

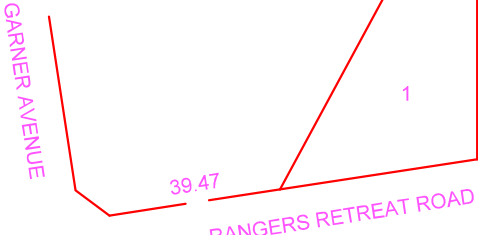
TREE SCHEDULE		
TREE No.	HEIGHT	NAME
1	0.8D 5H	
2	0.2D 2H	
3	0.4D 8H	
4	0.8D 7H	
5	0.5D 12H	
6	0.8D 10H	Paper Bark
7	0.5D 8H	Palm
8	0.5D 8H	Palm
9	0.2D 2H	
10	0.2D 2H	
11	0.2D 4H	Palm
12	0.2D 2H	
13	0.4D 10H	
14	0.6D	Stump
15	0.4D 10H	Palm
16	0.4D 10H	Palm
17	0.2D 4H	Pine
18	0.2D 4H	
19	0.2D 8H	
20	0.2D 6H	

LEGEND

- HOT WATER TANK
- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- SEWER TERMINAL MAINTENANCE SHAFT
- SEWER MAINTENANCE SHAFT
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- KERB OUTLET
- SERVICE CONDUIT
- TREE (DIAM/HEIGHT)
- GARDEN BED
- SHRUB
- DENOTES PHOTO POINT
- DENOTES TELEPHONE BOOTH

LOCATION PLAN

UBD REF: 176 L8
LAT: -33.756789
LONG: 151.229783



MAGNETIC NORTH
TRUE NORTH

BEARINGS SHOWN HAVE BEEN DEDUCED FROM LAND & PROPERTY INFORMATION PLANS AND ARE RELATED TO MAGNETIC NORTH. TRUE NORTH IS APPROXIMATE ONLY. FURTHER INVESTIGATION WILL BE REQUIRED TO DETERMINE ACCURATE TRUE NORTH.

TWO STOREY WEATHERBOARD RESIDENCE METAL ROOF No 23

SPLIT LEVEL RENDERED RESIDENCE TILE ROOF No 21

RANGERS RETREAT ROAD

EXISTING SITE PLAN & SITE ANALYSIS PLAN

ALL KERB LEVELS REPRESENT TOP OF KERB.
DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM
ORIGIN OF LEVELS: PM 2753
SOURCE OF LEVELS: SCIMS

CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LPI, NSW AND ARE SUBJECT TO FINAL SURVEY.
BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.
THE RELATIONSHIP OF IMPROVEMENTS & SURVEYED DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY.
SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH ACCURATE POSITION AND DEPTH OF ANY SERVICES.
DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE

EXISTING SITE PLAN & SITE ANALYSIS PLAN

Living the dream.

BUENA VISTA HOME DESIGNS / R.J.H. DESIGN
35 BRISBANE AVENUE, MT KURING-GAI NSW 2080
PH. 9457 9303 MOB: 0411 758 479
email: rod_buenavista@optusnet.com.au

ISSUE	REVISION	DATE	ISSUED FOR	ISSUED BY
A	2/5/19	Concept Drawings	R.J.H.	R.J.H.
B	23/8/19	Development Application Drawings	R.J.H.	R.J.H.
C	14/9/20	Section 4.55 Drawings	R.J.H.	R.J.H.

STRUCterre consulting

REGISTERED SURVEYORS & LAND INFORMATION CONSULTANTS

Suite 1, Level 2, 42 Birnie Avenue Lidcombe, NSW 2141
Phone: 9646 5811, Fax: 9646 2311
Email: nswsurveying@strucsterre.com.au
www.strucsterre.com.au

DRAWN: C.H	JOB 1776/324535	DATE: 27.03.2019
CHECKED: GD	FILE NAME 324535	DATUM: AHD

PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE AT :
21 RANGERS RETREAT ROAD
FRENCHS FOREST NSW 2086

FOR :
MR & MRS MILES

Scale 1:100 @ A1	Date AUGUST 2020
Drawn by Rodney Hale	Drawing/Job No. 0687/19
Sheet No. S 4.55 - 01	Revision Issue C

LOT 1 DP 205274

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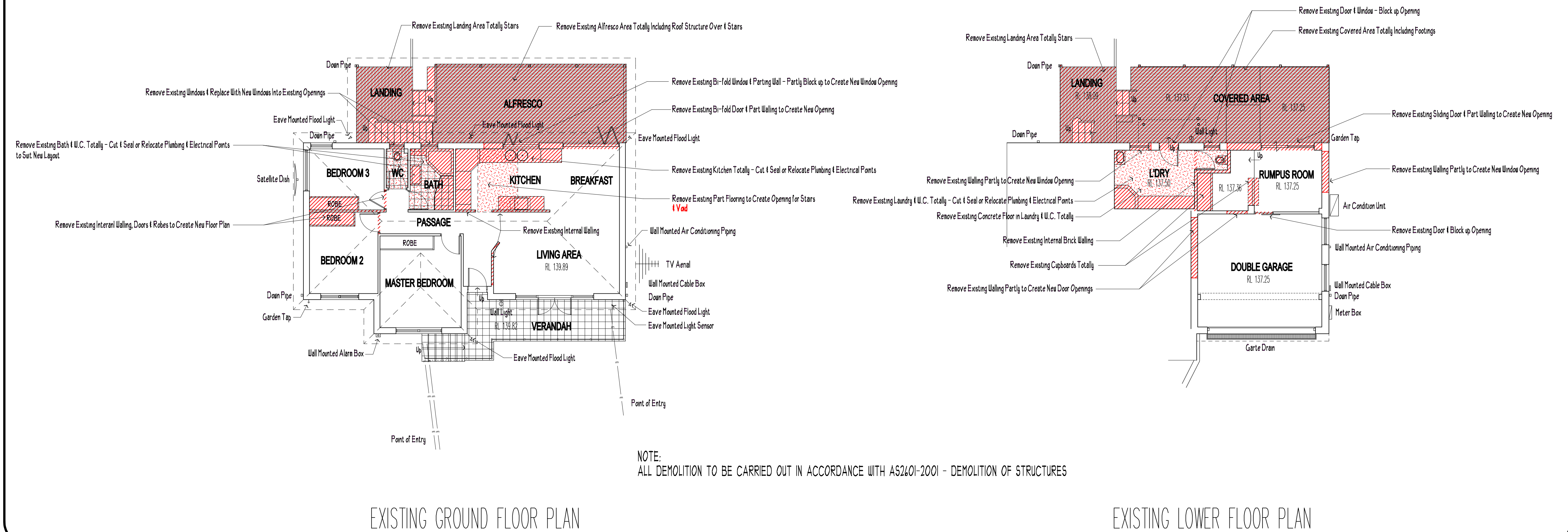
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BUENAVISTA home designs

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DATE PRINTED: WEDNESDAY, 16 SEPTEMBER 2020



ISSUE REVISION	ISSUE DATE	ISSUED FOR	ISSUED BY
A	2/5/19	Concept Drawings	R.H
B	23/8/19	Development Application Drawings	R.H
C	14/9/20	Section 4.55 Drawings	R.H



PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE AT :
21 RANGERS RETREAT ROAD
FRENCHS FOREST NSW 2086
FOR :
MR & MRS MILES

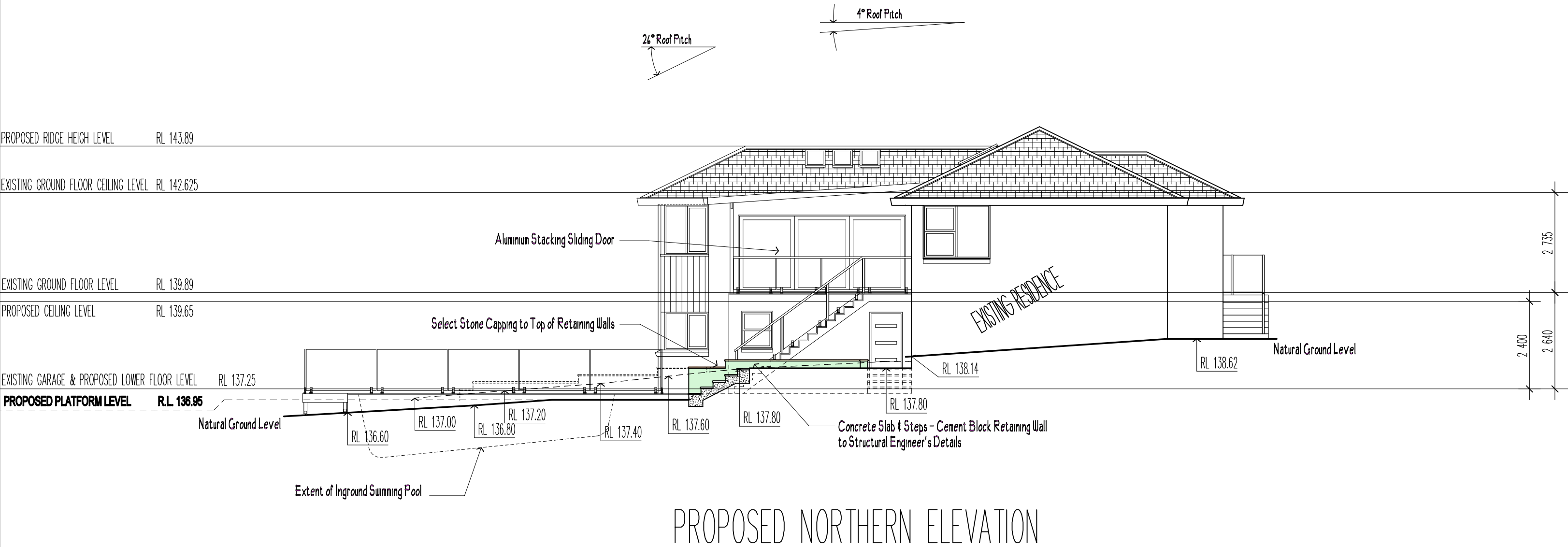
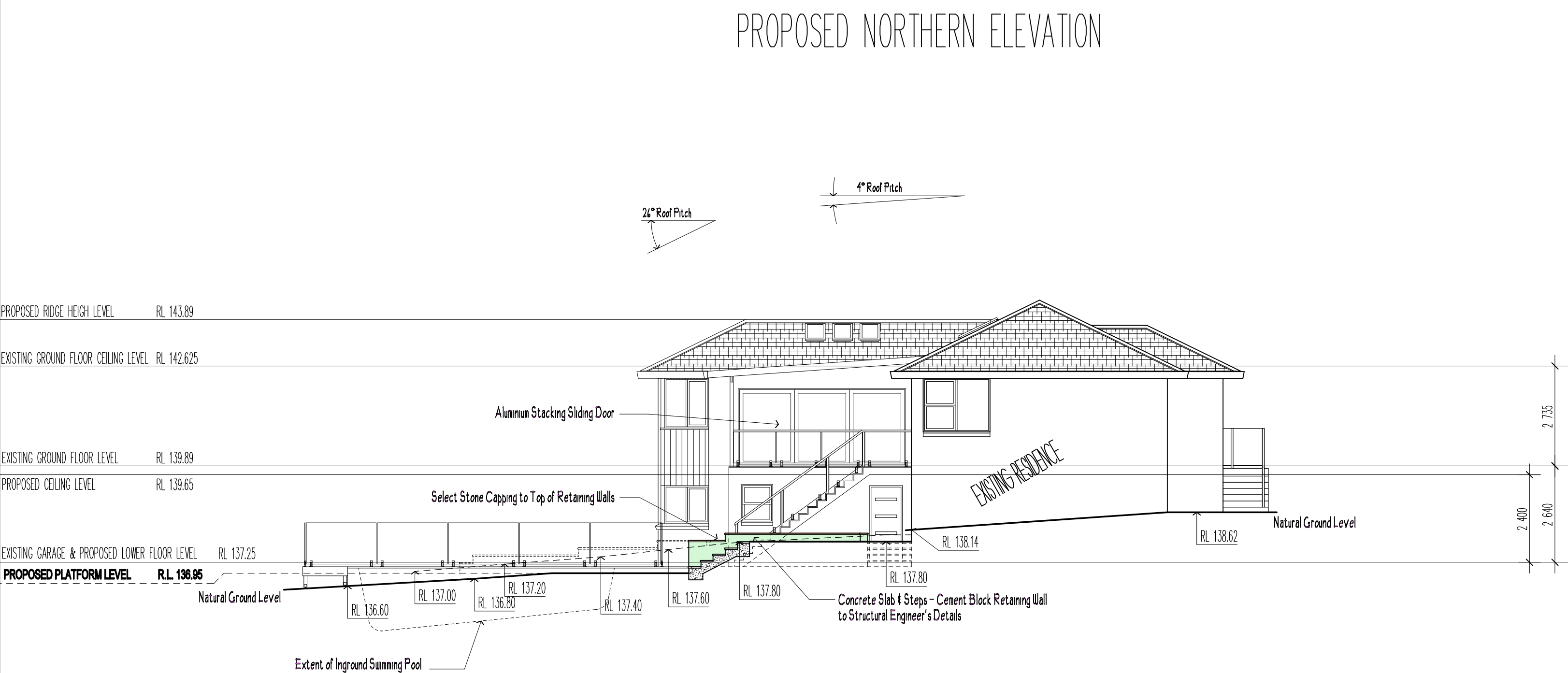
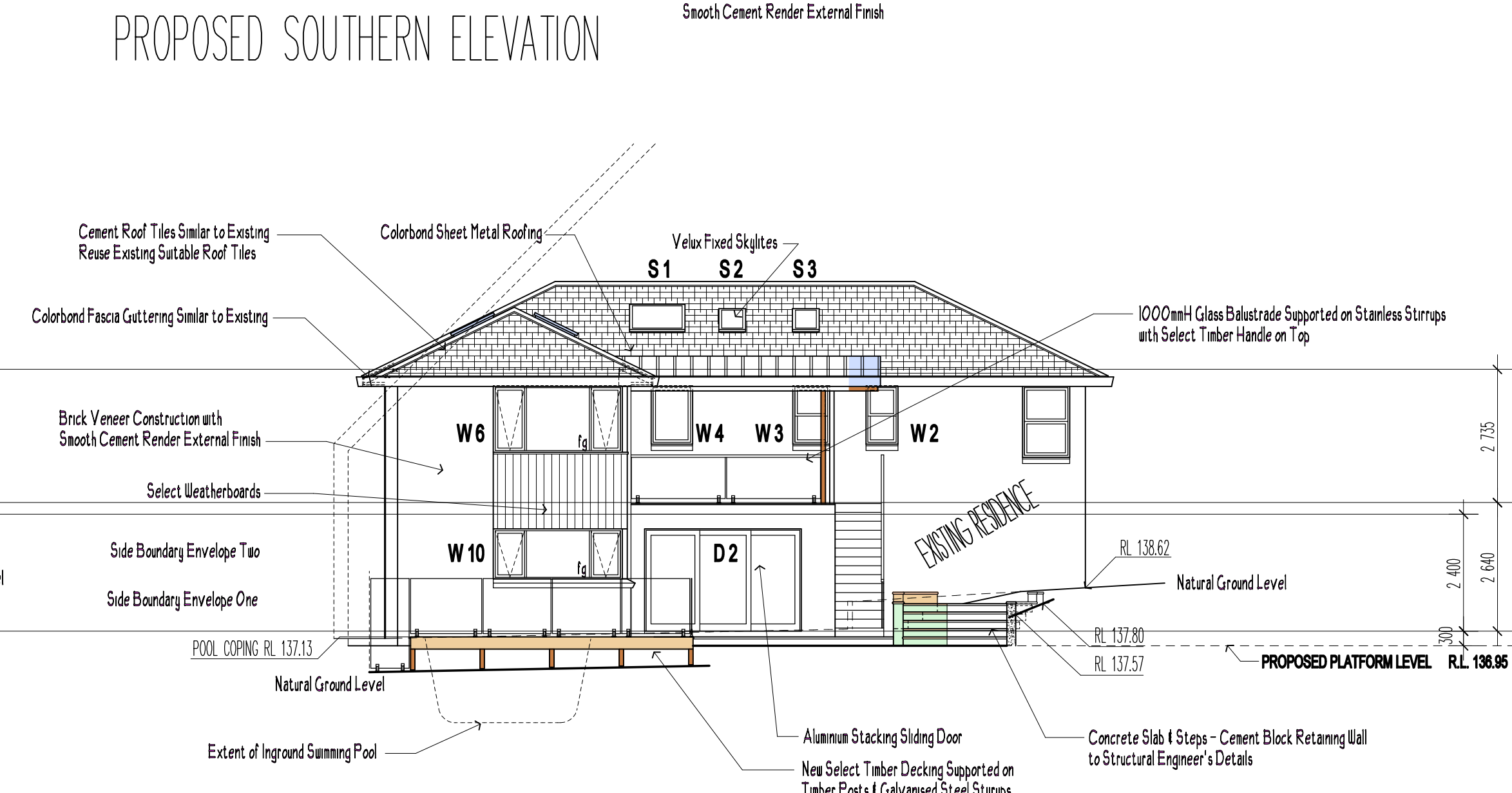
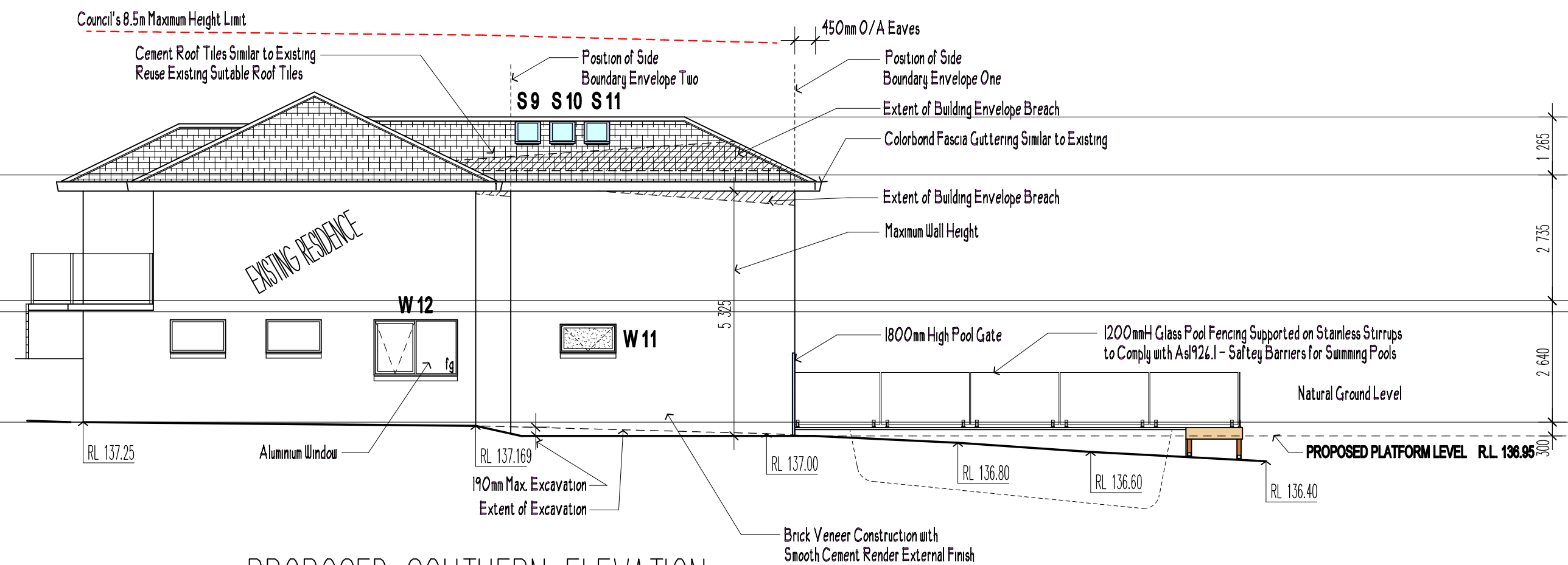
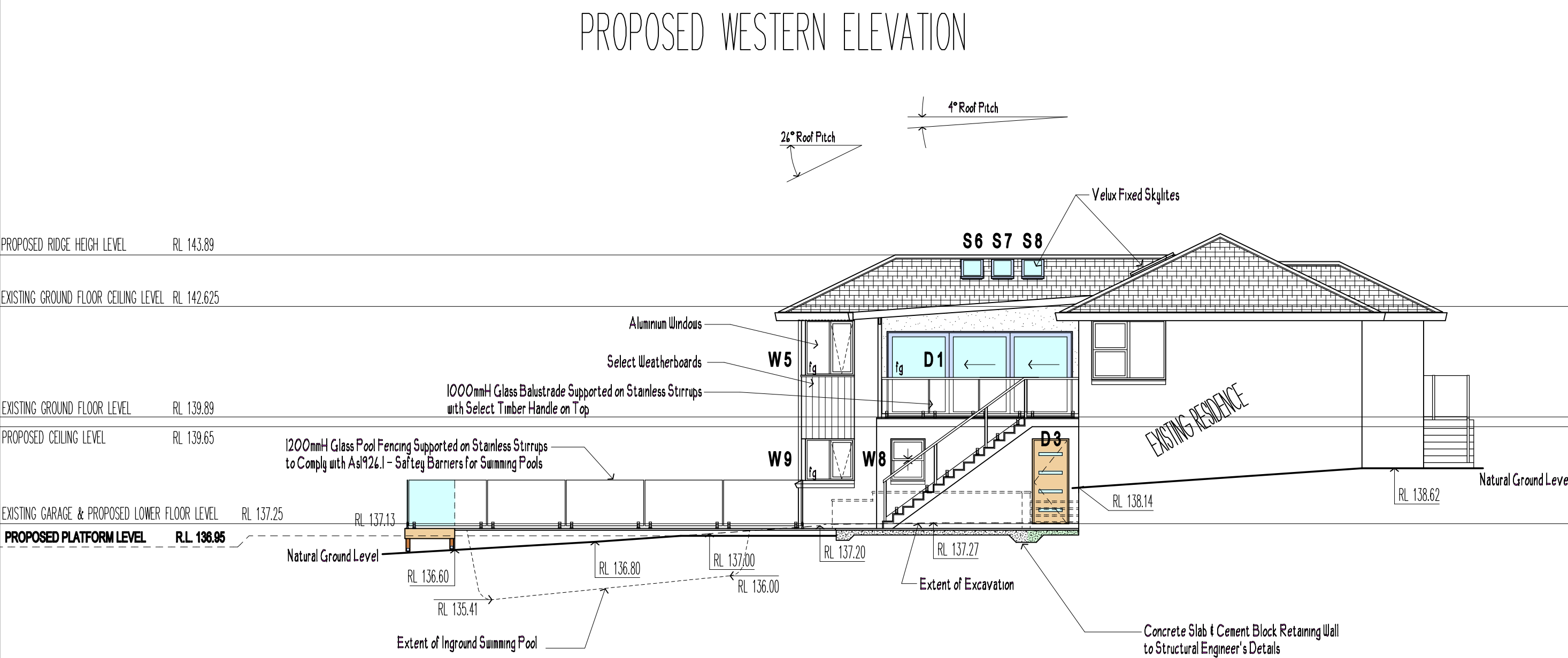
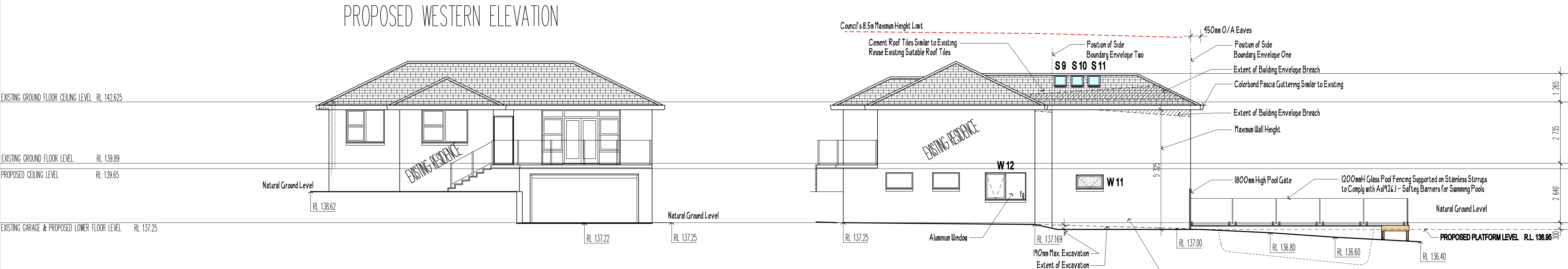
Scale 1:100 @ A1	Date AUGUST 2020	
Drawn by Rodney Hale	Drawing/Job No. 0687/19	Revision Issue C
Sheet No. S 4.55 - 05		

EXISTING PLANS & ELEVATIONS

LOT 1 DP 205274

Living the dream.

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35 BRISBANE AVENUE, MT KURING-GAI NSW 2080
PH: 9457 9303 MOB: 0411 758 479
email: rod_buenavista@optusnet.com.au



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ISSUE REVISION	ISSUE DATE	ISSUED FOR	ISSUED BY
A	23/7/19	Concept Drawings	R.H
B	23/8/19	Development Application Drawings	R.H
C	14/9/20	Section 4.55 Drawings	R.H



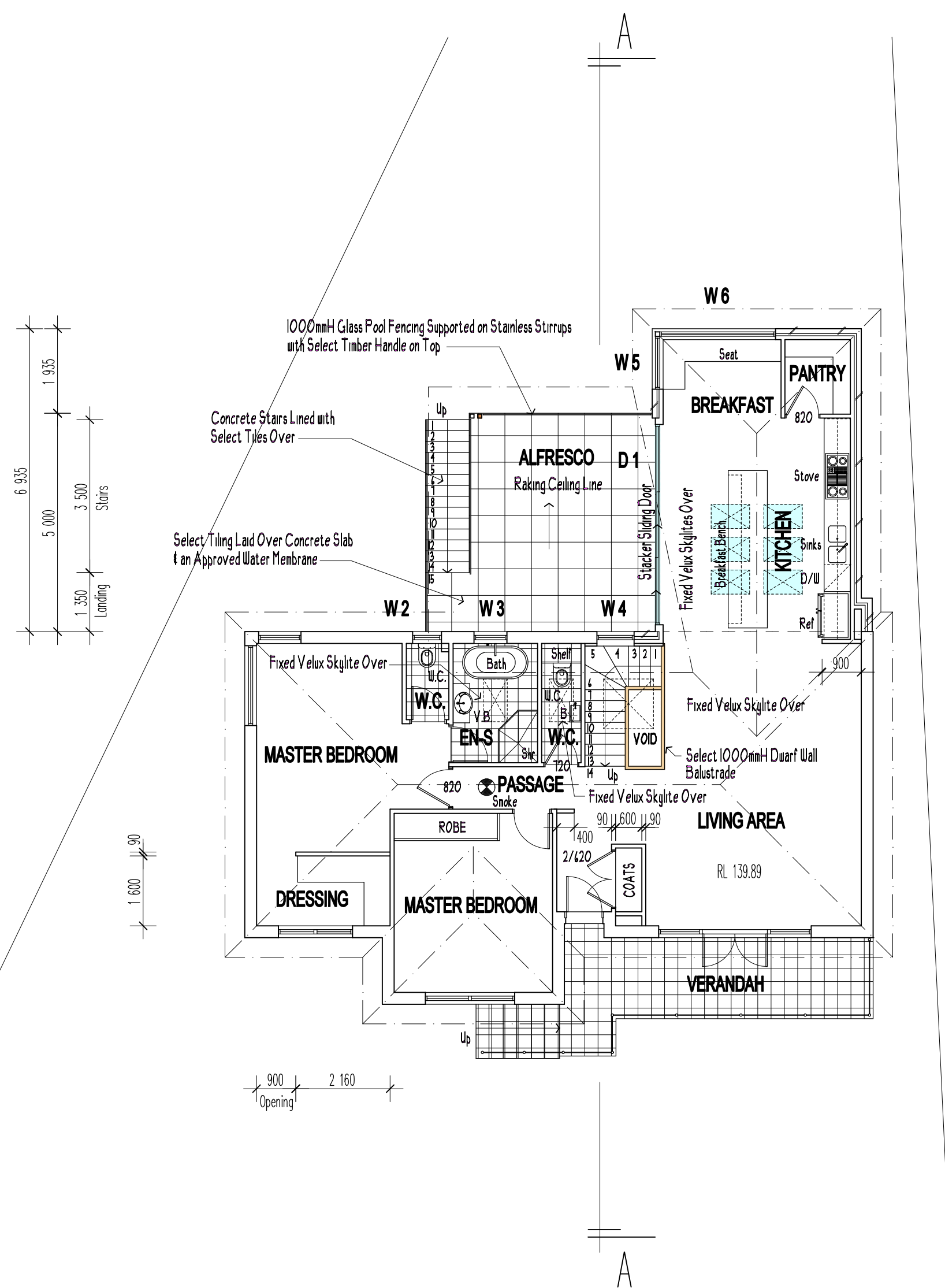
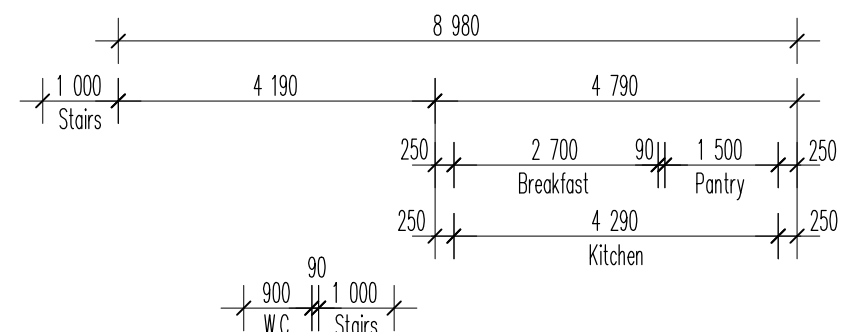
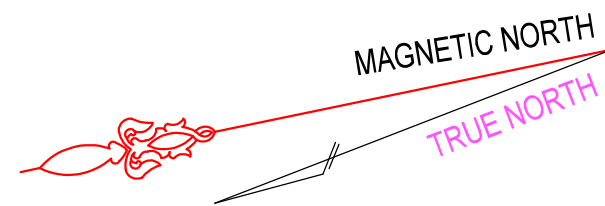
PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE AT :
21 RANGERS RETREAT ROAD
FRENCHS FOREST NSW 2086
FOR :
MR & MRS MILES

Scale	1:100 @ A1	Date	AUGUST 2020
Drawn by	Rodney Hild	Drawing/Job No.	0687/19
Sheet No.	S 4.55 - 06	Revision Issue	C

PROPOSED ELEVATIONS



BUENA VISTA HOME DESIGNS / R.H DESIGN
35 BRISBANE AVENUE, MT KURING-GAI NSW 2080
PH: 9457 9303 MOB: 0411 758 479
email: rod_buenavista@optusnet.com.au



NOTE
Smoke
Smoke Detector Positions

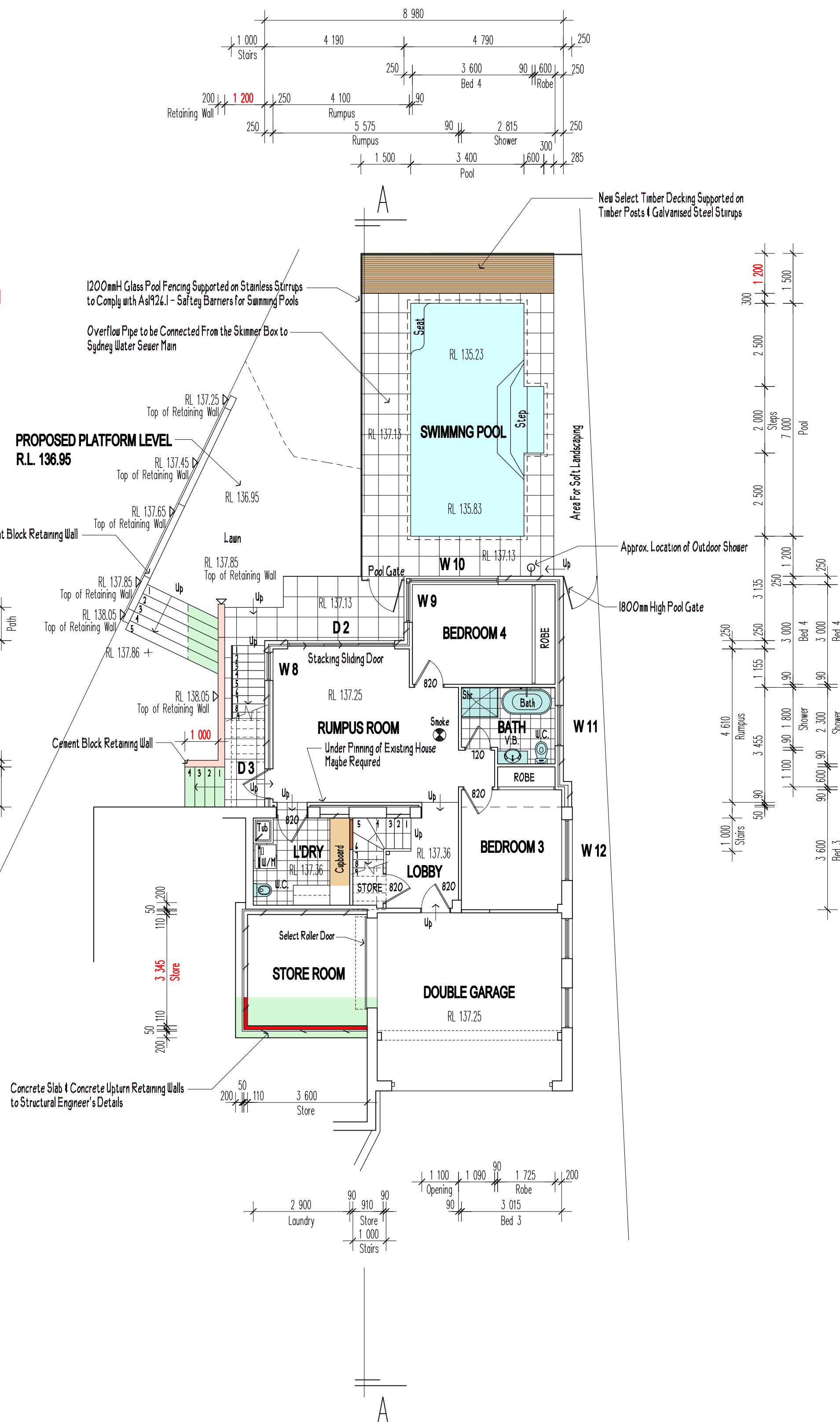
PROPOSED GROUND FLOOR PLAN

WINDOW & DOOR SCHEDULE

- ~~W 1~~ Aluminium Framed 1200H x 1210W - With Obscure Glazing
- W 2 Aluminium Framed to Fit Existing Opening 1200H x 660W - With Obscure Glazing
- W 3 Aluminium Framed to Fit Existing Opening 1200H x 775W - With Obscure Glazing
- W 4 Aluminium Framed Fixed 1200H x 850W
- W 5 Aluminium Framed 1365H x 1210W
- W 6 Aluminium Framed 1365H x 2650W
- ~~W 7~~ Aluminium Framed 1030H x 340W - Louvered Window
- W 8 Aluminium Framed 1030H x 850W
- W 9 Aluminium Framed 1030H x 1210W
- W 10 Aluminium Framed 1030H x 2650W
- W 11 Aluminium Framed 610H x 1210W - With Obscure Glazing
- W 12 Aluminium Framed 1200H x 1810W

- D 1 Aluminium Framed 2100H x 4582W - Stacking Sliding Door
- D 2 Aluminium Framed 2100H x 3216W - Stacking Sliding Door
- D 3 Timber Hinged Door - Home Entrance Door Savoy 820 XSII

- S 1 Velux Skylight - FS 2004 - 1140W x 180H - CO6
- S 2 & 3 Velux Skylight - FS 2004 - 550W x 980H - CO4
- ~~S 4 & 5 Velux Skylight - FCM 3046 - 870W x 1275H~~
- S 6, 7 & 8 Velux Skylight - FS 2004 - 550W x 980H - CO4
- S 9, 10 & 11 Velux Skylight - FS 2004 - 550W x 980H - CO4



PROPOSED LOWER FLOOR PLAN

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ISSUE REVISION	ISSUE DATE	ISSUED FOR	ISSUED BY
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C	14/9/20	Section 4.55 Drawings	R.H.

BUENAVISTA
home designs

PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE AT:
21 RANGERS RETREAT ROAD
FRENCHS FOREST NSW 2086

FOR:
MR & MRS MILES

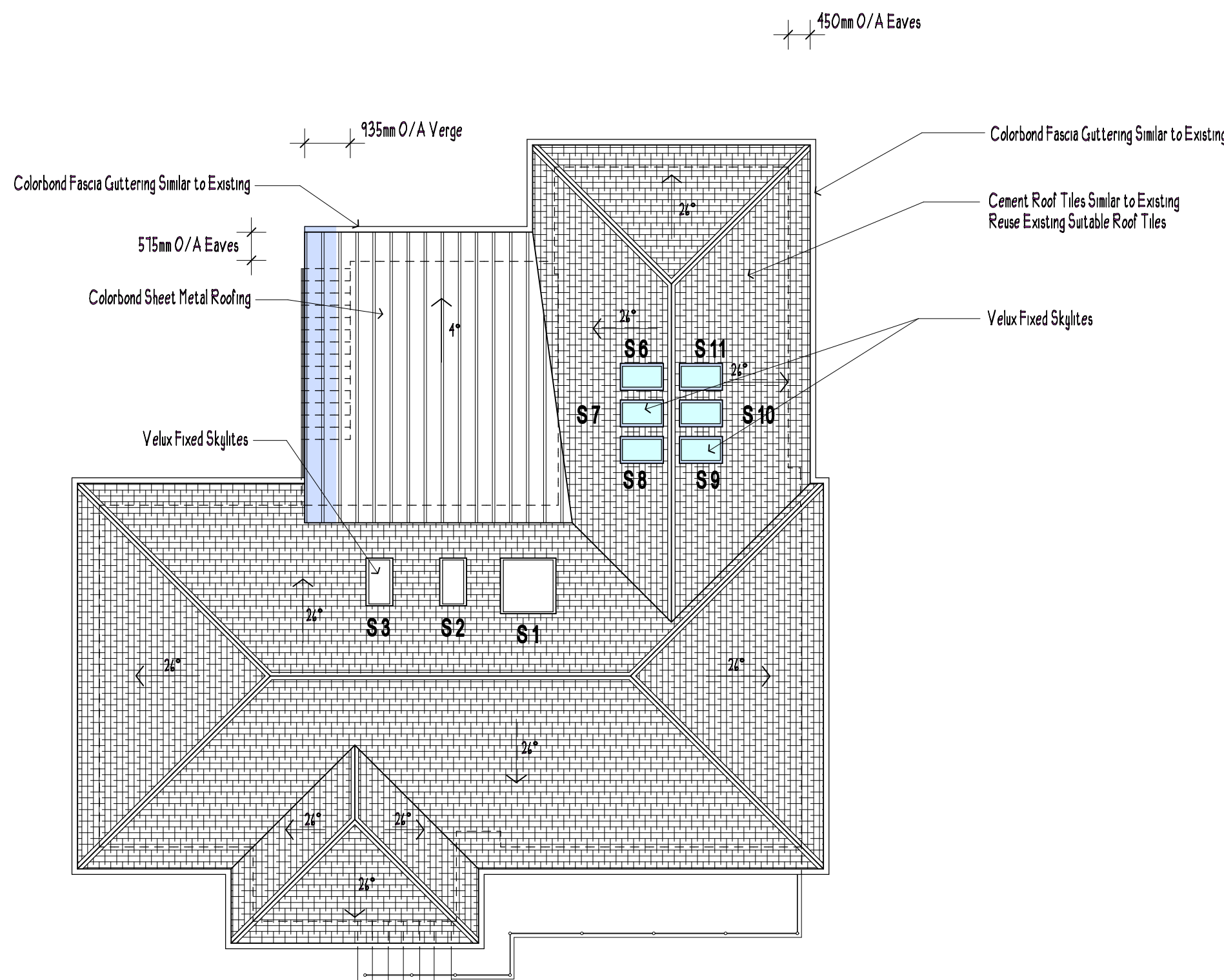
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Drawn by: Rodney Hale	Drawing/Job No: 0687/19
Sheet No: S 4.55 - 04	Revision Issue: C

PROPOSED PLANS

LOT 1 DP 205274

Living the dream.

BUENA VISTA HOME DESIGNS / R/H DESIGN
35 BRISBANE AVENUE, MT KURING-GAI NSW 2080
PH: 9457 9303 MOB: 0411 758 479
email: rod_buenavista@optusnet.com.au



PROPOSED ROOF LAYOUT

NOTE:
THE PROPOSED STORMWATER WILL BE CONNECTED TO THE EXISTING STORMWATER SYSTEM

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A335584_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 15, September 2020
To be valid, this certificate must be signed within 3 months of the date of issue.



Description of project

Project address	21 Rangers Retreat Rd Frenchs Forest, NSW
Project name	21 Rangers Retreat Rd Frenchs Forest 2088
Street address	21 Rangers Retreat Rd Frenchs Forest 2088
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 205274
Lot number	1
Section number	
Project type	Separate dwelling house
Dwelling type	
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

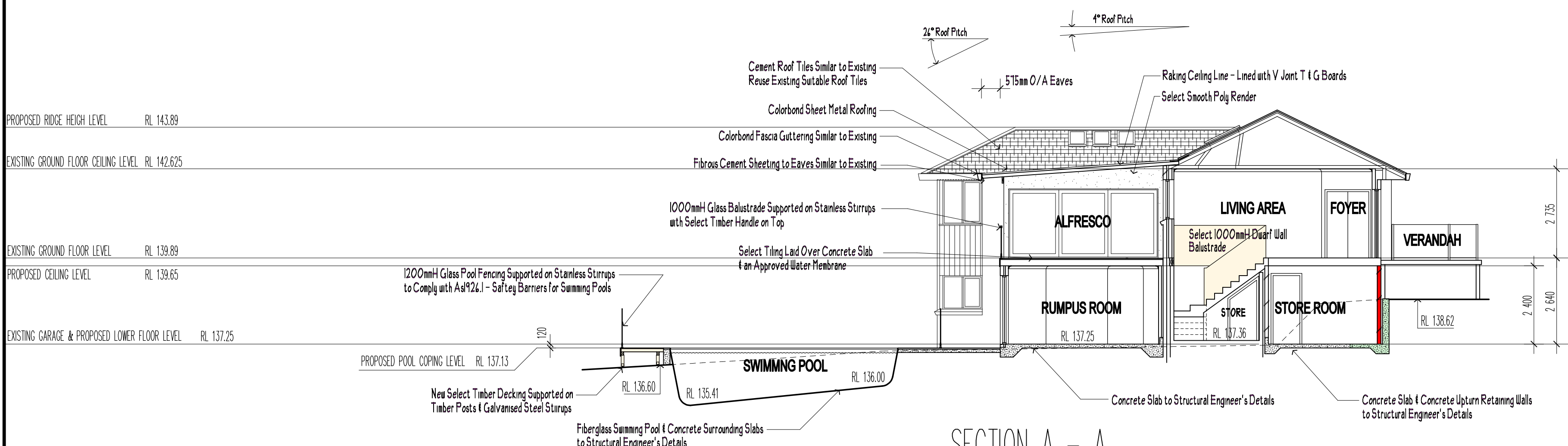
Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Frys Energywise

ABN (if applicable): 631418543

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 35.42 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.	✓	✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.	✓	✓	✓
Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓
Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements	✓	✓	✓
The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: framed (weatherboard, fibre, metal clud)	R1.30 (or R1.70 including construction)		
internal wall shared with garage: plasterboard (R0.38)	nil		
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: full/sarking	medium (solar absorptance 0.475 - 0.70)	
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: full/sarking	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door:	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-glass, or clear/air gap/clear glazing, or toner/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described in millimetres, the leading edge of each save, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓					
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
External louvers and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glassing (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W2	E	0.79	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, U-value: 7.7, SHGC: 0.47
W3	E	0.93	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	E	1.62	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
Glazing requirements						
Window / door no.	Orientation	Area of glassing (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W5	N	1.65	0	0	=600 mm	U-value: 7.63, SHGC: 0.75
W6	E	3.62	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8	N	9.8	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	N	1.25	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	E	2.73	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	S	0.74	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	S	2.17	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D1	N	9.62	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D2	E	8.75	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:				✓	✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.				✓	✓	✓
Glazing requirements						
the table below:						
Skylights glazing requirements						
Skylight number	Area of glazing (m ²)	Shading device	Frame and glass type			
S1	1.35	no shading	timber, low-E internal/argon filled clear external, (or U-value: 2.5, SHGC: 0.456)			
S2	0.54	no shading	timber, low-E internal/argon filled clear external, (or U-value: 2.5, SHGC: 0.456)			
S6-8	1.61	no shading	timber, low-E internal/argon filled clear external, (or U-value: 2.5, SHGC: 0.456)			
S9-11	1.61	no shading	timber, low-E internal/argon filled clear external, (or U-value: 2.5, SHGC: 0.456)			
S3	0.54	no shading	timber, low-E internal/argon filled clear external, (or U-value: 2.5, SHGC: 0.456)			



SECTION A - A

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B	23/8/19	Development Application Drawings	R.H.
C	14/9/20	Section 4.55 Drawings	R.H.



PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE AT :
21 RANGERS RETREAT ROAD
FRENCHS FOREST NSW 2086

FOR :
MR & MRS MILES

Scale	1:100 @ A1	Date	AUGUST 2020
Drawn by	Rodney Hale	Drawing/Job No.	0687/19
Sheet No.	S 4.55 - 07	Revision Issue	C

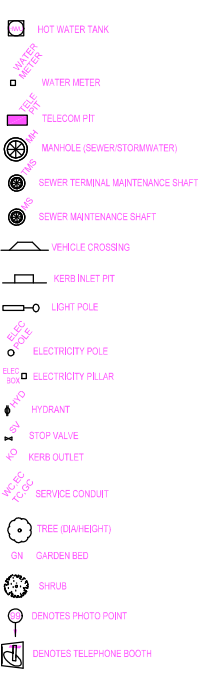
PROPOSED ROOF LAYOUT - SECTION & BASIX

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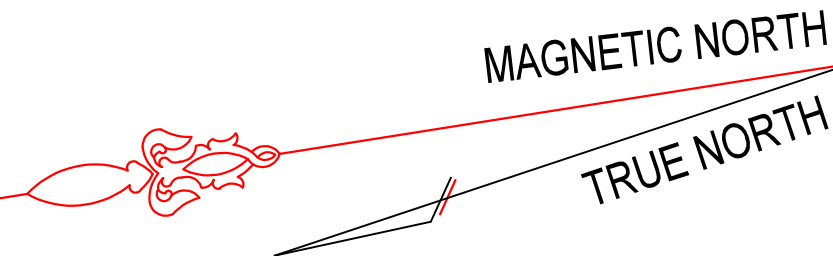
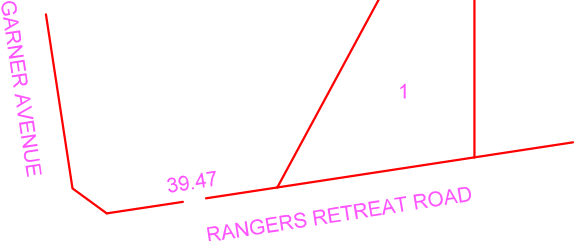
BUENA VISTA HOME DESIGNS / R.H. DESIGN
35 BRISBANE AVENUE, MT KURING-GAI NSW 2080
PH: 9457 9303 MOB: 0411 758 479
email: rod_buenavista@optusnet.com.au

TREE SCHEDULE		
TREE No.	HEIGHT	NAME
1	0.8D 5H	
2	0.2D 2H	
3	0.4D 8H	
4	0.8D 7H	
5	0.5D 12H	
6	0.8D 10H	Paper Bark
7	0.5D 8H	Palm
8	0.5D 8H	Palm
9	0.2D 2H	
10	0.2D 2H	
11	0.2D 4H	Palm
12	0.2D 2H	
13	0.4D 10H	
14	0.6D	Stump
15	0.4D 10H	Palm
16	0.4D 10H	Palm
17	0.2D 4H	Pine
18	0.2D 4H	
19	0.2D 8H	
20	0.2D 8H	

LEGEND



LOCATION PLAN
UBD REF: 176, L8
LAT: -33.756789
LONG: 151.229783



BEARINGS SHOWN HAVE BEEN DEDUCED FROM LAND & PROPERTY INFORMATION PLANS AND ARE RELATED TO MAGNETIC NORTH. TRUE NORTH IS APPROXIMATE ONLY. FURTHER INVESTIGATION WILL BE REQUIRED TO DETERMINE ACCURATE TRUE NORTH.

6.48 Sqm Landscaped Area

90.69 Sqm Landscaped Area

28.00 Sqm Landscaped Area Swimming Pool Area

18.85 Sqm Landscaped Area

TWO STOREY WEATHERBOARD RESIDENCE METAL ROOF No 23

LOT B
D.P.327134

206.32 Sqm Landscaped Area

LOT 2

19.65 Sqm Landscaped Area

RANGERS RETREAT ROAD
KARB

ALL KARB LEVELS REPRESENT TOP OF KARB.

DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

ORIGIN OF LEVELS: PM 2753
RL 142.415

SOURCE OF LEVELS: SCIMS

PROPOSED LANDSCAPING RATIO PLAN

- EXTENT OF EXISTING & PROPOSED DWELLING
- EXTENT OF ALFRESCO AREA & STAIRS WITH SINGLE STOREY ADDITION UNDER
- EXTENT OF RETAINING WALLS
- EXTENT OF PAVED AREAS
- EXTENT STEPS, PATH & DRIVEWAY
- EXTENT OF INGROUND SWIMMING POOL
- EXTENT OF SOFT LANDSCAPED AREA - TOTAL 369.99 Sqm

CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LPI, NSW AND ARE SUBJECT TO FINAL SURVEY.
BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.
THE RELATIONSHIP OF IMPROVEMENTS & SURVEYED DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY.
SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH ACCURATE POSITION AND DEPTH OF ANY SERVICES.
DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE



PROPOSED LANDSCAPING RATIO PLAN



BUENA VISTA HOME DESIGNS / R/H DESIGN
35 BRISBANE AVENUE, MT. KURING-GAI NSW 2080
PH: 9457 9303 MOB: 0411 758 479
email: rod_buenavista@optusnet.com.au

ISSUE REVISION	ISSUE DATE	ISSUED FOR	ISSUED BY
A	2/5/19	Concept Drawings	R/H
B	23/8/19	Development Application Drawings	R/H
C	14/9/20	Section 4.55 Drawings	R/H

STRUCterre consulting
REGISTERED SURVEYORS & LAND INFORMATION CONSULTANTS
Suite 1, Level 2, 42 Birnie Avenue Lidcombe, NSW 2141
Phone: 9646 5811, Fax: 9646 2311
Email: nswsurveying@strucsterre.com.au
www.strucsterre.com.au

DRAWN: C.H	JOB 1776/324535	DATE: 27.03.2019
CHECKED: GD	FILE NAME 324535	DATUM: AHD

PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE AT :
21 RANGERS RETREAT ROAD
FRENCHS FOREST NSW 2086

FOR :
MR & MRS MILES

Scale: 1:100 @ A1	Date: AUGUST 2020
Drawn by: Rodney Hale	Drawing/Job No: 0687/19
Sheet No: S 4.55 - 03	Revision: C

LOT 1 DP 205274

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Finished ground levels on the plan are subject to the site conditions. Do not scale from drawings. Figured dimensions are to be given preference over scale. All figured dimensions are to be checked on site.