

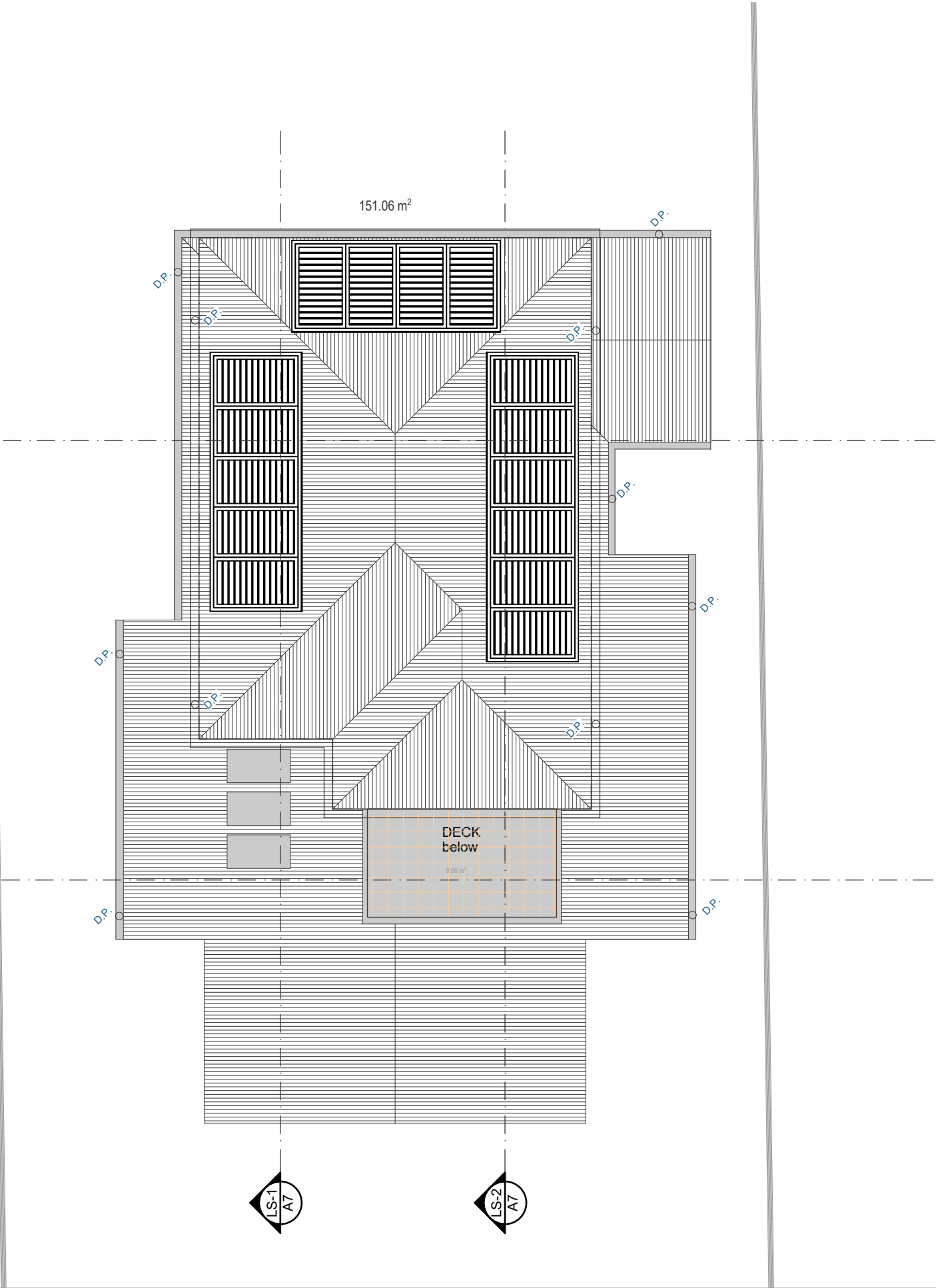
- Colorbond downpipes as per Hydraulic Engineers details.
- Colorbond Roof sheting
- Fixed to structure in Accordance with Manufacturers Specifications.
- Colorbond Gutters to all new eaves. As per Hydraulic Engineers details.
- Colorbond Metal Fascias
- Provide all Stormwater infrastructure in accordance with Council Stormwater management plan and as per the Hydraulic engineers details.
- Downpipes shown are indicative only and they are to be clear of all windows.
- Provide 5KW Solar System to Roof



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/2599



NOT FOR CONSTRUCTION

SURVEY DETAILS PROVIDED BY
C.M.S. Surveyors of Dee Why



ACCREDITATION No. 6255
ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



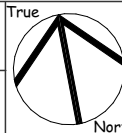
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Client
ROSIE
FOLCARELLI
& DAN
BUNTING

PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100

Drawing
Title

ROOF PLAN



Scale
1:100
Date
Monday, 22
November 2021

Job Number
21-0726
Drawn
S.G.
Drawing No.
A1

STAIRS

Provide a handrail along the full length of the flight and a slip resistant finish to the edge of the nosings to comply with 3.9.1 and 3.9.2 of NCC.

CHILD SAFETLY NOTE:

In accordance with NCC requirements for Child Safety.
All New Bedroom Windows 2m or more above finished Ground Level must be supplied with either Reinforced Mesh screens or child safe locks which prevent windows from opening more than 125mm and comply with BCA / NCC Part 3.9.2; IF sill height in less than 1.7m.

SMOKE DETECTORS:

Provide mains powered smoke & fire detection devices to comply with AS3786 & NCC clause 3.7.5

SANITARY PLUMBER:

Provide & connect all fittings indicated to drainage system through wastes & traps as required by the Authority.

WATER SERVICE:

Provide copper pipe to all new fittings and hose cocks as indicated on plan & terminate with pressure cocks all to Authoritys requirements.

HOTWATER:

Provide copper water service which is fully lagged to all new fittings.

TILE FIXING

Floor:

Provide tiles as selected to all W.C., bathrooms, Laundry & other wet areas indicated, with falls where req'd.

Wall:

Bathrooms - Provide floor to Ceiling tiles as selected to all W.C.and bathrooms. Allow for expansion.

Laundrys - Provide 150mm high tiled skirting and 450mm high

Splashbacks over laundry tubs.

Kitchens - Provide Splashbacks to Kitchen Benches.

WARDROBES:

To all Wardrobes allow for providing one 18mm edge stripped particleboard shelf 450mm wide supported on 50x25mm battens to sides and back, along with a similar batten under the front edge. Provide 20mm hanging rail with fittings and supports to underside shelf.

CEILING HEIGHTS

Habitable room (excluding Kitchen) - 2.4m min. with sloping ceiling for 2/3 of the floor area.

Kitchen, Hall, Bathrooms, Laundrys, WCs, garage, storeroom and the like - 2.1m min

Stairway, Ramp landing and the like - 2.0m min measured vertically from the nosing line.

Attic - 2.2m min. with sloping ceiling for 2/3 of the floor area

Note

Floor area does not include floor where ceiling height <1.5m

TYPICAL WET AREA NOTES:

Compressed fibre cement sheet flooring fixed to joist in accordance with manufacturers Instructions.

Wet areas shall be adequately flashed and Sealed to ensure no water penetration to adjoining construction.

Shower recess shall be waterproofed with an appropriate flexible epoxy coating covering the whole of the shower floor area.

All wall junctions in the shower area shall be flashed to a height of a least 1800mm.

Lay mortar bed for Floor tiles with min. 1:40 Fall.

Taps; must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

Toilets; must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

Showerheads; must have a flow rate no greater than 9 litres per minute or a 3 star water rating.

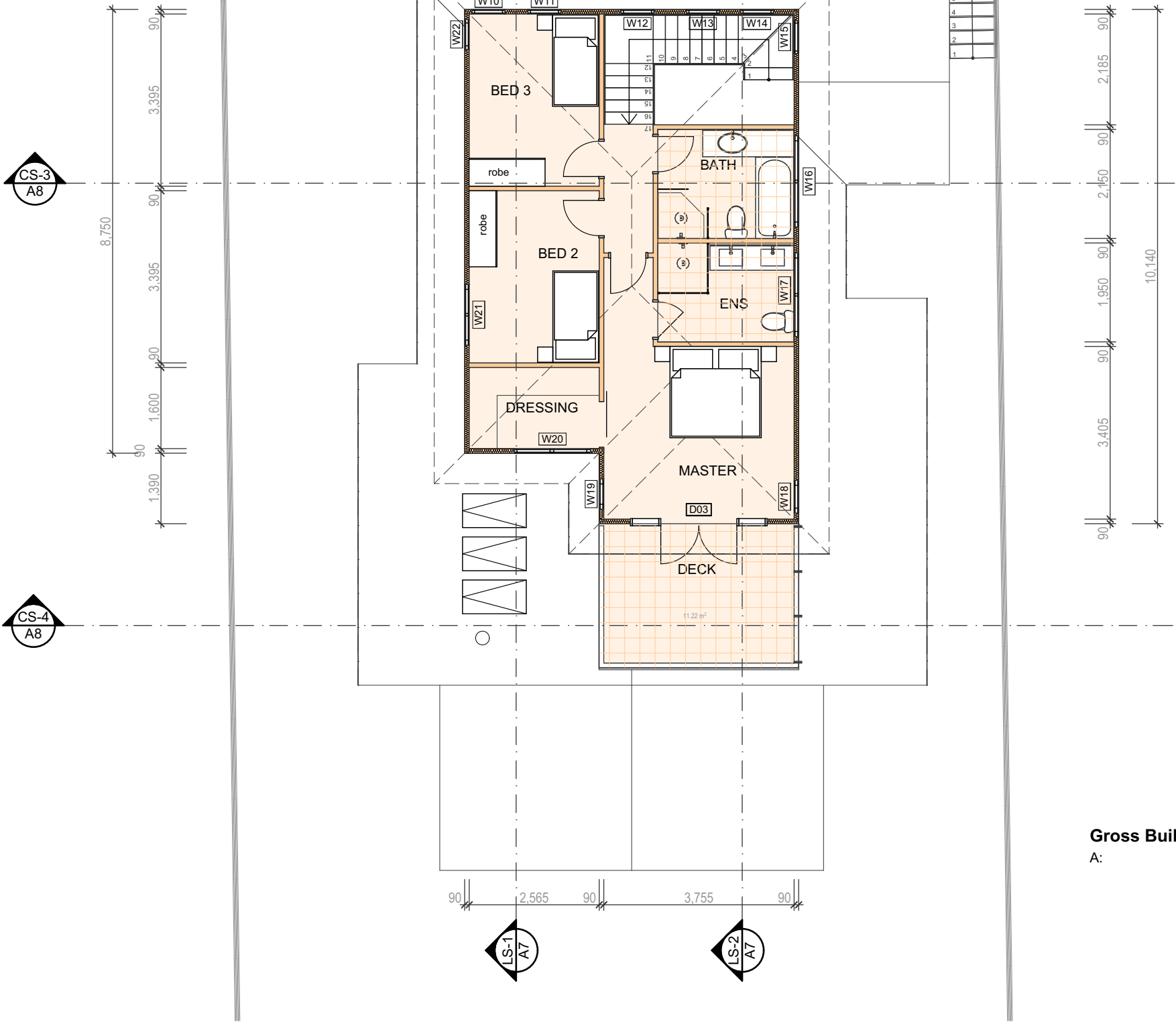
Install aerators on bathroom hand basins & kitchen sinks.



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CONSENT**

DA2021/2599



Gross Building Area

A: 74.36 m²

NOT FOR CONSTRUCTION

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ABN 17 751 732 195

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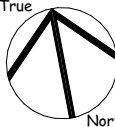
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Client **ROSIE
FOLCARELLI
& DAN
BUNTING**

PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100

Drawing
Title

LEVEL 4 PLAN



Scale **1:100**

Date

Monday, 22
November 2021

Job Number **21-0726**

Drawn

S.G.

Drawing No.

A2

STAIRS
Provide a handrail along the full length of the flight and a slip resistant finish to the edge of the nosings to comply with 3.9.1 and 3.9.2 of NCC.

SMOKE DETECTORS:
Provide mains powered smoke & fire detection devices to comply with AS3786 & NCC clause 3.7.5

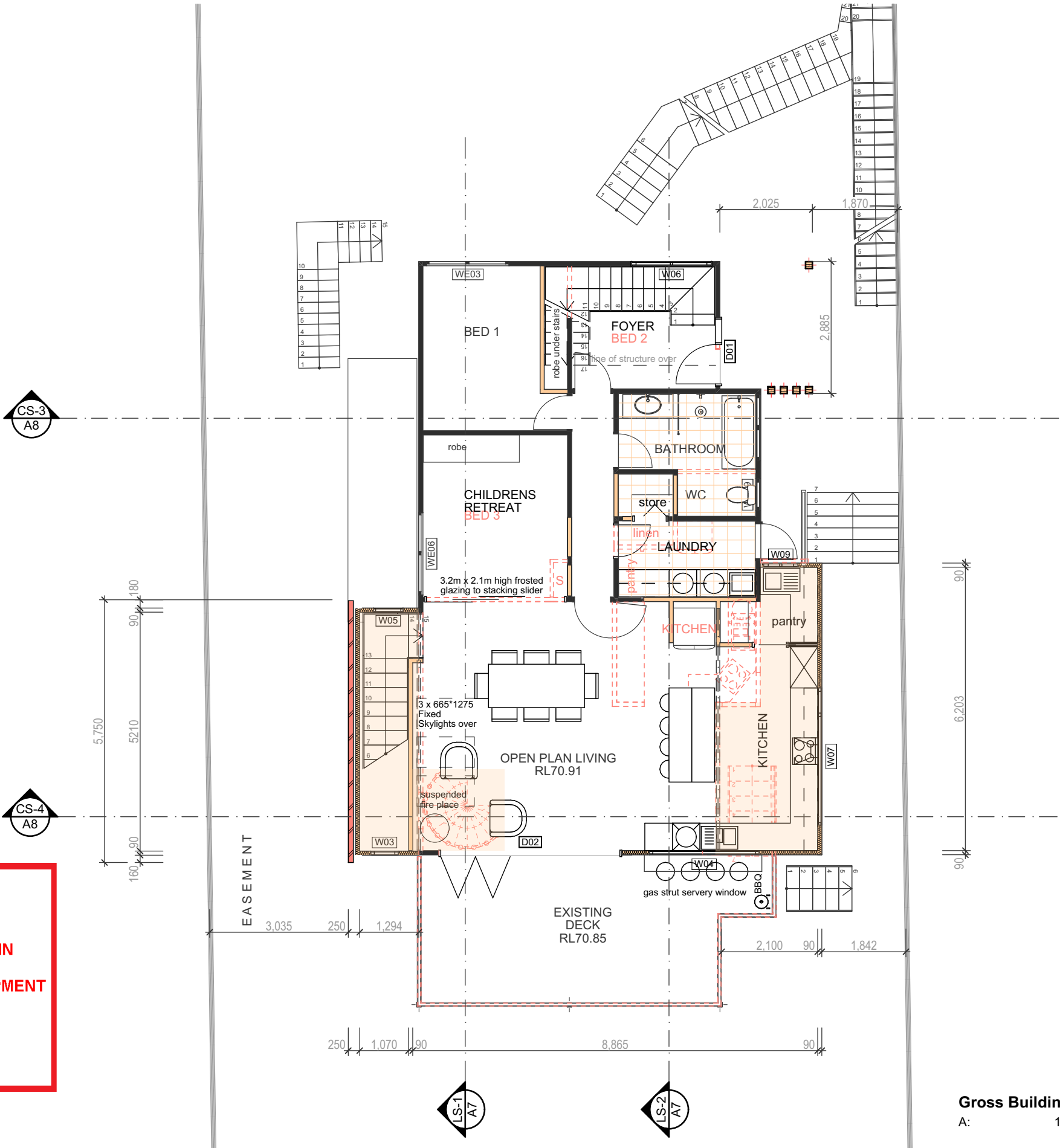
SANITARY PLUMBER:
Provide & connect all fittings indicated to drainage system through wastes & traps as required by the Authority.
WATER SERVICE:
Provide copper pipe to all new fittings and hose cocks as indicated on plan & terminate with pressure cocks all to Authoritys requirements.
HOTWATER:
Provide copper water service which is fully lagged to all new fittings.

TILE FIXING
Floor:
Provide tiles as selected to all W.C., bathrooms, Laundry & other wet areas indicated, with falls where req'd.
Wall:
Bathrooms - Provide floor to Ceiling tiles as selected to all W.C.and bathrooms. Allow for expansion.
Laundrys - Provide 150mm high tiled skirting and 450mm high Splashbacks over laundry tubs.
Kitchens - Provide Splashbacks to Kitchen Benches.

WARDROBES:
To all Wardrobes allow for providing one 18mm edge stripped particleboard shelf 450mm wide supported on 50x25mm battens to sides and back, along with a similar batten under the front edge. Provide 20mm hanging rail with fittings and supports to underside shelf.

CEILING HEIGHTS
Habitable room (excluding Kitchen) - 2.4m min. with sloping ceiling for 2/3 of the floor area.
Kitchen, Hall, Bathrooms, Laundrys, WCs, garage, storeroom and the like - 2.1m min
Stairway, Ramp landing and the like - 2.0m min measured vertically from the nosing line.
Attic - 2.2m min. with sloping ceiling for 2/3 of the floor area

Note
Floor area does not include floor where ceiling height <1.5m



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/2599



Gross Building Area
A: 111.16 m²

NOT FOR CONSTRUCTION

SURVEY DETAILS PROVIDED BY
C.M.S. Surveyors of Dee Why



ACCREDITATION No. 6255
ABN 17 751 732 195

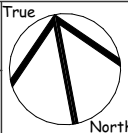
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PLANS DRAWN FOR APPROVAL



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Client **ROSIE FOLCARELLI & DAN BUNTING**

PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100
Drawing Title **LEVEL 3 PLAN**



Scale **1:100**
Date **Monday, 22 November 2021**

Job Number **21-0726**
Drawn **S.G.**
Drawing No. **A3**

STAIRS
Provide a handrail along the full length of the flight and a slip resistant finish to the edge of the nosings to comply with 3.9.1 and 3.9.2 of NCC.

SMOKE DETECTORS:
Provide mains powered smoke & fire detection devices to comply with AS3786 & NCC clause 3.7.5

CEILING HEIGHTS
Habitable room (excluding Kitchen) - 2.4m min. with sloping ceiling for 2/3 of the floor area.
Kitchen, Hall, Bathrooms, Laundrys, WCs, garage, storeroom and the like - 2.1m min
Stairway, Ramp landing and the like - 2.0m min measured vertically from the nosing line.
Attic - 2.2m min. with sloping ceiling for 2/3 of the floor area

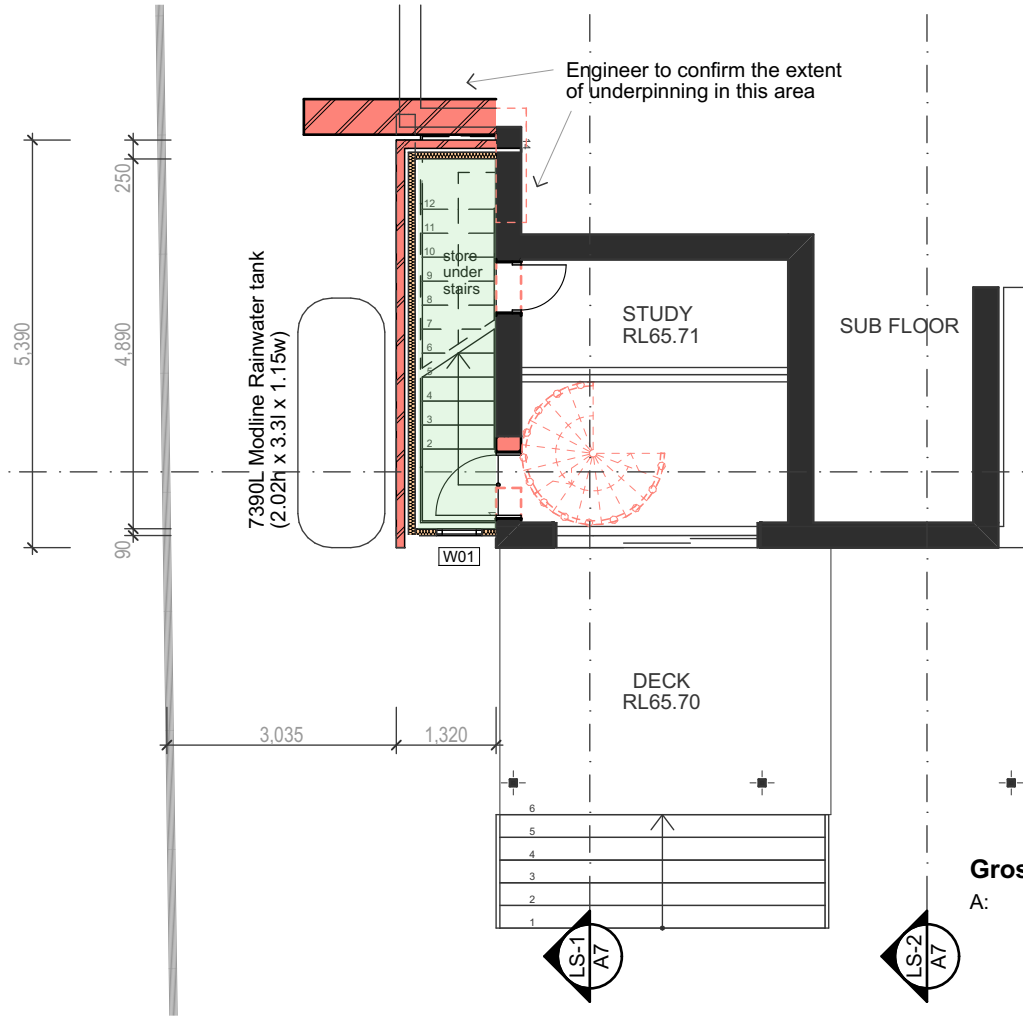
Note
Floor area does not include floor where ceiling height <1.5m



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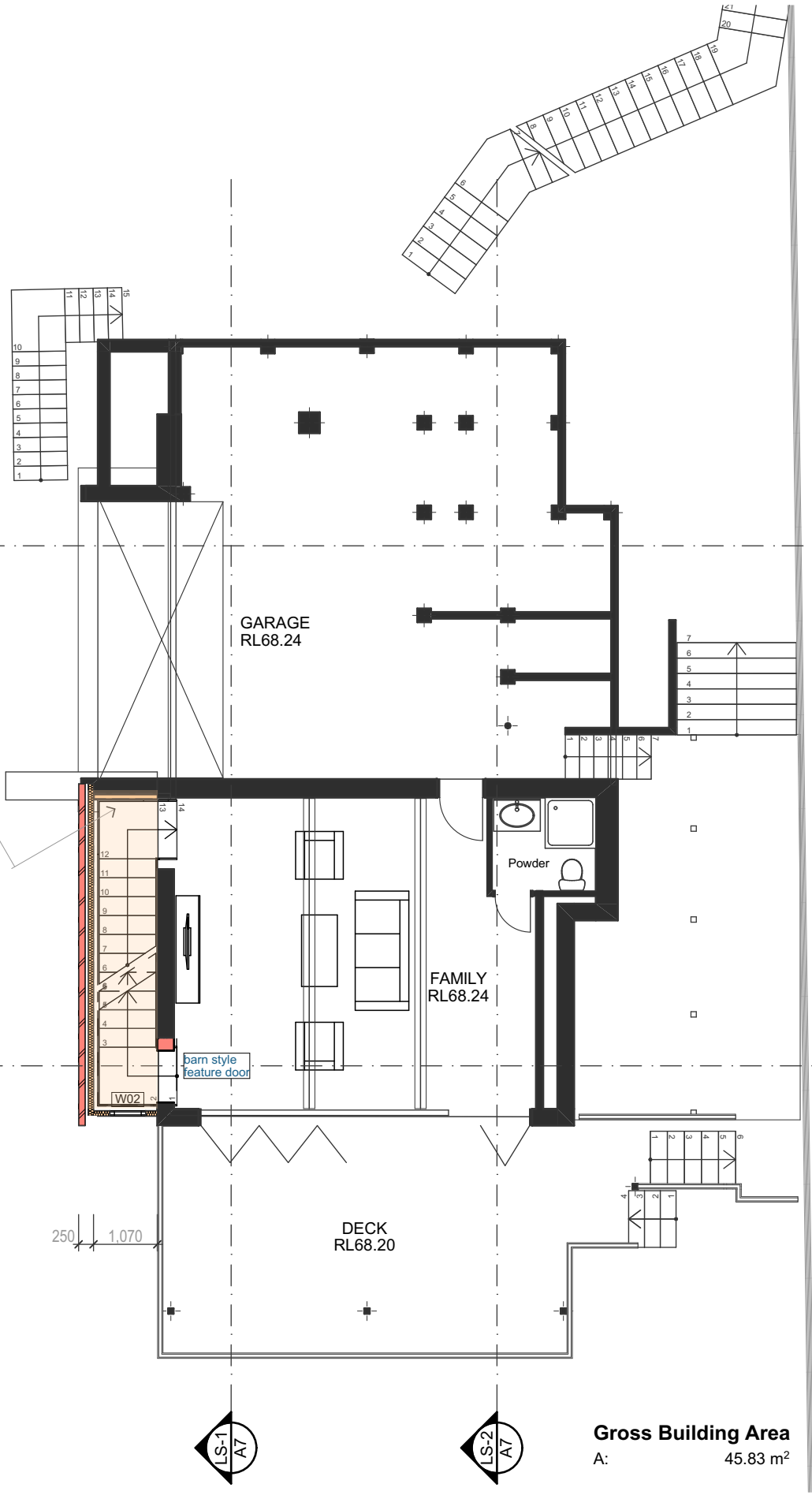
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/2599



Gross Floor Area
A: 21.01 m²

Create 'dry' wall to stair well.
Batten off existing brick fin wall.



Gross Building Area
A: 45.83 m²

NOT FOR CONSTRUCTION

SURVEY DETAILS PROVIDED BY
C.M.S. Surveyors of Dee Why



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Client **ROSIE FOLCARELLI & DAN BUNTING**

PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100

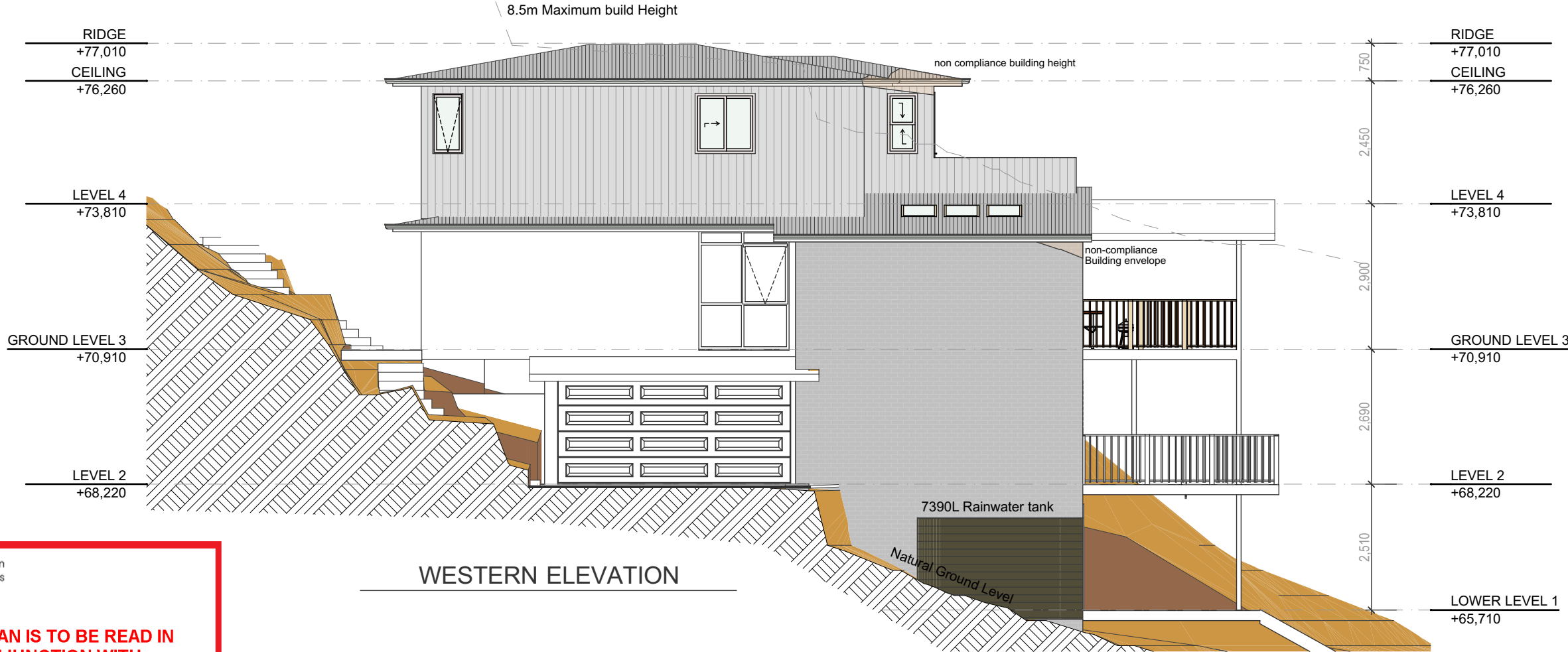
Drawing Title

LEVEL 1 + LEVEL 2 PLANS



Scale **1:100**
Date **Monday, 22 November 2021**

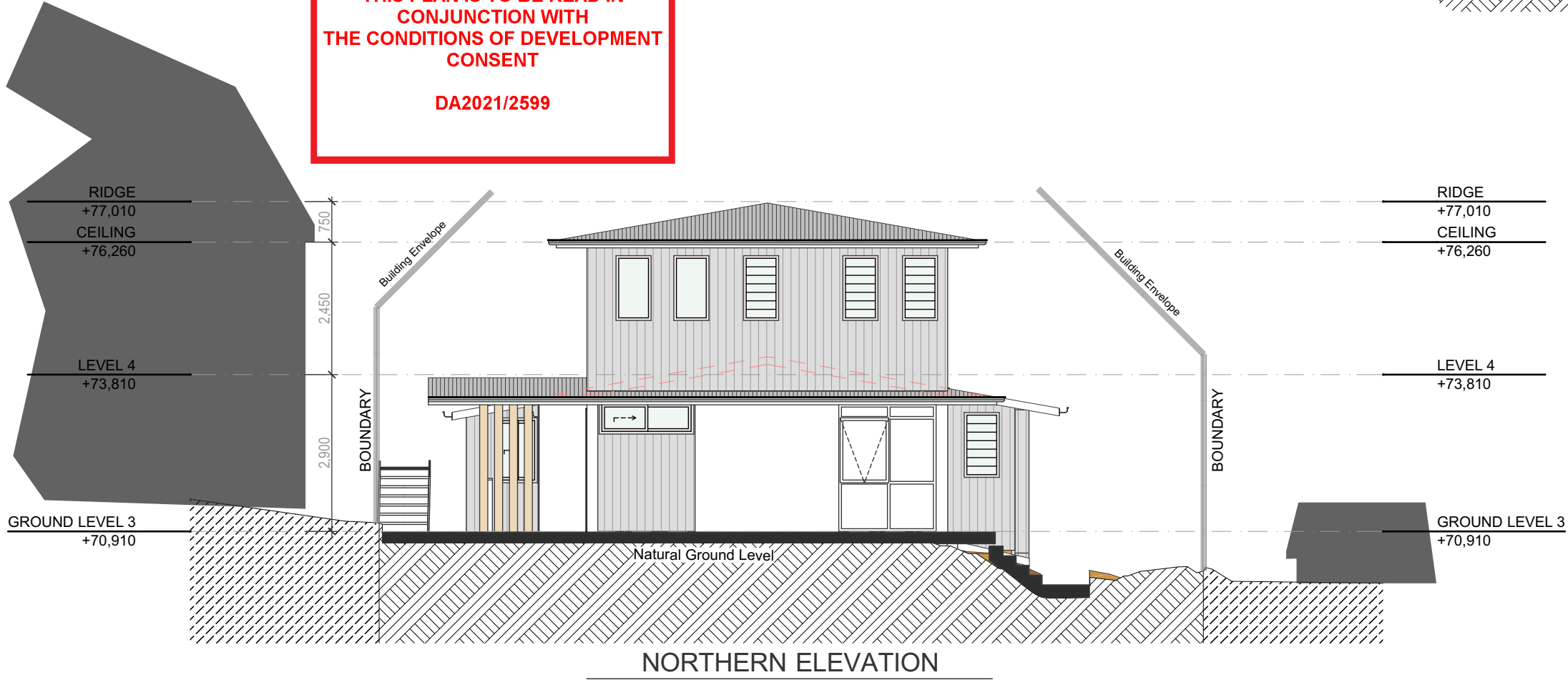
Job Number **21-0726**
Drawn **S.G.**
Drawing No. **A4**



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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/2599



GENERAL WINDOW AND DOOR NOTE:
All windows to be Powder Coated Aluminium with fly screens.
Front door to be Solid Core Timber Feature door.
All other external doors to be Powder Coated Aluminium.

EXTERNAL CLADDINGS:
A combination of Axon 133 smooth cladding and rendered Masonry
All claddings to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the BCA particularly with respect to the referenced Acceptable Construction Practice as detailed in the BCA for product materials and installations.

ROOFING:
Lysaght colorbond 'Custom Orb' roof Sheeting
All roofing to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the BCA particularly with respect to the referenced Acceptable Construction Practice as detailed in the BCA for product materials and installations.

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SURVEY DETAILS PROVIDED BY
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Client ROSIE FOLCARELLI & DAN BUNTING

PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100

Drawing Title

ELEVATION SHEET 1

Scale 1:100

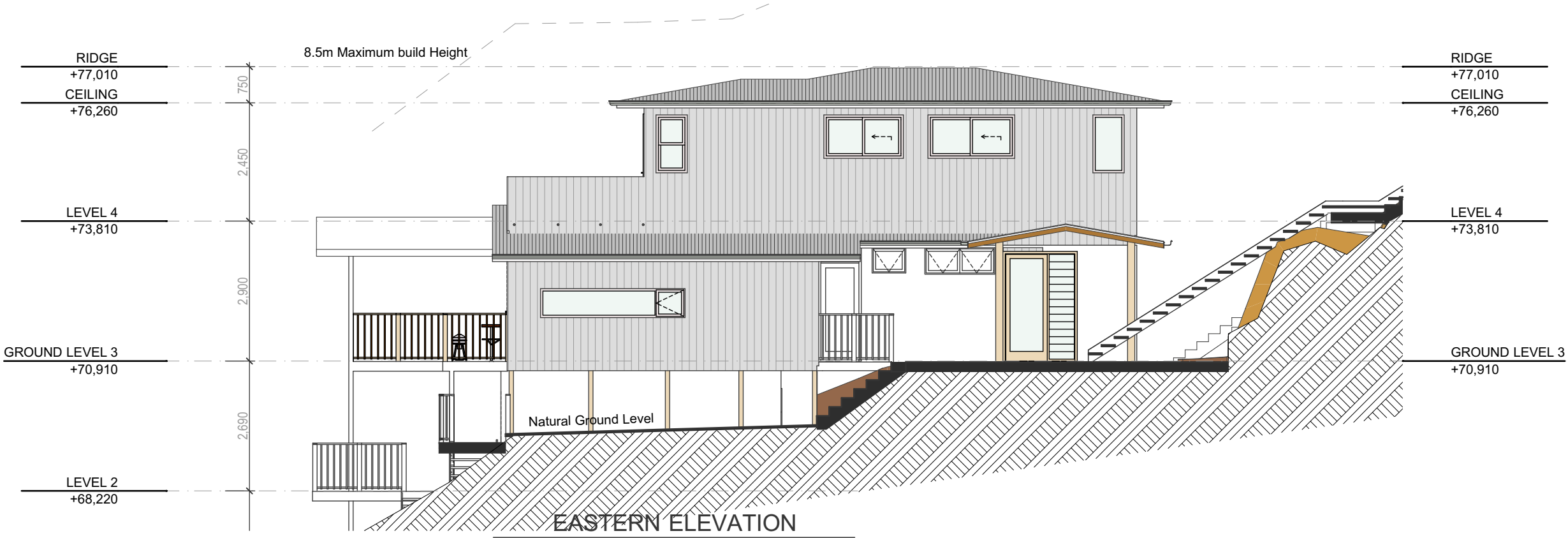
Date

Monday, 22 November 2021

Job Number 21-0726

Drawn Drawing No.

S.G. A5





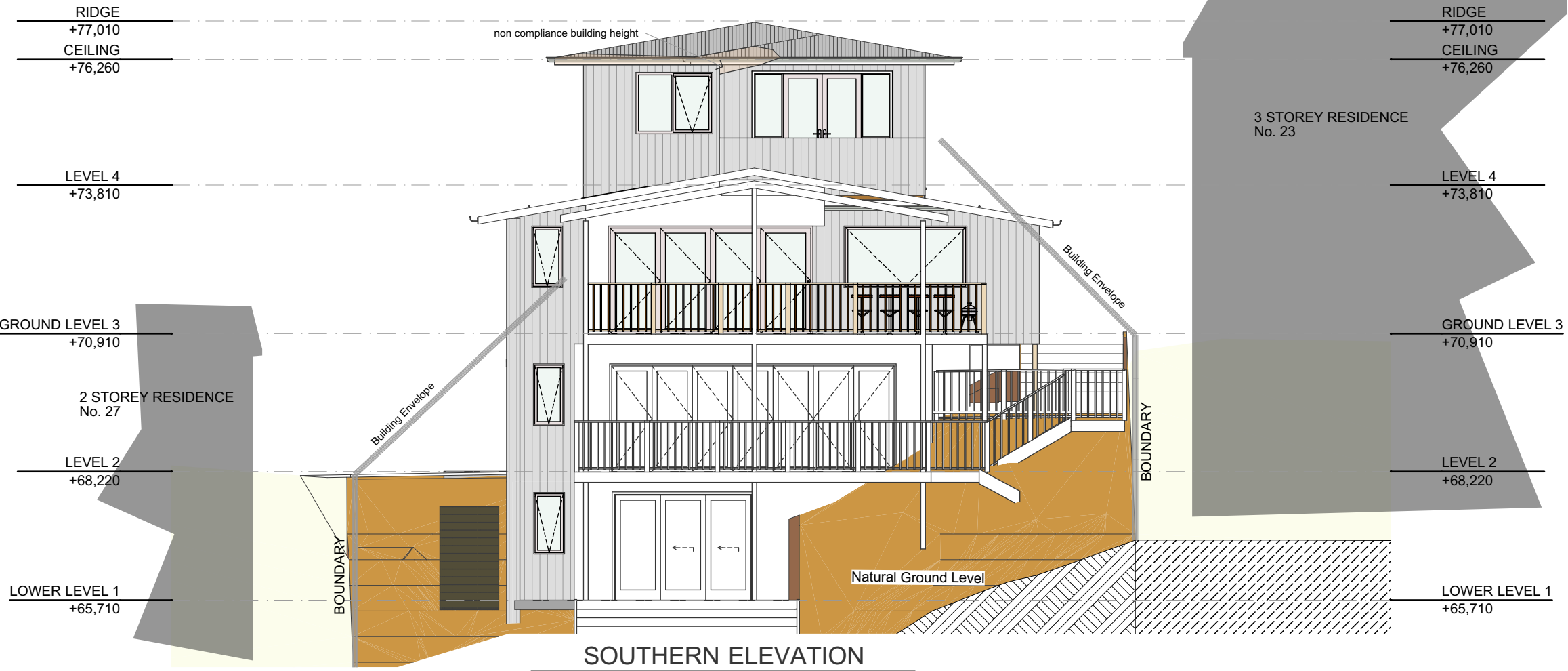
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DA2021/2599

GENERAL WINDOW AND DOOR NOTE:
All windows to be Powder Coated Aluminium with fly screens.
Front door to be Solid Core Timber Feature door.
All other external doors to be Powder Coated Aluminium.

EXTERNAL CLADDINGS:
A combination of Axon 133 smooth cladding and rendered Masonry
All claddings to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the BCA particularly with respect to the referenced Acceptable Construction Practice as detailed in the BCA for product materials and installations.

ROOFING:
Lysaght colorbond 'Custom Orb roof Sheeting
All roofing to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the BCA particularly with respect to the referenced Acceptable Construction Practice as detailed in the BCA for product materials and installations.



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Client **ROSIE FOLCARELLI & DAN BUNTING**

PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100

Drawing Title

ELEVATION SHEET 2

Scale	1:100	Job Number	21-0726
Date	Monday, 22 November 2021	Drawn	S.G.
		Drawing No.	A6

STRUCTURAL WORK

All structural work is to be in accordance with the structural details prepared by a suitably qualified Structural Engineer. Including but not limited to All piers, All footings, All concrete slabs, Retaining walls, Steelwork, Form work, underpinning, Additional structural loads, Timber framing, Wind bracing and associated connections.

BRICKWORK

All brickwork is to be selected by owners

Brickwork is to comply with AS1640, to the heights shown on the drawings.

All masonry is to comply with AS 3700.

All exposed brickwork must be cleaned down on completion.

METALWORK

Provide all metalwork and flashings necessary to satisfactorily complete the works.

TIMBER

All timber construction to be in accordance with AS 1684 - "Timber Framing Code".

External walls to be wrapped in a breathable membrane. Timber cladding is to be battened out 35mm from timber frame to provide an 'air' gap to prevent condensation.

WALL + CEILING LINING

All wall and ceiling linings to be gypsumboard or cement render as selected and villaboard or equal in wet areas.

Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications.

All bathrooms and wet areas are to be adequately waterproofed with a flexible membrane to manufacturer's specification and AS3740 and Part 3.8.1 of the Building Code of Australia Housing Provisions.

EAVES LINING

All eaves and soffits to be Cemintel eaves lining sheets.

Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications.

ARCHITRAVES + SKIRTING

All architraves and skirting's to be to owner's selection or provide standard colonial moldings or to match existing.

Paint or stain finish as selected.

PLUMBING + DRAINAGE

Plumbing

All plumbing and drainage works to be installed and completed by a licensed trades person.

Provide & connect all new & relocated fittings to drainage system through wastes & traps as required by the Authority and in accordance with the statutory body having authority over the works.

All sanitary drainage must be concealed in service ducts or otherwise hidden from external view to the satisfaction of the Responsible Authority

Connect all waste to Sydney Water sewer line.

Connect all storm water to existing system or street drainage system in accordance with

AS3500 and part 3.1.3 Drainage, of the Building Code of Australia - Housing Provisions.

Water Service

Extend from existing service with copper pipe to allow new & relocated fittings & hose cocks as indicated on plan & terminate with pressure cocks all to Authorities & requirements.

Hot Water

Provide copper water service which is fully lagged to all new & existing fittings as required.

SMOKE DETECTORS

Smoke detector alarms to be installed in accordance with AS3786 and the Building Code of Australia.

TERMITE PROTECTION

Termite protection measures to comply with AS3660 and be installed to manufacturer's specification.

STAIRS + BALUSTRADES

Stairs and Balustrades to comply with part 3.9.1 & 3.9.2 of the Building Code of Australia Housing Provisions. Provide Timber frame stairs with a continuous handrail to each flight and a slip resistant finish

ELECTRICAL WORKS

Electrical works to be in accordance with SAA wiring rules and be done by a licensed tradesman.

PAINTING

All paint colours to be selected by owners

All paints or other coatings shall be of the best quality materials + of approved manufacture.

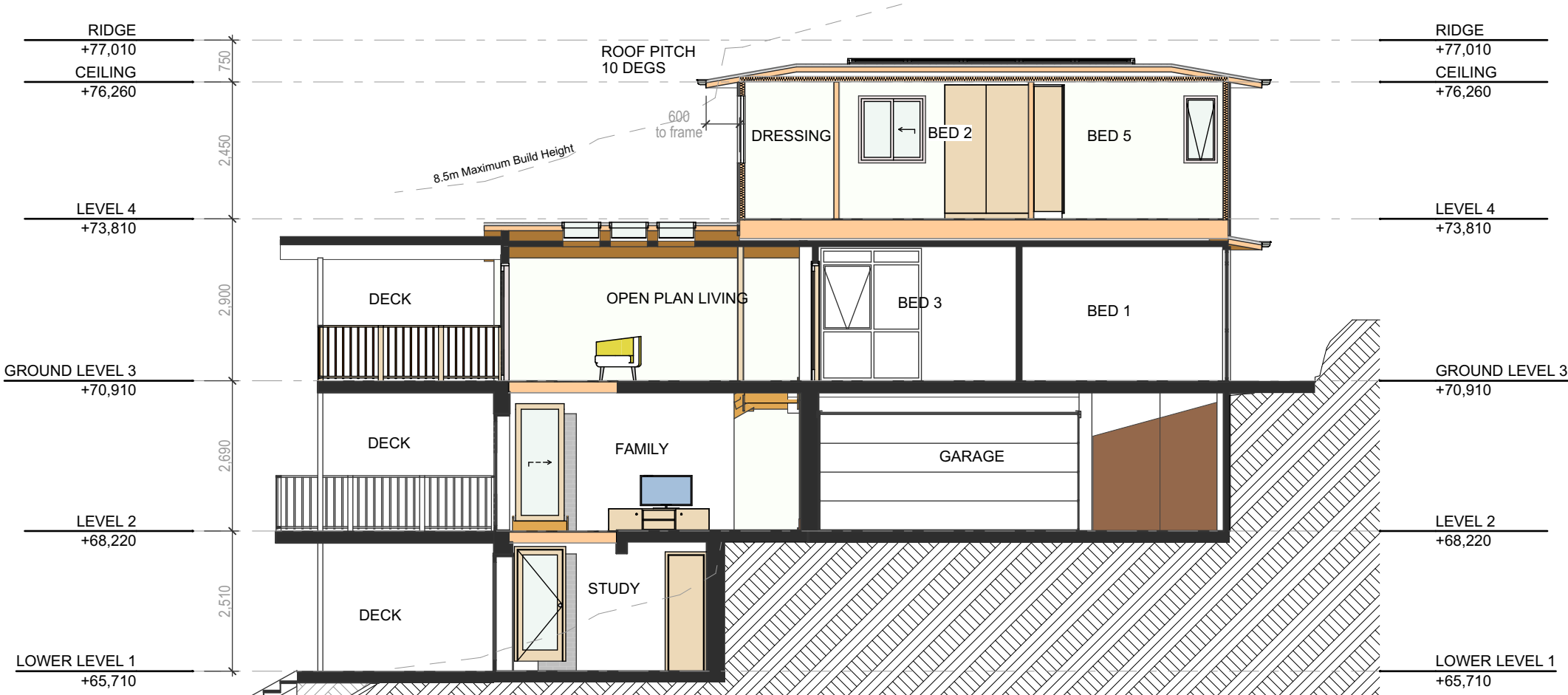
External grade paints to be used to all external surfaces.

All priming materials shall be of an approved brand and compatible to the finishing coats that they are applied to.

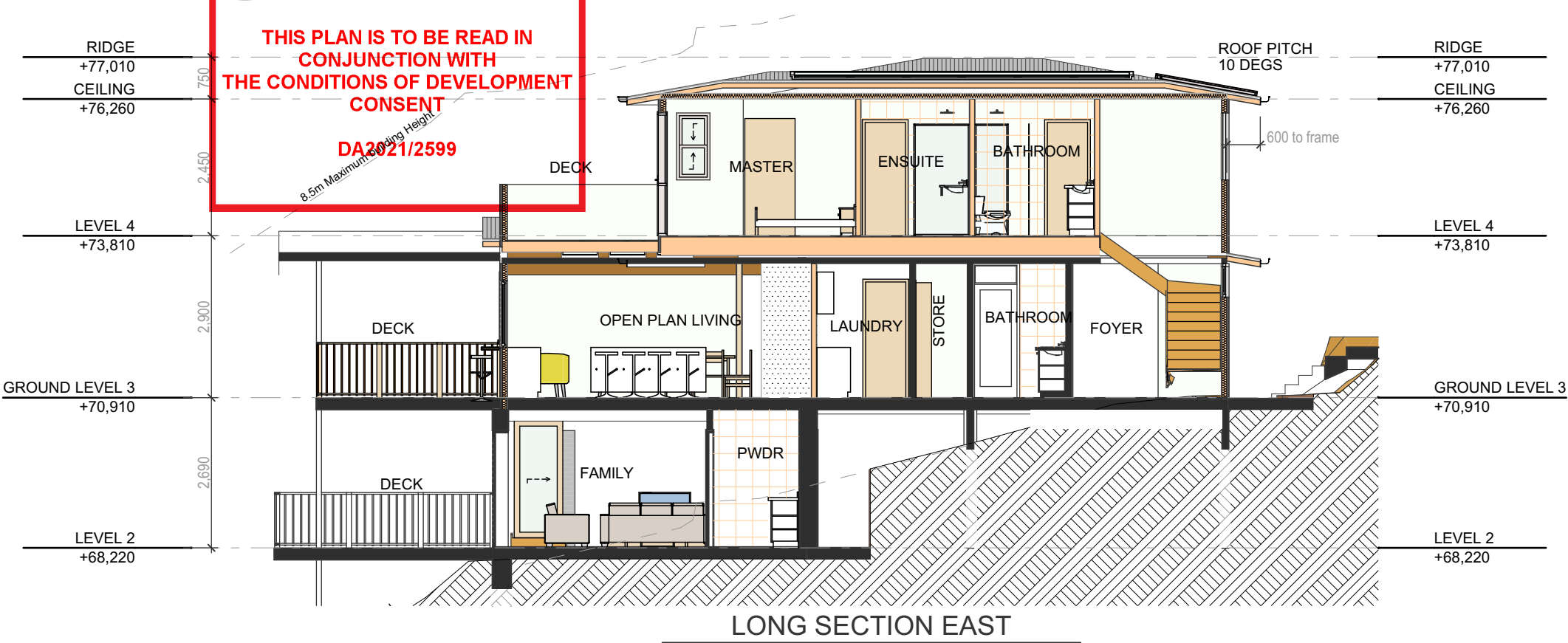
External joinery intended to be painted, shall be primed on all faces at the place of assembly.

Where new or altered works adjoin existing painted surfaces, allow for the repainting of existing surfaces to provide a uniform appearance.

Only ZERO-VOC or LOW-VOC paints and primers are to be used.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2021/2599



NOT FOR CONSTRUCTION

SURVEY DETAILS PROVIDED BY
C.M.S. Surveyors of Dee Why



ACCREDITATION No. 6255
ABN 17 751 732 195

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PLANS DRAWN FOR APPROVAL



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Client
ROSIE FOLCARELLI & DAN BUNTING

**PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100**

Drawing Title

CROSS SECTIONS SHEET 1

Scale
1:100

Date

Monday, 22
November 2021

Job Number
21-0726

Drawn
Drawing No.

S.G.
A7

STRUCTURAL WORK

All structural work is to be in accordance with the structural details prepared by a suitably qualified Structural Engineer. Including but not limited to All piers, All footings, All concrete slabs, Retaining walls, Steelwork, Form work, underpinning, Additional structural loads, Timber framing, Wind bracing and associated connections.

BRICKWORK

All brickwork is to be selected by owners

Brickwork is to comply with AS1640, to the heights shown on the drawings.

All masonry is to comply with AS 3700.

All exposed brickwork must be cleaned down on completion.

METALWORK

Provide all metalwork and flashings necessary to satisfactorily complete the works.

TIMBER

All timber construction to be in accordance with AS 1684 - "Timber Framing Code".

External walls to be wrapped in a breathable membrane. Timber cladding is to be battened out 35mm from timber frame to provide an 'air' gap to prevent condensation.

WALL + CEILING LINING

All wall and ceiling linings to be gypsumboard or cement render as selected and villaboard or equal in wet areas.

Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications.

All bathrooms and wet areas are to be adequately waterproofed with a flexible membrane to manufacturer's specification and AS3740 and Part 3.8.1 of the Building Code of Australia Housing Provisions.

EAVES LINING

All eaves and soffits to be Cemintel eaves lining sheets.

Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications.

ARCHITRAVES + SKIRTING

All architraves and skirting's to be to owner's selection or provide standard colonial moldings or to match existing.

Paint or stain finish as selected.

PLUMBING + DRAINAGE

Plumbing

All plumbing and drainage works to be installed and completed by a licensed trades person.

Provide & connect all new & relocated fittings to drainage system through wastes & traps as required by the Authority and in accordance with the statutory body having authority over the works.

All sanitary drainage must be concealed in service ducts or otherwise hidden from external view to the satisfaction of the Responsible Authority

Connect all waste to Sydney Water sewer line.

Connect all storm water to existing system or street drainage system in accordance with

AS3500 and part 3.1.3 Drainage, of the Building Code of Australia - Housing Provisions.

Water Service

Extend from existing service with copper pipe to allow new & relocated fittings & hose cocks as indicated on plan & terminate with pressure cocks all to Authorities & requirements.

Hot Water

Provide copper water service which is fully lagged to all new & existing fittings as required.

SMOKE DETECTORS

Smoke detector alarms to be installed in accordance with AS3786 and the Building Code of Australia.

TERMITE PROTECTION

Termite protection measures to comply with AS3660 and be installed to manufacturer's specification.

STAIRS + BALUSTRADES

Stairs and Balustrades to comply with part 3.9.1 & 3.9.2 of the Building Code of Australia Housing Provisions. Provide Timber frame stairs with a continuous handrail to each flight and a slip resistant finish

ELECTRICAL WORKS

Electrical works to be in accordance with SAA wiring rules and be done by a licensed tradesman.

PAINTING

All paint colours to be selected by owners

All paints or other coatings shall be of the best quality materials + of approved manufacture.

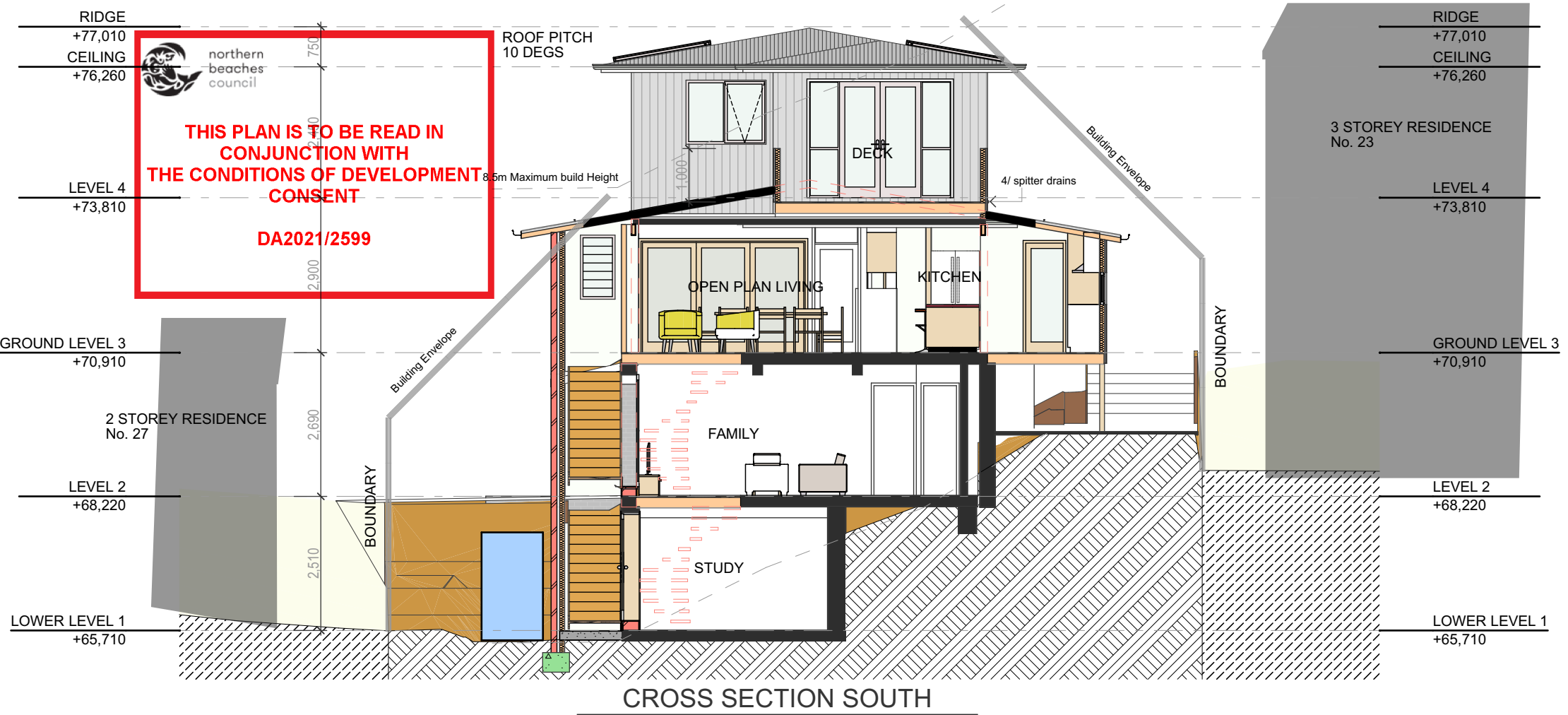
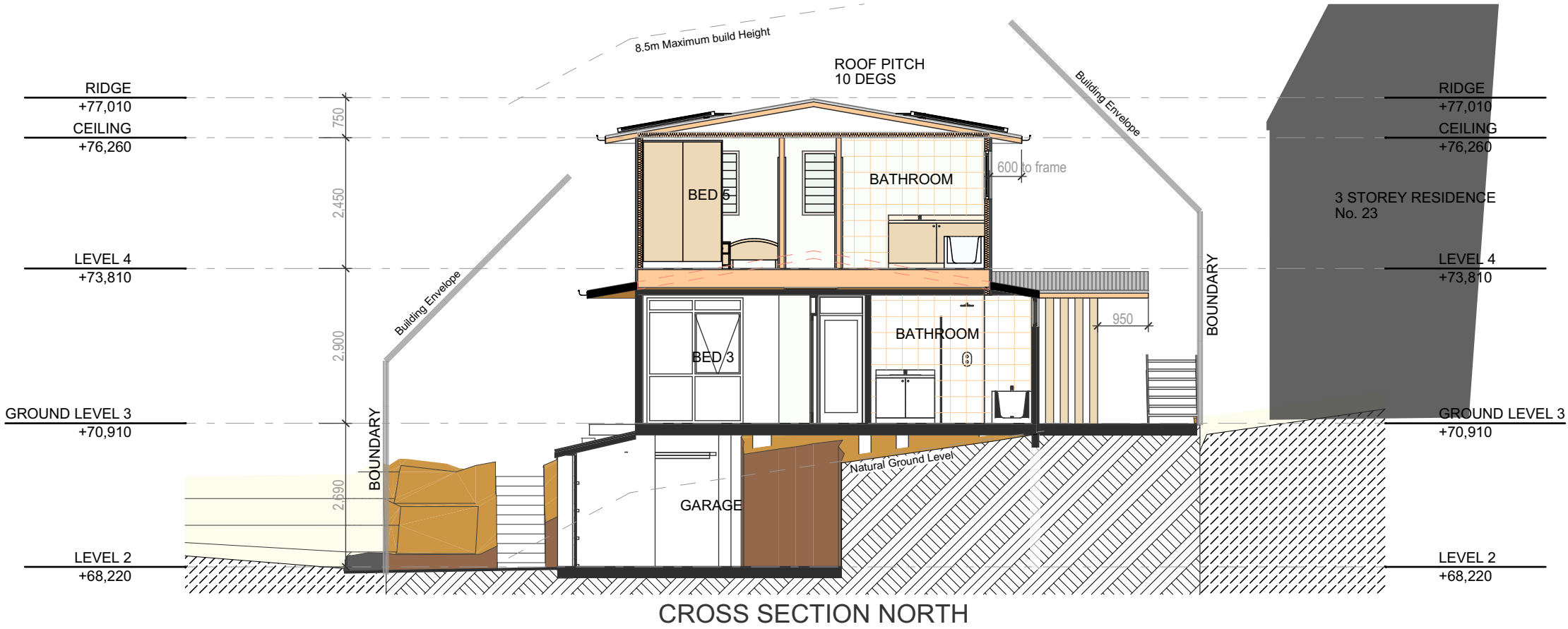
External grade paints to be used to all external surfaces.

All priming materials shall be of an approved brand and compatible to the finishing coats that they are applied to.

External joinery intended to be painted, shall be primed on all faces at the place of assembly.

Where new or altered works adjoin existing painted surfaces, allow for the repainting of existing surfaces to provide a uniform appearance.

Only ZERO-VOC or LOW-VOC paints and primers are to be used.



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Client ROSIE FOLCARELLI & DAN BUNTING

PROPOSED ALTERATIONS and ADDITIONS 25 BEACON AVENUE BEACON HILL NSW 2100

Drawing Title

CROSS SECTIONS SHEET 2

Scale 1:100

Date

Monday, 22 November 2021

Job Number

21-0726

Drawn

S.G.

Drawing No.

A8