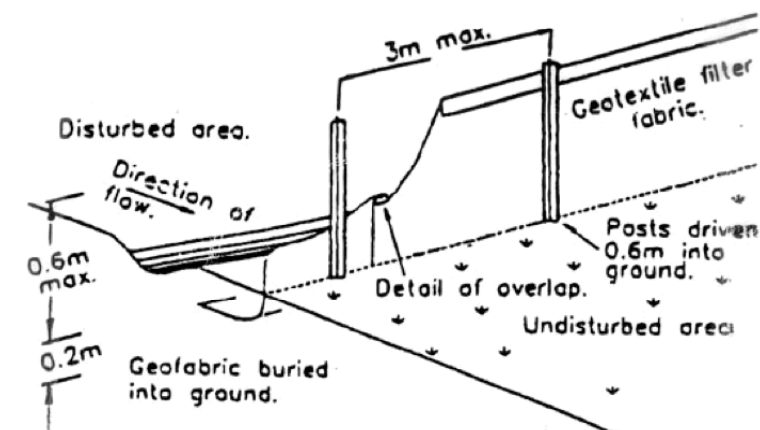


Pool & Landscape D A

154 Central Road, Avalon NSW 2107

Drawing List

Sheet No.	Sheet Name	Sheet Size	Rev. No.	Rev. Date	Project No.
L-01	Site Plan - Sediment/Erosion Control Plan	A3	C	7/6/21	1354
L-02	SITE CALCULATION PLANS	A3	C	7/6/21	1354
L-03	REAR YARD LANDSCAPE PLAN	A3	C	7/6/21	1354
L-04	PLANTING DETAILS	A3	C	7/6/21	1354
L-05	SECTION A & B	A3	C	7/6/21	1354
L-06	SECTION C	A3	C	7/6/21	1354
L-07	ELEVATION D	A3	C	7/6/21	1354
L-08	ELEVATION E	A3	C	7/6/21	1354
L-09	ELEVATION F	A3	C	7/6/21	1354
L-10	NOTES	A3	C	7/6/21	1354

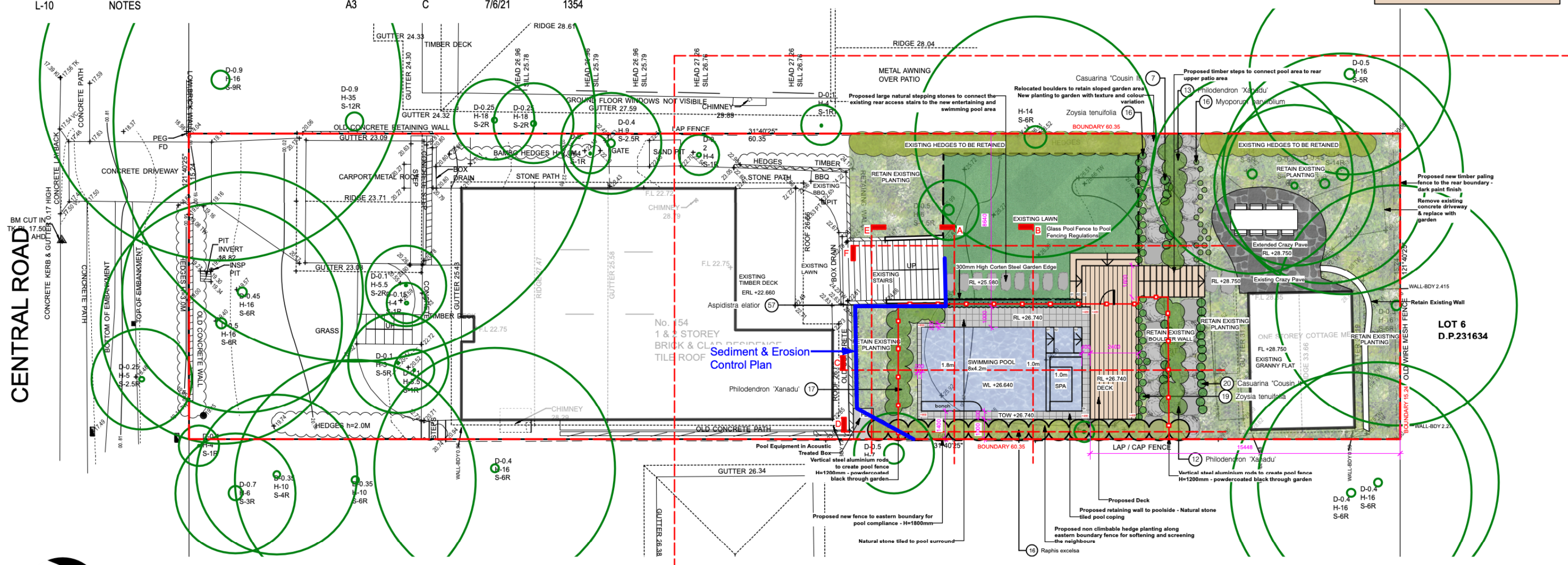
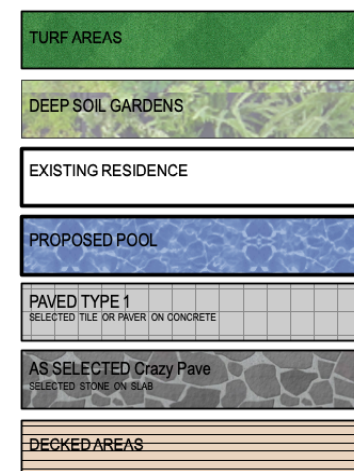


Sediment Fence

EXISTING TREE LEGEND



LEGEND



Ref to Drawing L- 03

C	7/6/21	DA Issue
ISSUE	DATE	COMMENT
AMENDMENTS		



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Project	Proposed Residence	
Address	154 Central Road, Avalon NSW 2107	
Drawing Title	Site Plan - Sediment/Erosion Control Plan	Date 31/05/2021
		Scale 1:200@A3
		Drawing No. 1354

Page
L-01

SITE CALCULATIONS

Site Area = 919 sqm
Proposed Soft Landscape Area = 418 sqm or 45.48% of Site Area (excluding pool water area)
Pool Water Area = 33.6sqm
Pool Paved Coping Area = 13sqm

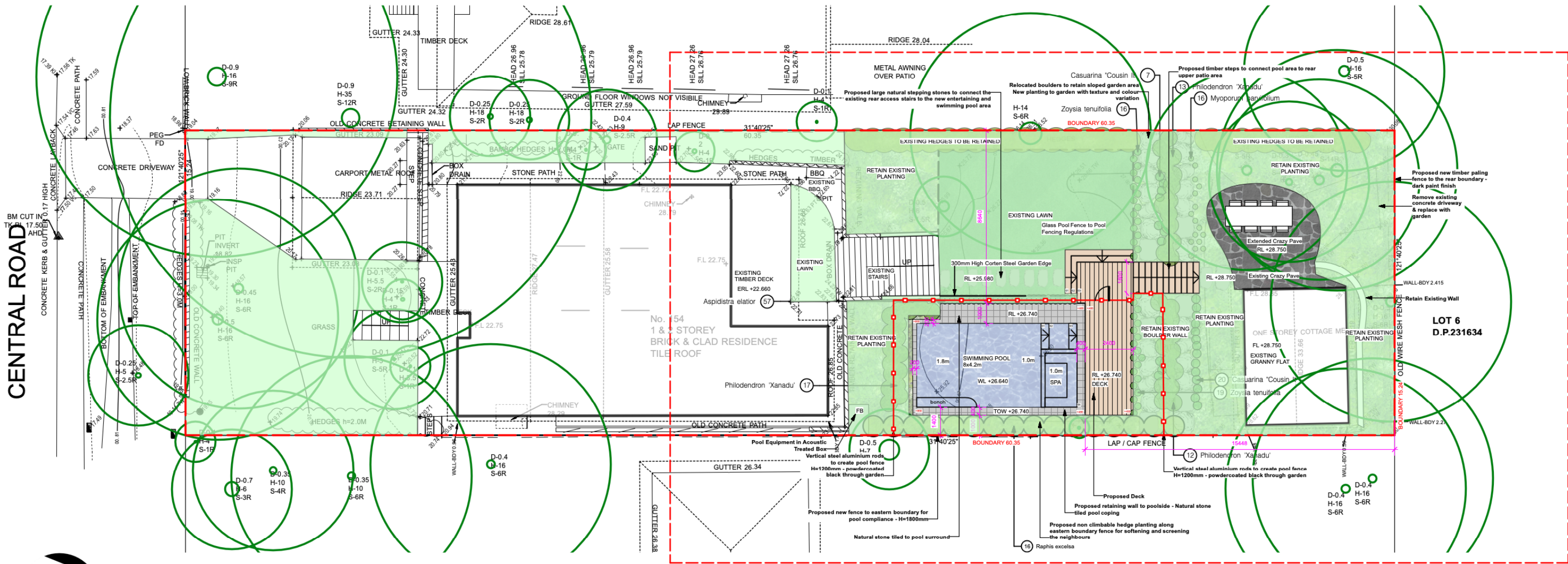
Pool Water Volume = 39.9KL

EXISTING TREE LEGEND



LEGEND

LANDSCAPE AREAS
PROPOSED RESIDENCE
PROPOSED POOL
PAVED TYPE 1 SELECTED TILE OR PAVEMENT ON CONCRETE
AS SELECTED DECO GRANITE SELECTED STONE ON SLAB
DECKED AREAS



Ref to Drawing L- 03

C	7/6/21	DA Issue
ISSUE	DATE	COMMENT
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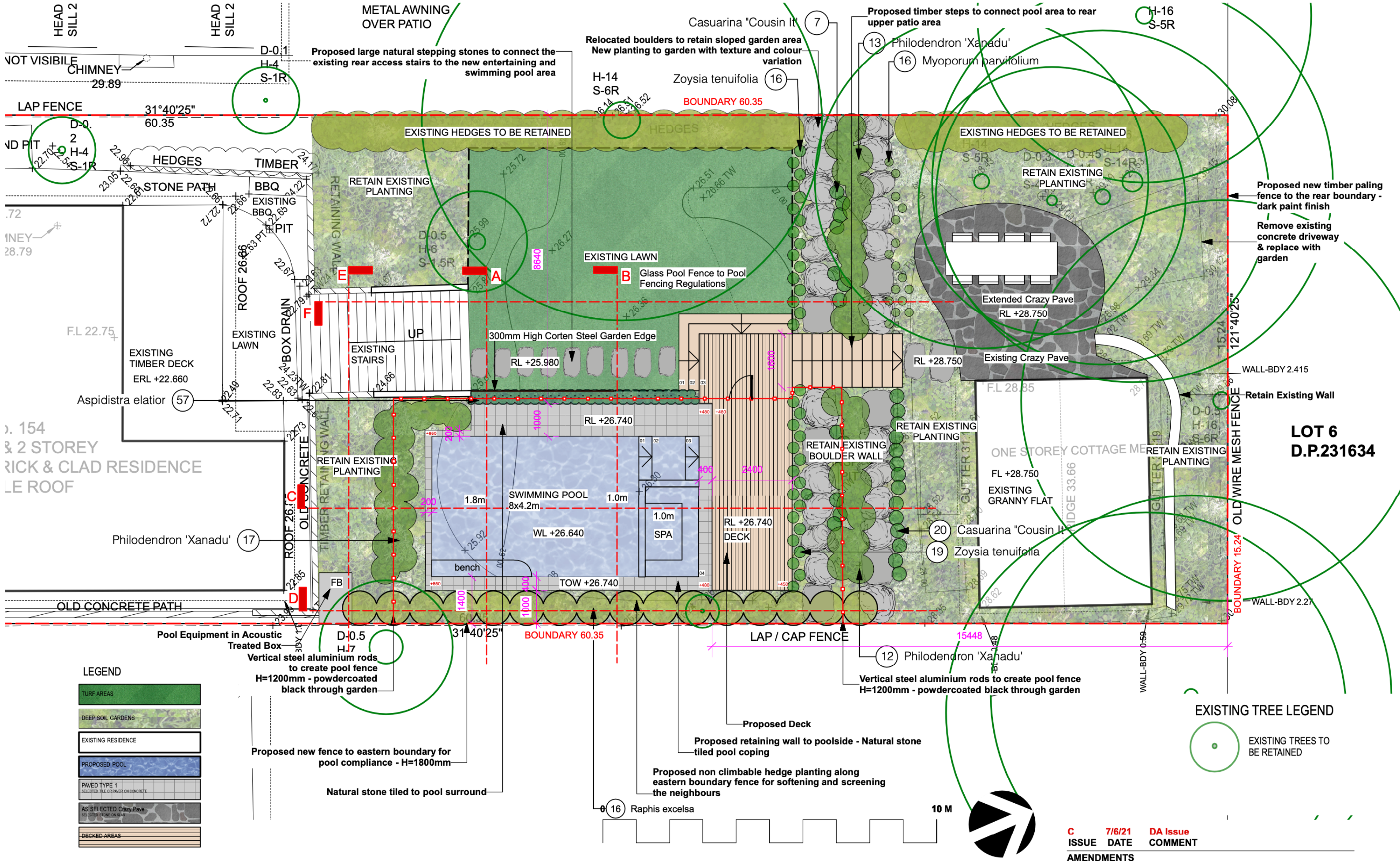
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Project **Proposed Residence**
Address **154 Central Road, Avalon NSW 2107**
Drawing Title **SITE CALCULATION PLANS**

Date **31/05/2021**

Scale **1:200@A3**

Drawing No. **1354**



Plant List

ID	Botanical Name	Common Name	Scheduled Size	Mature Height	Mature Spread	Qty
Shrubs						
Phi-xan	Philodendron 'Xanadu'	Winterborn Philodendron	200mm	1m	0.9 - 1.2m	42
rap-exc	Raphis excelsa	Lady Palm	300mm	2.5m	1.2m	16
Ground Covers						
Asp-ela	Aspidistra elatior	Cast Iron Plant	150mm	0.45 - 0.6m	0.6 - 0.9m	57
cas'ci'	Casuarina 'Cousin It'	Casuarina 'Cousin It'	150mm	0.0 - 0.3m	1.2 - 2.0m	27
Myo-par	Myoporum parvifolium	Carpet Spreading Myoporum	150mm	0.45 - 0.6m	0.3m	16
Zoy-ten	Zoysia tenuifolia	Petting Grass	150mm	0.0 - 0.3m	0.3 - 0.6m	35



Philodendron xanadu
Winterborn philodendron



Raphis excelsa
Lady Palm



Aspidistra elatior
Cast Iron Plant



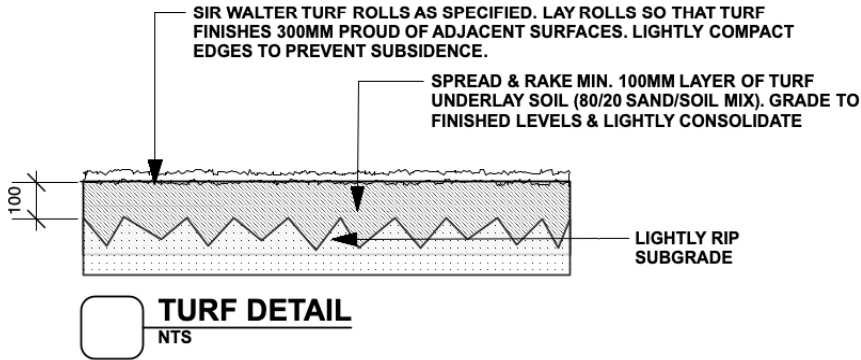
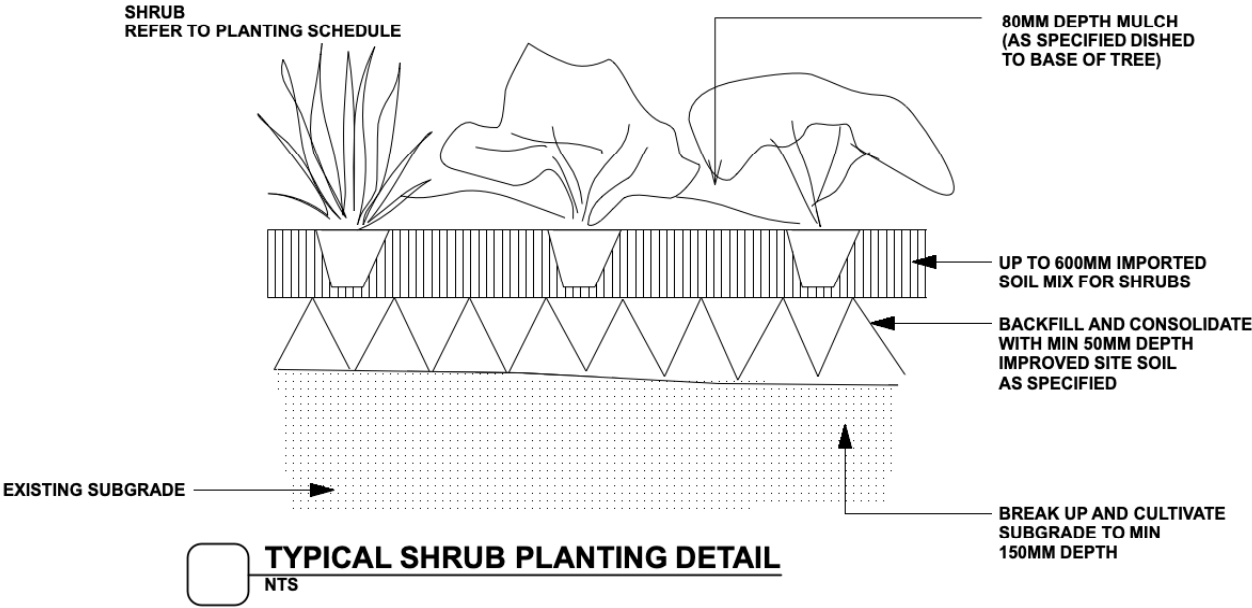
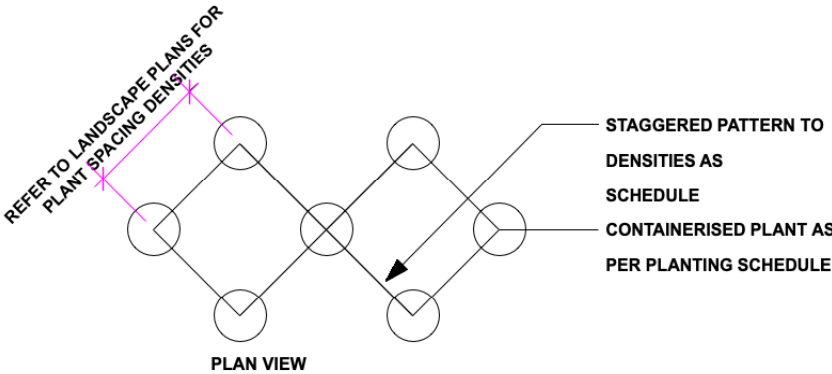
Casuarina 'Cousin it'
Cousin it



Myoporum parvifolium
Yareena Creeping Boobiala



Zoysia tenuifolia
Petting grass



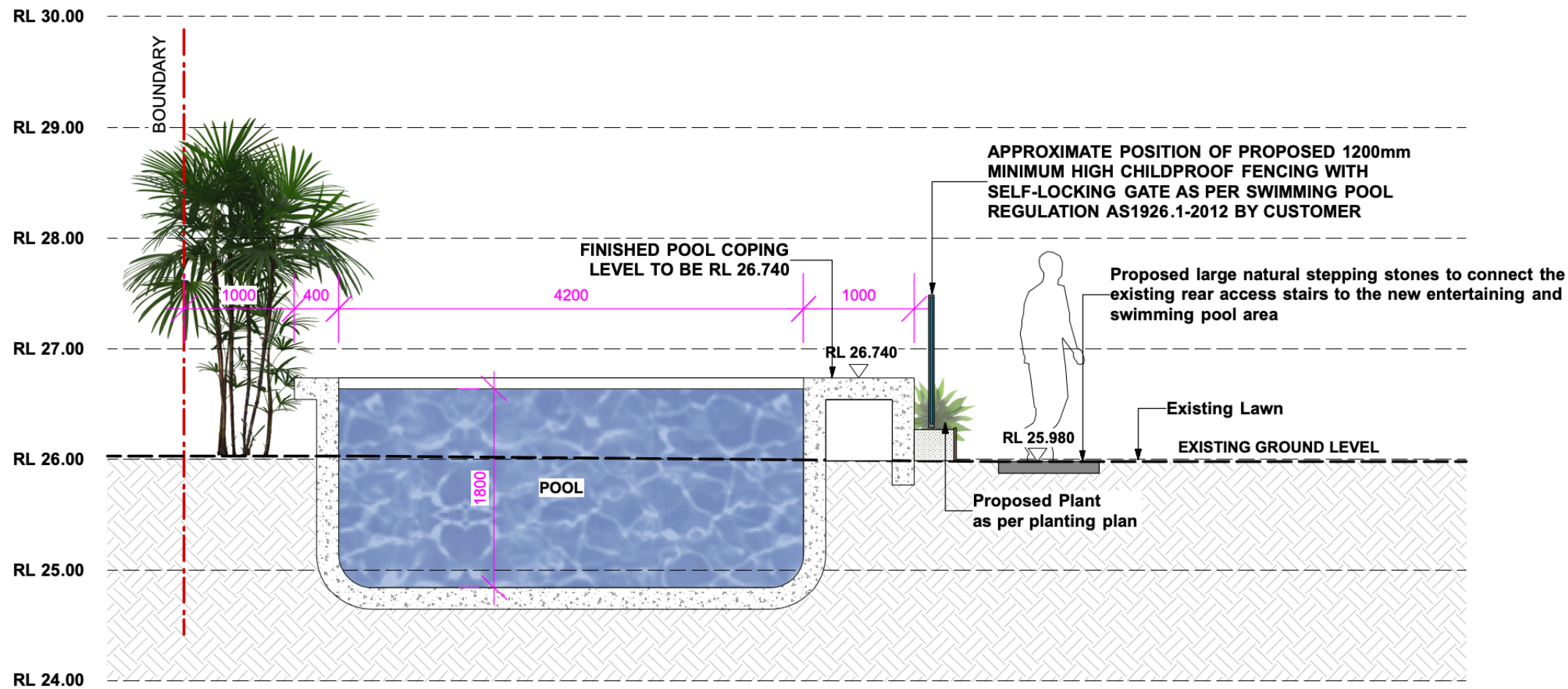
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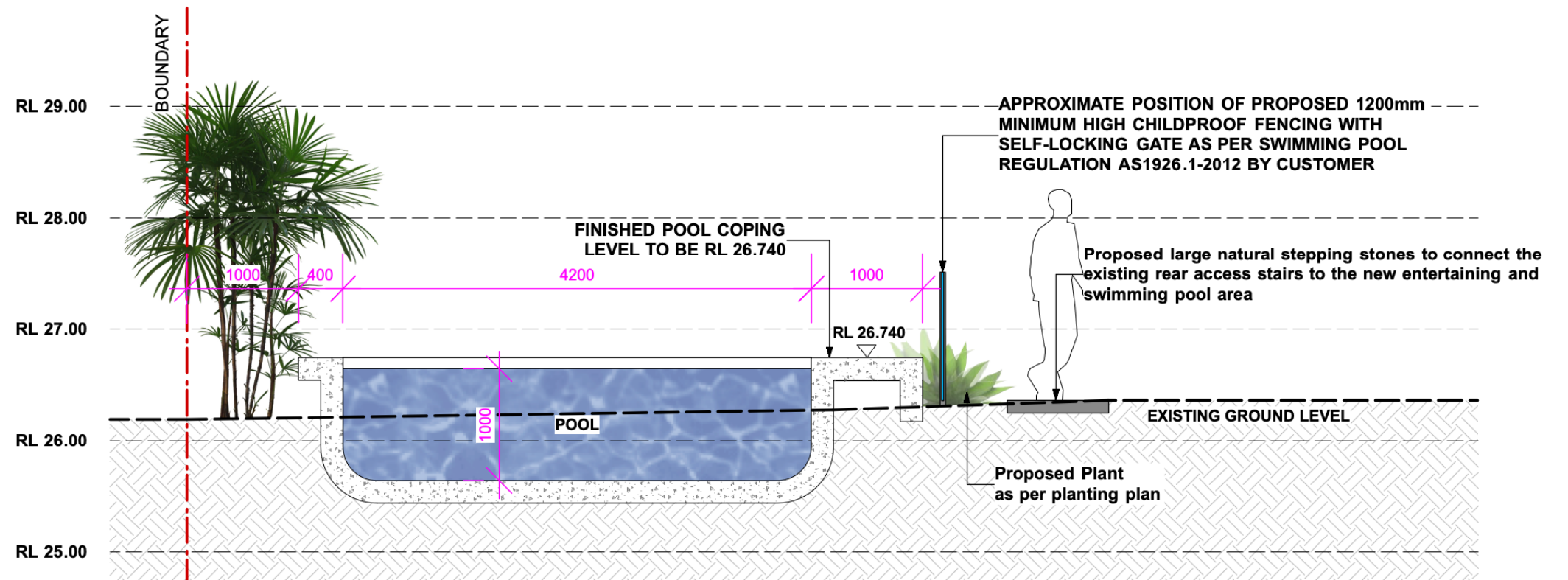
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Project	Proposed Residence		
Address	154 Central Road, Avalon NSW 2107		Date 31/05/2021
Drawing Title	PLANTING DETAILS		Scale N.T.S@A3
			Drawing No. 1354

C	7/6/21	DA Issue
ISSUE	DATE	COMMENT
AMENDMENTS		



1 SECTION A
Scale: 1:50



2 SECTION B
Scale: 1:50

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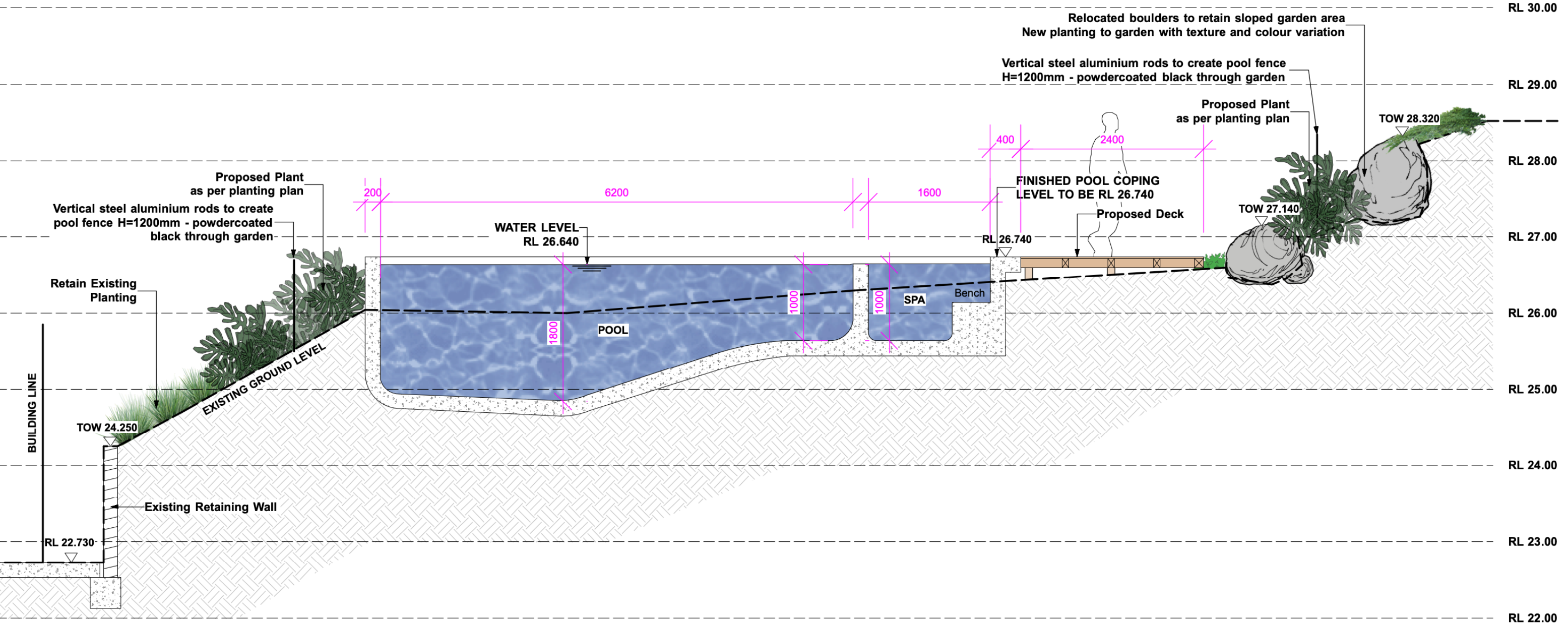
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Address	154 Central Road, Avalon NSW 2107		Date 31/05/2021
Drawing Title	SECTION A & B		Scale 1:50@A3

C	7/6/21	DA Issue
ISSUE	DATE	COMMENT
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Drawing No. 1354

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3 SECTION C
Scale: 1:50

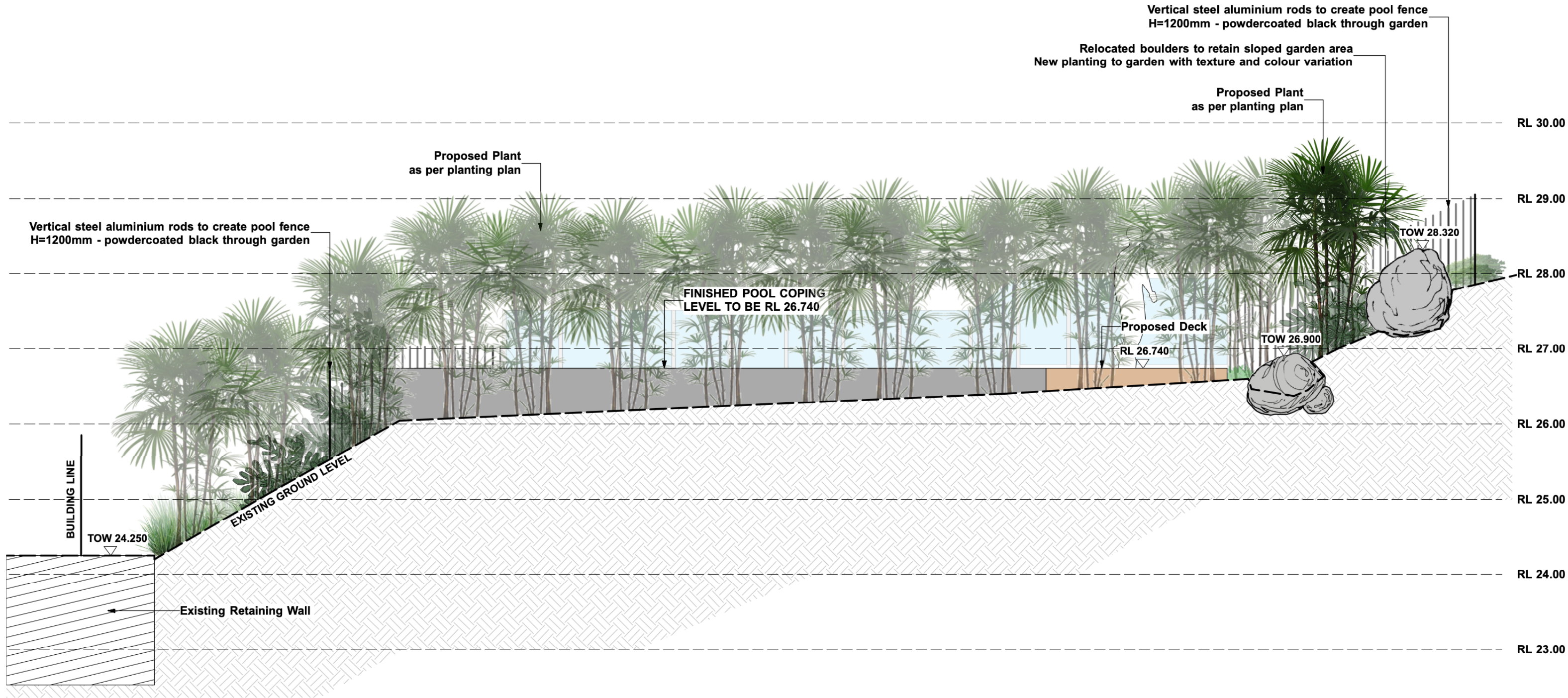
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Project	Proposed Residence	
Address	154 Central Road, Avalon NSW 2107	Date 31/05/2021
Drawing Title	SECTION C	Scale 1:50@A3
		Drawing No. 1354



4

ELEVATION D

Scale: 1:50

C **7/6/21** **DA Issue**
ISSUE **DATE** **COMMENT**

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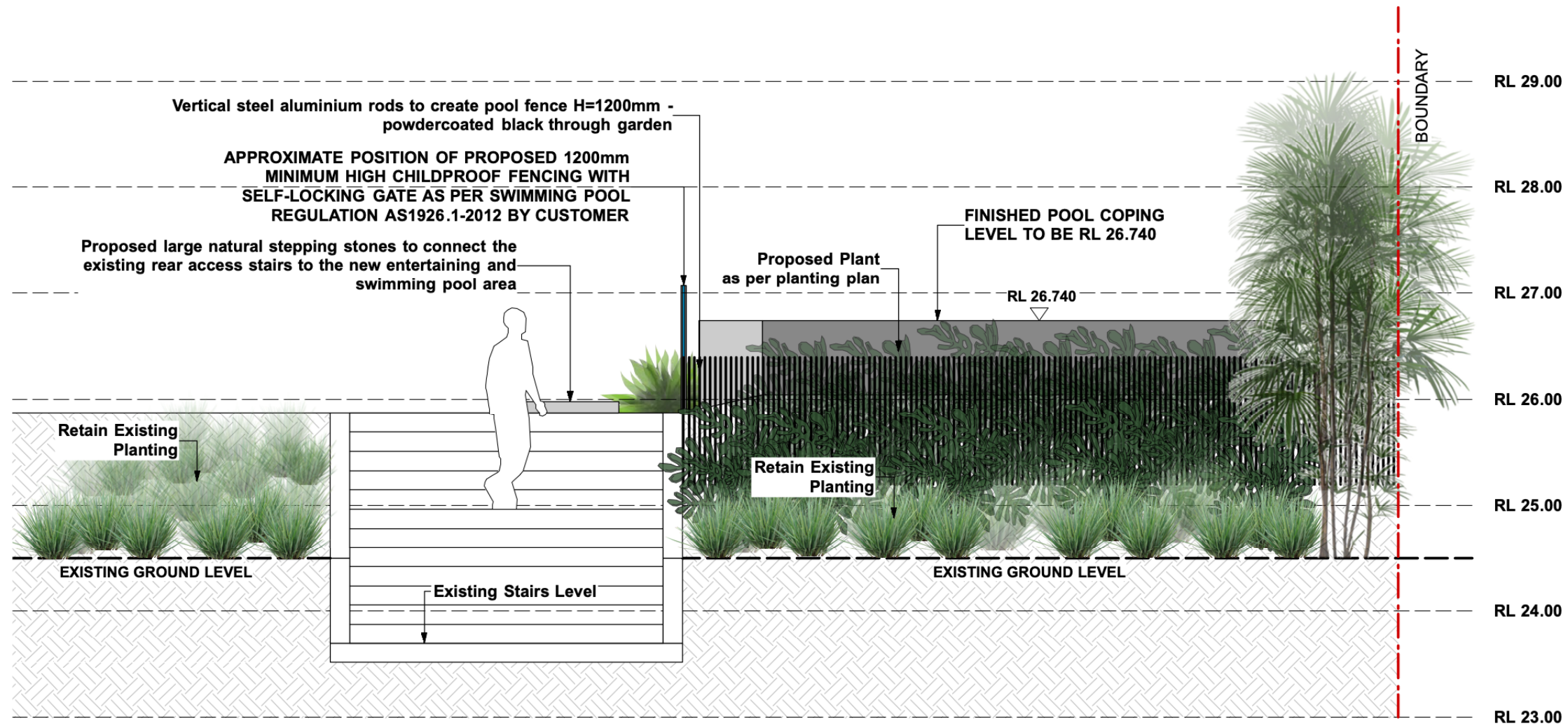
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Project	Proposed Residence	
Address	154 Central Road, Avalon NSW 2107	Date 31/05/2021
Drawing Title	ELEVATION D	Scale 1:50@A3

Drawing No. **1354**

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5 **ELEVATION E**
Scale: 1:50

C **7/6/21** **DA Issue**
ISSUE **DATE** **COMMENT**

AMENDMENTS

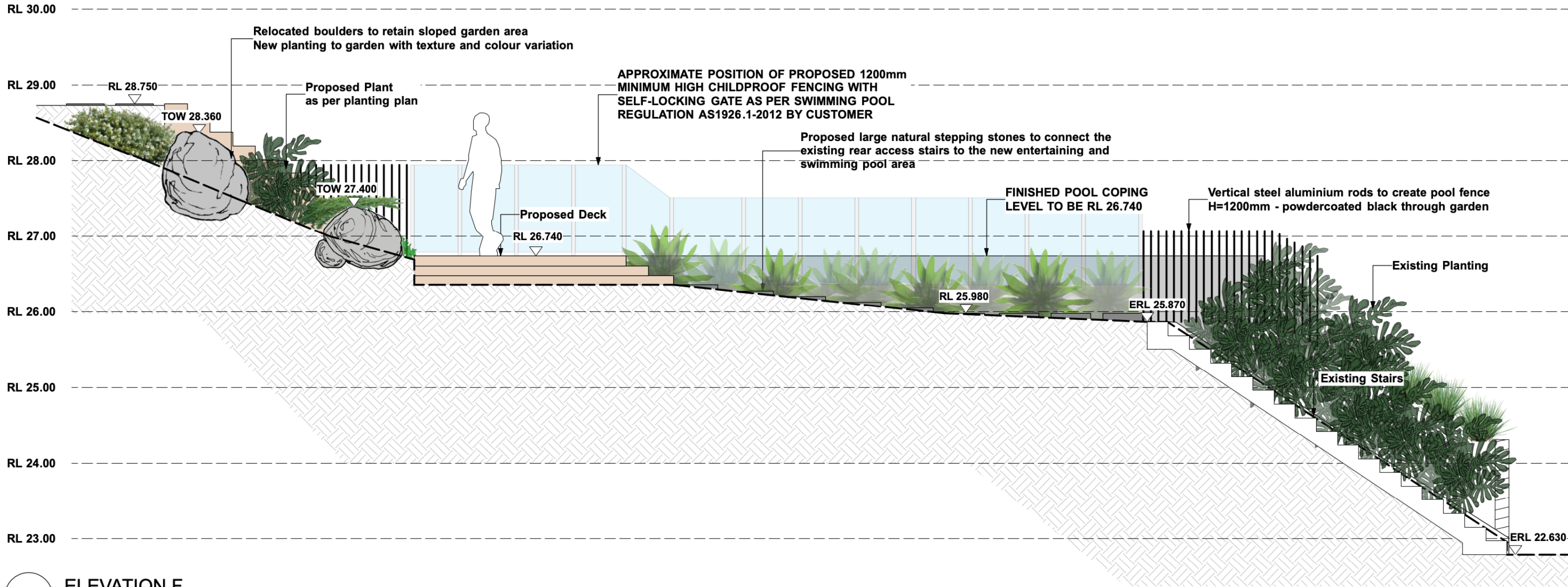
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Project	Proposed Residence	
Address	154 Central Road, Avalon NSW 2107	Date 31/05/2021
Drawing Title	ELEVATION E	Scale 1:50@A3
Drawing No. 1354		

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6 **ELEVATION F**
Scale: 1:50

C	7/6/21	DA Issue
ISSUE	DATE	COMMENT
AMENDMENTS		

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Address	154 Central Road, Avalon NSW 2107	Date 31/05/2021
Drawing Title	ELEVATION F	Scale 1:50@A3

Drawing No. **1354**

POOL COMPLIANCE NOTES

The design of the swimming pool and associated equipment must comply with the following requirements:

i) The Swimming Pools Act & Regulations.

ii) Australian Standard 1926 Swimming Pool Safety as prescribed under the Building Code of Australia.

iii) The pump and associated equipment must be sound insulated and/or isolated so that the noise emitted does not exceed an LAeq (15min) of not more than 5 dB(A) above the background level in any octave band from 31.5Hz to 8KHz centre frequencies inclusive at the boundary of the site

The swimming pool excavation and/or swimming pool must be provided with a suitable barrier to prevent a risk of falling into the excavation or pool at all times throughout the construction phase.

- Note:
- The measurement of sound must be carried out in accordance with Australian Standard 1055.1.
 - Additional information is available from Sutherland Shire Swimming Pool Environmental Specification.
 - Landscaping and ancillary structures must not intrude into the child-resistant barrier Non-Climbable Zone.
 - Only structures associated with the pool may be located within the pool area.
 - Clothes lines, barbeque, sheds, entertainment structure, outside toilets or any other non pool-related structures are not permitted within the pool area.

- Before the issue of any Occupation Certificate;
- i) The child resistant barrier must be installed in accordance with A above.
- ii) The swimming pool is to be registered in the NSW Swimming Pool Register.

- The pump and associated equipment must be maintained and operated in accordance with the noise levels described above.
- ii) The child resistant barrier must be maintained in accordance with the Australian Standard as described above.

LANDSCAPE MAINTENANCE NOTES

MONTH	MOWING EDGING BLOWING	FERTILISING (SEASOL)	CHECK IRRIGATION	HAND WEED REMOVAL	PRUNING	WEED SPRAYING	WATERING/ IRRIGATION	PLANT REPLACEMENT IF REQUIRED
DEC	W	M	M	W	F	M	D	W
JAN	W	M	M	W	F	M	D	W
FEB	W	M	M	W	F	M	D	W
MAR	F	M	M	F	M	M	D	W
APR	F	N/A	M	F	M	M	D	W
MAY	F	N/A	M	M	M	M	D	W
JUNE	M	N/A	M	M	N/A	N/A	2ND D	W
JULY	M	N/A	M	M	N/A	N/A	2ND D	W
AUG	M	N/A	M	M	N/A	N/A	2ND D	W
SEP	M	M	M	M	N/A	N/A	2ND D	W
OCT	F	F	M	F	M	M	D	W
NOV	F	F	M	F	M	M	D	W
PLANTING ESTABLISHMENT PERIOD - 12 MONTHS LANDSCAPE MATERIAL ESTABLISHMENT - 12 MONTHS KEY D-DAILY, W-WEEKLY, F-FORTNIGHT, M-MONTHLY, 2ND DAY,								

MAINTENANCE GENERAL NOTES

SECTION C: LANDSCAPE MAINTENANCE SPECIFICATION 1.0 SCOPE

1.1 PERIOD
The 52 week Planting Establishment Period commences at the date of registration of the repective plan. The contractor is to also allow for maintenance from the date of Practical Completion to the start date of the 52 week Planting Establishment Period. The allowance shall be for a weekly rate which will then be implemented until the formal maintenance period commences.

1.2 PROGRAM
Furnish a proposed planting maintenance program with the tender.

1.3 MAINTENANCE LOGBOOK
Contractor to keep a maintenance record of works carried out on a monthly basis. Log should include but not limited to: - Activities carried out during each attendance;
- Irregularities encountered and actions taken;
NB: Maintenance payments will be evaluated on submission of monthly logbooks.

1.4 RECURRENT WORKS
Throughout the Planting Establishment Period, continue to carry out recurrent works of a maintenance nature including, but not limited to, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, staking and tying, replanting, cultivating, pruning and keeping the site neat and tidy. All rubbish related to landscape works shall be removed by the landscape contractor before it is allowed to accumulate.

1.5 PLANTING
Commence recurrent planting maintenance works at the completion of planting. Ensure the stock arriving on site is protected and maintained for healthy growth.

1.6 REPLACEMENTS
Continue to replace failed, damaged or stolen plants for the extent of the Planting Establishment Period.

1.7 MULCHED SURFACES
Maintain the surface in a clean and tidy condition and reinstate the mulch as necessary.

1.8 GRASSED AREAS
Commence grass maintenance works at the completion of turfing, and continue to carry out grass maintenance throughout the contract and Planting Establishment Period, maintaining healthy weed free growth.

1.9 STAKES AND TIES
Adjust or replace as required. Remove those not required at the end of the Planting Establishment Period.

1.10 WATERING/ IRRIGATION
An irrigation system is to be installed to all mass planted beds and new tree planting, connected to a pump and the rainwater tank /OSD tank. Install one tap near the front boundary (Wurrook Circuit) and one tap on the rear (eastern) boundary. This system shall be installed and maintained for the duration of the maintenance period (52 weeks) and in perpetuity of the development. All irrigation works shall be performed by a licensed irrigation contractor. Materials to be used are to be submitted to the site superintendent for approval. The contractor shall provide design drawings and material specifications/samples prior to commencing work. All works are to be conducted to all current and relevant Australian Standards.
The contractor is to be completely responsible for the coordination of the installation of the irrigation system with other services throughout the site. Recommended flow rates: The system shall be set up on a trial basis and then adjusted to suit the local requirements and conditions. Once the system is satisfactorily adjusted the contractor shall make fortnightly visits within the establishment period to ensure satisfactory performance of the system and to adjust the watering periods as required. A minimum even coverage of 25mm of water per week is recommended.

2.0 REPORTS

2.1 LANDSCAPE MAINTENANCE REPORT
'Landscape Maintenance Reports' shall be submitted to the Principle Certifying Authority by the contractor verifying that satisfactory maintenance of the landscape works has been undertaken and that any necessary rectification measures have been carried out to a high professional standard. This documentation is to be submitted through the plant establishment period.

PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction.

Retaining wall details to engineers design.
Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

This plan has been prepared for DA approval only, not for construction.

Planting proposed using commercially available plant species selected from local planting lists and the BASIX local plant list
D.A approved landscape plan's are required to be constructed as approved to obtain occupancy certificate.

EXTERNAL LIGHTING - (AMENITY)

To ensure that any lighting on the site does not cause a nuisance to neighbours or motorists on nearby roads:

Design
All lighting must be designed in accordance with Australian Standard AS4282 - Control of the Obtrusive Effects of Outdoor Lighting.

Ongoing
All lighting must be operated and maintained in accordance with the Standard above.

C 7/6/21 DA Issue
ISSUE DATE COMMENT

AMENDMENTS

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Project	Proposed Residence	
Address	154 Central Road, Avalon NSW 2107	Date 31/05/2021
Drawing Title	NOTES	Scale N.T.S@A3

Drawing No. 1354