

DEVELOPMENT APPLICATION

34 COOK STREET, FORESTVILLE



ABSAR
Accredited Building Surveyor
Accreditation No. 3163G024-3163G025
Assessor Name: Terrence Chapman
Assessor Number: 20920

Certificate No. 0011657145
Scan QR code or follow website link for rating details.
Assessor name: Terry Chapman
Accreditation No. 20920
Property Address: 34 Cook Street, FORESTVILLE NSW 2087
50011657145 FOR
2087 14 JAN
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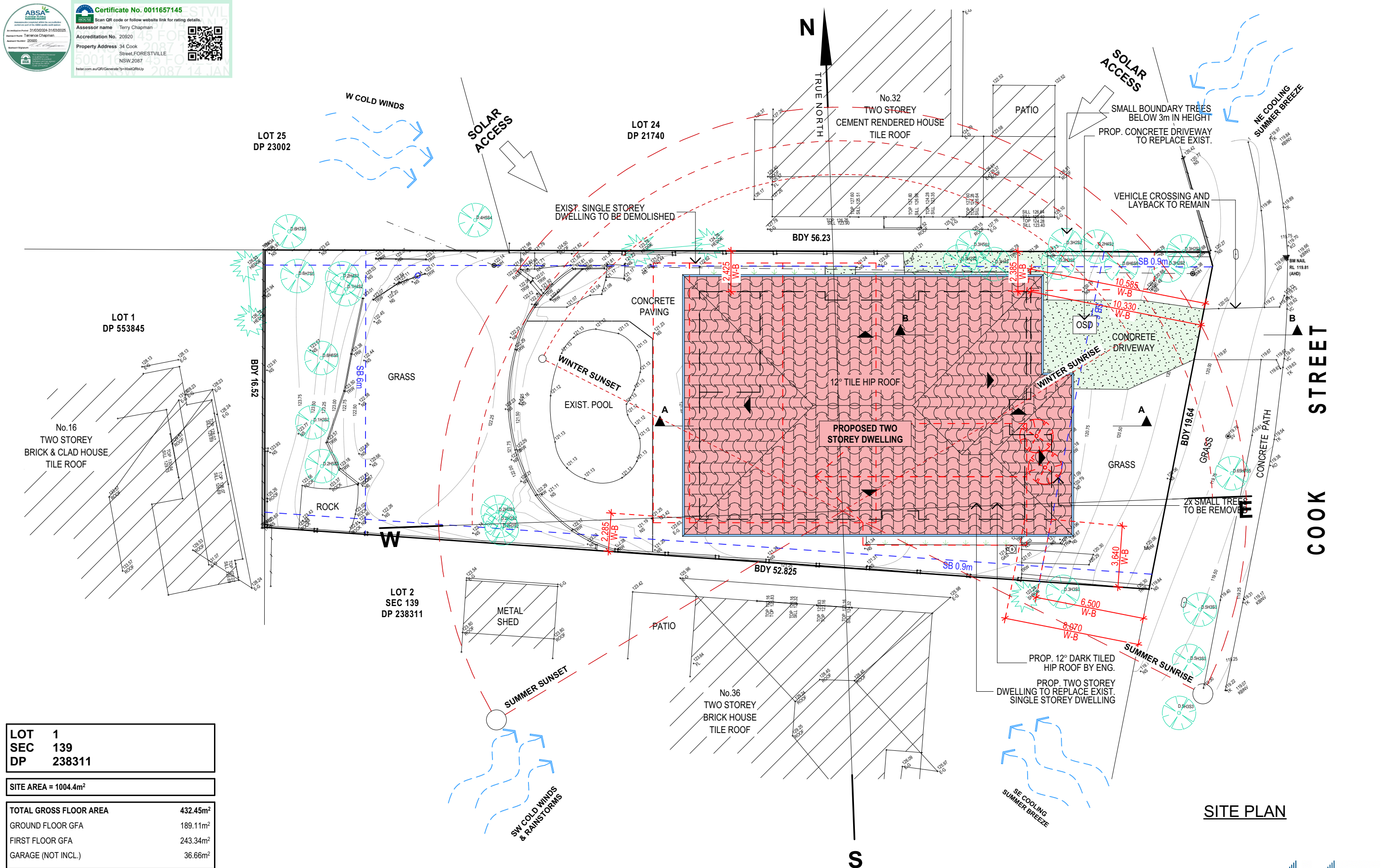
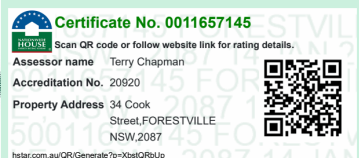


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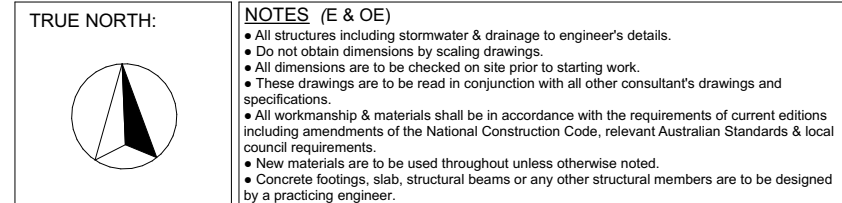
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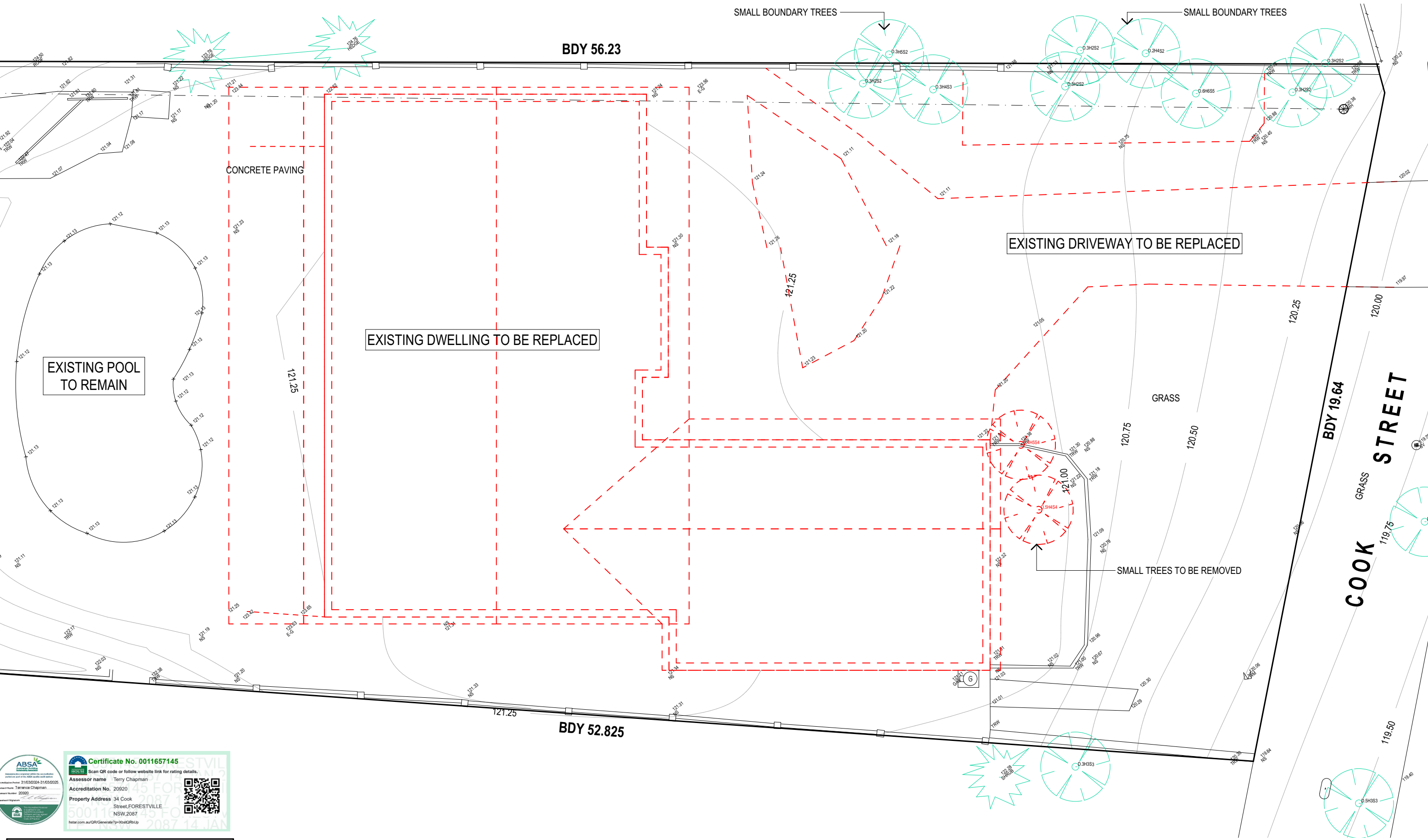
LOT	1
SEC	139
DP	238311

SITE AREA = 1004.4m²
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TOTAL GROSS FLOOR AREA	432.45m²
GROUND FLOOR GFA	189.11m ²
FIRST FLOOR GFA	243.34m ²
GARAGE (NOT INCL.)	36.66m ²



<div><h1>JJ Drafting</h1><h2>Australia P/L.</h2><p>26/90 Mona Vale Road, Mona Vale, NSW, 2103</p><p>PO Box 687, Dee Why, NSW, 2099</p><p>Mob. 0414 717 541 ACN 651 693 346</p><p>Email. enquiries@jjdrafting.com.au</p><p>www.jjdrafting.com.au</p></div>	REV:	DATE:	DESCRIPTION:	PROPOSED NEW BUILD	JOB No:	DRAWN BY:	SCALE:		
	(A)	11/9/2024	PRELIM. DESIGN - FLOOR PLANS	34 COOK STREET, FORESTVILLE					
	(B)	1/10/2024	PRELIM. REVISION	CLIENT:	1289/24	AD	1:200 @ A3	ACCREDITED BUILDING DESIGNER	
	(C)	30/10/2024	PRELIM. REVISION	ANTONIO + AMANDA PETROLO					
	A	9/12/2024	DA DRAWINGS	DRAWING TITLE:	AUG/24	DATE:	DRAWING No:	CHECKED BY:	
	B	8/1/2025	DA DRAWINGS (ADD NATHERS)						SITE ANALYSIS PLAN



ABSA
Accredited Building Surveyor
Accreditation No. 310302024-310302025
Assessor Name: Terry Chapman
Assessor Number: 20920
Assessor Signature: [Signature]

Certificate No. 0011657145

Scan QR code or follow website link for rating details.

Assessor name: Terry Chapman

Accreditation No. 20920

Property Address: 34 Cook Street, FORESTVILLE, NSW, 2087

NOTES

ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
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PROPOSED NEW BUILD

34 COOK STREET, FORESTVILLE

CLIENT:

ANTONIO + AMANDA PETROLO

DRAWING TITLE:

DEMOLITION PLAN

JOB No:

1289/24

DRAWN BY:

AD

DATE:

AUG/24

SCALE:

1:100 @ A3

DRAWING No:

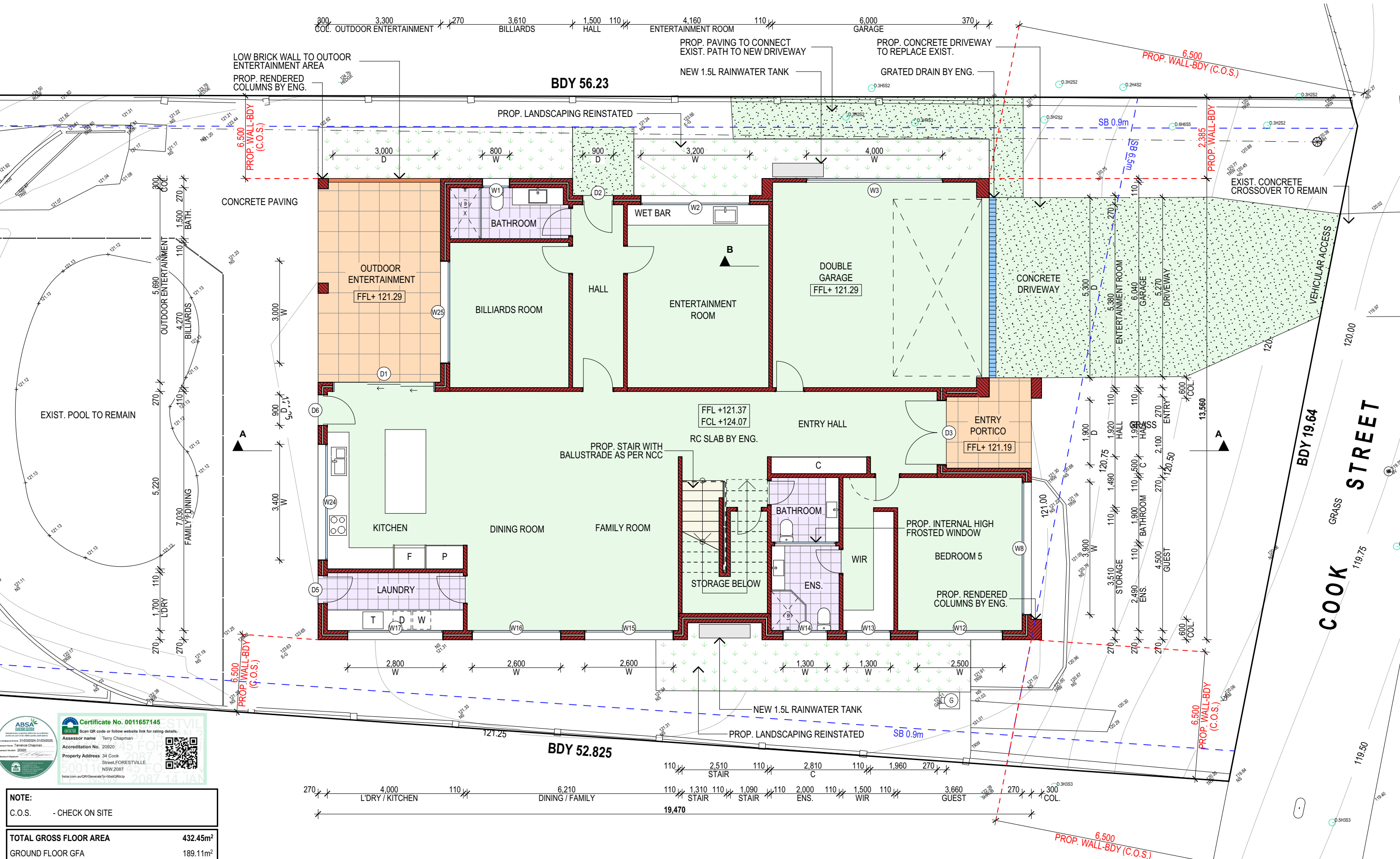
DA.02

ACCREDITED
BUILDING DESIGNER

CHECKED BY:

JJ

GROUND FLOOR DEMOLITION PLAN





ABSA
Australian Building Standards Association
Accredited Building Surveyor
Accreditation No. 20920
Assessor Name: Terry Chapman
Property Address: 34 Cook Street, Forestville, NSW 2087
Contact: 0800 116 116

Certificate No. 0011657145

Scan QR code or follow website link for rating details.

Assessor name: Terry Chapman

Accreditation No. 20920

Property Address: 34 Cook Street, Forestville, NSW 2087

Contact: 0800 116 116

NOTE:

C.O.S. - CHECK ON SITE


TOTAL GROSS FLOOR AREA 432.45m²

GROUND FLOOR GFA 189.11m²

GARAGE (NOT INCL.) 36.66m²

PROPOSED GROUND FLOOR PLAN

TRUE NORTH:



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PROPOSED NEW BUILD

34 COOK STREET, FORESTVILLE

CLIENT: ANTONIO + AMANDA PETROLO

DRAWING TITLE: FLOOR PLAN

JOB No: 1289/24

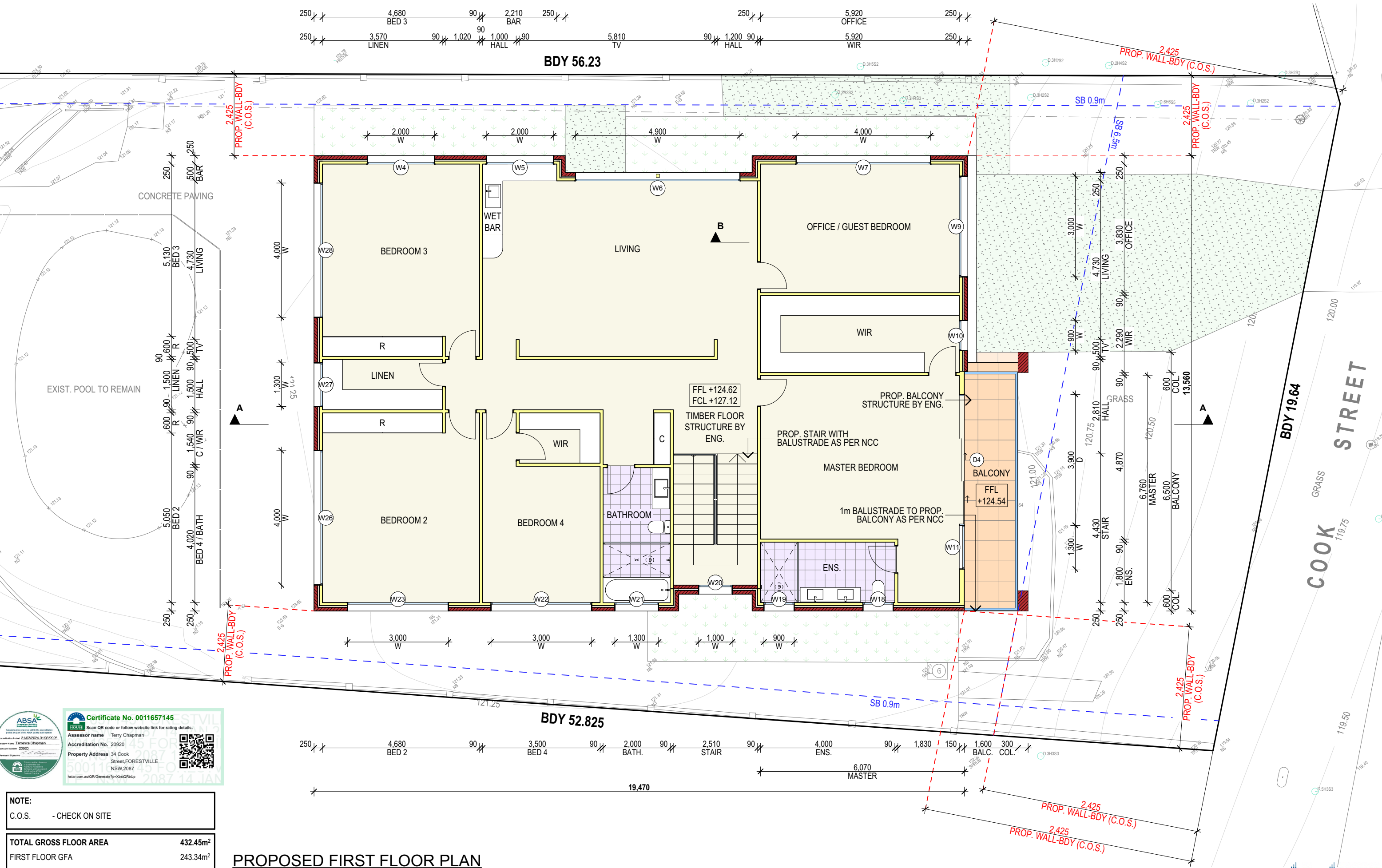
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Assessor name Terry Chapman
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NOTE: C.O.S. - CHECK ON SITE	
TOTAL GROSS FLOOR AREA	432.45m ²
FIRST FLOOR GFA	243.34m ²

PROPOSED FIRST FLOOR PLAN

TRUE NORTH:



NOTES (E & OE)

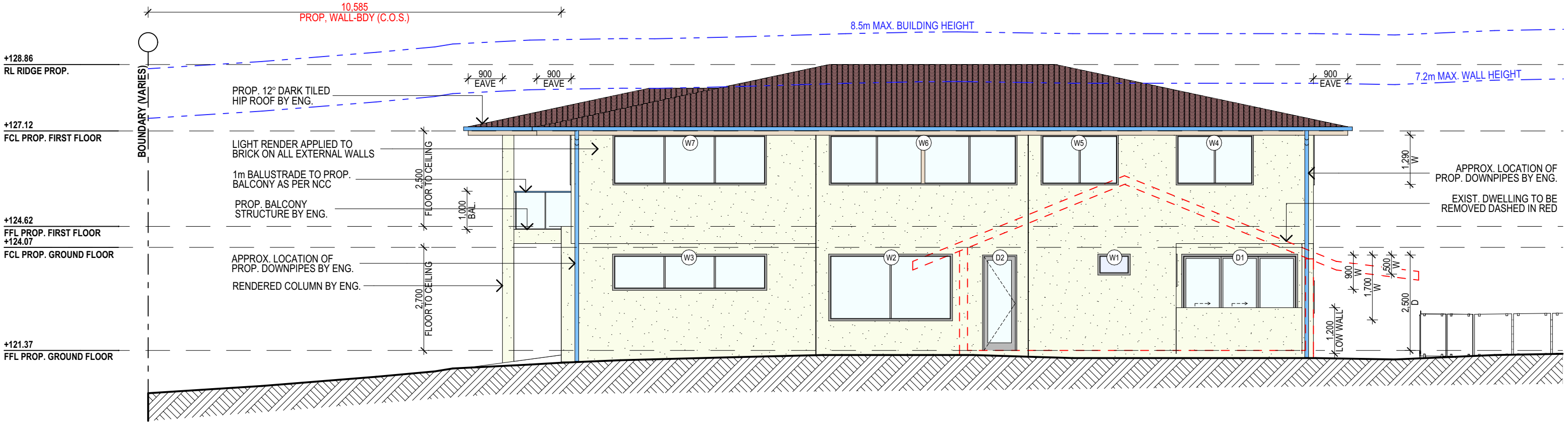
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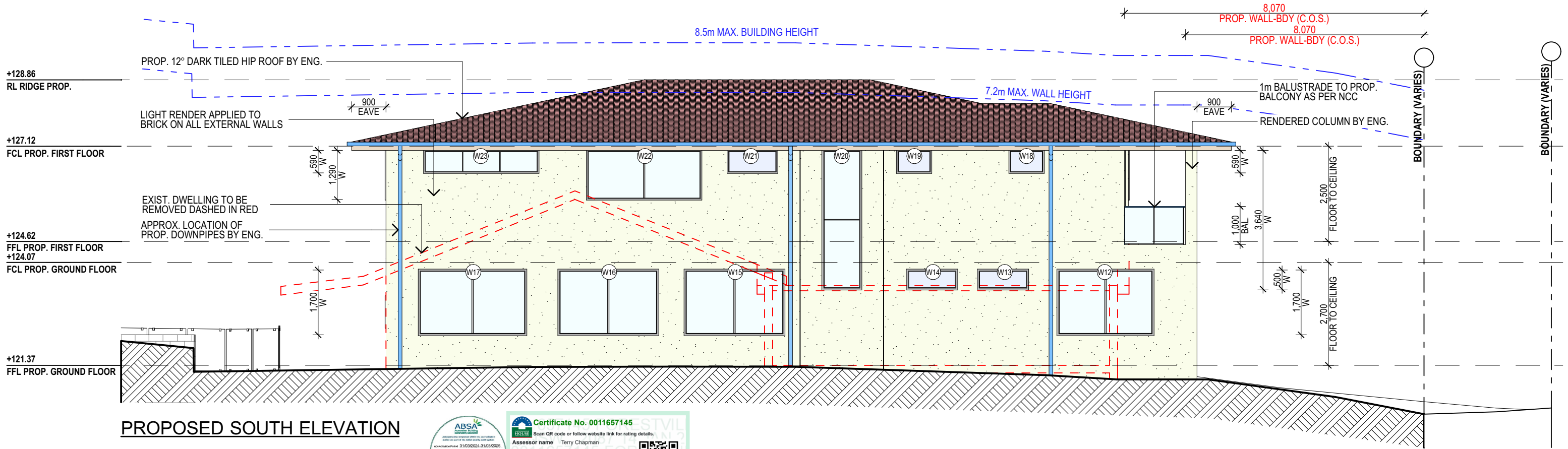
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PROPOSED NEW BUILD 34 COOK STREET, FORESTVILLE CLIENT: ANTONIO + AMANDA PETROLO	JOB No: 1289/24	DRAWN BY: AD	SCALE: 1:100 @ A3
DRAWING TITLE: FLOOR PLAN		DATE: AUG/24	DRAWING No: DA.04
		CHECKED BY: JJ	





PROPOSED NORTH ELEVATION



PROPOSED SOUTH ELEVATION

NOTE:
C.O.S. - CHECK ON SITE



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50011657145 FOR
11/9/2024 14 JAN

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PROPOSED NEW BUILD 34 COOK STREET, FORESTVILLE CLIENT: ANTONIO + AMANDA PETROLO	DRAWING TITLE: ELEVATIONS SHEET 1
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JOB No: 1289/24

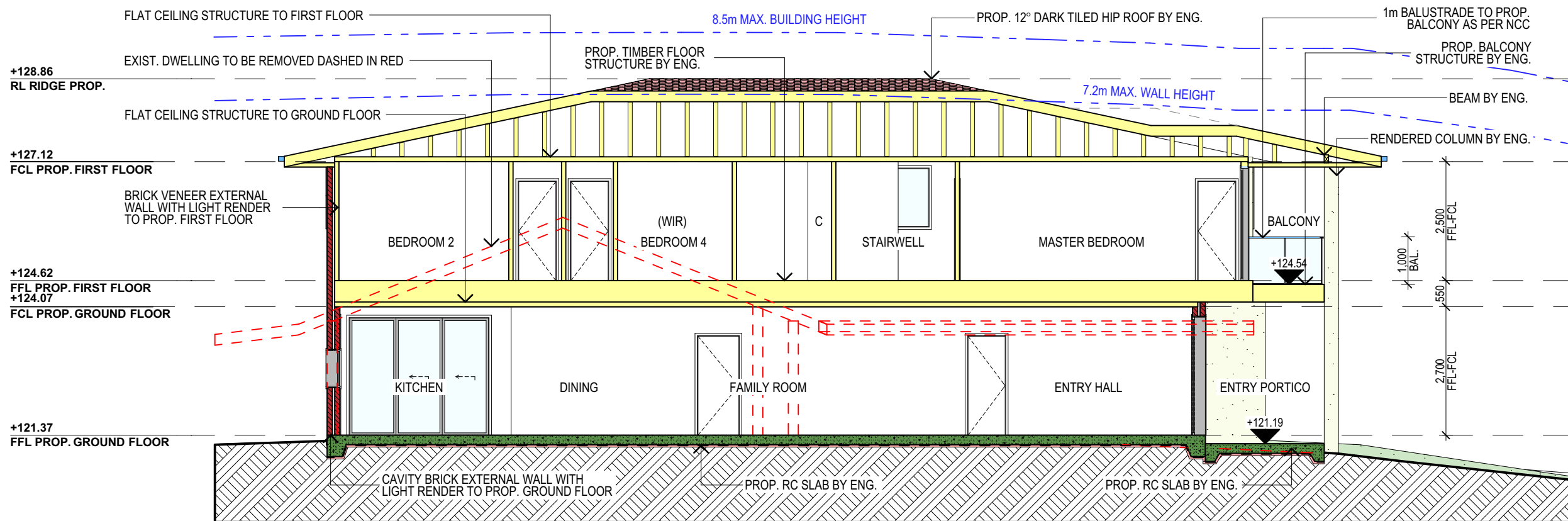
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DRAWING No: DA.05

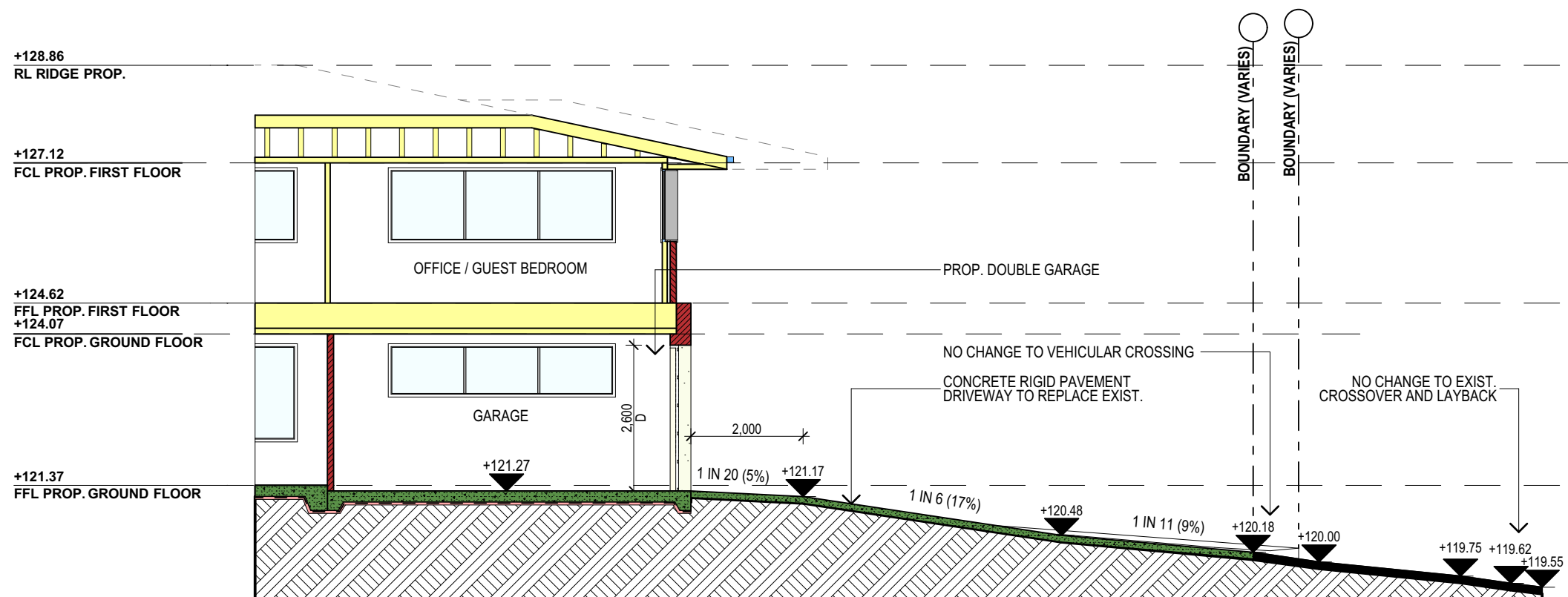


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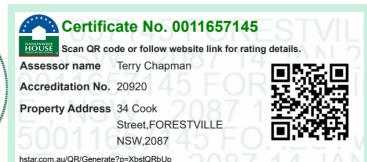
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SECTION AA



SECTION BB AND DRIVEWAY SECTION



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PROPOSED NEW BUILD
34 COOK STREET, FORESTVILLE
CLIENT:
ANTONIO + AMANDA PETROLO

DRAWING TITLE:
SECTIONS

JOB No:
1289/24

DRAWN BY:
AD

DATE:
AUG/24

SCALE:
1:100 @ A3

DRAWING No:
DA.07

bdaa
ACCREDITED
BUILDING DESIGNER

CHECKED BY:
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ABSABasic Energy Services

Assessors are accredited within the accreditation period as part of the ABSA audit and system.

Accreditation Period: 31/03/2024-31/03/2025.

Assessor Name: Terrence Chapman

Assessor Number: 20920

Assessor Signature: 



Scan QR code or follow website link for rating details.

Assessor name Terry Chapman

Accreditation No. 20920

Property Address 34 Cook Street,FORESTVILLE NSW,2087

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Basix Requirements Summary

New Dwelling
34 Cook Street
FORESTVILLE NSW 2087

Prepared by Chapman Environmental Services
www.cesenergy.com.au
1300 004 914



Water Target	40	Water Score	41	Conditioned Area	411.3
Energy Target	72	Energy Score	89	Unconditioned Area	22.1
Max H & C Loads are (MJ/m²)	30	Actual H & C Loads are (MJ/m²)	29.8	Star Rating	7

Basix Commitments					
Landscaping	Total area of garden & lawn (m²)	400	Area of indigenous/low water use plants (m²)	0	
Fixtures	Shower heads	4 star (> 4.5 but <= 6 L/min)	Toilets	4 star	All taps 4 star
Alternative Water	Minimum Rainwater tank size (L)	3000	Collect run off from roof area of at least (m²) 100		
	Toilet connection Yes	Laundry connection No	Landscape connection Yes	Pool top up n/a	Spa top up n/a
Pool and Spa	Max pool volume (kL)	n/a			

Energy	Hot water system	Gas instantaneous	Rating	5 star		
	Bathroom ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off		
	Kitchen ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off		
	Laundry ventilation	Natural ventilation only, or no laundry				
	Cooling - living areas	1-phase airconditioning	Rating	EER 3.0 - 3.5	Zoned	
	Cooling - bedrooms	1-phase airconditioning	Rating	EER 3.0 - 3.5		
	Heating - living areas	1-phase airconditioning	Rating	EER 3.0 - 3.5		
	Heating - bedrooms	1-phase airconditioning	Rating	EER 3.0 - 3.5		
	Alternate Energy	Photovoltaic system able to generate at least		min 3.0	peak kilowatts of electricity	
	Gas cooktop & gas oven	Outdoor clothesline required		No indoor clothesline required		

Thermal Performance Assessment Based on the Following Requirements						
Floor Types	Concrete slab on ground	with	R2.3 under slab insulation			
	Suspended timber	with	R2.5 bulk insulation			
Floor Coverings	Tiles	Living / Wet areas	Timber	n/a		
	Carpet	Bedrooms	Concrete	Garage		
External Walls	Cavity brick	with	R1.2 cavity board	Colour	Light	
	Brick veneer	with	Sarking and R2.5 bulk insulation	Colour	Light	
Internal Walls	Single skin brick	with	Nil			
	Plasterboard	with	No insulation required			
Ceiling (floor over)	Timber above plasterboard	with	R2.0 bulk insulation			
Ceilings (roof over)	Timber above plasterboard.	with	R5.0 bulk insulation			
Roof	Tiles	22 degrees	with	Sarking	Colour Dark	
Windows and Doors	AF double glazed clear - Lightbridge	Sliding W	AWS-047-323	U-Value 3.70 or less	SHGC 0.45 +/- 5%	
	to all windows and glazed doors unless noted otherwise	Awning W	AWS-008-025	U-Value 3.40 or less	SHGC 0.43 +/- 5%	
		D-Hung W	VAN-002-042	U-Value 3.70 or less	SHGC 0.41 +/- 5%	
		Fixed W	AWS-071-009	U-Value 2.70 or less	SHGC 0.51 +/- 5%	
		Sliding D	AWS-036-053	U-Value 3.00 or less	SHGC 0.47 +/- 5%	
		Hinged D	AWS-019-038	U-Value 3.20 or less	SHGC 0.35 +/- 5%	
	AF = Aluminium Framed	TB = Thermally Broken Aluminium Framed	TF = Timber Framed			
	<div><div>If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent</div><div>Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed</div><div>All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA</div><div>If there is a discrepancy between this document and the Nathers Certificate, then the Nathers Certificate shall take precedence</div></div>					

This document to be read in conjunction with the Basix Certificate and Nathers Universal Certificate

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PROPOSED NEW BUILD

34 COOK STREET, FORESTVILLE

CLIENT:

ANTONIO + AMANDA PETROLO

DRAWING TITLE:

BASIX

JOB No:

1289/24

DRAWN BY:

AD

SCALE:

1:1 @ A3

DATE:

AUG/24

DRAWING No:

DA.08

CHECKED BY:

JJ



SPECIFICATION NOTES

INTERNAL LINING
- PROVIDE PLASTERBOARD LINING.
- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

EXTERNAL WALLS:
- BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.
- ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 - ABCB HOUSING PROVISIONS PART 7, AS1684 AND ALL RELEVANT CODEMARK CERTIFICATES.
- ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 H1D7 & AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

CONDENSATION MANAGEMENT:
- CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 - HOUSING PROVISIONS PART 10.8.

FLOOR:
- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.
- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

WET AREAS:
- ALL WATERPROOFING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- WATERPROOF INSTALLATION NCC (2022): HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4654 WATERPROOF MEMBRANES FOR EXTERNAL USE.

BEARERS AND JOISTS:
- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:
- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

PROFILED STEEL ROOF:
- COLORBOND ROOF CLADDING
- METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 7, AS 1562.

ROOF TILES OR SHINGLES:
- NCC 2022 -ABCB HOUSING PROVISIONS PART 7.3.

CONCRETE:
- SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 4 .2.10.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

BRICK AND BLOCKWORK:
- MASONRY STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5 & AS 3700 MASONRY STRUCTURES.

FOOTINGS:
- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS H1D4
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.
- RESIDENTIAL SLABS, FOOTINGS AND CONCRETE STRUCTURES TO NCC 2022 – ABCB HOUSING PROVISIONS PART 3 & 4, AS 2870 RESIDENTIAL SLABS AND FOOTING & AS 3600 CONCRETE STRUCTURES.

CARPENTRY:
- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.
-TERMITE MANAGEMENT INSTALLATION OF PERIMETER & COLLARS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3.4 & AS 3660.1 TERMITE MANAGEMENT - NEW BUILDING WORK.

TIMBER FRAMING:
-ALL EXTERNAL TIMBER FRAMED WALLS TO BE WRAPPED IN A BREATHABLE VAPOUR PERMEABLE MEMBRANE IN ACCORDANCE WITH NCC VOL.2 PART H1D6 , INSTALLED WITH AS/NZS 4200.1 & AS/NZS 4200.2.
-TIMBER FRAMING INSTALLATION TO NCC 2022 - VOL.2 PART HAD6(4), AS 1684.4 RESIDENTIAL TIMBER FRAMED CONSTRUCTION & AS/NZS 1170 STRUCTURAL DESIGN ACTIONS.
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC 2022 - ABCB HOUSING PRIVIONS PART 6.2
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

STEEL FRAMING:
-ALL STEEL FRAMING TO NCC 2022 - VOL.2 PARTH1D6(3), AS 4100 STEEL STRUCTURES, AS/NZS 4600 COLD-FORMED STEEL STRUCTURES & NASH STANDARD.

TERMITE CONTROL:
- TO BE IN ACCORDANCE WITH TO AS3660.1
- SHALL BE IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISION PART 3.4

FLASHING AND CAPPINGS:
- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.
- DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 - VOL.2 PART H2 & AS/NZS 2904 DAMP-PROOF COURSES AND FLASHINGS.

CONCRETE BLOCKS OR BRICKS:
- TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.

LIGHTING:
- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

DOORS & WINDOWS:
- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- ALL WINDOWS ARE TO BE RESTRICTED IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11.3.7 & PART 11.3.8 PROTECTION OF OPENABLE WINDOWS WHERE SURFACE BELOW IS MORE THAN 2M.
- PROVIDE LIFT-OFF HINGES WHERE THE TOILET PAN IS WITHIN 1.2 METRES OF THE HINGED SIDE OF THE DOOR IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 10.4.

STAIRS, HANDRAILS AND BALUSTRADES:
- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.
- ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208

SLIP RESISTANCE:
- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.
- ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11, AS 4586 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET.

STORMWATER:
EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES
- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.
- IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

GLAZING:
- NCC VOL2 PART H1D8, ABCB HOUSING PROVISIONS PART 8 .3
-ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 - ABCB HOUSING PROVISIONS PART 8, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 2047 WINDOWS AND EXTERNAL DOORS IN BUILDINGS.
- SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 8, AS 1288 & AS/NZS 2208.
- GLASS BALUSTRADE INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS.

WATERPROOFING FOR EXTERNAL TILED BALCONIES:
- WATERPROOFING TO COMPLY WITH AS4654
- ALL WATERPROOFING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS

FIRE SAFETY, SMOKE DETECTORS/ALARMS:
- PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 – ABCB HOUSING PROVISIONS PART 9.5, NSW 9.5.1 & AS 3786.
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
- FIRE SEPARATING WALL, A WALL WITHIN 900MM OF BOUNDARY INSTALLATION CERTIFICATE (FRL60/60/60) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 - ABCB HOUSING PROVISIONS PART 9 & PART 10.7, AS 1530 ALL PARTS.
- BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING - NCC 2022 - VOL. 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3959 CONSTRUCTION OF BUILDING IN BUSHFIRE- PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019.

WASTE MANAGEMENT:
- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

SEDIMENT CONTROL:
- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM..

SWIMMING POOLS & SAFETY:
-POOL PLUMBING/CIRCULATION TO COMPLY WITH NCC 2022 PART NSW H7D2, AS 1926.3 SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS
- ALL POOL FENCING TO BE INSTALLED TO: NCC 2022 NSW H7D2, AS 1926.1 - 2012 - SAFETY BARRIERS FOR SWIMMING POOLS, AS 1926.2 - 20007 - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS, AS 1170 STRUCTURAL DESIGN ACTIONS AND IF GLASS POOL FENCING TO ADDITIONALLY COMPLY WITH AS 1288 - 2021 GLASS IN BUILDINGS, AS/NZS 2208 - SAFETY GLASS,
- AS 2783 USE OF REINFORCED CONCRETE FOR SMALL SWIMMING POOLS

MISCELLANEOUS ITEMS:
- ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 10.4.
- GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 12.4, AS/NZS 5601 GAS INSTALLATIONS.

NOTE:
ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

NOTES (E & OE)
● All structures including stormwater & drainage to engineer's details.
● Do not obtain dimensions by scaling drawings.
● All dimensions are to be checked on site prior to starting work.
● These drawings are to be read in conjunction with all other consultant's drawings and specifications.
● All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
● New materials are to be used throughout unless otherwise noted.
● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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www.jjdrafting.com.au

REV:	DATE:	DESCRIPTION:
(A)	11/9/2024	PRELIM. DESIGN - FLOOR PLANS
(B)	1/10/2024	PRELIM. REVISION
(C)	30/10/2024	PRELIM. REVISION
A	9/12/2024	DA DRAWINGS
B	8/1/2025	DA DRAWINGS (ADD NATHERS)

PROPOSED NEW BUILD 34 COOK STREET, FORESTVILLE CLIENT: ANTONIO + AMANDA PETROLO	DRAWING TITLE: SPECIFICATIONS
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JOB No: 1289/24


DRAWN BY: AD
DATE: AUG/24



SCALE: @ A3
DRAWING No: DA.09

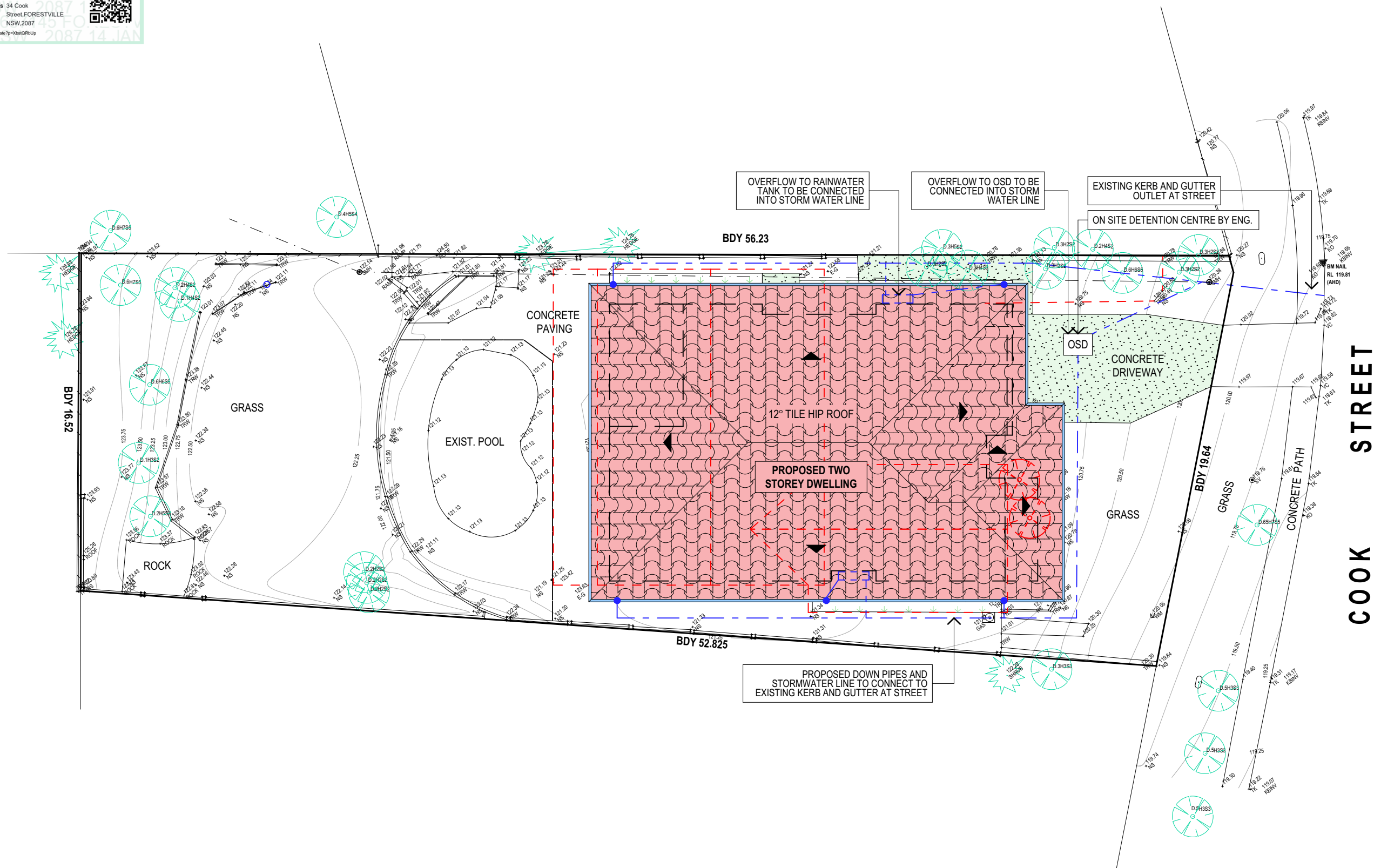
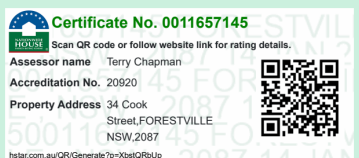
CHECKED BY: JJ





<p>TRUE NORTH:</p> 	<p>NOTES (E & OE)</p> <ul style="list-style-type: none"> ● All structures including stormwater & drainage to engineer's details. ● Do not obtain dimensions by scaling drawings. ● All dimensions are to be checked on site prior to starting work. ● These drawings are to be read in conjunction with all other consultant's drawings and specifications. ● All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. ● New materials are to be used throughout unless otherwise noted. ● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.
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	(A)	11/9/2024	PRELIM. DESIGN - FLOOR PLANS					
	(B)	1/10/2024	PRELIM. REVISION					
	(C)	30/10/2024	PRELIM. REVISION					
	A	9/12/2024	DA DRAWINGS	DRAWING TITLE: LANDSCAPED AREA CALCULATION PLAN	DATE: AUG/24	DRAWING No: DA.10	CHECKED BY: JJ	
	B	8/1/2025	DA DRAWINGS (ADD NATHERS)					



STORMWATER CONCEPT LEGEND

PROPOSED DOWNPIPES



APPROX. LOCATION STORMWATER LINE



ROOF AND STORMWATER CONCEPT PLAN

TRUE NORTH:



NOTES (E & OE)

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- Do not obtain dimensions by scaling drawings.
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PROPOSED NEW BUILD
34 COOK STREET, FORESTVILLE
CLIENT:
ANTONIO + AMANDA PETROLO

DRAWING TITLE:
ROOF & STORMWATER CONCEPT PLAN

JOB No:
1289/24

DRAWN BY:
AD

DATE:
AUG/24

SCALE:
1:200 @ A3

DRAWING No:
DA.11



CHECKED BY:
JJ

NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

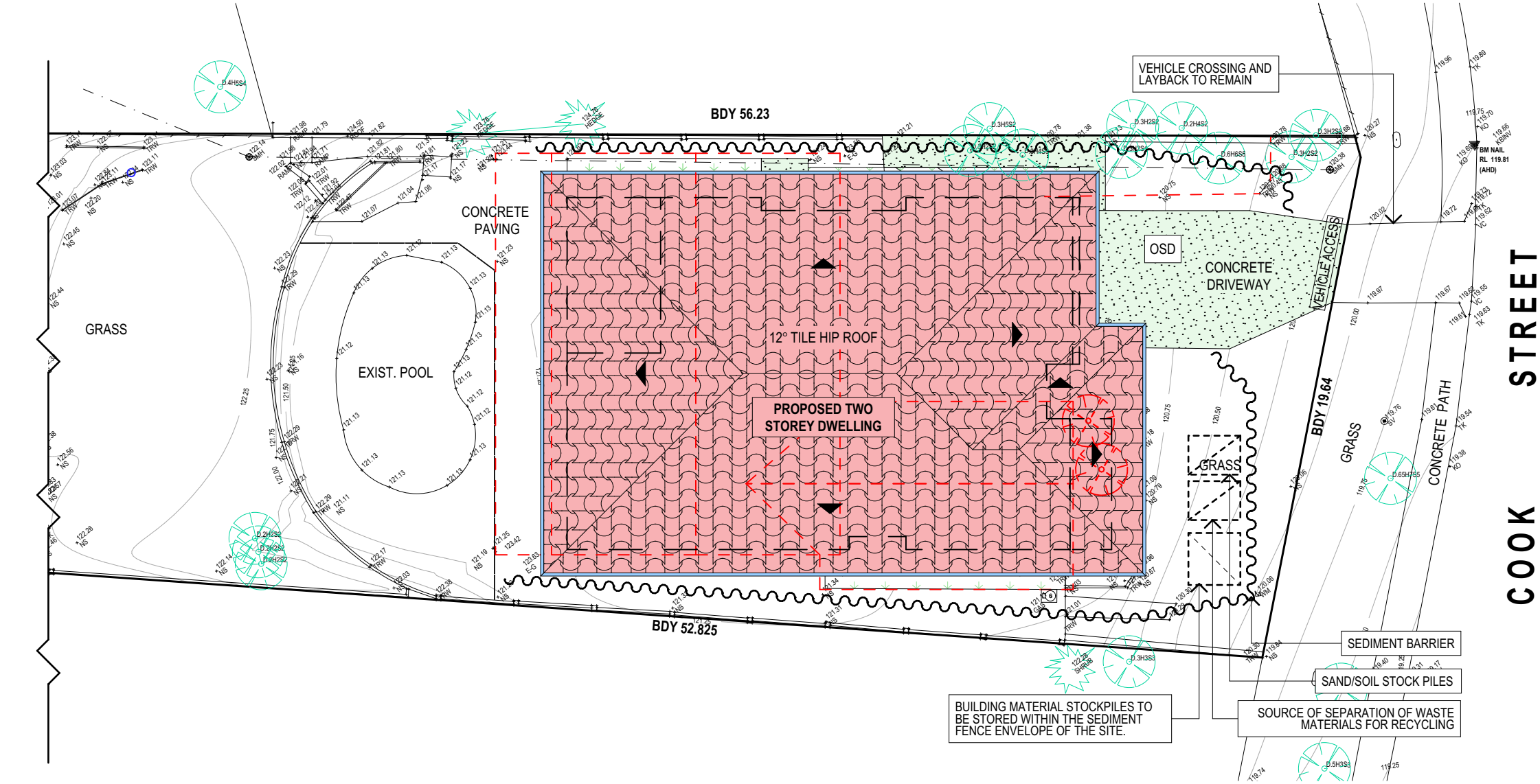
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

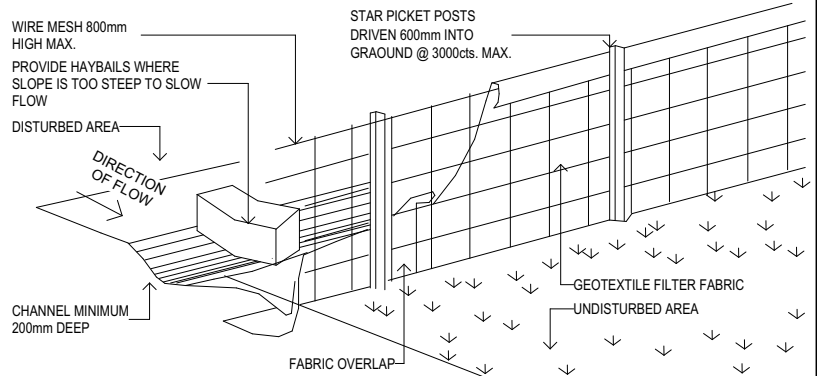
VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

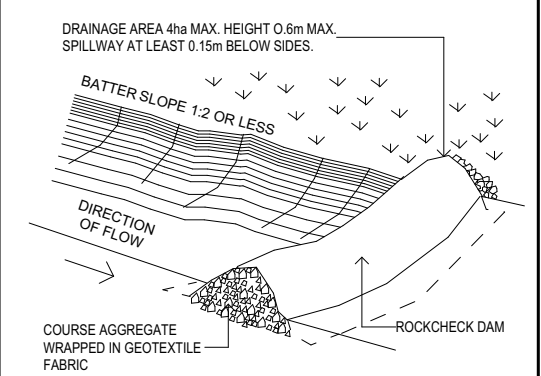


EROSION AND SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts



TRUE NORTH:



NOTES (E & OE)

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- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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(C)	30/10/2024	PRELIM. REVISION
A	9/12/2024	DA DRAWINGS
B	8/1/2025	DA DRAWINGS (ADD NATHERS)

PROPOSED NEW BUILD
34 COOK STREET, FORESTVILLE
CLIENT:
ANTONIO + AMANDA PETROLO

DRAWING TITLE:
EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT
PI AN

JOB No:
1289/24

DRAWN BY:
AD

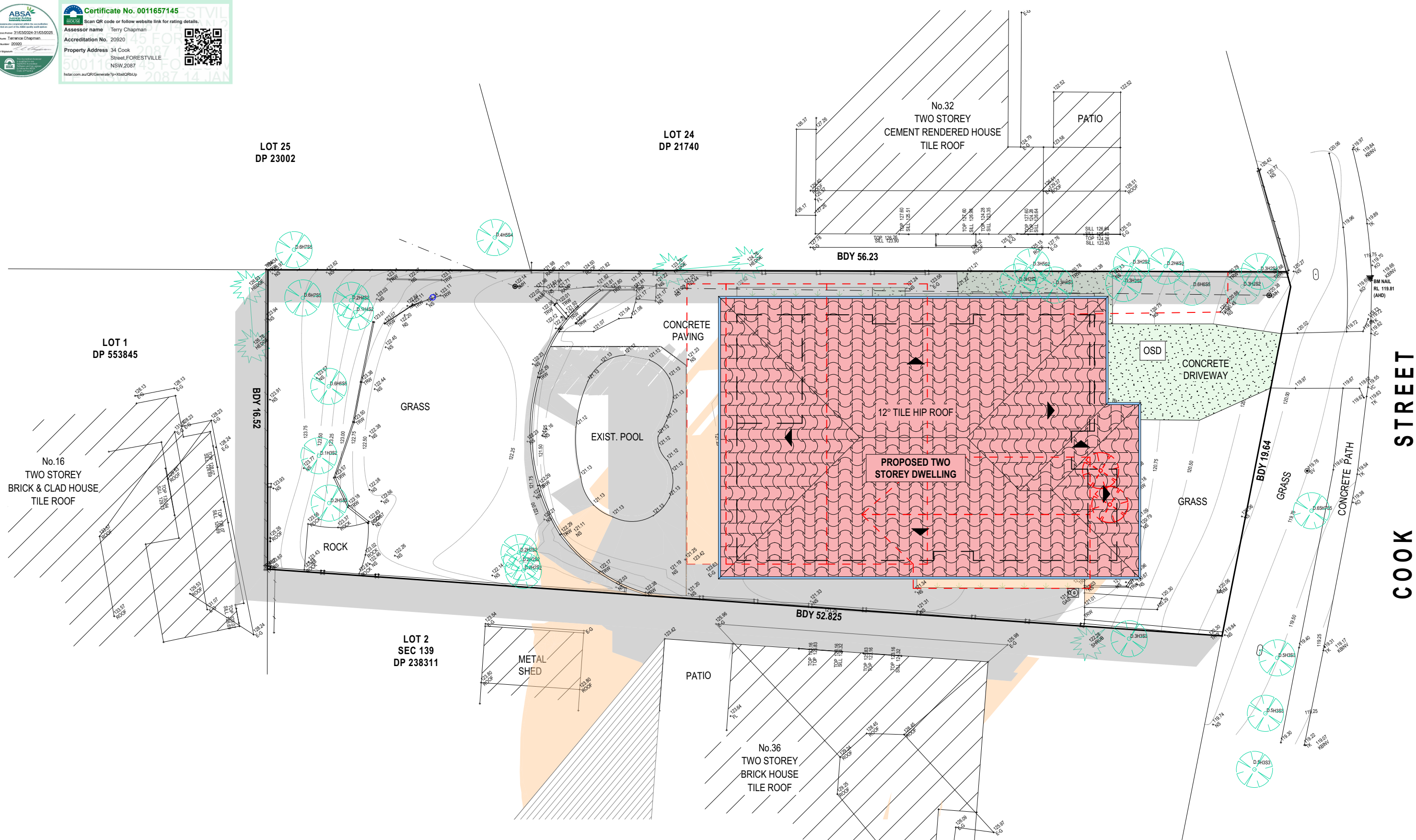
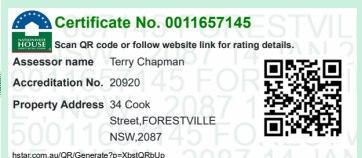
DATE:
AUG/24

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1:200 @ A3



DRAWING No:
DA.12



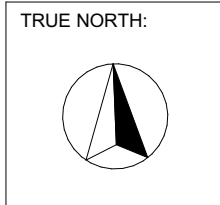
CHECKED BY:
JJ



21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS	
NEW SHADOWS	

SHADOW DIAGRAM JUNE 21ST 9AM



NOTES (E & OF)


- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings
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- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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PROPOSED NEW BUILD
34 COOK STREET, FORESTVILLE
CLIENT:
ANTONIO + AMANDA PETROLO

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 9:00 am

JOB No: 1289/24	DRAWN BY: AD	SCALE: 1:200 @ A3	 ACCREDITED BUILDING DESIGNER
	DATE: AUG/24	DRAWING No: DA.13	



ABSA

Accredited Building Surveyor

Assessors are accredited under the Accredited Building Surveyor Act 2011 (NSW) and the Building Survey Act 2002 (NSW).

Assessor Name: Terry Chapman

Assessor Number: 20920

Assessor Signature: [Signature]

BSA

Building Surveying Australia

Assessors are accredited under the Accredited Building Surveyor Act 2011 (NSW) and the Building Survey Act 2002 (NSW).

Assessor Name: Terry Chapman

Assessor Number: 20920

Assessor Signature: [Signature]

Certificate No. 0011657145

Scan QR code or follow website link for rating details.

Assessor name Terry Chapman

Accreditation No. 20920

Property Address 34 Cook Street, FORESTVILLE NSW, 2087

hstar.com.au/QR/Generate?ip=34CookRdUp

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

SHADOW DIAGRAM JUNE 21ST 12PM

TRUE NORTH:

NOTES (E & OE)

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- New materials are to be used throughout unless otherwise noted.
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JJ Drafting

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PROPOSED NEW BUILD

34 COOK STREET, FORESTVILLE

CLIENT:

ANTONIO + AMANDA PETROLO

DRAWING TITLE:

SHADOW DIAGRAM JUNE 21 12 noon

JOB No:

1289/24

DRAWN BY:

AD

DATE:

AUG/24

SCALE:

1:200 @ A3

DRAWING No:

DA.14

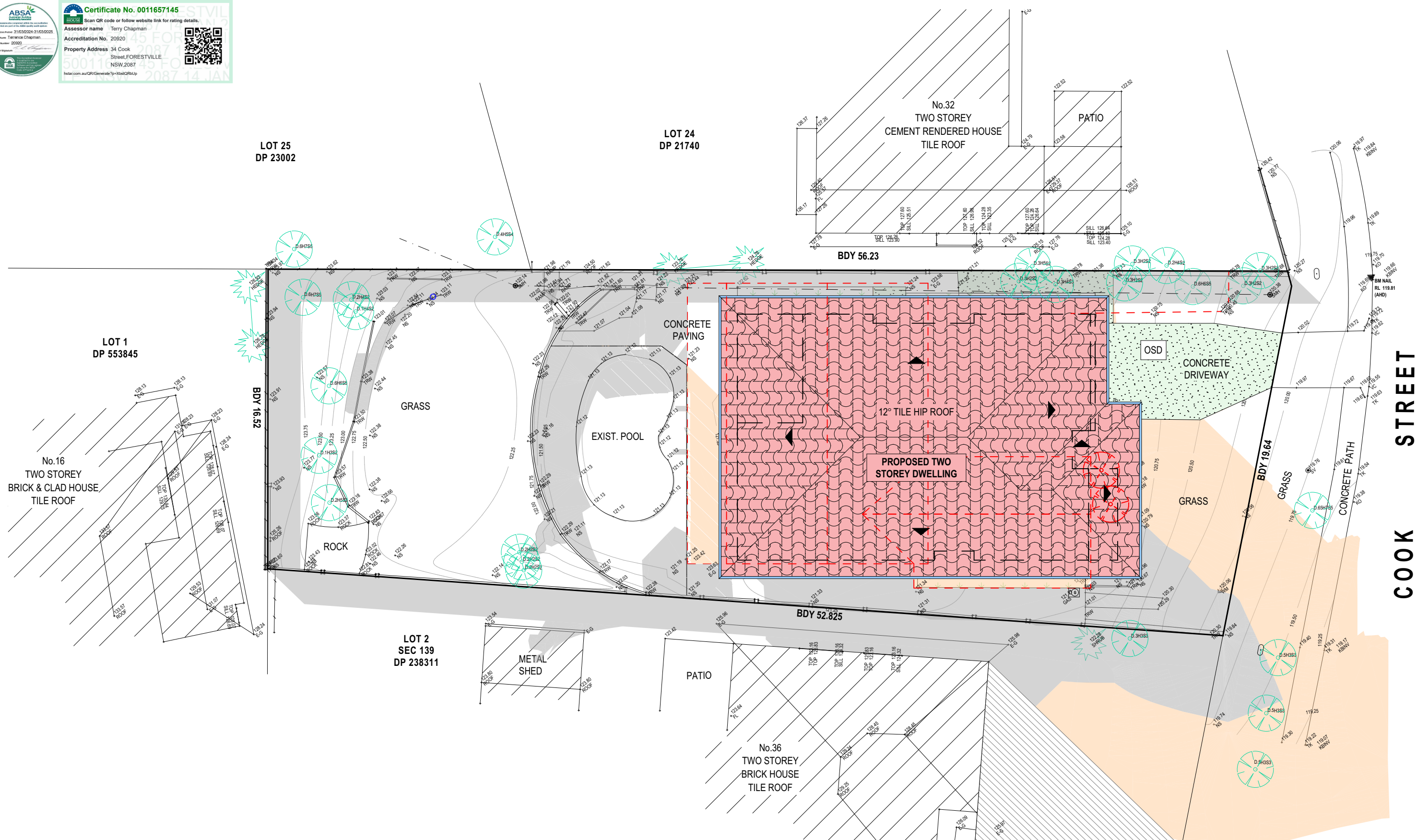
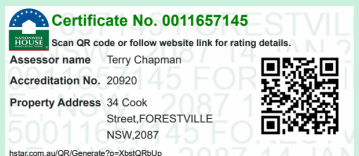
CHECKED BY:

JJ

bdca

ACCREDITED

BUILDING DESIGNER



EXISTING SHADOWS

NEW SHADOWS

SHADOW DIAGRAM JUNE 21ST 3PM



- All structures including stormwater & drainage to engineer's details.
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- **General Workmanship & Materials** shall be in accordance with the requirements of current editions including the standards of the National Construction Code, relevant Australian Standards & local council requirements.
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JJ Drafting
Australia P/L.
26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
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REV:	DATE:	DESCRIPTION:
(A)	11/9/2024	PRELIM. DESIGN - FLOOR PLANS
(B)	1/10/2024	PRELIM. REVISION
(C)	30/10/2024	PRELIM. REVISION
A	9/12/2024	DA DRAWINGS
B	8/1/2025	DA DRAWINGS (ADD NATHERS)

PROPOSED NEW BUILD
34 COOK STREET, FORESTVILLE
CLIENT:
ANTONIO + AMANDA PETROLO

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 3:00 pm

JOB No:

1289/24

DRAWN BY:
AD

SCALE:
1:200 @ A3

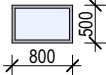
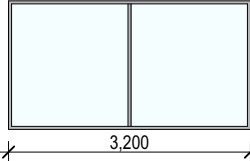
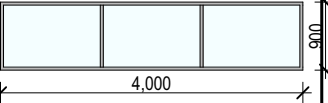
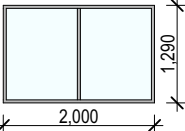
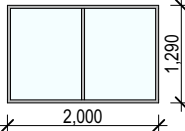
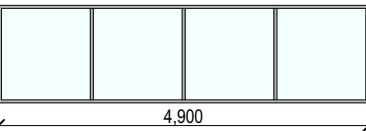
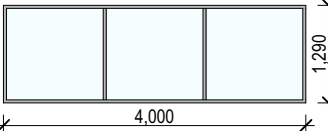
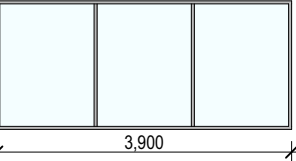
DATE:
AUG/24

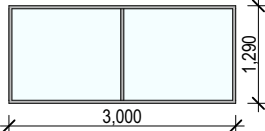
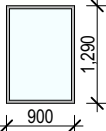
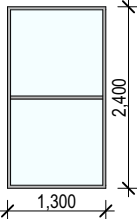
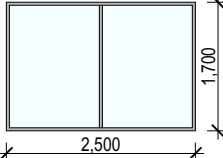
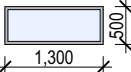
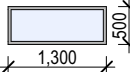
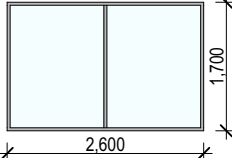
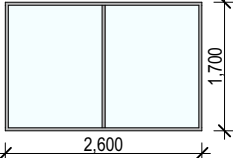
DRAWING No:

DA.15

dbda
ACCREDITED
BUILDING DESIGNER

CHECKED BY:
JJ

LABEL ID	W1	W2	W3	W4	W5	W6	W7	W8
ORIENTATION	NORTH	NORTH	NORTH	NORTH	NORTH	NORTH	NORTH	EAST
ELEVATION								
LOCATION	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	GROUND FLOOR
GLAZING	FROSTED	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR


LABEL ID	W9	W10	W11	W12	W13	W14	W15	W16
ORIENTATION	EAST	EAST	EAST	SOUTH	SOUTH	SOUTH	SOUTH	SOUTH
ELEVATION								
LOCATION	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR
GLAZING	CLEAR	CLEAR	CLEAR	CLEAR	FROSTED	FROSTED	CLEAR	CLEAR

NOTES

FRAME OPENING DIMENSIONS FOR WINDOWS & DOORS TO BE CONFIRMED ON SITE PRIOR TO ORDERING.



WINDOW SCHEDULE

<div>NOTES (E & OE)</div> <ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	<div>JJ Drafting Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541 ACN 651 693 346</div> <div>Email. enquiries@jjdrafting.com.au</div> <div>www.jjdrafting.com.au</div>	REV: DATE: DESCRIPTION:	PROPOSED NEW BUILD	JOB No: 1289/24	DRAWN BY: AD	SCALE: 1:1 @ A3	<div></div> <div>ACCREDITED BUILDING DESIGNER</div>
		(A) 11/9/2024 PRELIM. DESIGN - FLOOR PLANS	34 COOK STREET, FORESTVILLE				
		(B) 1/10/2024 PRELIM. REVISION	CLIENT:				
		(C) 30/10/2024 PRELIM. REVISION	ANTONIO + AMANDA PETROLO				
		A 9/12/2024 DA DRAWINGS					
B 8/1/2025 DA DRAWINGS (ADD NATHERS)		DRAWING TITLE: OPENING SCHEDULE			DATE: AUG/24	DRAWING No: DA.16	CHECKED BY: JJ



LABEL ID	W17	W18	W19	W20	W21	W22	W23	W24
ORIENTATION	SOUTH	SOUTH	SOUTH	SOUTH	SOUTH	SOUTH	SOUTH	WEST
ELEVATION								
LOCATION	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	GROUND FLOOR
GLAZING	CLEAR	FROSTED	FROSTED	CLEAR	FROSTED	CLEAR	CLEAR	CLEAR

LABEL ID	W25	W26	W27	W28
ORIENTATION	WEST	WEST	WEST	WEST
ELEVATION				
LOCATION	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
GLAZING	FROSTED	CLEAR	CLEAR	CLEAR

NOTES

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Certificate No. 0011657145

Scan QR code or follow website link for rating details.

Assessor name Terry Chapman

Accreditation No. 20920

Property Address 34 Cook Street, FORESTVILLE NSW 2087

Website: www.jjdrafting.com.au

WINDOW SCHEDULE

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PROPOSED NEW BUILD

34 COOK STREET, FORESTVILLE

CLIENT:

ANTONIO + AMANDA PETROLO

DRAWING TITLE:

OPENING SCHEDULE

JOB No:

1289/24

DRAWN BY:

AD

DATE:

AUG/24

SCALE:

1:1 @ A3

DRAWING No:

DA.17

CHECKED BY:

JJ

ACCREDITED BUILDING DESIGNER

LABEL ID	D1	D2	D3	D4	D5	D6
ORIENTATION	WEST	NORTH	EAST	EAST	WEST	WEST
ELEVATION						
LOCATION	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR (FRONT ENTRY)	FIRST FLOOR	GROUND FLOOR	GROUND FLOOR
TYPE	STACKER	HINGED	DOUBLE DOOR HINGED	STACKER	HINGED	HINGED
GLAZING	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR	CLEAR

DOOR SCHEDULE

NOTES

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terrar.com.au/QR/Generate?pr=34a1C8aUp



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CLIENT:
ANTONIO + AMANDA PETROLO

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JOB No:
1289/24

DRAWN BY:
AD

DATE:
AUG/24

SCALE:
1:1 @ A3

DRAWING No:
DA.18



CHECKED BY:
JJ