 - 3:00PM
EXISTING BUILDING



5 JUNE 21 - 9:00AM
PROPOSED BUILDING



6 JUNE 21 - 12:00PM
PROPOSED BUILDING



4 JUNE 21 - 3:00PM
PROPOSED BUILDING

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
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LEGEND / KEY

— EXISTING
— PROPOSED



Project:
**ALTERATION AND ADDITIONS
27 GRENFELL AVENUE, NORTH NARRABEEN**

Client:
JO-ANNE BENNETT

Drawing Name:
SHADOW DIAGRAMS

Job Number:
2032

Scale:
1:100

Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: **DA_30**
Revision: **A**



1 EXISTING
1:200 @ A3



2 PROPOSED
1:200 @ A3

LANDSCAPE CALCULATIONS						
SITE AREA 663.5 sqm						
	DCP REQUIREMENT	REQUIRED	EXISTING	PROPOSED	PERCENTAGE OF TOTAL AREA	COMPLIANT
EXISTING HARD SURFACE AREA			350 sqm	391.5 sqm	59%	n/a
NATURAL LANDSCAPED AREA	0.5 x 663.5 sq m	>332 sq m	313.5sqm - (47%)	272 sq m	41%	N
ALL EXISTING IMPERVIOUS AREA TO BE RETAINED						

NOTE: ALTHOUGH NOT COUNTED IN THE LANDSCAPE CALCULATIONS, THE GREEN ROOF AMOUNTS TO A 'LANDSCAPED' AREA OF 15 sqm.



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Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY



Project:
ALTERATION AND ADDITIONS
27 GRENFELL AVENUE, NORTH NARRABEEN

Client:
JO-ANNE BENNETT

Drawing Name:
EXTERNAL CALCULATIONS

Job Number:
2032

Scale:
1:200

Plot Date:
10/6/21

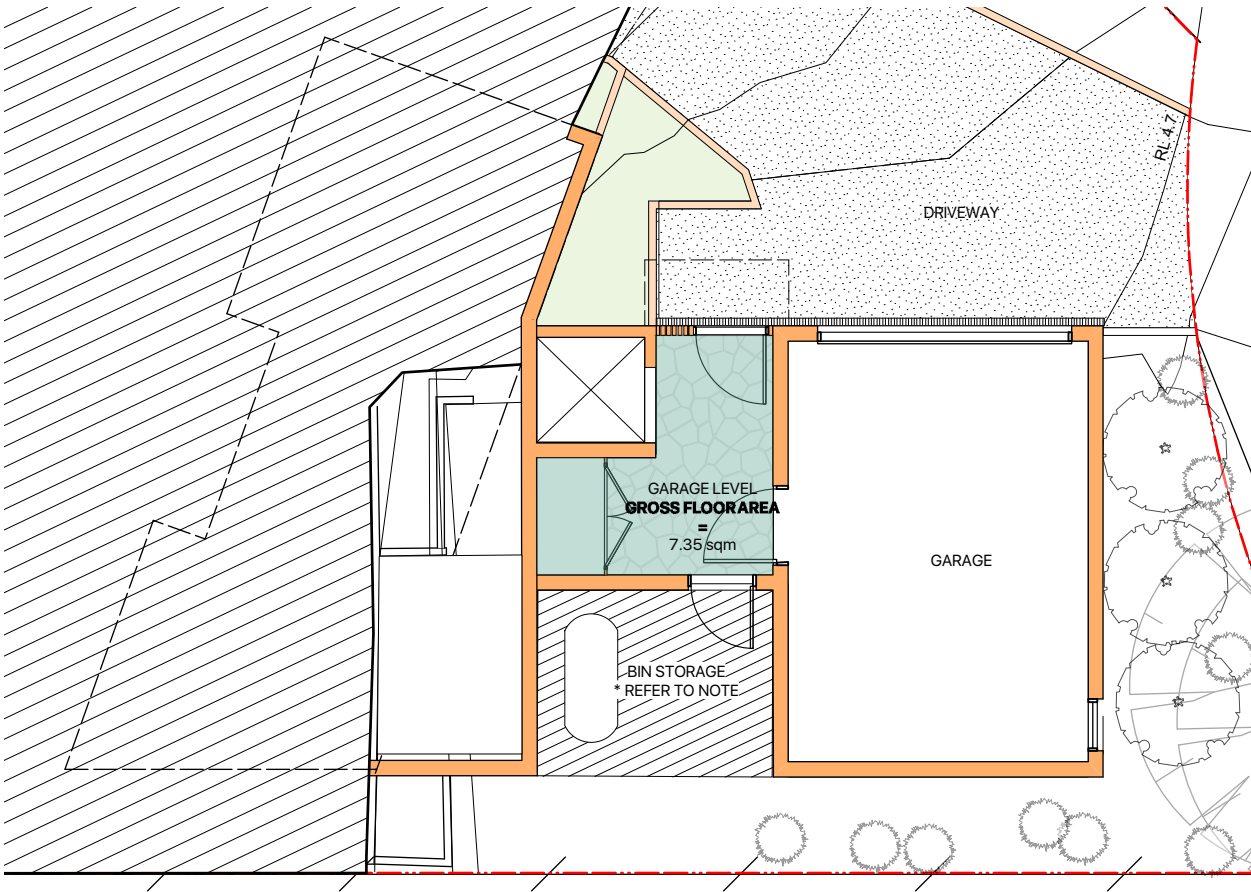
Drawn By:
PB

Drawing Status:
DEVELOPMENT APPLICATION

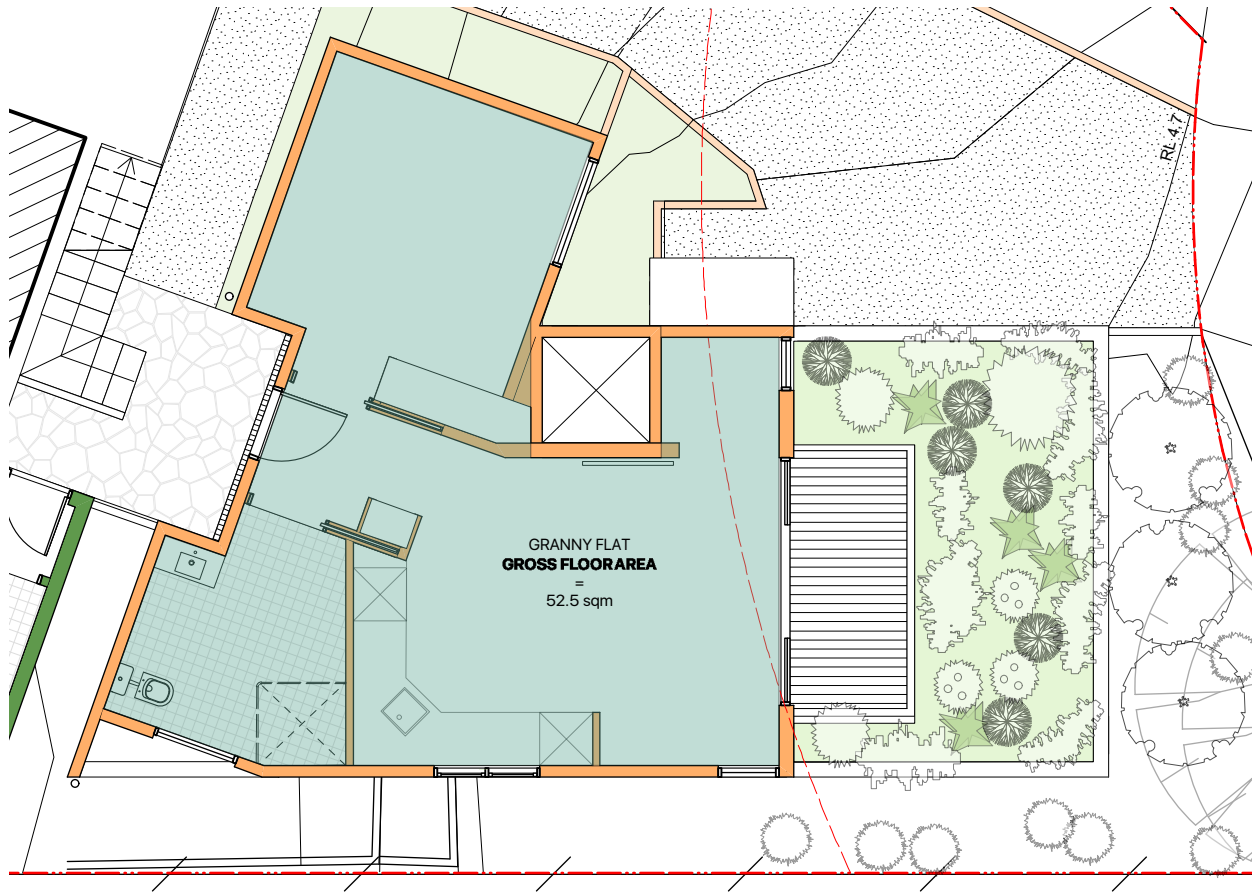
Drawing No:
DA_40

Revision:
A

nominated architect: Jacqueline Bennett 6536



1 GARAGE LEVEL GROSS FLOOR AREA
1:100 @ A3



2 GRANNY FLAT GROSS FLOOR AREA
1:100 @ A3

FLOOR	AREA (sqm)
GARAGE GROSS FLOOR AREA	7.35
GRANNY FLAT GROSS FLOOR AREA	52.5
TOTAL	59.85

NOTE: AS PER PITTWATER LEP 2014 UNDER THE DEFINITION OF GROSS FLOOR AREA UNDER POINT (e), (ii), "ANY BASEMENT USED FOR VEHICLE ACCESS, LOADING AREAS, GARBAGE AND SERVICES" IS TO BE EXCLUDED FROM THE AREA CALCULATIONS. USING THAT AS A REFERENCE, WE HAVE NOT INCLUDED THE BIN STORAGE ROOM IN THE CALCULATIONS.

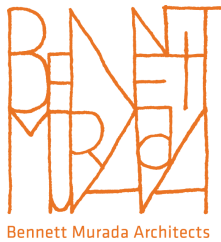


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REVISION SCHEDULE			
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LEGEND / KEY



Project:
ALTERATION AND ADDITIONS
27 GRENELL AVENUE, NORTH NARRABEEN

Client:
JO-ANNE BENNETT

Drawing Name:
INTERNAL CALCULATIONS

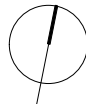
Job Number:
2032

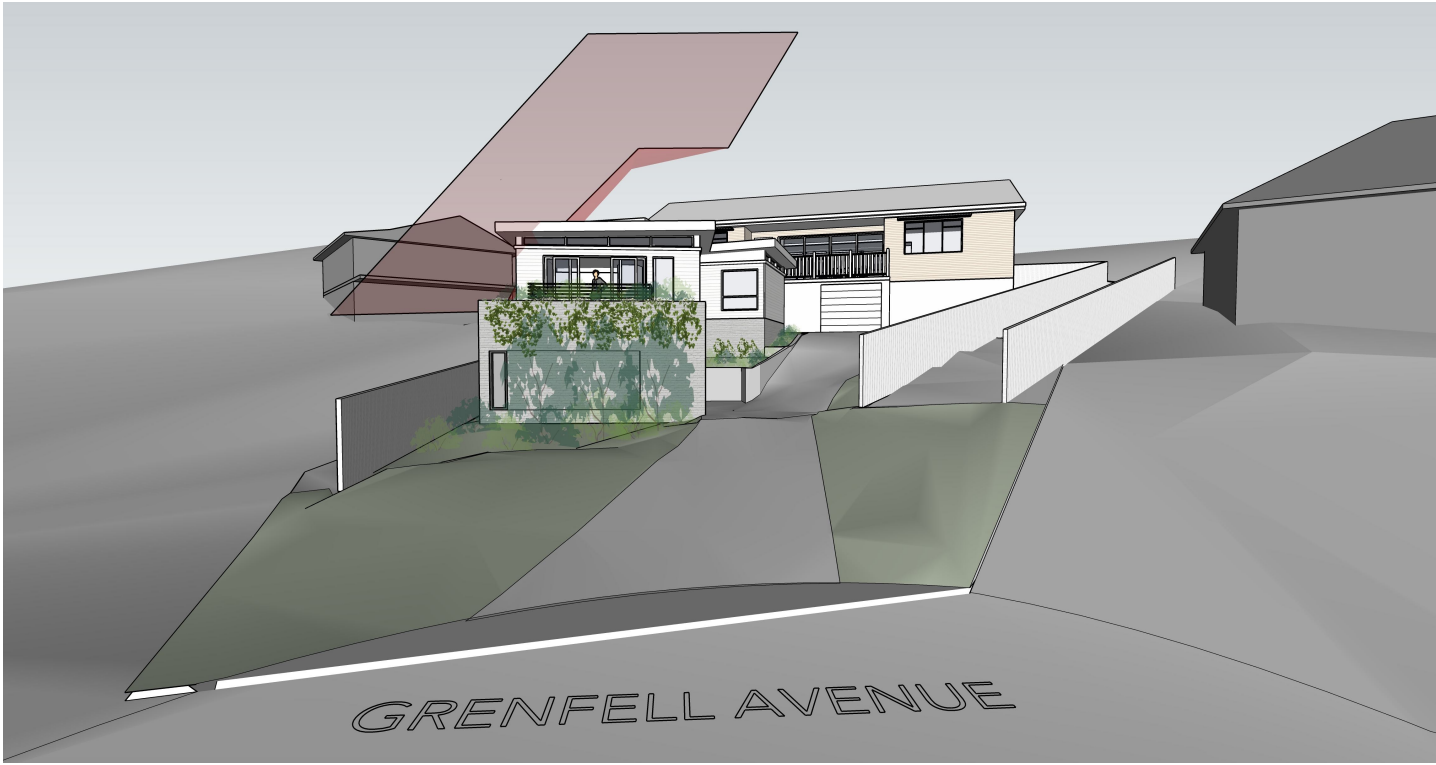
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Plot Date: 10/6/21
Drawn By: PB

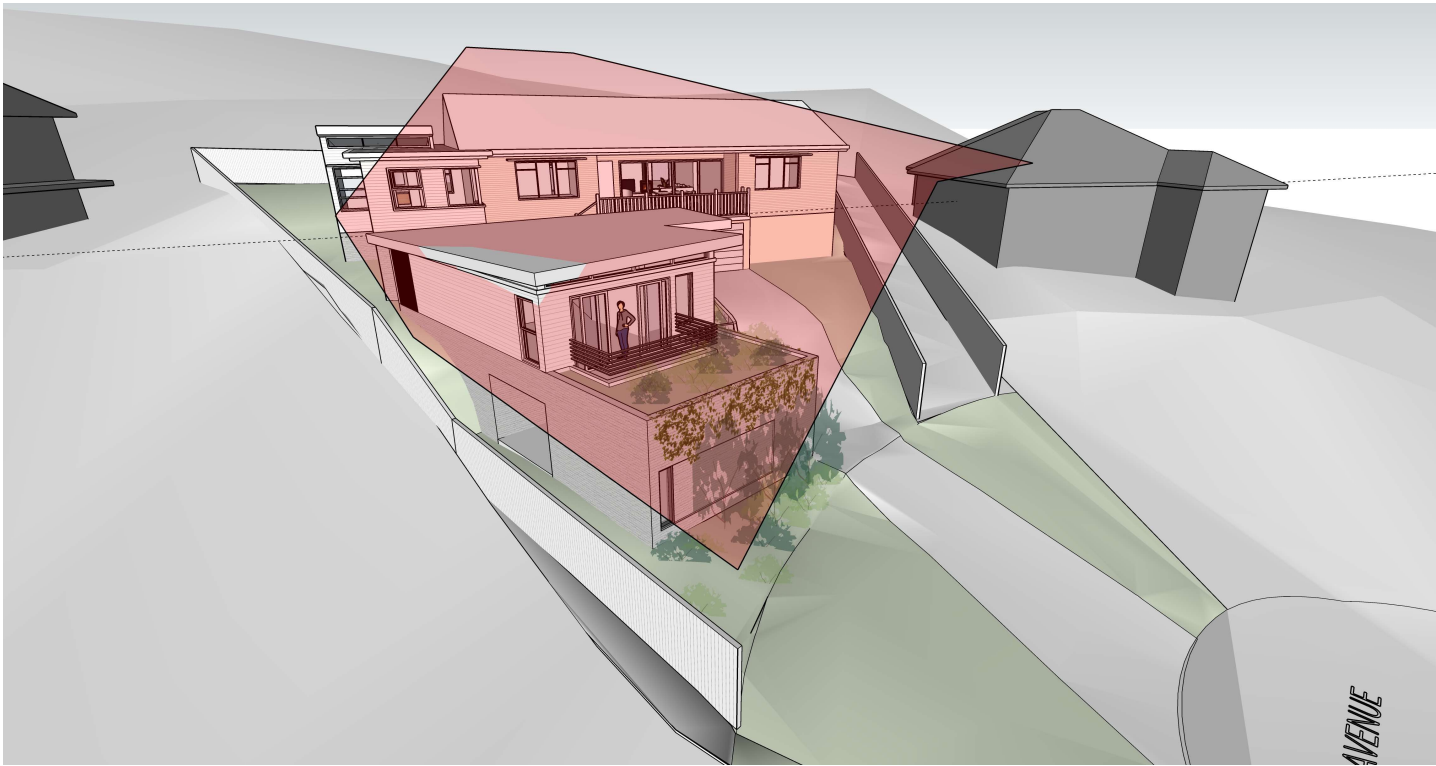
Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: **DA_41**
Revision: **A**





1 EAST FACADE 3D VIEW_ BULDING ENVELOPE
1:100 @ A3



2 SOUTH EAST 3D VIEW_ BULDING ENVELOPE
1:100 @ A3



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Rev.	Date	Issued By	Revision Notes
A	10/6/21	PB	FOR DEVELOPMENT APPLICATION

LEGEND / KEY



Project:
**ALTERATION AND ADDITIONS
27 GRENFELL AVENUE, NORTH NARRABEEN**

Client:
JO-ANNE BENNETT

Drawing Name:
**BUILDING ENVELOPE AND HEIGHT
ALLOWANCE DIAGRAM**

Job Number:
2032

Scale:
NTS

Plot Date: 10/6/21
Drawn By: PB

Drawing Status:
DEVELOPMENT APPLICATION

Drawing No: **DA_50**
Revision: **A**