



VARIATIONS

PREMIUM INCLUSIONS

STRUCTURE

- PROVIDE 2,740mm HIGH CEILINGS TO GROUND AND FIRST FLOOR

KITCHEN

- PROVIDE 40mm ENGINEERED STONE BENCHTOPS TO KITCHEN WITH WATERFALL END
- PROVIDE DISHWASHER AND MICROWAVE

BATH/ENSUITE

- PROVIDE STONE BENCHTOPS VANITIES
- PROVIDE MIRROR WITH BUILT IN LIGHTS TO SUIT VANITIES
- PROVIDE FULL HEIGHT WALL TILES TO BATHROOM AND ENSUITE
- PROVIDE SMART WASTE WITH TILE INSET

LAUNDRY

- PROVIDE 20mm ENGINEERED STONE BENCHTOP WITH BUILT-IN SINGLE BOWL SINK AND CONCEALED WASHING MACHINE
- PROVIDE CUPBOARDS ABOVE BENCHTOP WITH LAMINATED DOORS

FLOORING

- PROVIDE 600x600mm FLOOR TILES TO GROUND FLOOR AREAS (ENTRY, FAMILY, DINING, KITCHEN, WALK-IN-PANTRY)

DOORS & WINDOWS

- PROVIDE 1020x2,340mm ENTRY DOOR
- PROVIDE 2,340mm HIGH LAUNDRY DOOR (SLIDING/HUNG) (IF APPLICABLE)
- PROVIDE 2,340mm HIGH INTERNAL DOORS
- PROVIDE 2,340mm HIGH ROBE DOORS

ELECTRICAL

- PROVIDE UP TO 20 LED DOWNLIGHTS TO LIVING AREAS (REFER TO ELECTRICAL PLAN)
- PROVIDE 1x LINEAR PENDANT LIGHT TO KITCHEN
- PROVIDE 1x DOUBLE POWER POINT TO KITCHEN ISLAND BENCH
- PROVIDE 1x ADDITIONAL DOUBLE POWER POINT TO BEDROOMS (EXCLUDING BED 1)

UPGRADES/VARIATIONS

- PROVIDE CUSTOM 'SEE-THROUGH' STAIRS

BASIX REQUIREMENT

- AWNING WINDOWS TO FIRST FLOOR IN LIEU OF SLIDING WINDOWS

PROPOSED DOUBLE STOREY HEBEL DWELLING

GENERAL NOTES

- ALL WORKS TO COMPLY WITH NCC OF AUSTRALIA & ALL OTHER RELEVANT LAWS AND AUTHORITIES.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL AND CIVIL ENGINEERING.
- ALL TIMBER DIMENSIONS ARE TIMBER FRAMED SIZES ONLY UNLESS NOTATED OTHER WISE.
- BOUNDARY CLEARANCES MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF BUILDING WORK.
- BUILDING WORK TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.
- IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, MACASA HOMES IS TO BE NOFITED IMMEDIATLY.

AMENDMENTS

DATE	AMENDMENTS	REV.
04/11/22	FIRST DRAFT	A
21/11/22	FINAL DRAFT	B
25/11/22	ALIGN TO REAR SETBACK + SHADOWS	C
20/12/22	ARCHITECTURAL PLAN	D

DRAWING LIST

DRAWING NAME	PAGE
COVER PAGE	1
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SITE WORKS PLAN	3
SITE ANALYSIS	4
SHADOWS - JUNE 21 9-10	5
SHADOWS - JUNE 21 11-12	6
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SECTION	11
WINDOW & DOOR SCHEDULE	12
COLOUR SELECTION	13
ELECTRICAL	14
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NatHERS - THERMAL COMFORT SUMMARY


Address: Lot 8, 8 Raven Circuit Warriewood		
Building Elements	Material	Detail
External walls	Hebel	R2.5 bulk insulation <i>(excluding garage)</i> <i>Colours as per colour schedule</i>
	Light Weight Cladding	
Internal walls	Plasterboard on studs	R2.5 bulk insulation to walls adjacent to garage
Ceiling	Plasterboard	R4.0 bulk insulation to ceilings with roof above <i>(excluding garage & porch)</i>
Floors	Concrete – ground floor	Waffle Pod (dwelling 225mm; garage 175mm)
	Timber – first floor	R4.0 bulk insulation to floor between garage and first floor
Roof	Metal Roof – Light Colour Solar Absorptance < 0.475	Builders Blanket – Foil + R1.3 to underside of metal roof
Doors/Windows	<i>Sliding windows/doors & fixed windows:</i>	
	Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.70 +/- 10%
	<i>Awning windows:</i>	
	Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.57 +/- 10%
<i>Lighting: This dwelling has been rated with non-ventilated LED downlights as per Electrical Plan.</i>		
<i>Note: Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA Volume Two.</i>		
<i>Note: In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.</i>		
<i>Note: Provide self-closing dampers to Laundry, WC, Bath and Ensuite exhaust fans.</i>		
<i>Note: Additional insulation may be required to meet acoustic requirements</i>		
<i>Note: If metal frames are used, a thermal break is required as per Section 3.12.1.1 – NSW Variation of the BCA Volume Two</i>		

BASIX COMMITMENTS NOTES

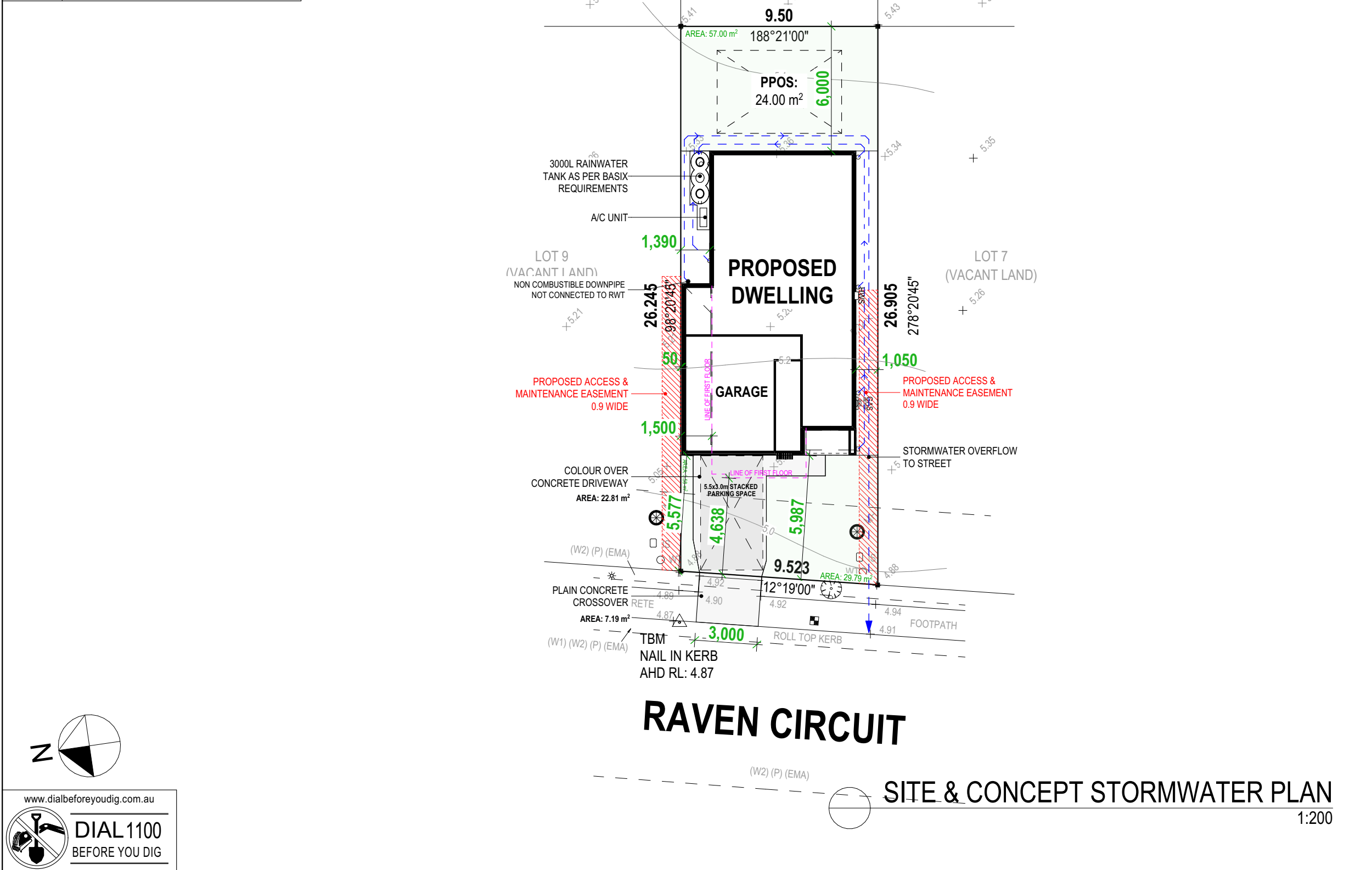
REFER TO APPROVED BASIX

Lot 8, 8 Raven Circuit, Warriewood

Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	4 star (> 6but <= 7.5 L/min)	4 star	4 star	4 star
Alternative water source	Individual rainwater tank to collect run off from at least 50 m ² of roof area - Tank size min 3000 litres			
	The applicant must connect the rainwater tank to:			
	Outdoor tap connection	Toilet connection	Laundry connection	Pool top up
	Yes	Yes	N/A	N/A
ENERGY	<i>Hot water system:</i> Gas Instantaneous with a performance of 6 stars			
	<i>Bathroom ventilation system:</i> Individual fan, ducted to façade or roof; manual switch on/off			
	<i>Kitchen ventilation system:</i> Individual fan, ducted to façade or roof; manual switch on/off			
	<i>Laundry ventilation system:</i> Individual fan, ducted to façade or roof; manual switch on/off			
	<i>Cooling system:</i> 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living and bedroom (zoned)			
	<i>Heating system:</i> 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living and bedroom (zoned)			
	Natural lighting: As per BASIX			
	Artificial lighting: As per BASIX			
	Must install a gas cooktop and electric oven. Must install a fixed outdoor clothes drying line as part of the development.			

 LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127	ACN 622 610 048 LICENSE No. 317953C	HOUSE TYPE: IVY 23 FACADE: MODERN II GARAGE: SG	DRAWING: COVER PAGE	CLIENT: FU SHUN REALTY PTY LTD	BUSHFIRE ASSESSMENT: N/A	WIND CLASSIFICATION: -	LODGEMENT: DA-CC	PROJECT ID : WAW0008
	P: (61) 02 9096 9109 E: admin@macasahomes.com.au		STAGE: ARCHITECTURAL PLAN	SITE ADDRESS: DP: 271326 LOT 8, No.8	FLOOD ASSESSMENT: N/A	SLAB CLASSIFICATION: H1	DATE DRAWN: 04/11/22	DRAWING No.: 1/15
	W: www.macasahomes.com.au		COUNCIL : NORTHERN BEACHES	RAVEN CIRCUIT, WARRIEWOOD, NSW 2102	SALINTY ASSESSMENT: -		DRAWN BY: AT	REV. ID: D

LEGEND	
	FIRE HYDRANT
	TEMPORARY SITE LEVEL BENCHMARK
	ELECTRICITY LIGHT POLE
	TITLE PEG
	SEWER INSPECTION SHAFT
	MANHOLE (SEWER/STORMWATER)
	WATER TAGS



SITE NOTE
- STORMWATER DRAINAGE TO STREET (SUBJECT TO HYDRAULIC ENGINEER'S REPORT IF APPLICABLE) - 6 DOWNPIPIES TO DRAIN TO 3000L RAINWATER TANK. - STORMWATER DESIGN TO COMPLY TO COUNCIL CODE & REQUIREMENTS IN ACCORDANCE WITH AS3500.3 - EXCAVATE APPROX 126mm TO FORM JOB DATUM. (DATUM POINT 385mm BELOW FINISHED FLOOR LEVEL). EXTENT OF EXCAVATION AND BATTERS TO BE CONFIRMED ON SITE. - FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY + 100mm FROM THE APPROVED DOCUMENTS DUE TO CONDITIONS THAT MAY BE ENCOUNTERED ON SITE DURING BUILDING WORKS. - ANY RETAINING WALLS REQUIRED ARE TO BE COMPLETED TO MANUFACTURER'S SPECIFICATIONS AND DETAIL.

SURVEY NOTE
- LEVELS ARE TO AUSTRALIAN HEIGHT DATUM BASED ON SSM 196252 WITH A STATED VALUE OF 4.54M. - CONTOUR INTERVALS AT 0.2 METRES. - BOUNDARIES ARE UNFENCED UNLESS NOTED OTHERWISE. - THE LOCATIONS OF SURFACE PITS, VALVE COVERS ETC. SHOWN HEREON HAVE BEEN DETERMINED BY THIS SURVEY. NO DIRECT KNOWLEDGE IS CLAIMED OF THE LOCATION OF UNDERGROUND SERVICES. - PRIOR TO ANY EXCAVATION OR CONSTRUCTION, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO LOCATE POSSIBLE UNDERGROUND SERVICES. - ADJOINING PROPERTY INFORMATION IS A COMBINATION OF GROUND MEASUREMENT AND INTERPRETATION OF AERIAL IMAGERY. - DATE OF SURVEY: 08/09/2022

EMA: EASEMENT FOR MAINTENANCE ACCESS (VARIABLE WIDTH ENTIRE LOT) P: POSITIVE COVENANT (DP1282811) W1: EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (DP1282811) W1: EASEMENT FOR ACCESS AND DRAINAGE PURPOSES VARIABLE WIDTH (DP1282811)

CALCULATIONS - DA-CC		
SITE AREA: 252.4m²	REQUIRED	ACHIEVED
FLOOR SPACE RATIO MAX ALLOWABLE	N/A	N/A
SITE COVERAGE MAX ALLOWABLE	N/A	N/A
LANDSCAPED AREA MIN 4m WIDE	35% (88.34m²)	35.8% (90.37m²)
PRINCIPLE PRIVATE OPEN SPACE MIN 4m WIDE	20m²	24m²








HOUSE AREAS	
AREA NAME	AREA m2
1. GROUND FLOOR	78.69
2. FIRST FLOOR	102.31
3. GARAGE	32.96
4. PORCH	2.98
	216.94 m²

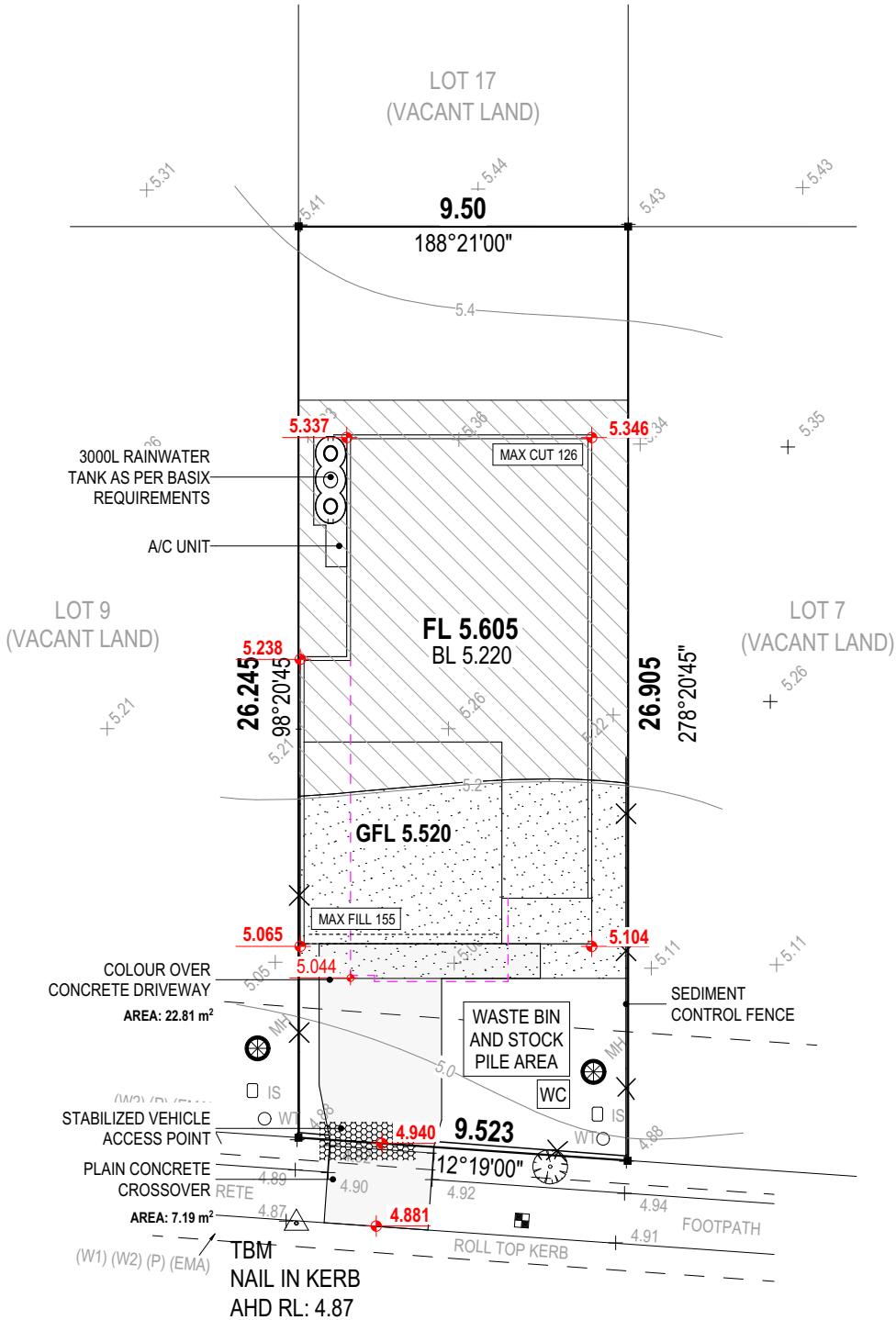
INTERNAL FLOOR AREA	
	AREA m2
1. GROUND FLOOR	71.18
2. FIRST FLOOR	89.61
	160.79 m²

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DIAL 1100
BEFORE YOU DIG

 LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127	ACN 622 610 048 LICENSE No. 317953C	DATE 04/11/22 21/11/22 25/11/22 20/12/22	AMENDMENTS FIRST DRAFT FINAL DRAFT ALIGN TO REAR SETBACK + SHADOWS ARCHITECTURAL PLAN	REV. A B C D	HOUSE TYPE: IVY 23 FACADE: MODERN II GARAGE: SG	DRAWING: SITE & STORMWATER PLAN STAGE: ARCHITECTURAL PLAN COUNCIL : NORTHERN BEACHES	CLIENT: FU SHUN REALTY PTY LTD SITE ADDRESS: DP: 271326 LOT 8, No.8 RAVEN CIRCUIT, WARRIEWOOD, NSW 2102	BUSHFIRE ASSESSMENT: N/A FLOOD ASSESSMENT: N/A SALINITY ASSESSMENT: -	WIND CLASSIFICATION: - SLAB CLASSIFICATION: H1	LODGEMENT: DA-CC DATE DRAWN: 04/11/22 DRAWN BY: AT	PROJECT ID : WAW0008 DRAWING No.: 2/15 REV. ID: D
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LEGEND	
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	TEMPORARY SITE LEVEL BENCHMARK
	ELECTRICITY LIGHT POLE
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	SEWER INSPECTION SHAFT
	MANHOLE (SEWER/STORMWATER)
	WATER TAGS

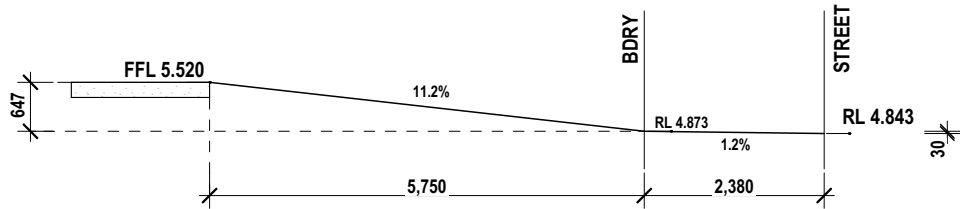


RAVEN CIRCUIT

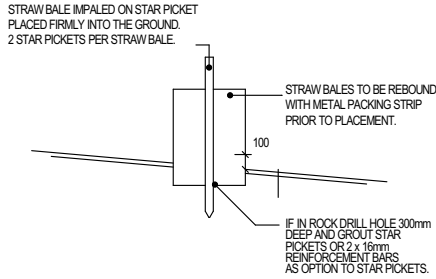
SITE WORKS PLAN

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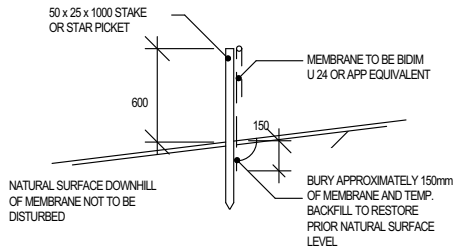
DRIVEWAY GRADIENT IN COMPLIANCE WITH AS2809.1-2004



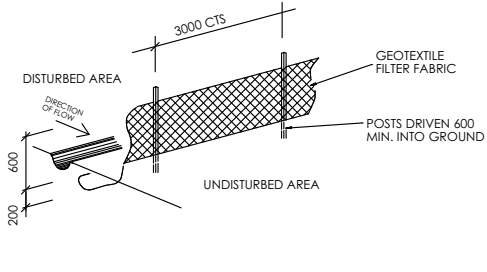
STRAW BALE BARRIER



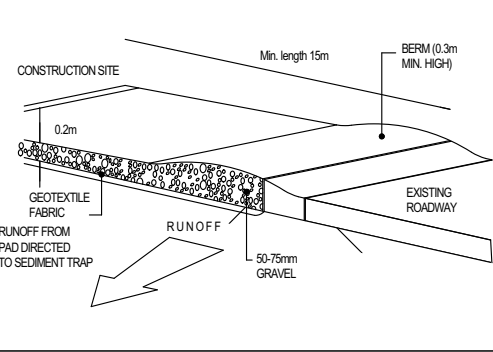
SILT FENCING DETAIL



SEDIMENT CONTROL FENCE



TEMPORARY CONSTRUCTION EXIT



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CALCULATIONS - DA-CC

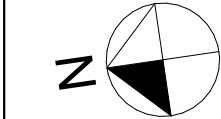
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W: www.macasahomes.com.au

DATE
04/11/22
21/11/22
25/11/22
20/12/22

AMENDMENTS
FIRST DRAFT
FINAL DRAFT
ALIGN TO REAR SETBACK + SHADOWS
ARCHITECTURAL PLAN

REV.
A
B
C
D

HOUSE TYPE:
IVY 23
FACADE:
MODERN II
GARAGE:
SG

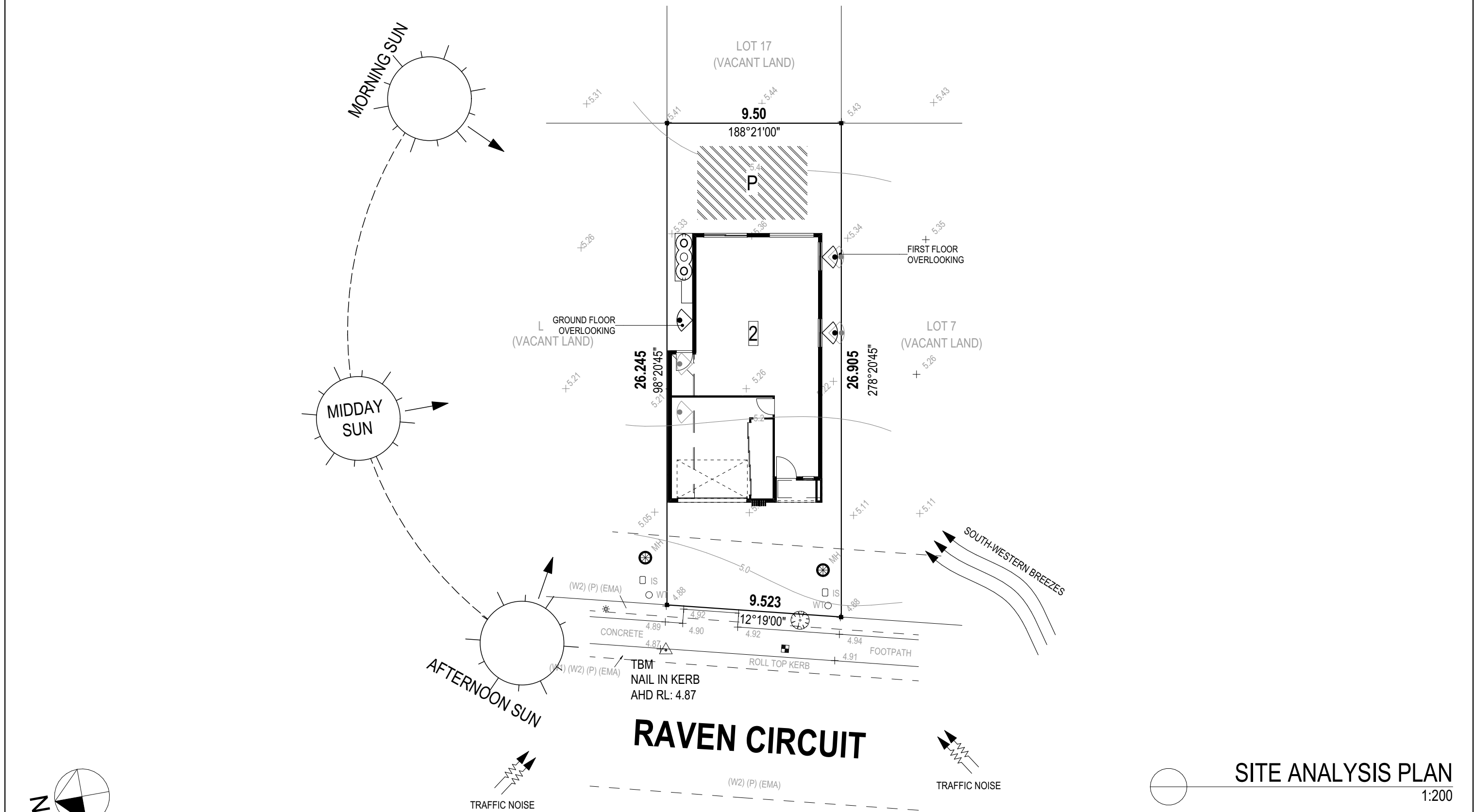
DRAWING:
SITE WORKS PLAN
STAGE:
ARCHITECTURAL PLAN
COUNCIL :
NORTHERN BEACHES


CLIENT:
FU SHUN REALTY PTY LTD
SITE ADDRESS:
DP: 271326 | LOT 8, No.8
RAVEN CIRCUIT,
WARRIEWOOD, NSW 2102

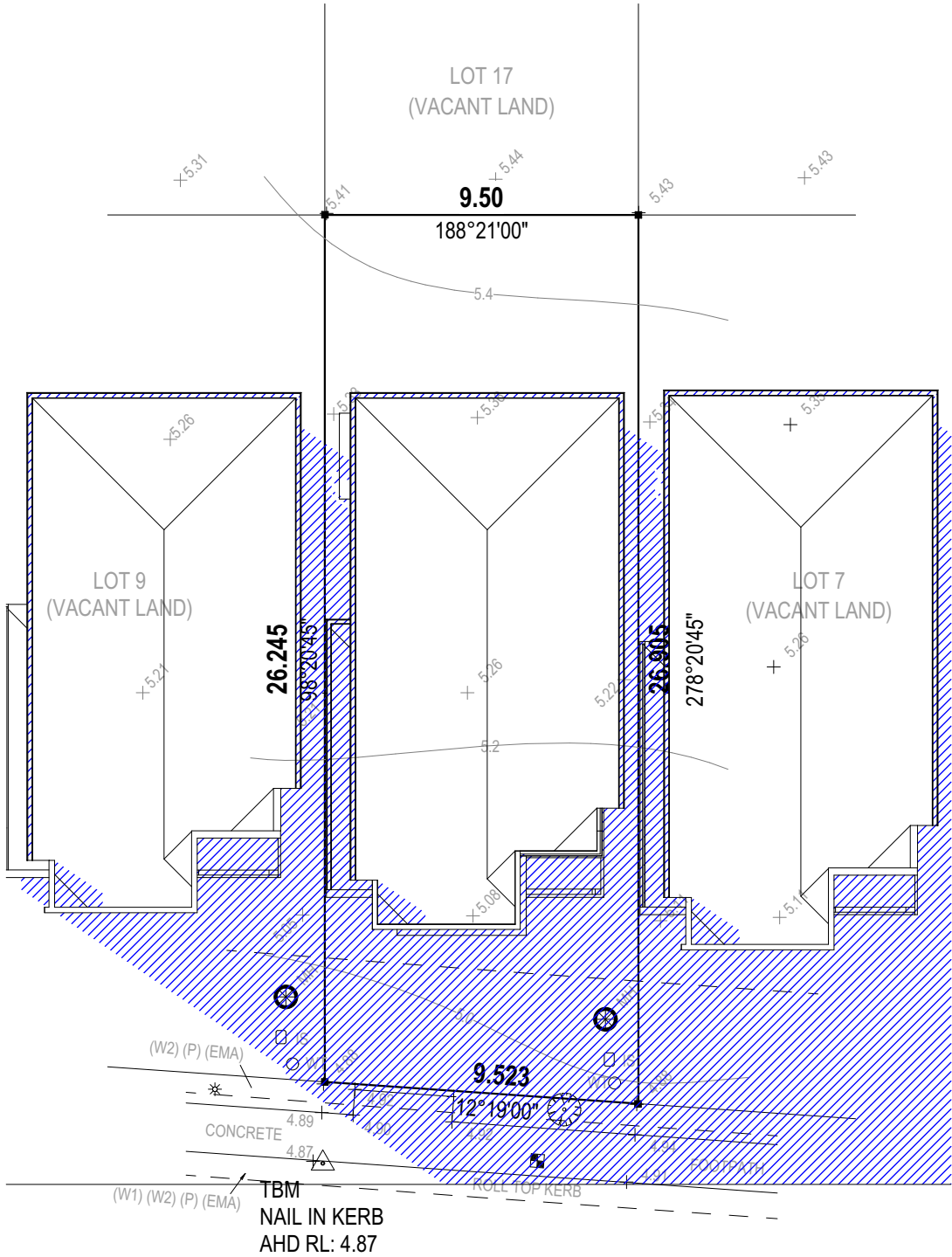
BUSHFIRE ASSESSMENT:
N/A
FLOOD ASSESSMENT:
N/A
SALINITY ASSESSMENT:
-

WIND CLASSIFICATION:
-
SLAB CLASSIFICATION:
H1
DATE DRAWN:
04/11/22
DRAWN BY:
AT

LODGEMENT:
DA-CC
PROJECT ID :
WAW0008
DRAWING No.:
3/15
REV. ID:
D



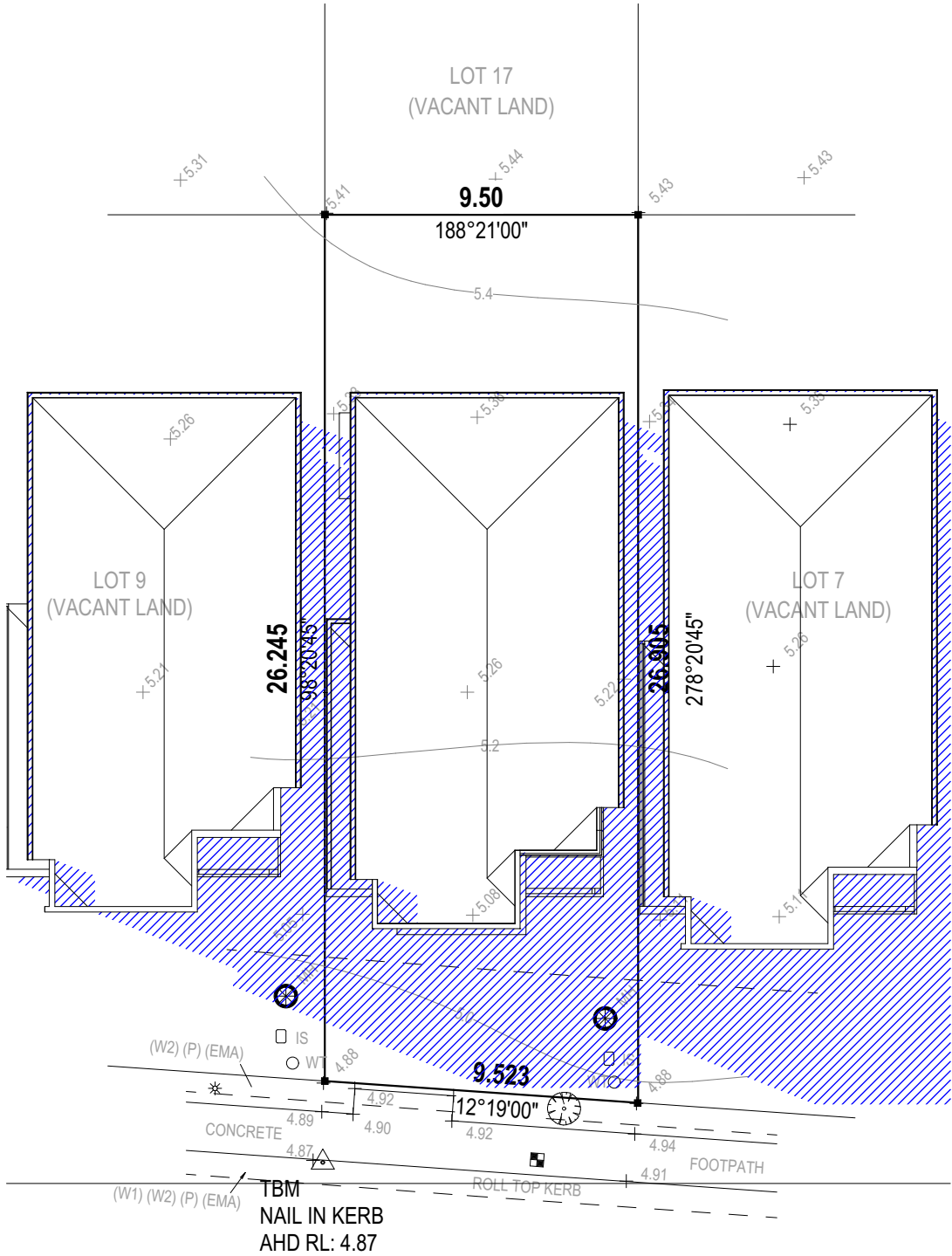
 <div>MACASA -HOMES- LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127</div>	ACN 622 610 048 LICENSE No. 317953C	DATE	AMENDMENTS	REV.	HOUSE TYPE: IVY 23	DRAWING: SITE ANALYSIS	CLIENT: FU SHUN REALTY PTY LTD	BUSHFIRE ASSESSMENT: N/A	WIND CLASSIFICATION: -	LODGEMENT: DA-CC	PROJECT ID: WAW0008
	P: (61) 02 9096 9109	04/11/22	FIRST DRAFT	A	FACADE: MODERN II	STAGE: ARCHITECTURAL PLAN	SITE ADDRESS: DP: 271326 LOT 8, No.8	FLOOD ASSESSMENT: N/A	SLAB CLASSIFICATION: H1	DATE DRAWN: 04/11/22	DRAWING No.: 4/15
	E: admin@macasahomes.com.au	25/11/22	ALIGN TO REAR SETBACK + SHADOWS	C	GARAGE: SG	COUNCIL: NORTHERN BEACHES	RAVEN CIRCUIT, WARRIEWOOD, NSW 2102	SALINITY ASSESSMENT: -		DRAWN BY: AT	REV. ID: D
	W: www.macasahomes.com.au	20/12/22	ARCHITECTURAL PLAN	D							



RAVEN CIRCUIT

JUNE 21 - 9AM SHADOW

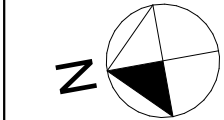
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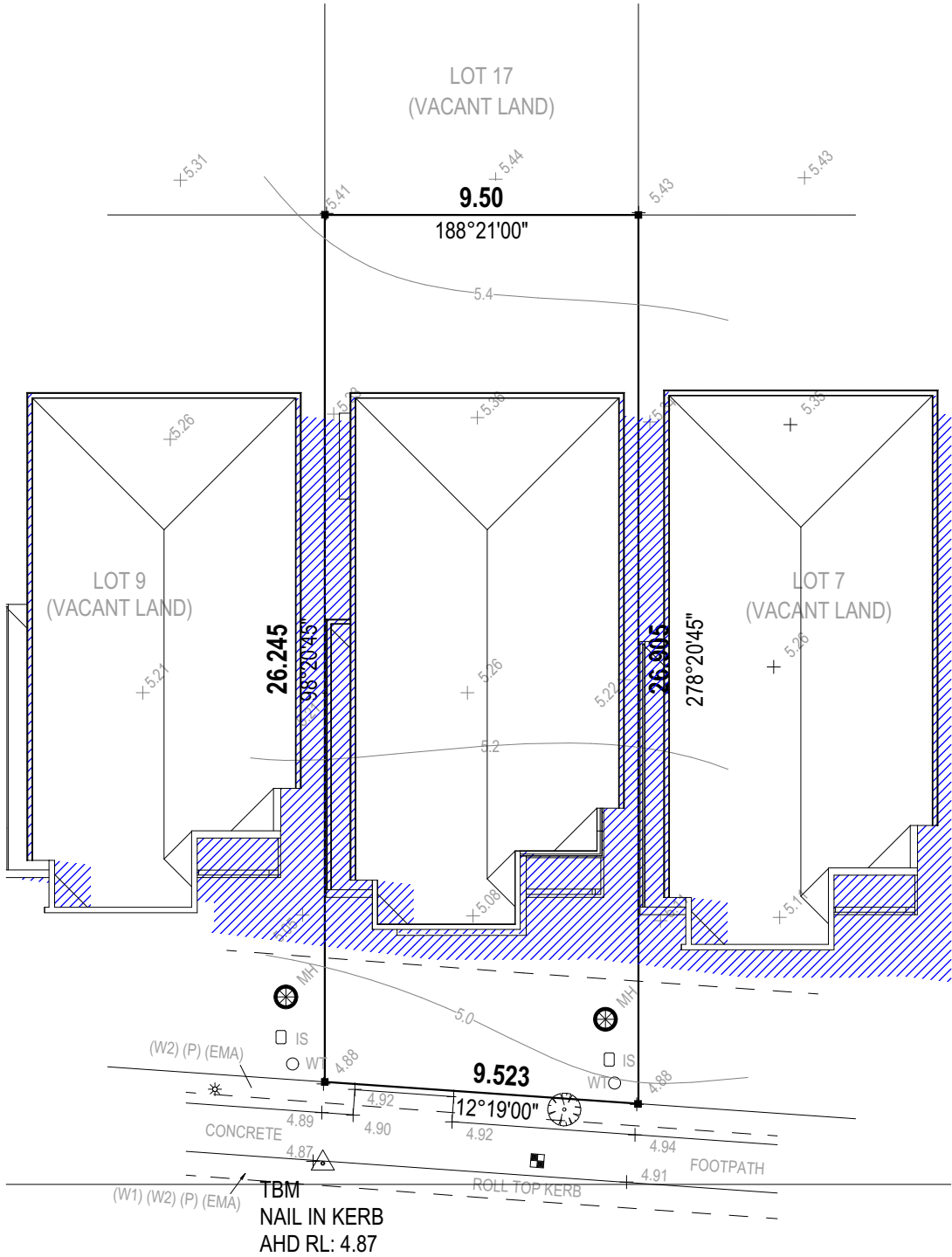
RAVEN CIRCUIT

JUNE 21 - 10AM SHADOW

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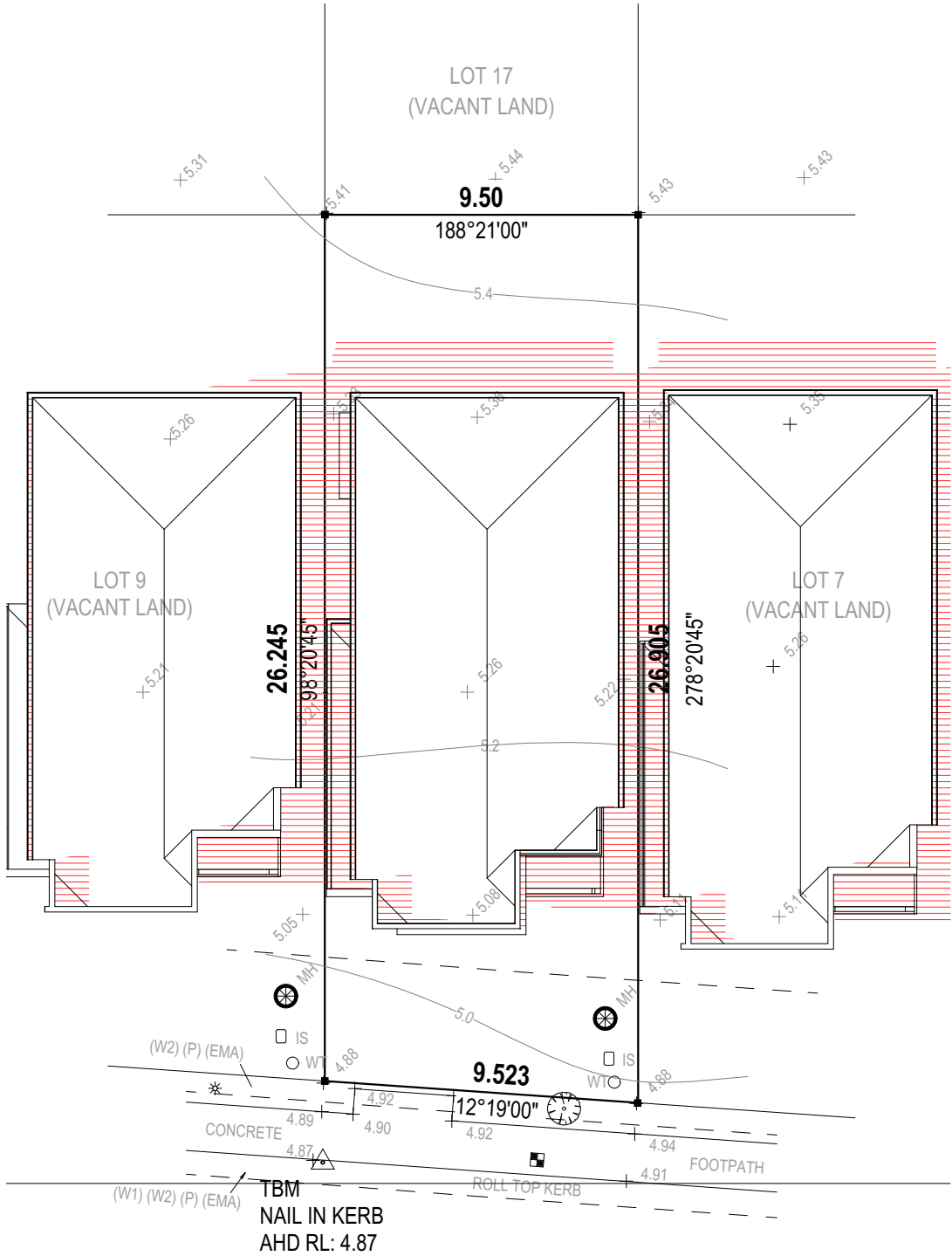
 <p>MACASA -HOMES- LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127</p>	ACN 622 610 048 LICENSE No. 317953C	DATE 04/11/22 21/11/22 25/11/22 20/12/22	AMENDMENTS FIRST DRAFT FINAL DRAFT ALIGN TO REAR SETBACK + SHADOWS ARCHITECTURAL PLAN	REV. A B C D	HOUSE TYPE: IVY 23 FACADE: MODERN II GARAGE: SG	DRAWING: SHADOWS - JUNE 21 9-10 STAGE: ARCHITECTURAL PLAN COUNCIL: NORTHERN BEACHES	CLIENT: FU SHUN REALTY PTY LTD SITE ADDRESS: DP: 271326 LOT 8, No.8 RAVEN CIRCUIT, WARRIEWOOD, NSW 2102	BUSHFIRE ASSESSMENT: N/A FLOOD ASSESSMENT: N/A SALINITY ASSESSMENT: -	WIND CLASSIFICATION: - SLAB CLASSIFICATION: H1	LODGEMENT: DA-CC DATE DRAWN: 04/11/22 DRAWN BY: AT	PROJECT ID: WAW0008 DRAWING No.: 5/15 REV. ID: D
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RAVEN CIRCUIT

JUNE 21 - 11AM SHADOW

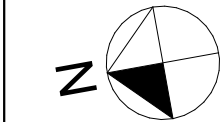
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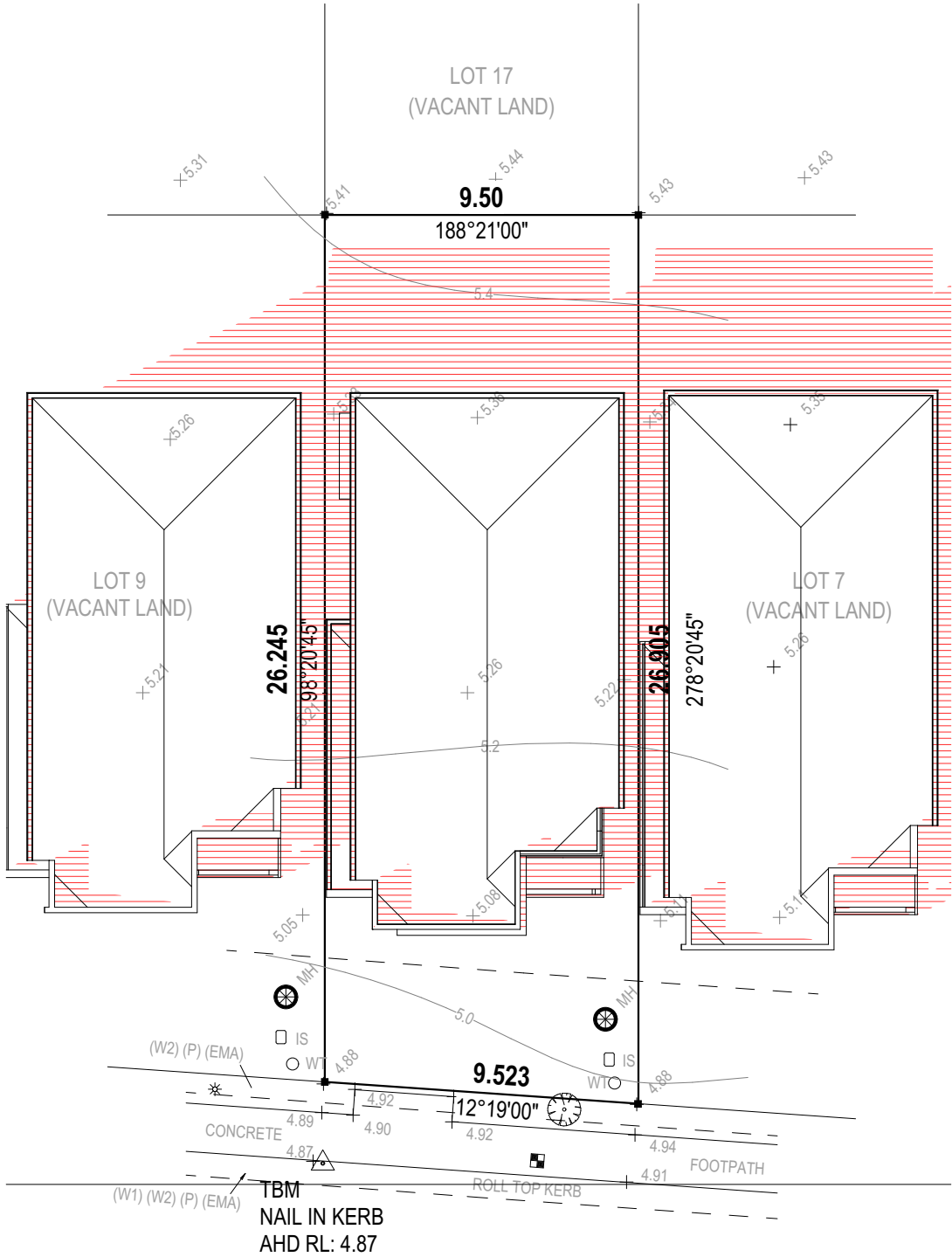
RAVEN CIRCUIT

JUNE 21 - 12PM SHADOW

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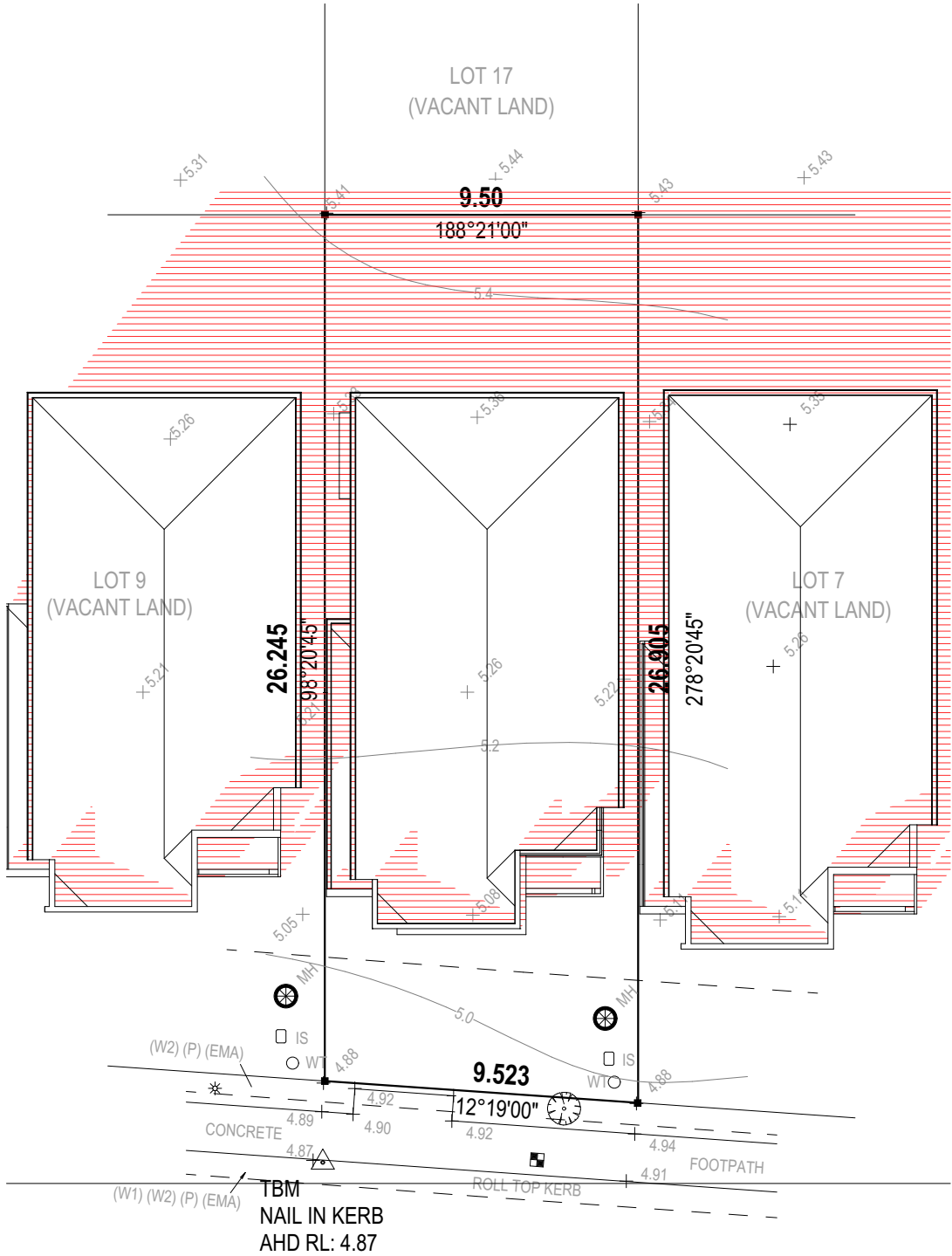
 MACASA -HOMES- LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127	ACN 622 610 048 LICENSE No. 317953C P: (61) 02 9096 9109 E: admin@macasahomes.com.au W: www.macasahomes.com.au	DATE 04/11/22	AMENDMENTS FIRST DRAFT	REV. A	HOUSE TYPE: IVY 23	DRAWING: SHADOWS - JUNE 21 11-12	CLIENT: FU SHUN REALTY PTY LTD	BUSHFIRE ASSESSMENT: N/A	WIND CLASSIFICATION: -	LODGEMENT: DA-CC	PROJECT ID: WAW0008
		21/11/22	FINAL DRAFT	B	FACADE: MODERN II	STAGE: ARCHITECTURAL PLAN	SITE ADDRESS: DP: 271326 LOT 8, No.8	FLOOD ASSESSMENT: N/A	SLAB CLASSIFICATION: H1	DATE DRAWN: 04/11/22	DRAWING No.: 6/15
		25/11/22	ALIGN TO REAR SETBACK + SHADOWS	C	GARAGE: SG	COUNCIL: NORTHERN BEACHES	RAVEN CIRCUIT,	SALINITY ASSESSMENT: -		DRAWN BY: AT	REV. ID: D
		20/12/22	ARCHITECTURAL PLAN	D			WARRIEWOOD, NSW 2102				



RAVEN CIRCUIT

JUNE 21 - 1PM SHADOW

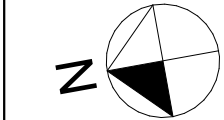
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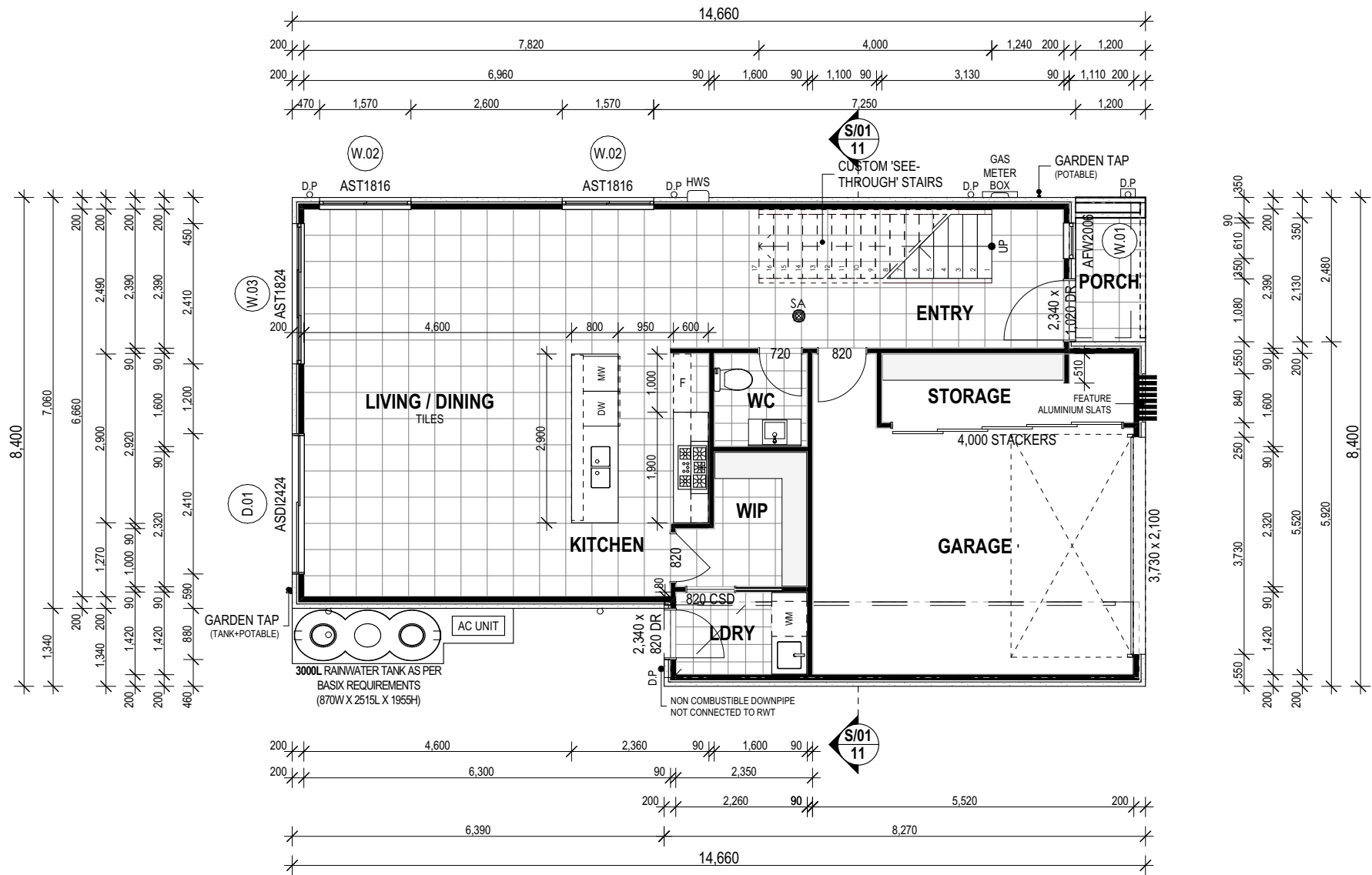
RAVEN CIRCUIT

JUNE 21 - 3PM SHADOW

1:200




 <p>MACASA -HOMES- LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127</p>	ACN 622 610 048 LICENSE No. 317953C	DATE 04/11/22 21/11/22 25/11/22 20/12/22	AMENDMENTS FIRST DRAFT FINAL DRAFT ALIGN TO REAR SETBACK + SHADOWS ARCHITECTURAL PLAN	REV. A B C D	HOUSE TYPE: IVY 23 FACADE: MODERN II GARAGE: SG	DRAWING: SHADOWS - JUNE 21 1-3 STAGE: ARCHITECTURAL PLAN COUNCIL : NORTHERN BEACHES	CLIENT: FU SHUN REALTY PTY LTD SITE ADDRESS: DP: 271326 LOT 8, No.8 RAVEN CIRCUIT, WARRIEWOOD, NSW 2102	BUSHFIRE ASSESSMENT: N/A FLOOD ASSESSMENT: N/A SALINITY ASSESSMENT: -	WIND CLASSIFICATION: - SLAB CLASSIFICATION: H1	LODGEMENT: DA-CC DATE DRAWN: 04/11/22 DRAWN BY: AT	PROJECT ID : WAW0008 DRAWING No.: 7/15 REV. ID: D
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GROUND FLOOR PLAN
1:100

CEILING HEIGHT	
2740 TO GROUND FLOOR	
2740 TO FIRST FLOOR	
NOTES	

 <p>MACASA -HOMES- LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127</p>	ACN 622 610 048 LICENSE No. 317953C	DATE 04/11/22 21/11/22 25/11/22 20/12/22	AMENDMENTS FIRST DRAFT FINAL DRAFT ALIGN TO REAR SETBACK + SHADOWS ARCHITECTURAL PLAN	REV. A B C D	HOUSE TYPE: IVY 23 FACADE: MODERN II GARAGE: SG	DRAWING: GROUND FLOOR PLAN STAGE: ARCHITECTURAL PLAN COUNCIL: NORTHERN BEACHES	CLIENT: FU SHUN REALTY PTY LTD SITE ADDRESS: DP: 271326 LOT 8, No.8 RAVEN CIRCUIT, WARRIEWOOD, NSW 2102	BUSHFIRE ASSESSMENT: N/A FLOOD ASSESSMENT: N/A SALINITY ASSESSMENT: -			
	P: (61) 02 9096 9109 E: admin@macasahomes.com.au W: www.macasahomes.com.au										



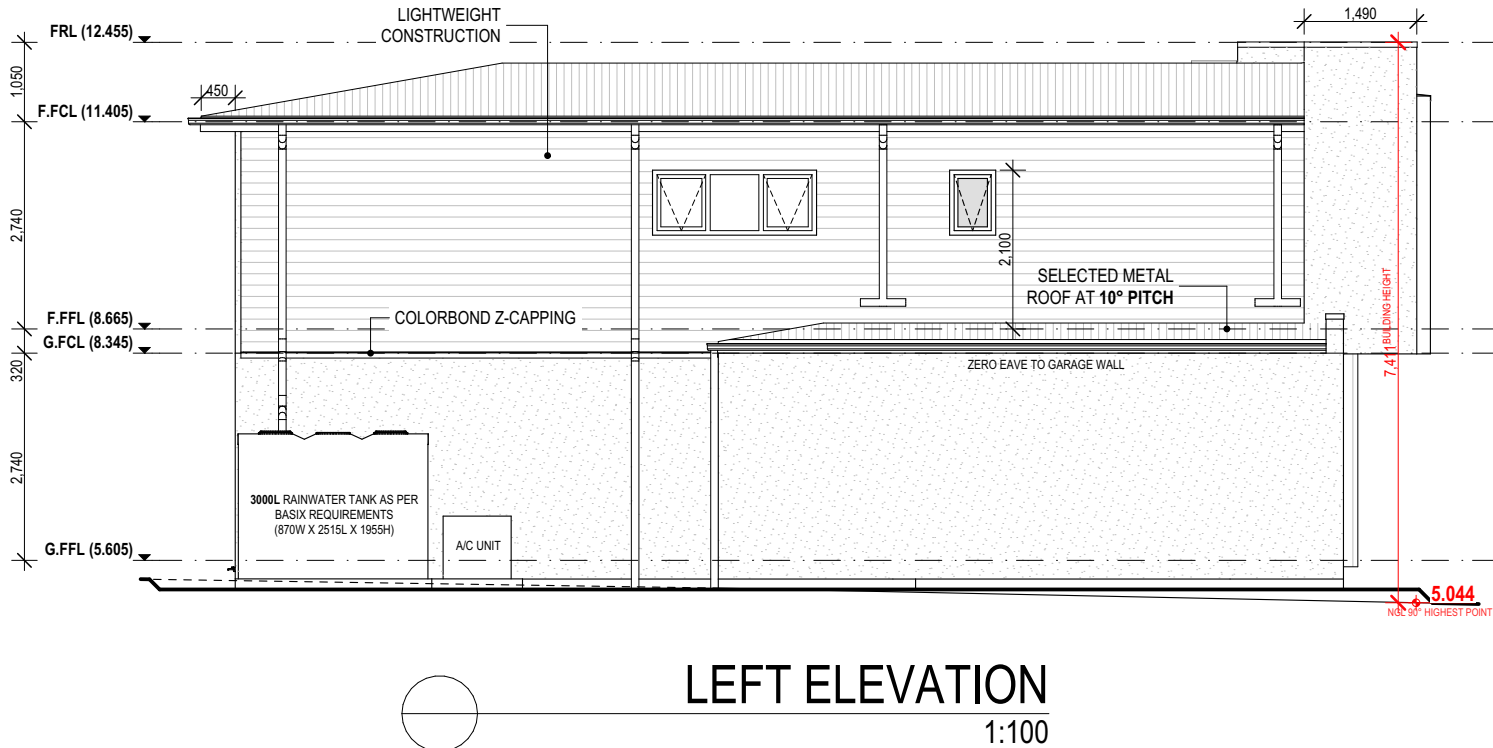
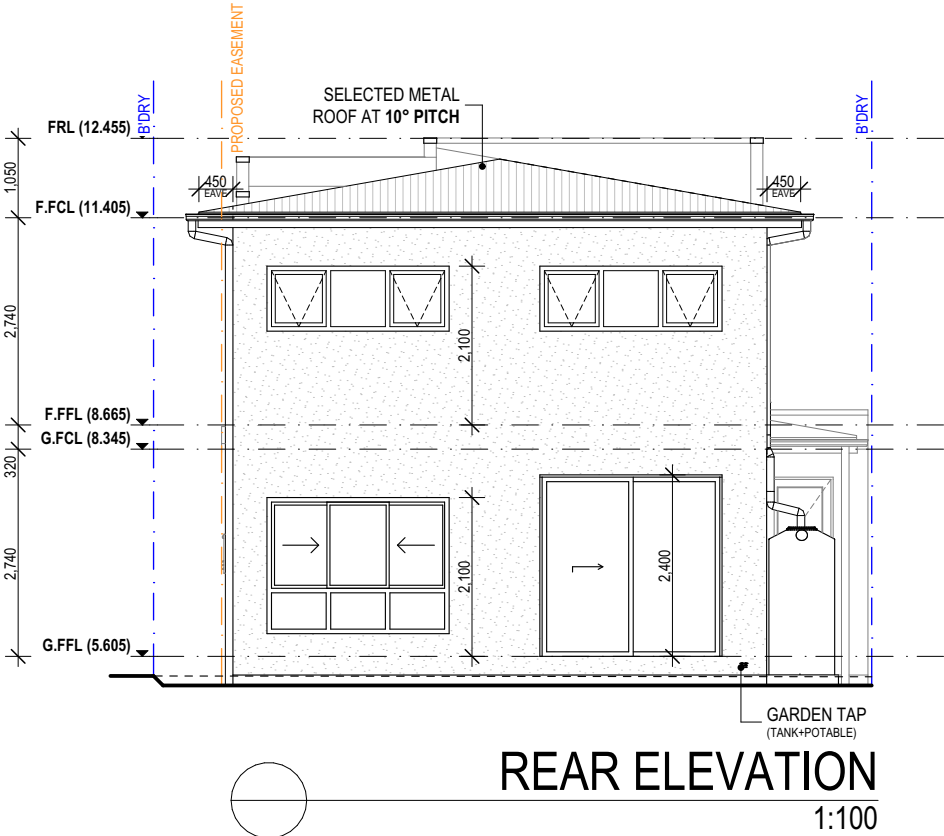
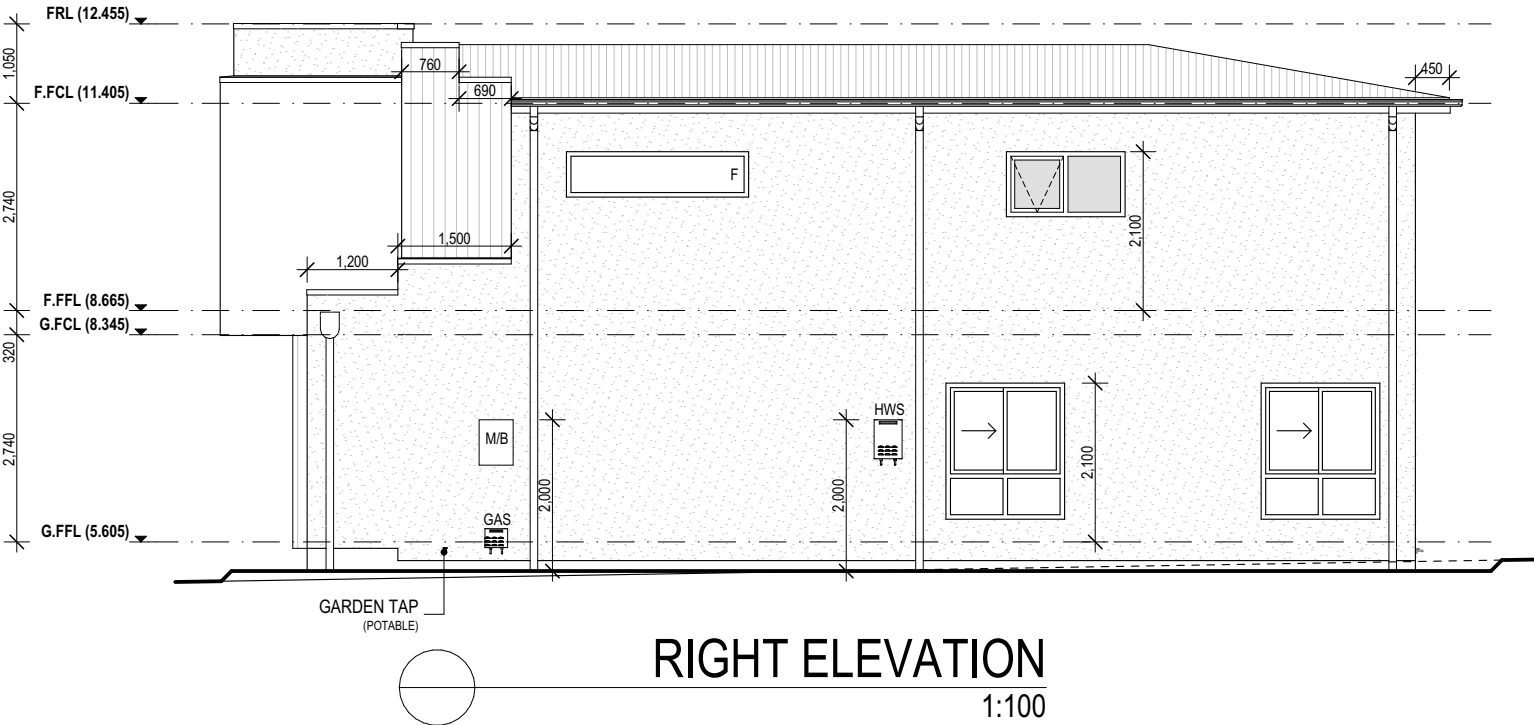
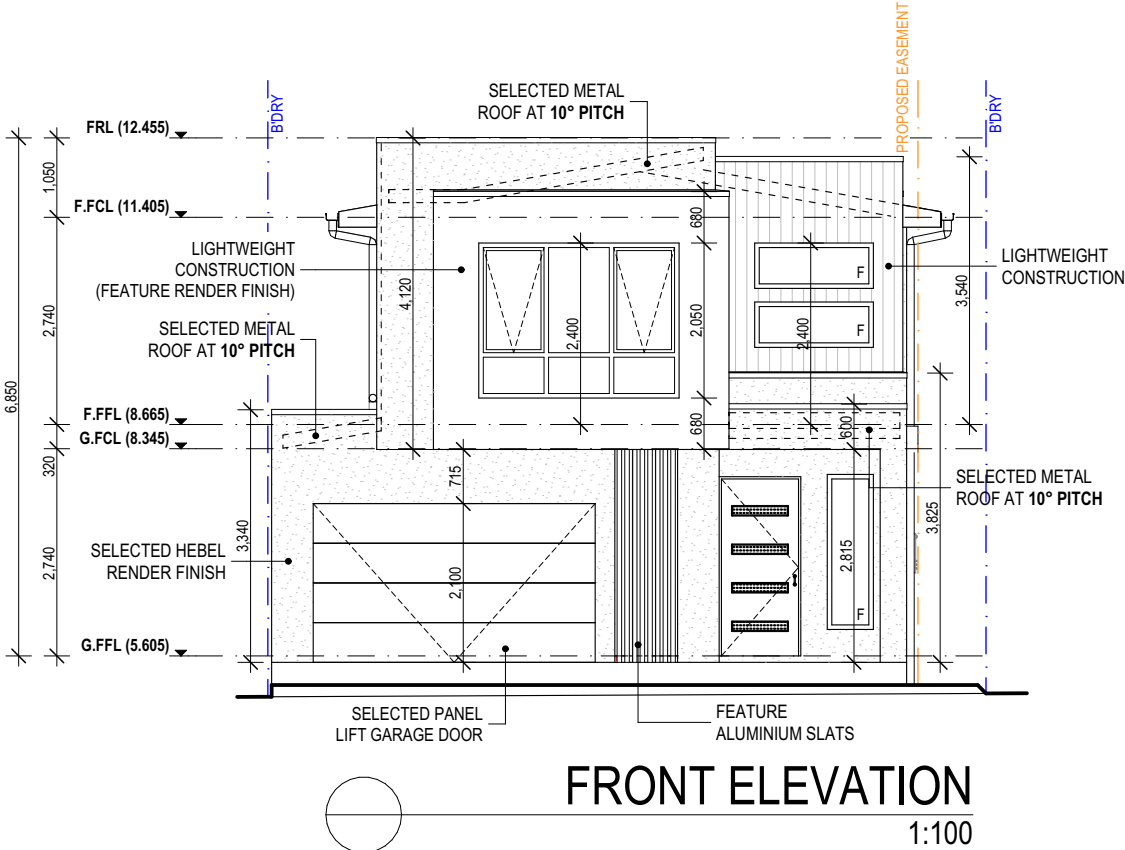
CEILING HEIGHT		
2740 TO GROUND FLOOR		
2740 TO FIRST FLOOR		
NOTES		
HOUSE AREA		
AREA NAME		AREA m2
1. GROUND FLOOR		78.69
2. FIRST FLOOR		102.31
3. GARAGE		32.96
4. PORCH		2.98
		216.94 m²
INTERNAL FLOOR AREA		
		AREA m2
1. GROUND FLOOR		71.18
2. FIRST FLOOR		89.61
		160.79 m²
ROOF AREA		
PITCH	AREA m2	
10.00°	133.18	
	133.18 m²	
WIND CLASSIFICATION:	LODGEMENT:	PROJECT ID :
-	DA-CC	WAW0008
SLAB CLASSIFICATION:	DATE DRAWN:	DRAWING No.:
H1	04/11/22	9/15
	DRAWN BY:	REV. ID:
	AT	D


HEAD HEIGHT NOTE

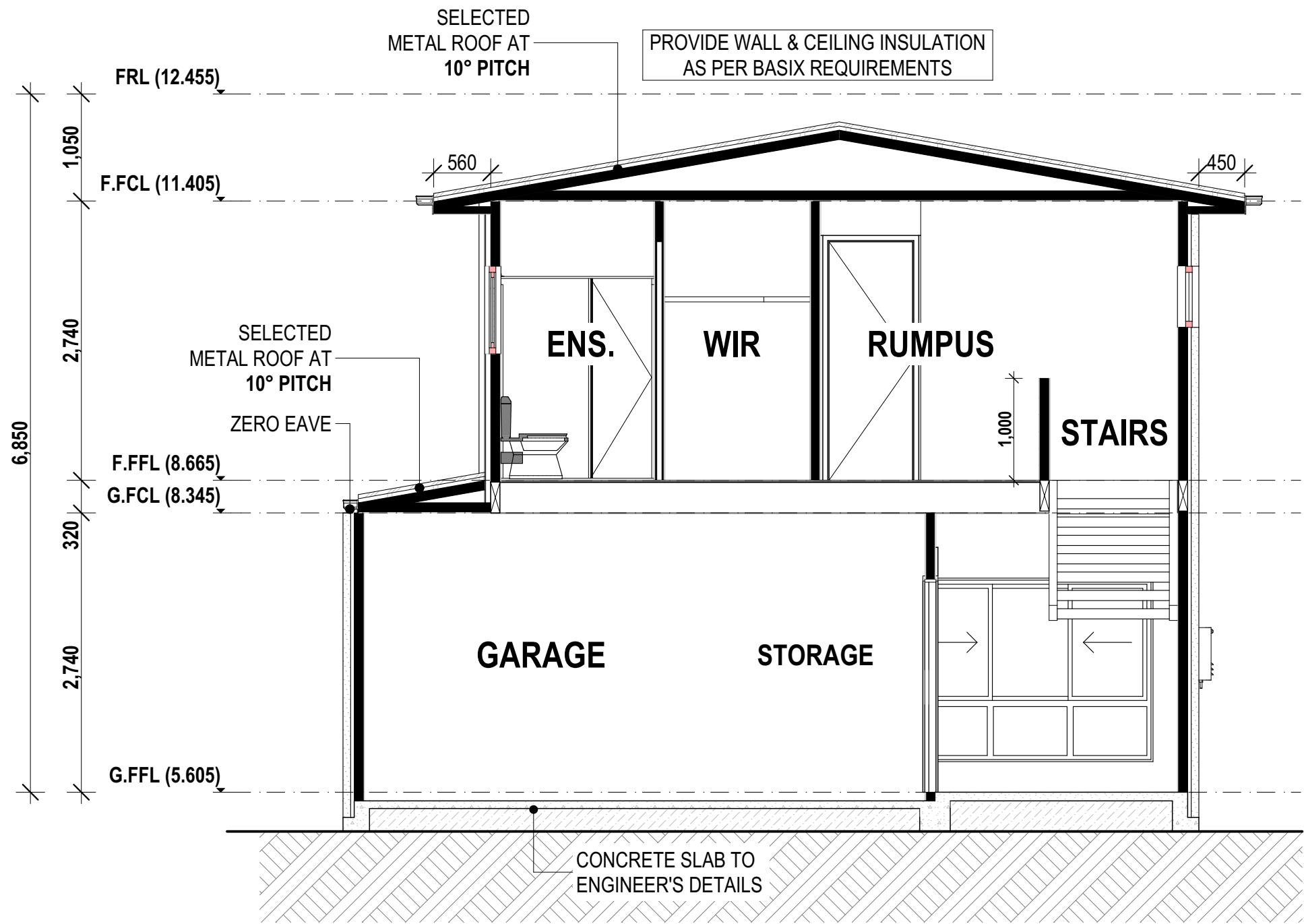
GR. FLR. WINDOW HEAD HEIGHT AT 2100mm FROM FFL
FIRST FLR. HEAD HEIGHT AT 2100mm FROM FFL
UNLESS NOTATED OTHERWISE

SARKING NOTE:

SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER
TABLE 3.5.1.1(A) AND TABLE 3.5.1.1(B) AS SET OUT IN THE
BUILDING CODE OF AUSTRALIA



<div> MACASA -HOMES- LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127</div>	ACN 622 610 048 LICENSE No. 317953C	DATE	AMENDMENTS	REV.	HOUSE TYPE:	DRAWING:	CLIENT:	BUSHFIRE ASSESSMENT:	WIND CLASSIFICATION:	LODGEMENT:	PROJECT ID :
	P: (61) 02 9096 9109 E: admin@macasahomes.com.au W: www.macasahomes.com.au	04/11/22	FIRST DRAFT	A	IVY 23	ELEVATIONS	FU SHUN REALTY PTY LTD	N/A	-	DA-CC	WAW0008
		21/11/22	FINAL DRAFT	B	FACADE: MODERN II GARAGE: SG	STAGE:	DP: 271326 LOT 8, No.8 RAVEN CIRCUIT, WARRIEWOOD, NSW 2102	FLOOD ASSESSMENT:	SLAB CLASSIFICATION:	DATE DRAWN:	DRAWING No.:
		25/11/22	ALIGN TO REAR SETBACK + SHADOWS	C		ARCHITECTURAL PLAN		N/A	H1	04/11/22	10/15
		20/12/22	ARCHITECTURAL PLAN	D		COUNCIL :		SALINITY ASSESSMENT:	DRAWN BY:	REV. ID:	
			NORTHERN BEACHES	-		AT		D			



S/01
8

SECTION 01
1:50

HEAD HEIGHT NOTE

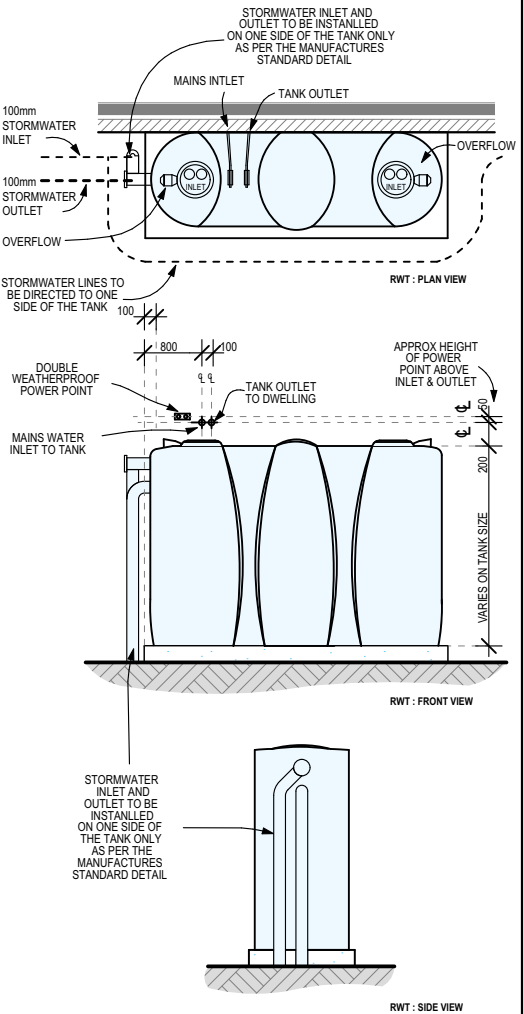
GR. FLR. WINDOW HEAD HEIGHT AT 2100mm FROM FFL
FIRST FLR. HEAD HEIGHT AT 2100mm FROM FFL
UNLESS NOTATED OTHERWISE


SARKING NOTE:

SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER
TABLE 3.5.1.1(A) AND TABLE 3.5.1.1(B) AS SET OUT IN THE
BUILDING CODE OF AUSTRALIA


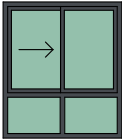
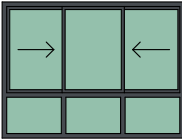
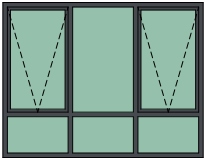
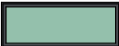





RAINWATER TANK DETAIL


"SLIMLINE TANKS"

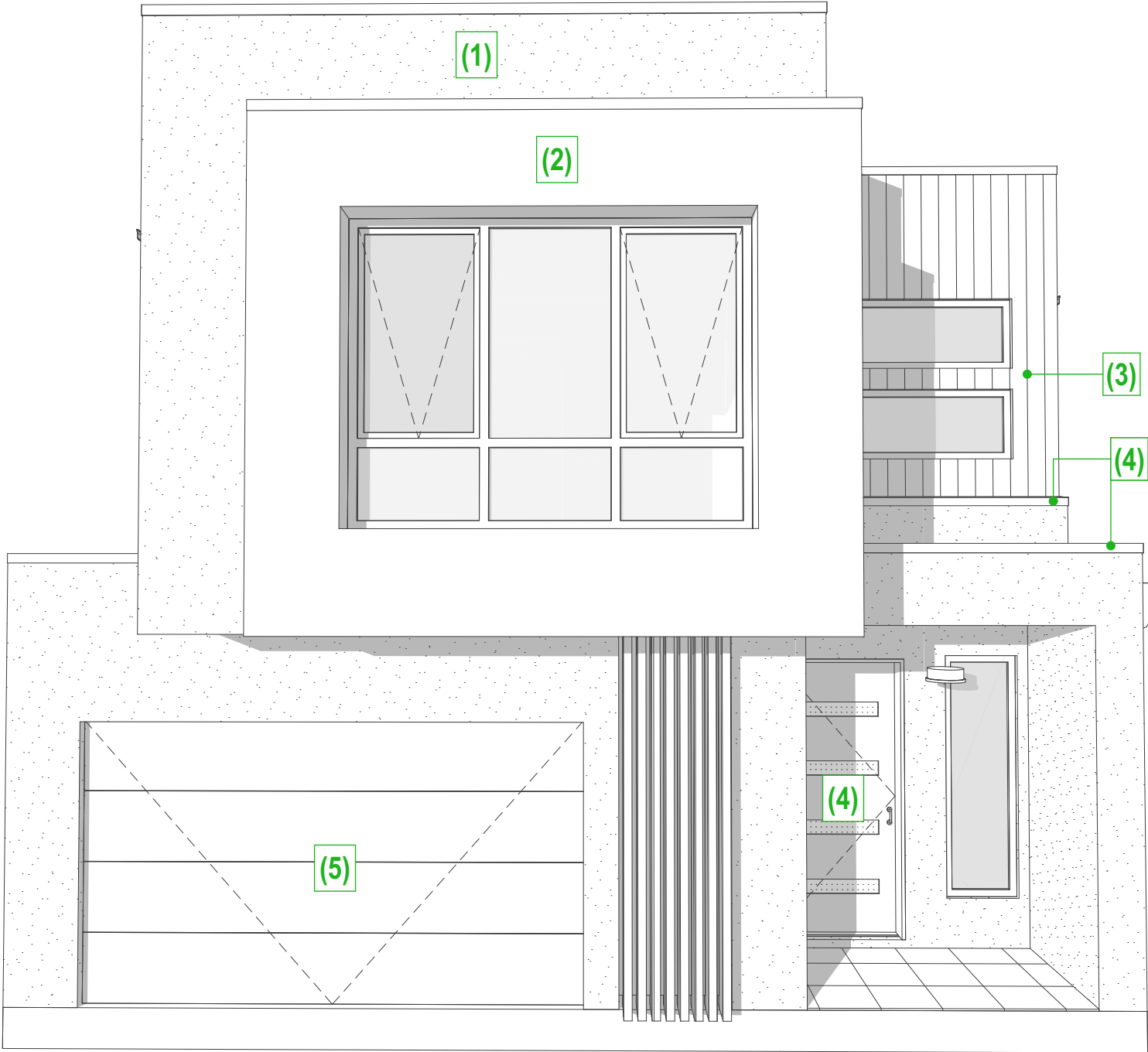


DOOR SCHEDULE		
HOME STORY	G.FFL	
ID	D.01	
MODEL	ASDI2424	
WIDTH	2,410	
HEIGHT	2,400	
ELEVATION		
QTY	1	1

NOTE
- ALL WINDOWS ARE VIEWED EXTERNALLY CONFIRM ALL DIMENSIONS ON SITE AND NOTIFY THE SUPERVISOR OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO FABRICATION AND INSTALLATION.
- ALL GLAZING TO EXTERNAL WINDOWS, EXTERNAL SLIDING DOORS, ADJUSTABLE TO BE IN ACCORDANCE WITH AS2047 AND ALL OTHER GLAZED ASSEMBLIES ARE TO BE IN ACCORDANCE WITH AS1288.
- PROVIDE AND INSTALL ALL NECESSARY FLASHING, TRIM, REVEALS AND SILL TRAYS TO MAKE SUITE WEATHERPROOF AND WATERPROOF, FINISH TO MATCH ALUMINIUM GLAZING.
- CHECK ALL NUMBERING AND QUANTITIES AGAINST PLANS AND ELEVATIONS AND NOTIFY THE CONSTRUCTION MANAGER SHOULD THERE BE ANY DISCREPANCIES.
BASIX
- AWNING WINDOWS TO FIRST FLOOR IN LIEU OF SLIDING WINDOWS

WINDOW SCHEDULE											
HOME STORY	G.FFL			F.FFL							
ID	W.01	W.02	W.03	W.04	W.05	W.06	W.07	W.08	W.09	W.10	
MODEL	AFW2006	AST1816	AST1824	AAT2027	AFW0616	AFW0624	AA0916	AA0924	AA0922	AA0906	
GLAZING	STANDARD	STANDARD	STANDARD	STANDARD	STANDARD	STANDARD	OBSCURE	STANDARD	STANDARD	OBSCURE	
WIDTH	610	1,570	2,410	2,650	1,570	2,410	1,570	2,410	2,170	610	
HEIGHT	2,050	1,800	1,800	2,050	600	600	860	860	860	860	
ELEVATION											
QUANTITY	1	2	1	1	2	1	1	2	1	1	13

 <div>MACASA - HOMES - LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127</div>	ACN 622 610 048 LICENSE No. 317953C	DATE 04/11/22 21/11/22	AMENDMENTS FIRST DRAFT FINAL DRAFT	REV. A B	HOUSE TYPE: IVY 23	DRAWING: WINDOW & DOOR SCHEDULE	CLIENT: FU SHUN REALTY PTY LTD	BUSHFIRE ASSESSMENT: N/A	WIND CLASSIFICATION: -	LODGEMENT: DA-CC	PROJECT ID : WAW0008
	P: (61) 02 9096 9109	25/11/22	ALIGN TO REAR SETBACK + SHADOWS	C	FACADE: MODERN II	STAGE: ARCHITECTURAL PLAN	SITE ADDRESS: DP: 271326 LOT 8, No.8	FLOOD ASSESSMENT: N/A	SLAB CLASSIFICATION: H1	DATE DRAWN: 04/11/22	DRAWING No.: 12/15
	E: admin@macasahomes.com.au	20/12/22	ARCHITECTURAL PLAN	D	GARAGE: SG	COUNCIL : NORTHERN BEACHES	RAVEN CIRCUIT, WARRIEWOOD, NSW 2102	SALINTY ASSESSMENT: -		DRAWN BY: AT	REV. ID: D
	W: www.macasahomes.com.au										



EXTERNAL COLOUR SELECTION
DARK STORM 2



WALLS - MAIN HEBEL &
SIDE CLADDING
TAUBMANS - ALPINE
SNOW



WALLS - FEATURE
RENDER
TAUBMANS - BASALT



WALLS - FEATURE
CLADDING
WEATHERGROVE 150
NATURAL



WINDOW FRAMES
ENTRY DOOR
GUTTER, DOWNPIPES, FASCIA
COLORBOND -
IRONSTONE




EAVES/GARAGE DOOR
SURFMIST

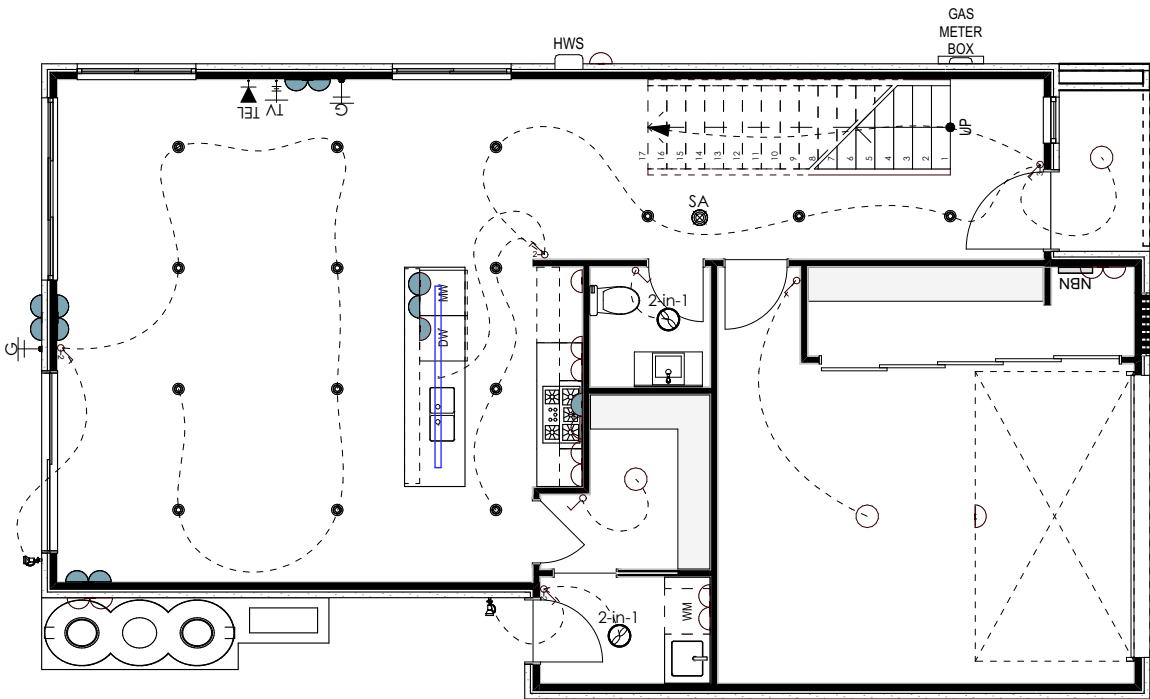


DRIVEWAY
CHARCOAL

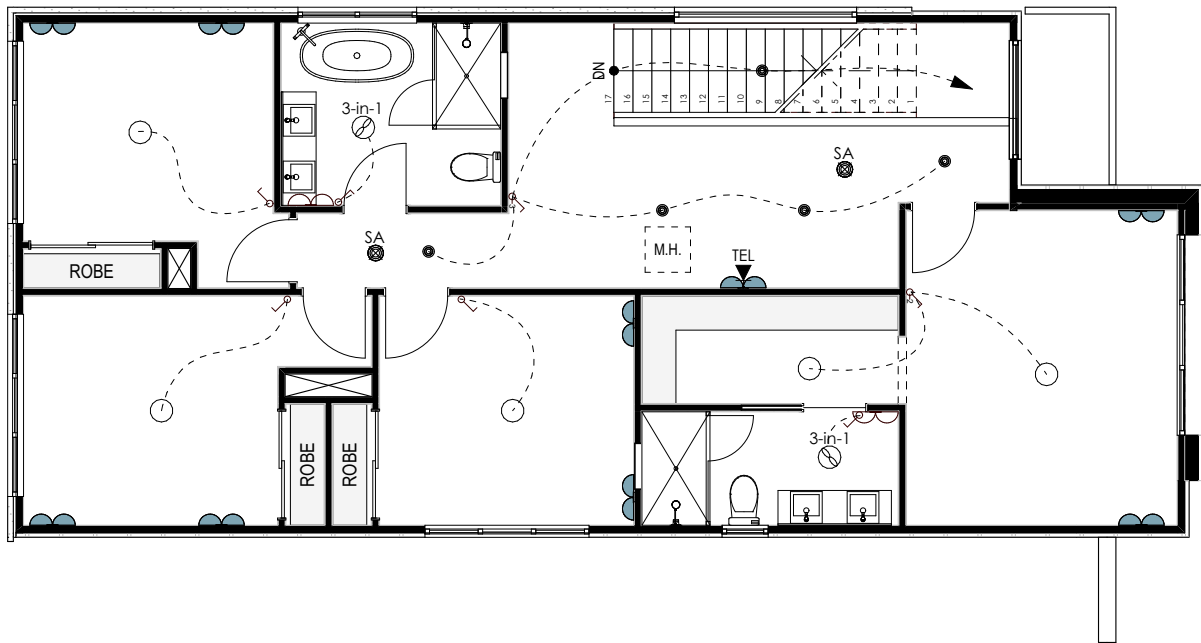


METAL ROOF
SHALE GREY

 <p>MACASA -HOMES- LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127</p>	ACN 622 610 048 LICENSE No. 317953C P: (61) 02 9096 9109 E: admin@macasahomes.com.au W: www.macasahomes.com.au	DATE	AMENDMENTS	REV.	HOUSE TYPE:	DRAWING:	CLIENT:	BUSHFIRE ASSESSMENT:	WIND CLASSIFICATION:	LODGEMENT:	PROJECT ID :
		04/11/22	FIRST DRAFT	A	IVY 23	COLOUR SELECTION	FU SHUN REALTY PTY LTD	N/A	-	DA-CC	WAW0008
		21/11/22	FINAL DRAFT	B	FACADE:	STAGE:	SITE ADDRESS:	FLOOD ASSESSMENT:	SLAB CLASSIFICATION:	DATE DRAWN:	DRAWING No.:
		25/11/22	ALIGN TO REAR SETBACK + SHADOWS	C	MODERN II	ARCHITECTURAL PLAN	DP: 271326 LOT 8, No.8	N/A	H1	04/11/22	13/15
		20/12/22	ARCHITECTURAL PLAN	D	GARAGE:	COUNCIL :	RAVEN CIRCUIT, WARRIEWOOD, NSW 2102	SALINTY ASSESSMENT:	DRAWN BY:		REV. ID:
					SG	NORTHERN BEACHES		-	AT		D



GROUND FLOOR ELECTRICAL PLAN
1:100



FIRST FLOOR ELECTRICAL PLAN
1:100

ELECTRICAL NOTE

- ALL ELECTRICAL WORK CARRIED OUT TO COMPLY WITH AS3000:2018, AND ALL OTHER RELEVANT STANDARDS INCLUDING SERVICES AND INSTALLATION RULES, LOCAL POWER COMPANY REQUIREMENTS, RECOMMENDATIONS OF MANUFACTURERS, SUPPLIERS, PROFESSIONALS AND TRADE ASSOCIATIONS.
- POSITION OF LIGHTS AND POWER OUTLETS ARE TO BE CONFIRMED ON SITE BY THE SUPERVISOR.
- ALL EXTERNAL POWER POINTS ARE TO BE WEATHER-PROOF
- SMOKE ALARMS TO COMPLY WITH AS3786.

NOTE

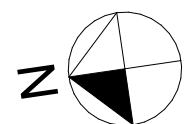
- ALL EXHAUST FANS ARE TO BE DUCTED TO OUTSIDE AIR.
- SELF-CLOSING DAMPENER TO ALL EXHAUST FANS.
- DUCT KITCHEN RANGEHOOD TO OUTSIDE AIR.
- PROVIDE REMOTE CONTROL TO GARAGE DOORS.


ELECTRICAL SCHEDULE

2-in-1	2 IN 1 EXHAUST FAN + LIGHT	2
3-in-1	3 IN 1 EXHAUST FAN + LIGHT + HEATER	2
	GAS BAYONET	2
	GPO	4
	GPO - @ 300mm FROM FFL	3
	GPO - DBL	7
	GPO - DBL @ 300mm ABOVE FFL	14
	LED DOWNLIGHT	20
	LIGHT - CAPPED-OFF	2
	LIGHT - LINEAR LED PENDANT	1
	LIGHT - OYSTER	8
	LIGHT SWITCH	9
	LIGHT SWITCH - DBL	3
	LIGHT SWITCH - TRIPLE	2
NBN	NBN BOX	1
SA	SMOKE ALARM	3
TEL	TELEPHONE POINT	2
	TELEVISION POINT	1

UPGRADES

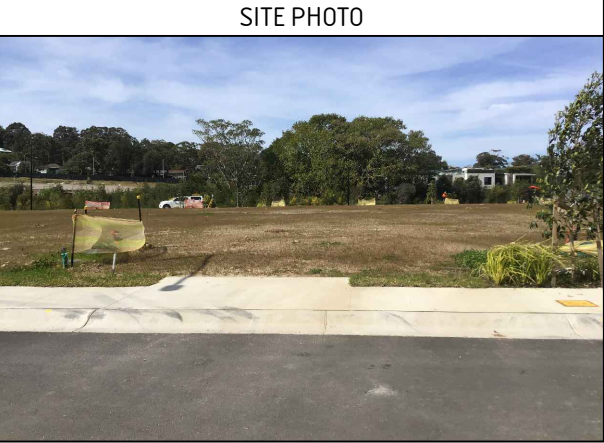
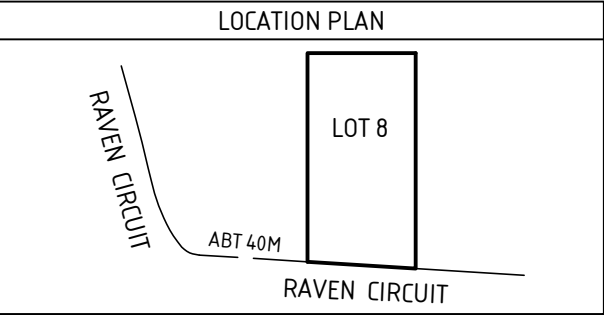
- PROVIDE UP TO 20 LED DOWNLIGHTS TO LIVING AREAS (REFER TO PLAN)
- PROVIDE 1x LINEAR PENDANT LIGHT TO KITCHEN
- PROVIDE 1x DOUBLE POWER POINT TO KITCHEN ISLAND BENCH
- PROVIDE 1x ADDITIONAL DOUBLE POWER POINT TO BEDROOMS (EXCLUDING BED 1)



 MACASA -HOMES- LG, 6A FIGTREE DRIVE OLYMPIC PARK NSW 2127	ACN 622 610 048 LICENSE No. 317953C	DATE 04/11/22	AMENDMENTS FIRST DRAFT	REV. A	HOUSE TYPE: IVY 23	DRAWING: NOTIFICATION PLAN	CLIENT: FU SHUN REALTY PTY LTD	BUSHFIRE ASSESSMENT: N/A	WIND CLASSIFICATION: -	LODGEMENT: DA-CC	PROJECT ID : WAW0008
	P: (61) 02 9096 9109 E: admin@macasahomes.com.au W: www.macasahomes.com.au	21/11/22	FINAL DRAFT	B	FACADE: MODERN II	STAGE: ARCHITECTURAL PLAN	SITE ADDRESS: DP: 271326 LOT 8, No.8 RAVEN CIRCUIT, WARRIEWOOD, NSW 2102	FLOOD ASSESSMENT: N/A	SLAB CLASSIFICATION: H1	DATE DRAWN: 04/11/22	DRAWING No.: /
		25/11/22	ALIGN TO REAR SETBACK + SHADOWS	C				SALINITY ASSESSMENT: -	DRAWN BY: AT	REV. ID: D	
		20/12/22	ARCHITECTURAL PLAN	D							

SURVEY NOTES

- LEVELS ARE TO AUSTRALIAN HEIGHT DATUM BASED ON SSM 196252 WITH A STATED VALUE OF 4.54M.
- CONTOUR INTERVALS AT 0.2 METRES.
- BOUNDARIES ARE UNFENCED UNLESS NOTED OTHERWISE.
- THE LOCATIONS OF SURFACE PITS, VALVE COVERS ETC. SHOWN HEREON HAVE BEEN DETERMINED BY THIS SURVEY. NO DIRECT KNOWLEDGE IS CLAIMED OF THE LOCATION OF UNDERGROUND SERVICES.
- PRIOR TO ANY EXCAVATION OR CONSTRUCTION, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO LOCATE POSSIBLE UNDERGROUND SERVICES.
- ADJOINING PROPERTY INFORMATION IS A COMBINATION OF GROUND MEASUREMENT AND INTERPRETATION OF AERIAL IMAGERY.
- DATE OF SURVEY: 08/09/2022

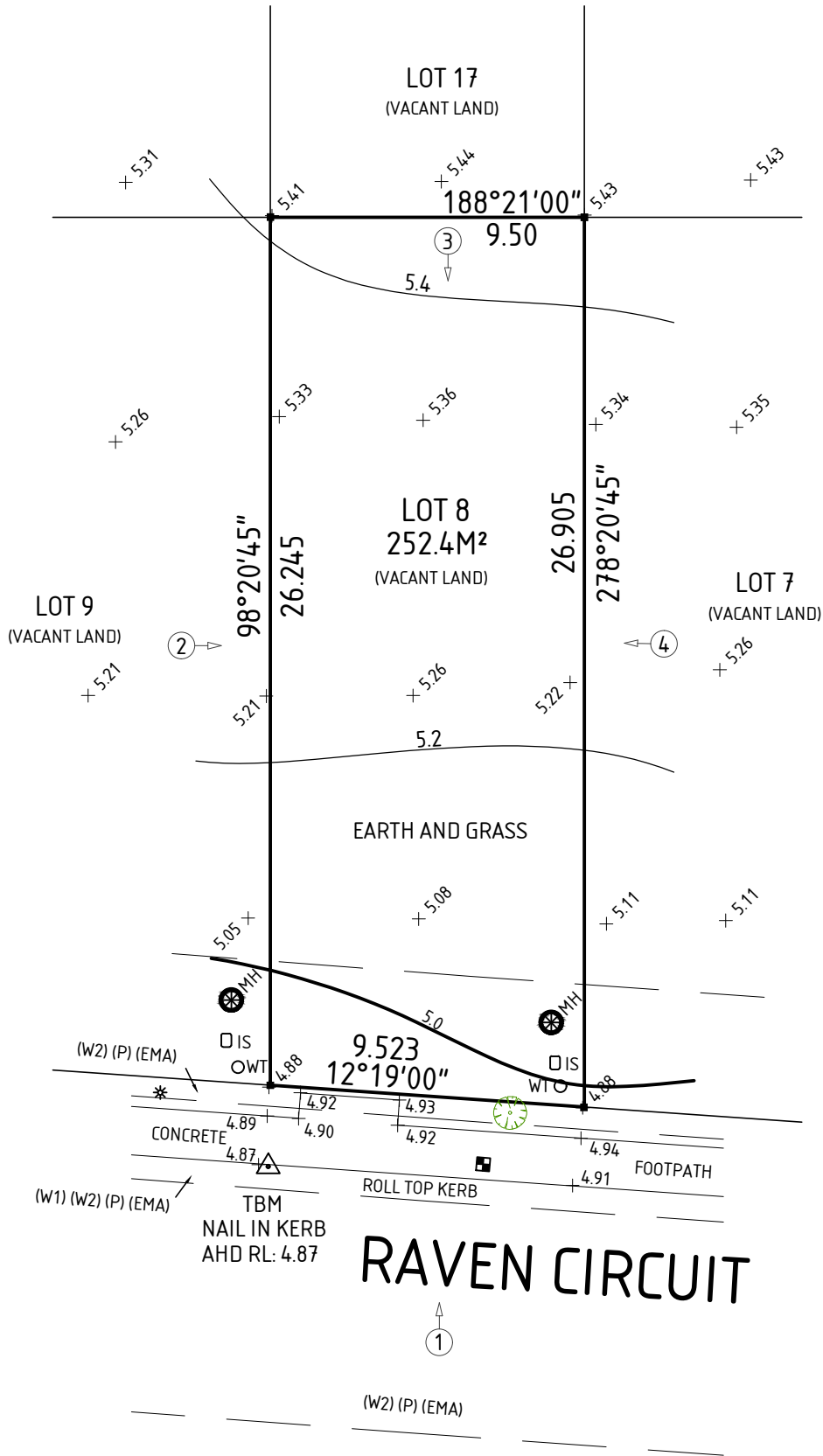


LEGEND	
	FIRE HYDRANT
	TEMPORARY SITE LEVEL BENCHMARK
	ELECTRICITY LIGHT POLE
	TITLE PEG
	SEWER INSPECTION SHAFT
	MANHOLE (SEWER/STORMWATER)
	WATER TAGS

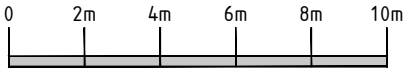
NOTES:

THIS SURVEY HAS BEEN CARRIED OUT FOR THE EXCLUSIVE USE OF THE PROPRIETORS FOR THE PURPOSE OF TITLE RE-ESTABLISHMENT ON THE SITE AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE OR BY ANY OTHER PERSON OR CORPORATION. STRUCTURES BELOW THE SURFACE LEVEL (IF ANY) INCLUDING FOOTINGS PROJECTING INTO THE SITE FROM ADJOINING PROPERTIES HAVE NOT BEEN LOCATED BY THIS SURVEY. WE HAVE NOT EXCAVATED THE SITE TO DETERMINE THEIR EXISTENCE. THE POSITION OF OCCUPATION (FENCES, BUILDINGS ETC) SHOWN NEAR BOUNDARIES ARE NOT NECESSARILY PLOTTED TO SCALE AND IN MOST INSTANCES THEIR POSITIONS HAVE BEEN EXAGGERATED FOR CLARITY.

EMA: EASEMENT FOR MAINTENANCE ACCESS (VARIABLE WIDTH ENTIRE LOT)
P: POSITIVE COVENANT (DP1282811)
W1: EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (DP1282811)
W1: EASEMENT FOR ACCESS AND DRAINAGE PURPOSES VARIABLE WIDTH (DP1282811)



MGA 2020
ZONE 56



APPROVED JOHN MULDOWNEY LICENSED SURVEYOR	CLIENT MACASA HOMES PTY LTD	SHEET FEATURE SURVEY PLAN SCALE 1:200 @ A3	PROJECT ADDRESS RAVEN CIRCUIT, WARRIEWOOD LOT 8 DP 271326		DESIGN BY T.N	REVISION 1	PROJECT NO. 3.22.11579.1
					CHECKED PAS	DATE 09/09/2022	SHEET NO. 1 of 1