

- Level of Playing Surface**
- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
 - Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

2

SITE PLAN
1:500

Project address	
Project name	Harbord Bowling Club
Street address	4/0 Bennett Street Curl Curl 2096
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 601758
Lot no.	4
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	0
Site details	
Site area (m²)	2800
Roof area (m²)	298
Conditioned floor area (m2)	46.55
Unconditioned floor area (m2)	53.86
Total area of garden and lawn (m2)	1000

Assessor details and thermal loads			
Assessor number	n/a		
Certificate number	n/a		
Climate zone	n/a		
Area adjusted cooling load (MJ/m²·year)	n/a		
Area adjusted heating load (MJ/m²·year)	n/a		
Project score			
Water	✓ 40	Target 40	
Thermal Comfort	✓ Pass	Target Pass	
Energy	✓ 51	Target 50	

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)

Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Denotes New Works

Wall Legend

- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

Building Design and Architectural Drafting

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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

Cnr Bennett Street & Stigress Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stigress Avenue, Curl Curl is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction

Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3745
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m² b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m²	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m2)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RP0620HAR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stigress Avenue, Curl Curl

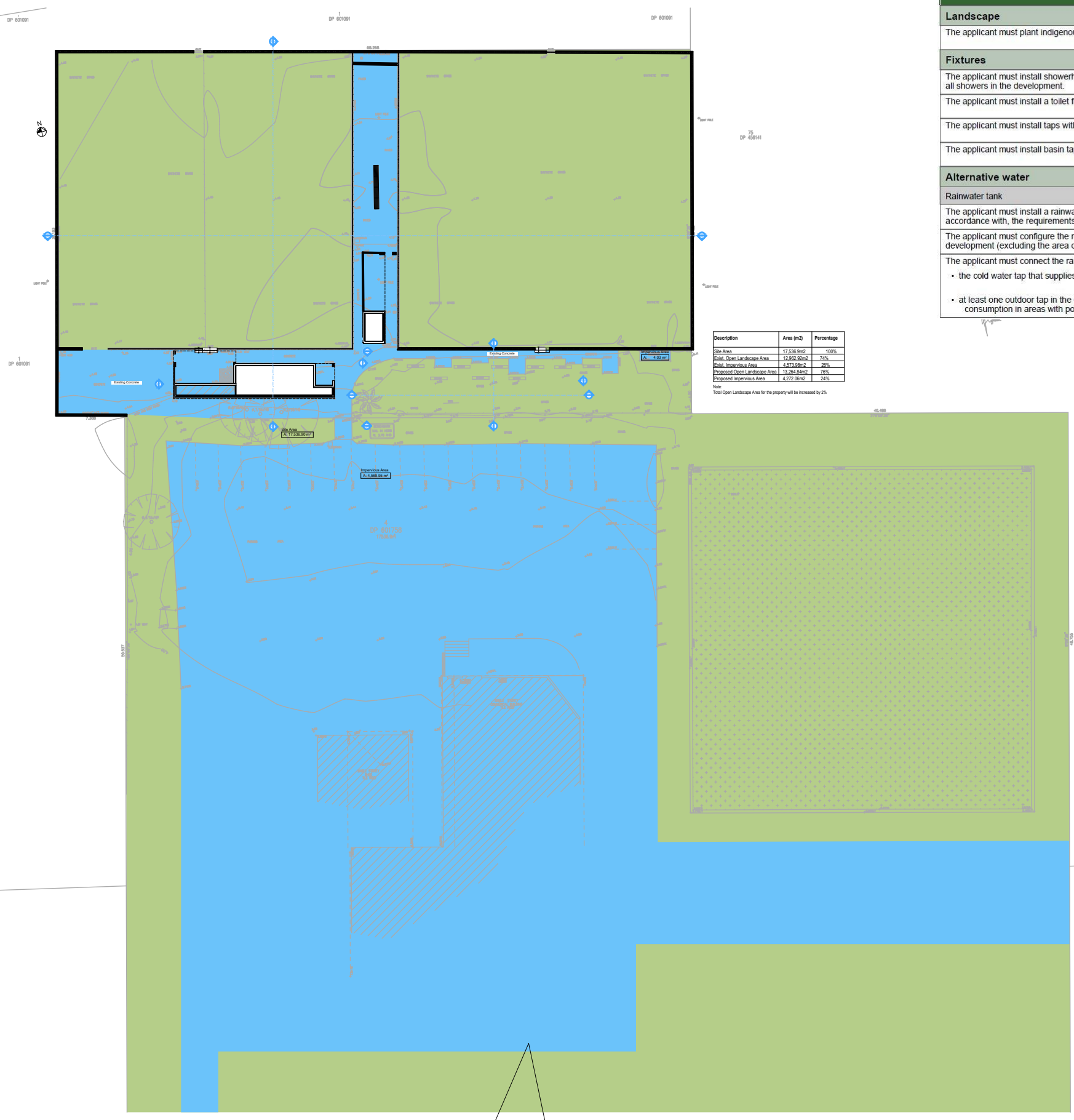
DRAWING TITLE:
SITE AND LOCATION
SITE PLAN

PROJECT NAME:
New Amenity Building & Additions

REVISION NO.	DATE
2	9-4-2021

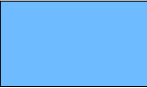
DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Plot Date: 9/04/2021
Sheet Size: A3



Description	Area (m2)	Percentage
Site Area	17,536.9m2	100%
Exist. Open Landscape Area	12,382.5m2	70%
Exist. Impervious Area	4,573.98m2	26%
Proposed Open Landscape Area	13,264.8m2	75%
Proposed Impervious Area	4,272.6m2	24%

Note:
Total Open Landscape Area for the property will be increased by 2%.



Denotes Impervious Area



Denotes Pervious Area

Water Commitments

Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.

Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.

The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)



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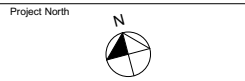
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Heritage Item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Slab: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3745
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m² b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m2)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RPO2021AR
Project Status DA Rev2

Client Oli Bramley

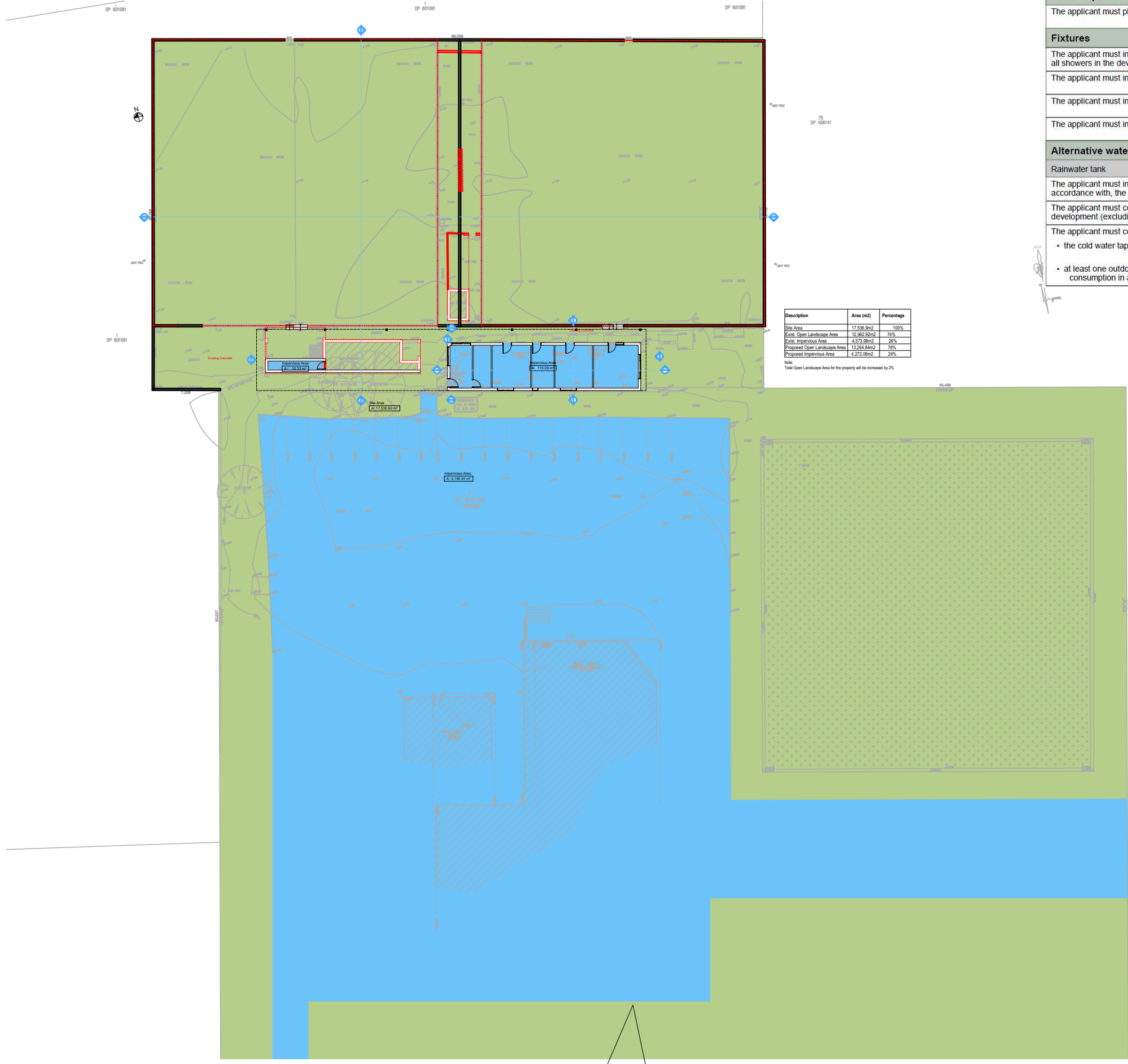
Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
New Amenity Building & Additions

REVISION NO.	DATE
2	9-4-2021
DRAWING NO.	DA1010

Plot Date: 9/04/2021
Sheet Size: A3



Description	Area (m2)	Percentage
Site Area	17,536.9m2	100%
Exist. Open Landscape Area	12,294.8m2	70%
Exist. Impervious Area	4,573.8m2	26%
Proposed Open Landscape Area	12,294.8m2	70%
Proposed Impervious Area	4,772.36m2	24%

Note:
Total Open Landscape Area for the property will be increased by 2%

Water Commitments

Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.

Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:

- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Denotes Impervious Area

Denotes Pervious Area

2 LANDSCAPE OPEN SPACE PROPOSED
1:500

ADJOINS TO DA1013

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Heritage Item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3745
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Complying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m² b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergolia, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m2)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RPO0201AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
New Amenity Building & Additions

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.
DA1012

Plot Date: 9/04/2021
Sheet Size: A3

Water Commitments
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but ≤ 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> the cold water tap that supplies each clothes washer in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Denotes Impervious Area

Denotes Pervious Area



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
 On Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation
 On Bennett Street & Stiggins Avenue, Curl Curl is not considered a Heritage Item
 All Plans to be read in conjunction with Basic Certificate
 New Works to be constructed shown in Shaded/Blue
Construction
 Slab, Cavity Brick Walls
 Roof Framed to have R3.5 Insulation
 Insulation to External Cavity Brick Walls R1.17
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 on framing to BCA and AS 3660.1
 Terminate Managements to BCA and AS 3660.1
 Glazing to BCA and AS2088-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamp
 All works and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction certificate application by a contractor. The plans must be submitted to the Council of the Regional Council of Planning and Environment for the approval of the Council of Planning and Environment by a professional authorised Construction Certificate drawings by RapiPlan Plans Basic.

Basic
Basic Certificate Number 11201715

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or additional construction (fill, excavation, retaining wall, etc.) in accordance with the specifications listed in the table below, except that if additional insulation is not required where the area of new construction is less than 2m² and the excavation is not more than 1m deep, the applicant may omit the works where insulation already exists.

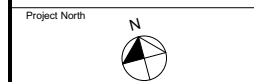
Where the excavation is more than 1m deep, the applicant must install the following works, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each case.

For projections designed in millimetres, the leading edge of each of the following works, parapet, balcony or awning must be no more than 100mm above the existing ground level or the ground plane and no more than 2400 mm above the sill.

The height of the excavation must be no more than 600mm above the distance from the centre of the base of the window and glazing device.

Site Information	Prop.	Comments
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancy
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO. RP0620HAR
Project Status DA Rev2

Client	Oli Bramley
Site:	Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE: SITE AND LOCATION
**Landscape Open Space
Proposed 2**

PROJECT NAME : **New Amenity Building & Addition**

REVISION NO.	DATE
2	9-4-2021

Plot Date: 9/04/2021
 Sheet Size: A3
 Z:\Current Jobs\Harbord Bowling Club\WichCAD Eagle\Harbord-23 CA Final
 Rev2.plt


ADJOINS TO DA1012



BENNETT

STREET

LETTER

	These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Randolf Stigress Avenue, Curl Curl
	DRAWING TITLE: SITE AND LOCATION Landscape Open Space Proposed 2
	PROJECT NAME : New Amenity

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

2

LANDSCAPE OPEN SPACE PROPOSED
1:500

Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

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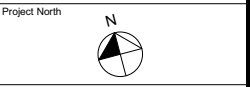
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation.
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a Heritage Item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.
Slab, Cavity Brick Walls.
Roof Framed to have R3.5 Insulation.
Insulation to External Cavity Brick Walls R1.17.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1288-2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number 11301715.
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RP062014R
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

DRAWING TITLE: PLANS
GROUND FLOOR

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
2 9-4-2021

DRAWING NO.
DA2001

Plot Date: 9/04/2021
Sheet Size: A3

Denotes New Works

Wall Legend

- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

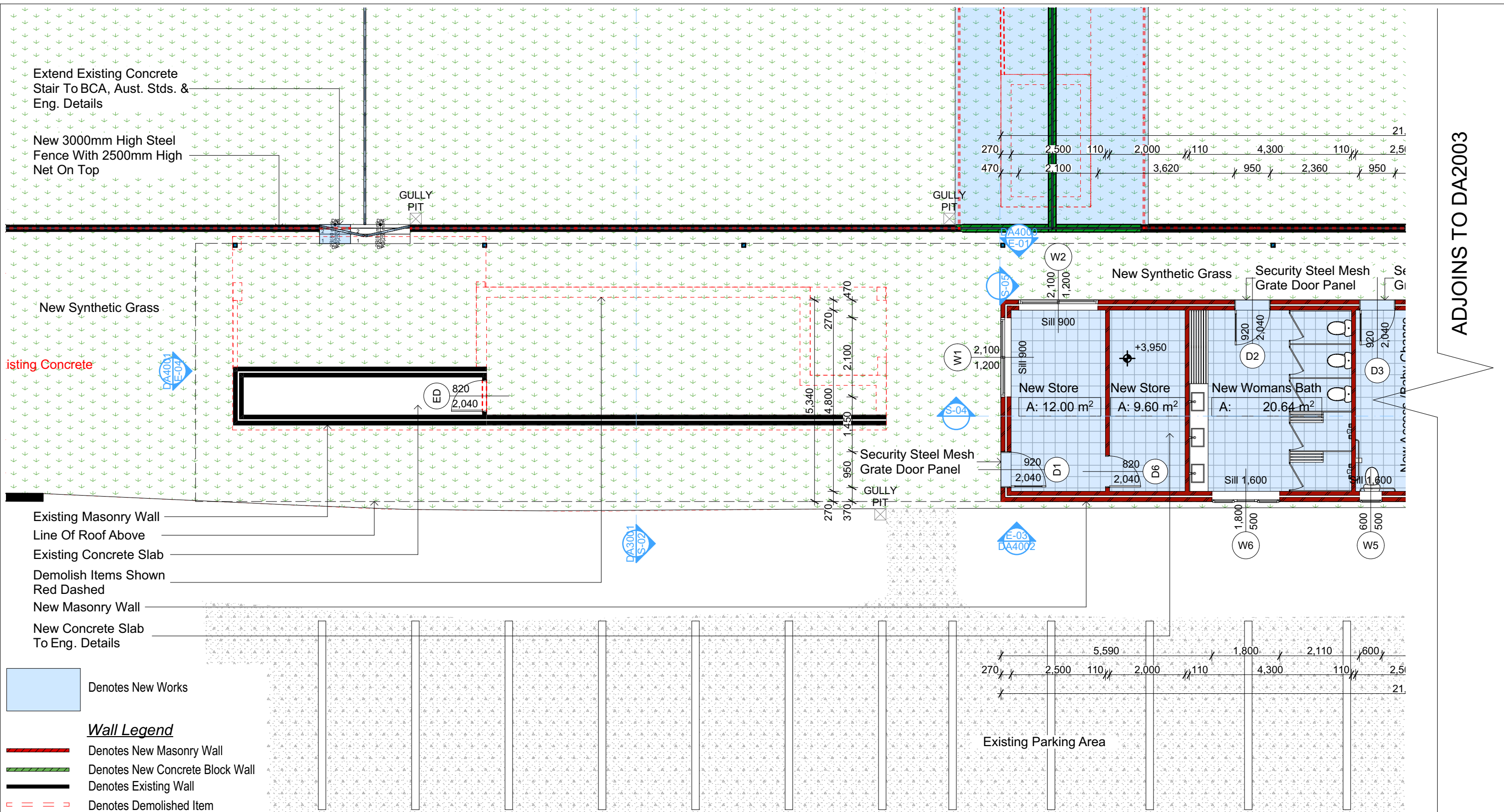
GROUND FLOOR
1:200

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorbance 0.475-0.70)

Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab, Cavity Brick Walls

Roof Framed to have R3.5 Insulation

Insulation to External Cavity Brick Walls R1.17

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 1130171S

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes	% of landscape open space (40% min)	6%	Yes
Housing Density (dwelling/m ²)	2	Yes	Impervious area (m ²)	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
9/04/2021
RP0620HAR
DA Rev2

Oli Bramley
Cnr Bennett Street &
Stiggins Avenue, Curl Curl

DRAWING TITLE :

PLANS
GROUND FLOOR 2

PROJECT NAME :

New Amenity Building & Additions

REVISION NO.
2
DATE:
9-4-2021
DRAWING NO.
DA2002

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (electric boosted) with a performance of 15 to 20 STCs or better.
Cooling system
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.
Heating system
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.
Ventilation
The applicant must install the following exhaust systems in the development:
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a
Laundry: natural ventilation only, or no laundry; Operation control: n/a
Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:
• at least 1 of the bedrooms / study; dedicated
• at least 1 of the living / dining rooms; dedicated
• all bathrooms/toilets; dedicated

Energy Commitments
Natural lighting
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Other
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.



Denotes New Works

Wall Legend



Denotes New Masonry Wall



Denotes New Concrete Block Wall



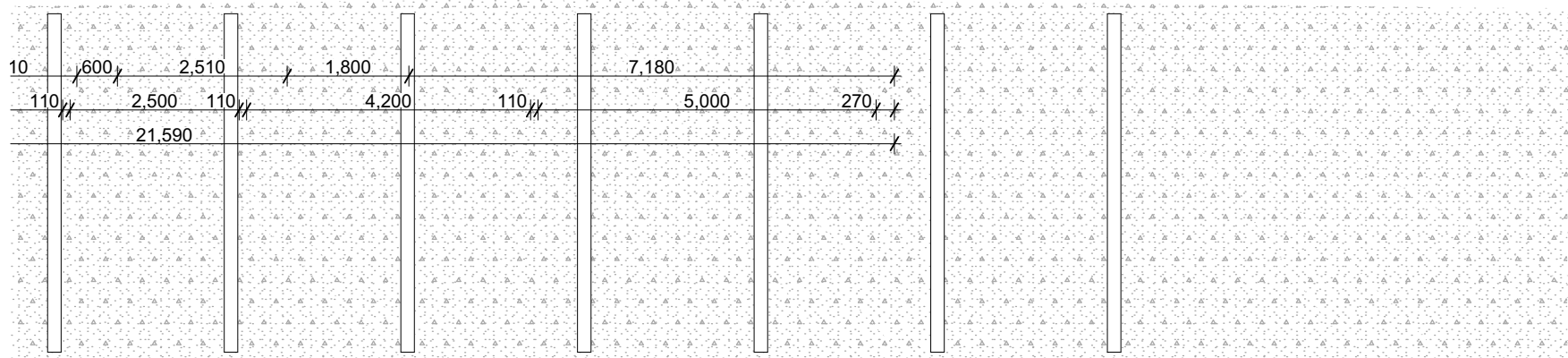
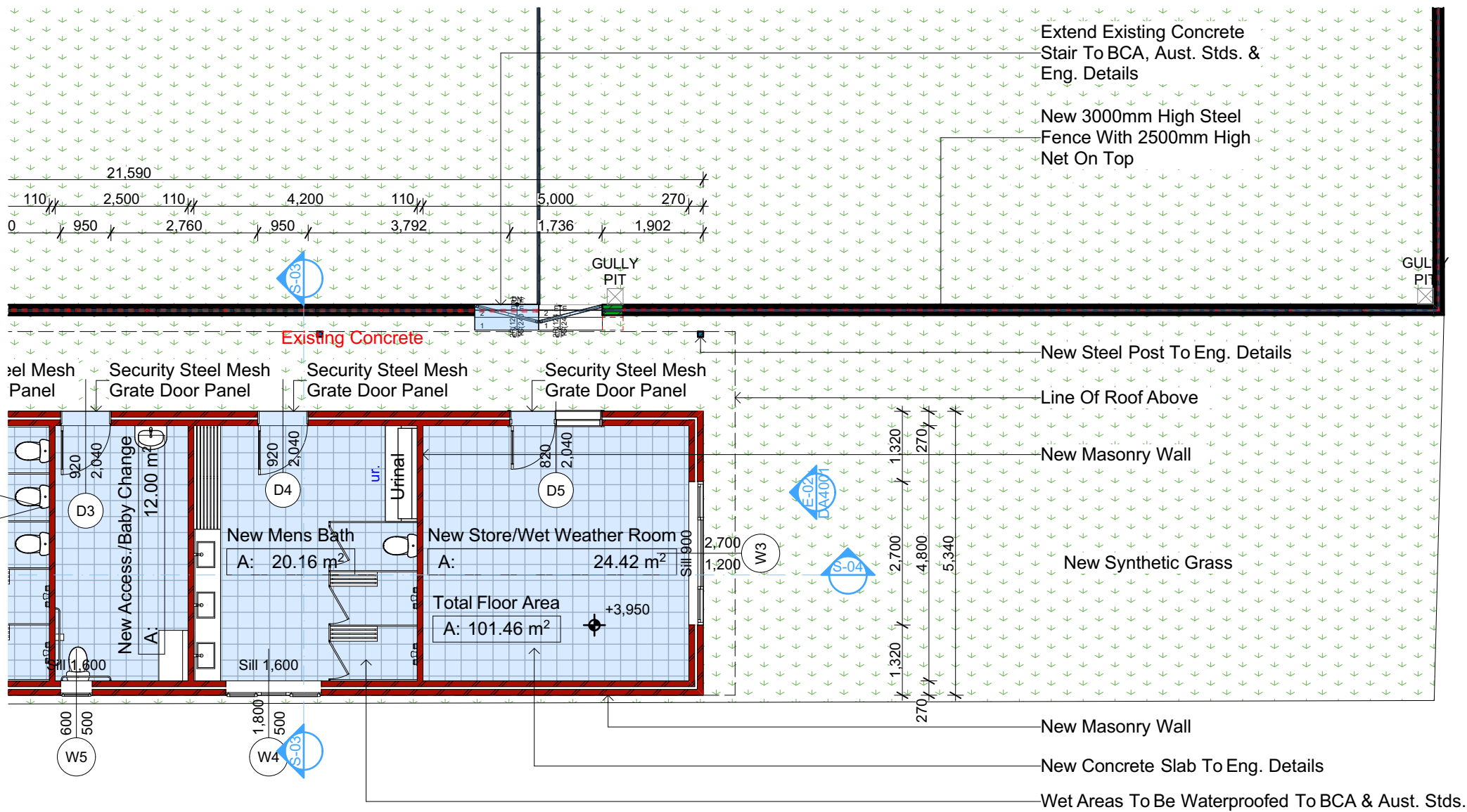
Denotes Existing Wall



Denotes Demolished Item

2

GROUND FLOOR 1:100



Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

NOTES

Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 1130171S
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**DA APPLICATION
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Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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Checked
Plot Date:
Project NO.
Project Status

Client
Site:
Sheet Size: A3

DRAWING TITLE :

PLANS
GROUND FLOOR 3

PROJECT NAME :

**New Amenity Building &
Additions**

REVISION NO.

2

DATE

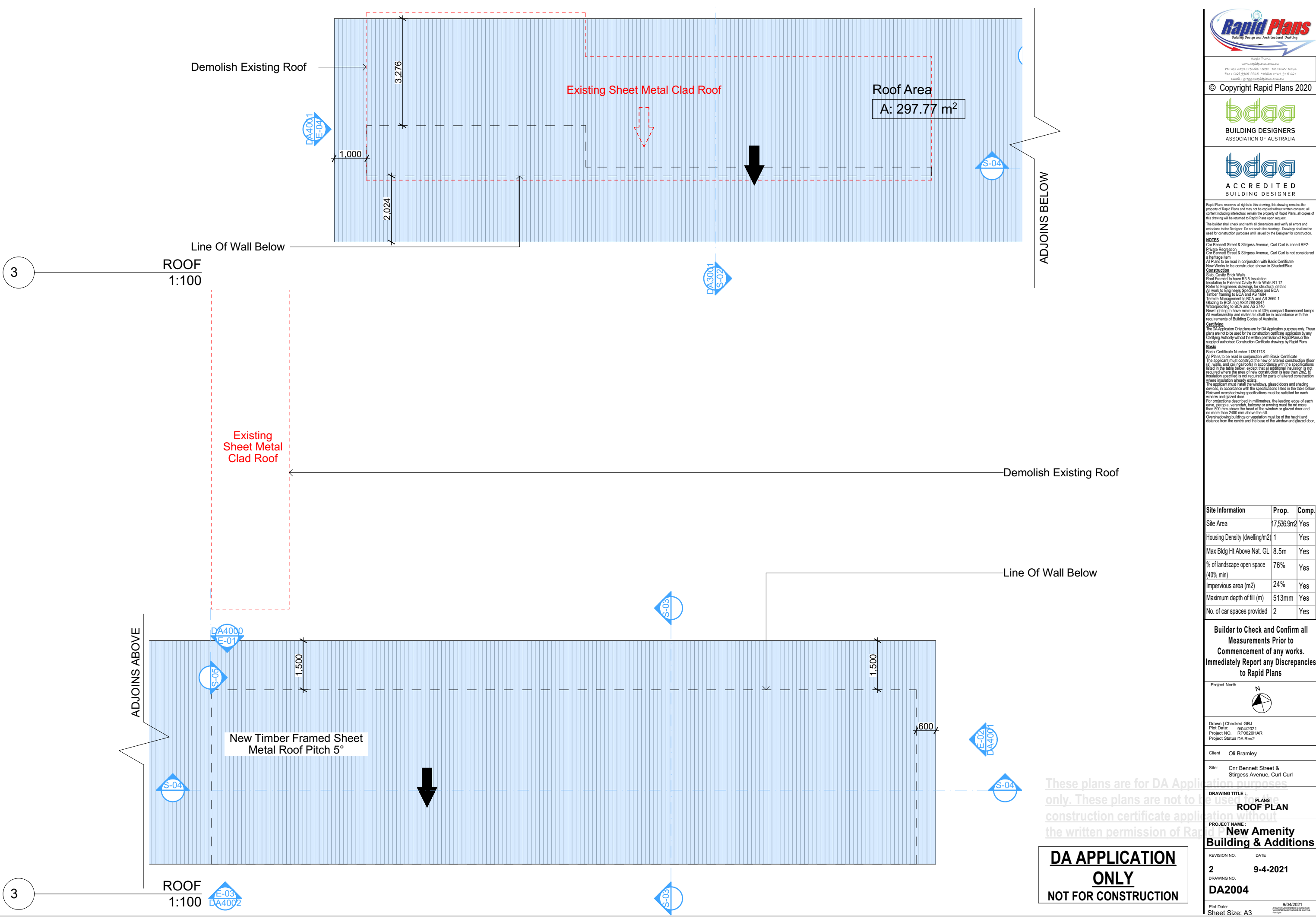
9-4-2021

DRAWING NO.

DA2003

These plans are for DA Application purposes only. These plans are not to be used for the construction certificate application without the written permission of Rapid Plans

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m²	Yes	% of landscape open space (40% min)	76%	Yes
Housing Density (dwelling/m²)	2	Yes	Impervious area (m²)	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			



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Website: www.rapidplans.com.au
PO Box 6239 Fitzroy Vic 3122
Ph: (03) 9350-8545 Mob: 0414-545-024
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NOTES
Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3745
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overhanging specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of any window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RP02021AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

DRAWING TITLE: PLANS
ROOF PLAN

PROJECT NAME: **New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

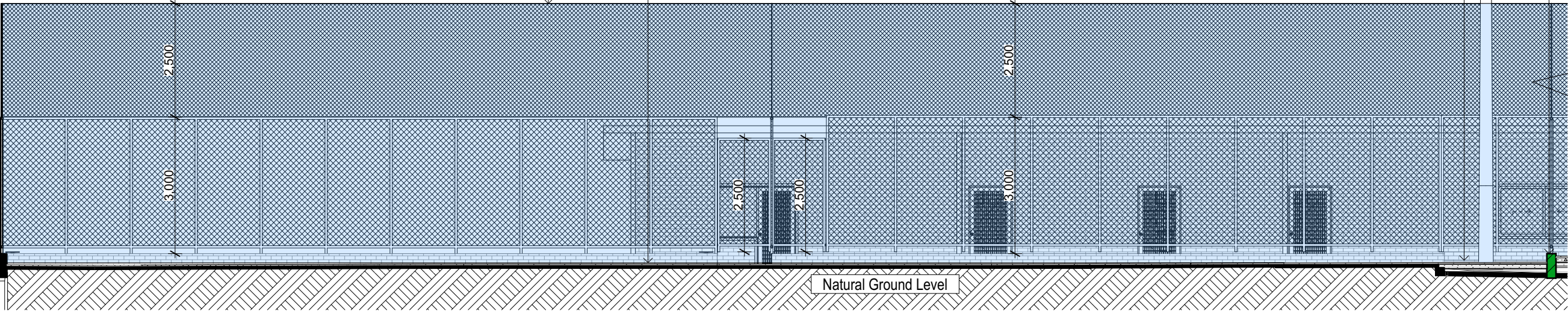
DRAWING NO. **DA2004**

Plot Date: 9/04/2021
Sheet Size: A3

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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New Concrete Block Retaining Wall To Eng. Details
New Suspended Slab For Flood Egress To Match Into Existing
With Synthetic Grass On top
New Playing Surface FFL Is To Match Existing Playing Surface
FFL In Accordance With Council Flood Risk Management Advice
New 3000mm High Steel Fence With 2500mm High Net On Top



ADJOINS BELOW

S-01

SECTION 1
1:100

- Level of Playing Surface**
- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
 - Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

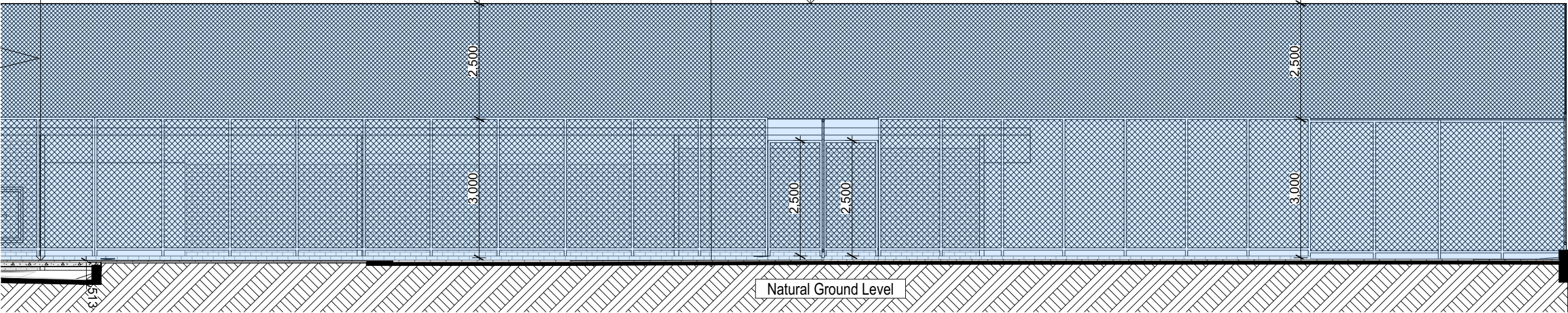
Denotes New Works

Wall Legend

- Denotes New Masonry Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

New Suspended Slab For Flood Egress To Match
Into Existing With Synthetic Grass On top
New Playing Surface FFL Is To Match Existing Playing
Surface FFL In Accordance With Council Flood Risk
Management Advice
New 3000mm High Steel Fence
With 2500mm High Net On Top

ADJOINS ABOVE



S-01

SECTION 1
1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number 1130171S
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2.
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes	% of landscape open space (40% min)	76%	Yes
Housing Density (dwelling/m ²)	2	Yes	Impervious area (m ²)	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			



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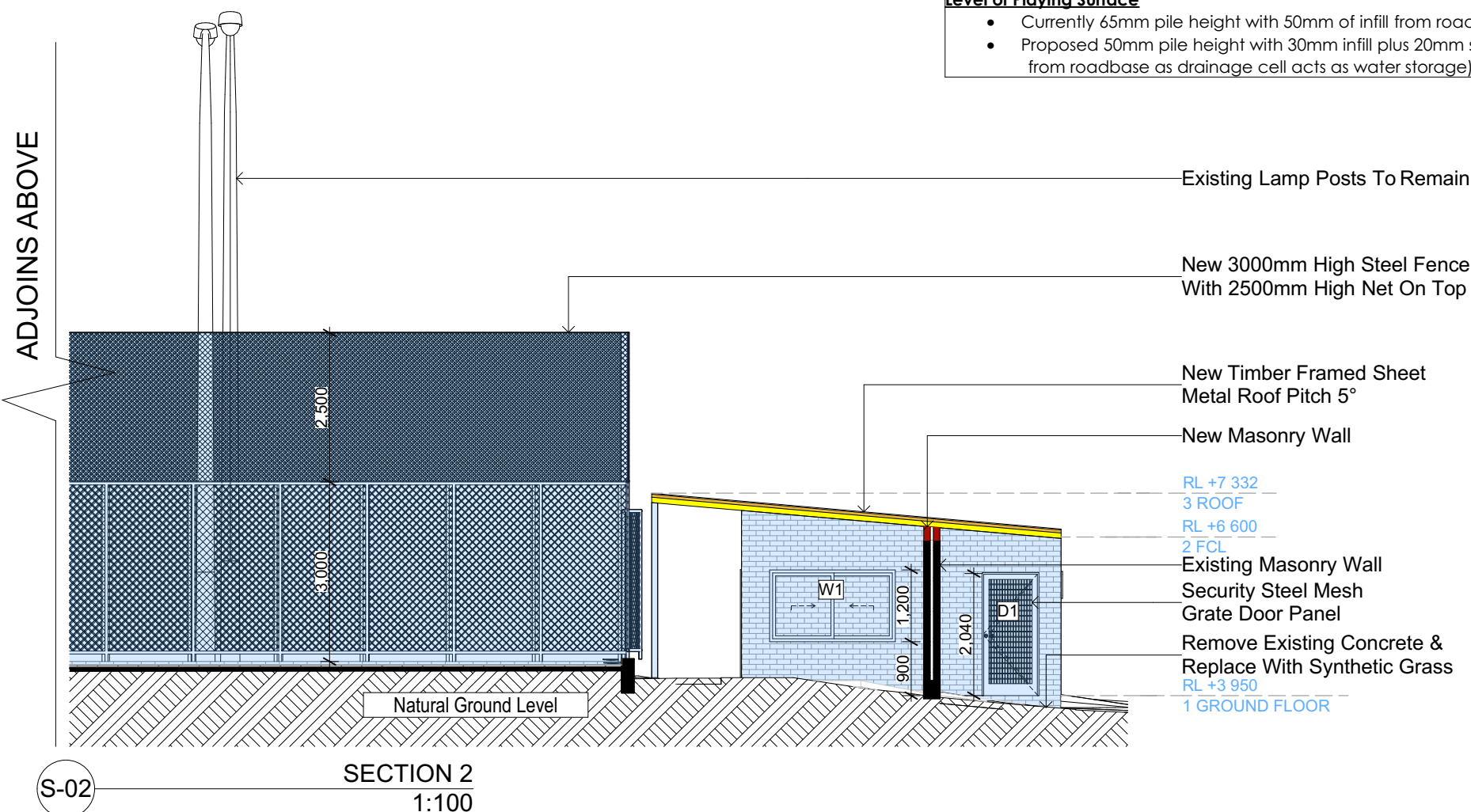
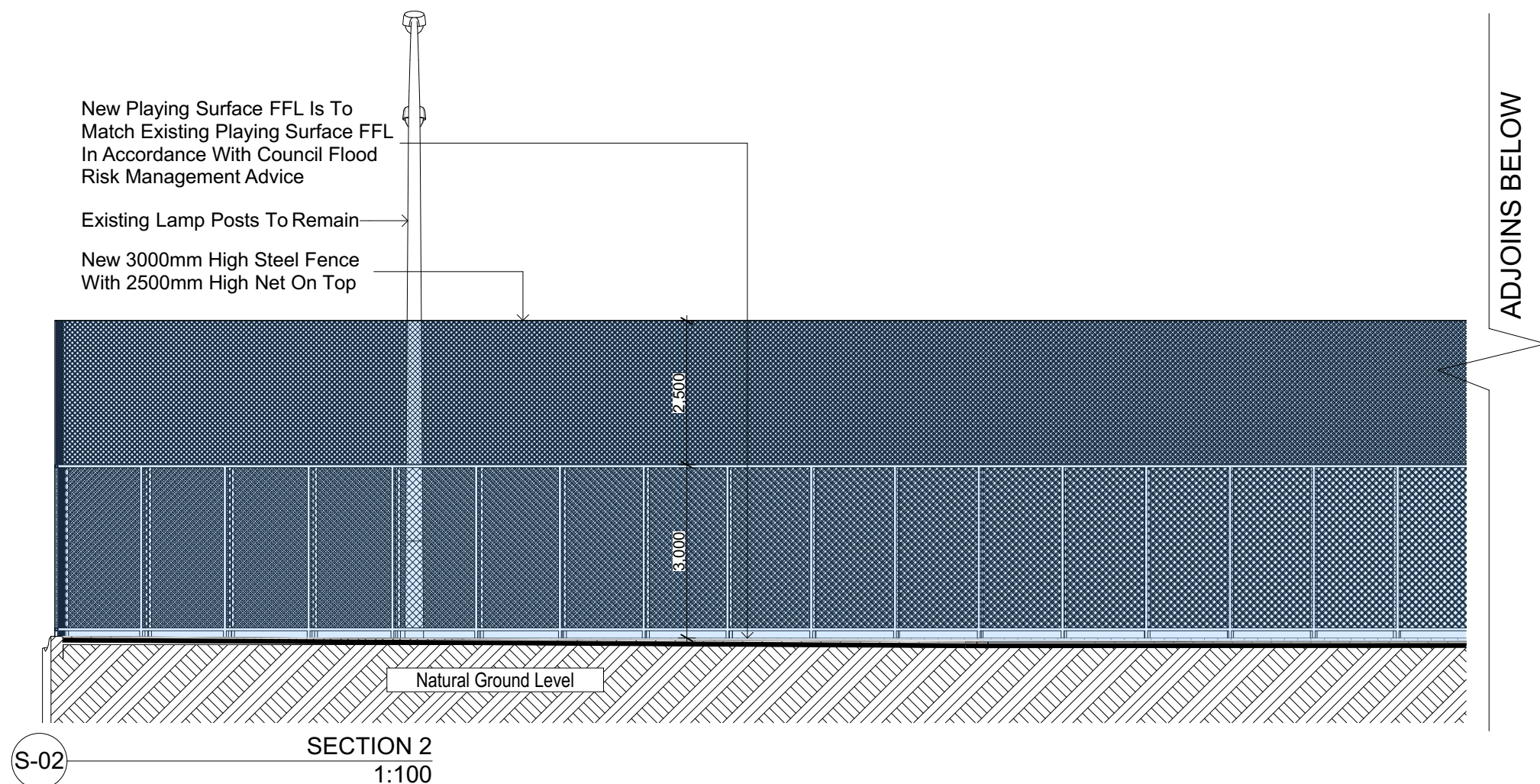
**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date: 9/04/2021
Project NO. RP0620HAR
Project Status DA Rev2
Client
Site: Oli Bramley
Cnr Bennett Street &
Stirgess Avenue, Curl Curl
Sheet Size: A3

DRAWING TITLE :
SECTIONS
SECTION 1
PROJECT NAME :
**New Amenity Building &
Additions**

REVISION NO.
2
DATE:
9-4-2021
DRAWING NO.
DA3000



Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

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NOTES
Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation.
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.

Construction
Slab, Cavity Brick Walls.
Roof Framed to have R3.5 Insulation.
Insulation to External Cavity Brick Walls R1.17.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber Framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1728-2017.
Waterproofing to BCA and AS 3745.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic Certificate
Basic Certificate Number 11301715.
All Plans to be read in conjunction with Basic Certificate.
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RPO2021AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

DRAWING TITLE: **SECTIONS SECTION 2**

PROJECT NAME: **New Amenity Building & Additions**

REVISION NO.	DATE
2	9-4-2021

DRAWING NO. **DA3001**

Plot Date: 9/04/2021
Sheet Size: A3

New Timber Framed Sheet Metal
Roof Pitch 5°

RL +7 332
3 ROOF
RL +6 600
2 FCL

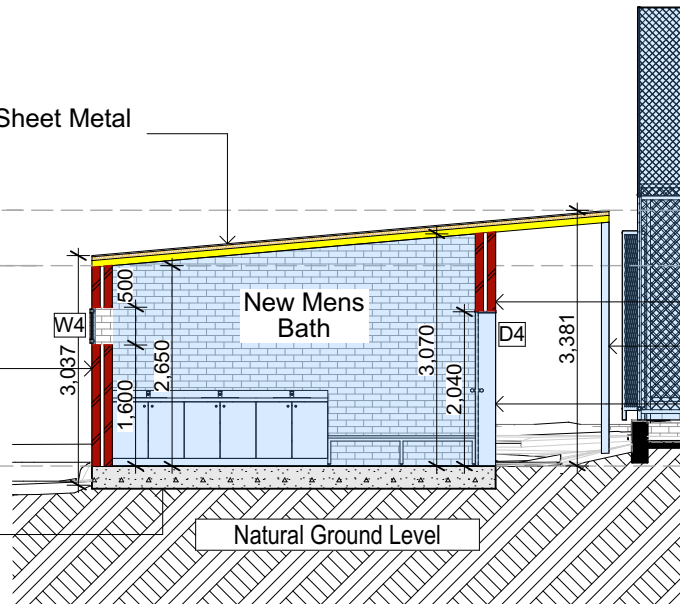
New Masonry Wall

RL +3 950
1 GROUND FLOOR

New Concrete Slab
To Eng. Details

S-03
-

Building Section
1:100



RL +7 332
3 ROOF
RL +6 600
2 FCL

New Masonry Wall

New Steel Post To Eng. Details

Security Steel Mesh Grate
Door Panel

RL +3 950
1 GROUND FLOOR

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)

Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

New Timber Framed Sheet Metal Roof
Pitch 5°

RL +7 332
3 ROOF
RL +6 600
2 FCL

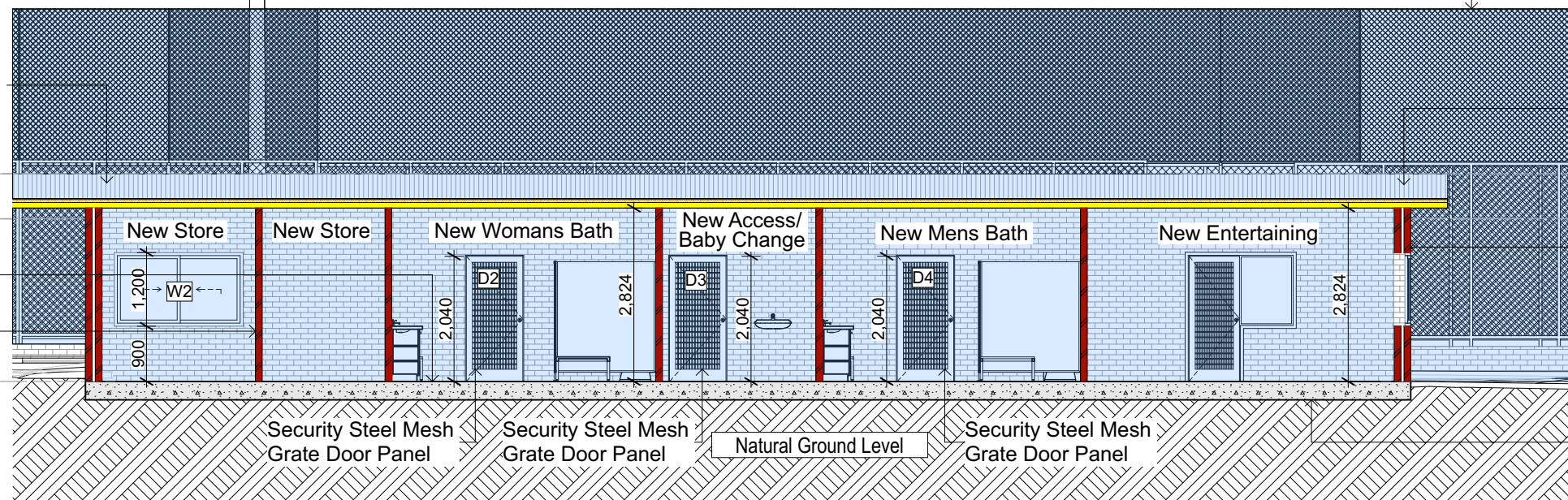
Wet Areas To Be
Waterproofed To
BCA & Aust. Stds.

New Masonry Wall

RL +3 950
1 GROUND FLOOR

S-04
-

Building Section
1:100



New 3000mm High Steel Fence
With 2500mm High Net On Top

New Timber Framed Sheet
Metal Roof Pitch 5°

RL +7 332
3 ROOF
RL +6 600
2 FCL
New Masonry Wall

RL +3 950
1 GROUND FLOOR


New Concrete Slab To
Eng. Details

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Thermal Comfort Commitments
General features
The dwelling must not have more than 2 storeys.
The conditioned floor area of the dwelling must not exceed 300 square metres.
The dwelling must not contain open mezzanine area exceeding 25 square metres.
The dwelling must not contain third level habitable attic room.
Floor, walls and ceiling/roof
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.

Thermal Comfort Commitments
Windows, glazed doors and skylights
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.
The following requirements must also be satisfied in relation to each window and glazed door:
• For the following glass and frame types, the certifier check can be performed by visual inspection.
- Aluminium single clear
- Aluminium double (air) clear
- Timber/uPVC/fibreglass single clear
- Timber/uPVC/fibreglass double (air) clear




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NOTES

Cnr Bennett Street & Stiggins Avenue, Curl Curl is zoned RE2-Private Recreation.

Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction

Slab, Cavity Brick Walls.

Roof Framed to have R3.5 Insulation.

Insulation to External Cavity Brick Walls R1.17.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS1728-2017.

Waterproofing to BCA and AS 3745.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number 11301715.

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor, walls, and ceiling/roof) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RP062004AR
Project Status DA Rev2

Client: Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

DRAWING TITLE: SECTIONS
SECTION 3

PROJECT NAME:
New Amenity Building & Additions

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.: **DA3002**

Plot Date: 9/04/2021
Sheet Size: A3

Max Building Height 8500 Above GL



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PO Box 6239 Fitzroy Vic 3124
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Email: info@rapidplans.com.au

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NOTES
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All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
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Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3745
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
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Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of any window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

New Timber Framed
Sheet Metal Roof Pitch 5°

Security Steel Mesh
Grate Door Panel

Security Steel Mesh
Grate Door Panel

Security Steel Mesh
Grate Door Panel

RL +7 332

3 ROOF

RL +6 600

2 FCL

New Masonry Wall

Security Steel Mesh
Grate Door Panel
With Fixed Window

New Timber Post

RL +3 950

1 GROUND FLOOR

Remove Existing
Concrete & Replace
With Synthetic Grass

1168

2040

2040

2040

2040

1200

900

Natural Ground Level

ADJOINS BELOW

E-01

North

1:100



Denotes New Works

Wall Legend



Denotes Existing Concrete



Denotes Demolished Item

Max Building Height 8500 Above GL

ADJOINS ABOVE

New Timber Framed Sheet
Metal Roof Pitch 5°

New Masonry Wall

RL +7 332

3 ROOF

RL +6 600

2 FCL

Demolish Items Shown
Red Dashed
Existing Masonry Wall

New Steel Post To Eng. Details

RL +3 950

1 GROUND FLOOR

Remove Existing Concrete
& Replace With Synthetic
Grass

Natural Ground Level

E-01

North

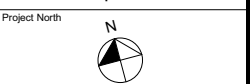
1:100

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**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RPO2021AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stiggins Avenue, Curl Curl

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 1

PROJECT NAME:
**New Amenity
Building & Additions**

REVISION NO. DATE
2 9-4-2021

DRAWING NO.
DA4000

Plot Date: 9/04/2021
Sheet Size: A3

Max Building Height 8500 Above GL

New Timber Framed
Sheet Metal Roof
Pitch 5°

RL +7 332
3 ROOF
RL +6 600
2 FCL

New Masonry Wall

RL +3 950
1 GROUND FLOOR

Natural Ground Level

Demolish Items Shown
Red Dashed

RL +7 332
3 ROOF
RL +6 600
2 FCL

New Steel Post To Eng. Details

Remove Existing Concrete &
Replace With Synthetic Grass

RL +3 950
1 GROUND FLOOR

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-East facing					
W2	1200	2100	aluminium, single, clear	eave 1500 mm, 1125 mm above head of window or glazed door	not overshadowed
W3	1200	2700	aluminium, single, clear	eave 1500 mm, 1125 mm above head of window or glazed door	not overshadowed
South-East facing					
D5	2100	2700	aluminium, single, clear	eave 750 mm, 878 mm above head of window or glazed door	not overshadowed
South-West facing					
W4	500	1800	aluminium, single, clear	eave 150 mm, 550 mm above head of window or glazed door	not overshadowed
W5	500	600	aluminium, single, clear	eave 150 mm, 550 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-West facing					
W1	1200	2100	aluminium, single, clear	eave 3050 mm, 952 mm above head of window or glazed door	not overshadowed

Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

Max Building Height 8500 Above GL

E-02

East
1:100

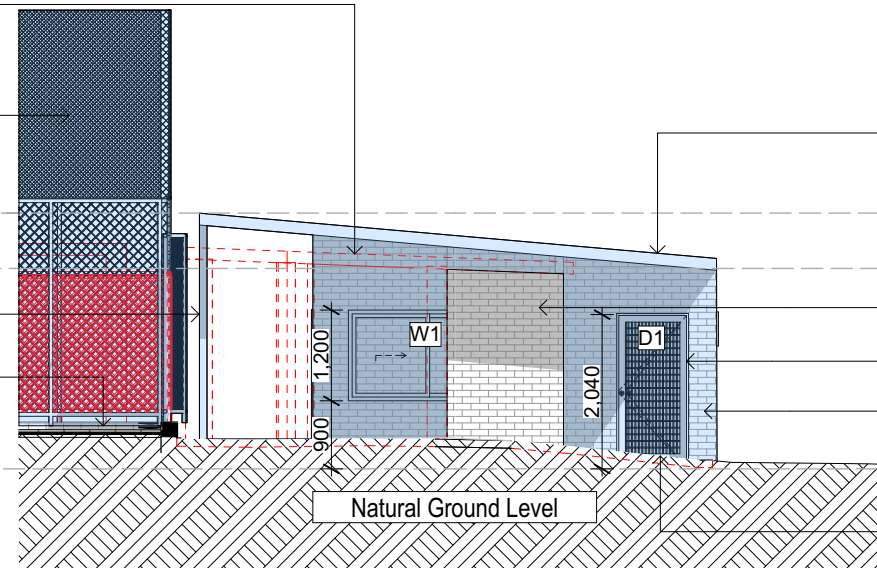
Demolish Items Shown Red Dashed

New 3000mm High Steel Fence With
2500mm High Net On Top

RL +7 332
3 ROOF
RL +6 600
2 FCL

New Steel Post To Eng. Details
New Playing Surface FFL Is To Match Existing
Playing Surface FFL In Accordance With
Council Flood Risk Management Advice

RL +3 950
1 GROUND FLOOR



New Timber Framed
Sheet Metal Roof Pitch 5°

RL +7 332
3 ROOF
RL +6 600
2 FCL

Existing Masonry Wall
Security Steel Mesh
Grate Door Panel
New Masonry Wall

RL +3 950
1 GROUND FLOOR

Remove Existing Concrete &
Replace With Synthetic Grass

E-04

West
1:100

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)
Note - Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
Note - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

E-04

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

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New Works to be constructed shown in Shaded/Blue
Cnr Bennett Street & Stiggins Avenue, Curl Curl is not considered a heritage item

Certifying

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Construction

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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 1130171S

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes	% of landscape open space (40% min)	76%	Yes
Housing Density (dwelling/m ²)	2	Yes	Impervious area (m ²)	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			

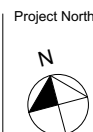


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
9/04/2021
RP0620HAR
DA Rev2

Client
Site:
Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 2

PROJECT NAME :

**New Amenity Building &
Additions**

REVISION NO.


2

DATE

9-4-2021

DRAWING NO.


DA4001




Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy Creek QLD 4072
Ph: (07) 5505-8545 Mobile: 0414-545-024
Email: info@rapidplans.com.au

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**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**



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BUILDING DESIGNER**

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No. of car spaces provided	2	Yes

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Project North



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RP0620HAR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

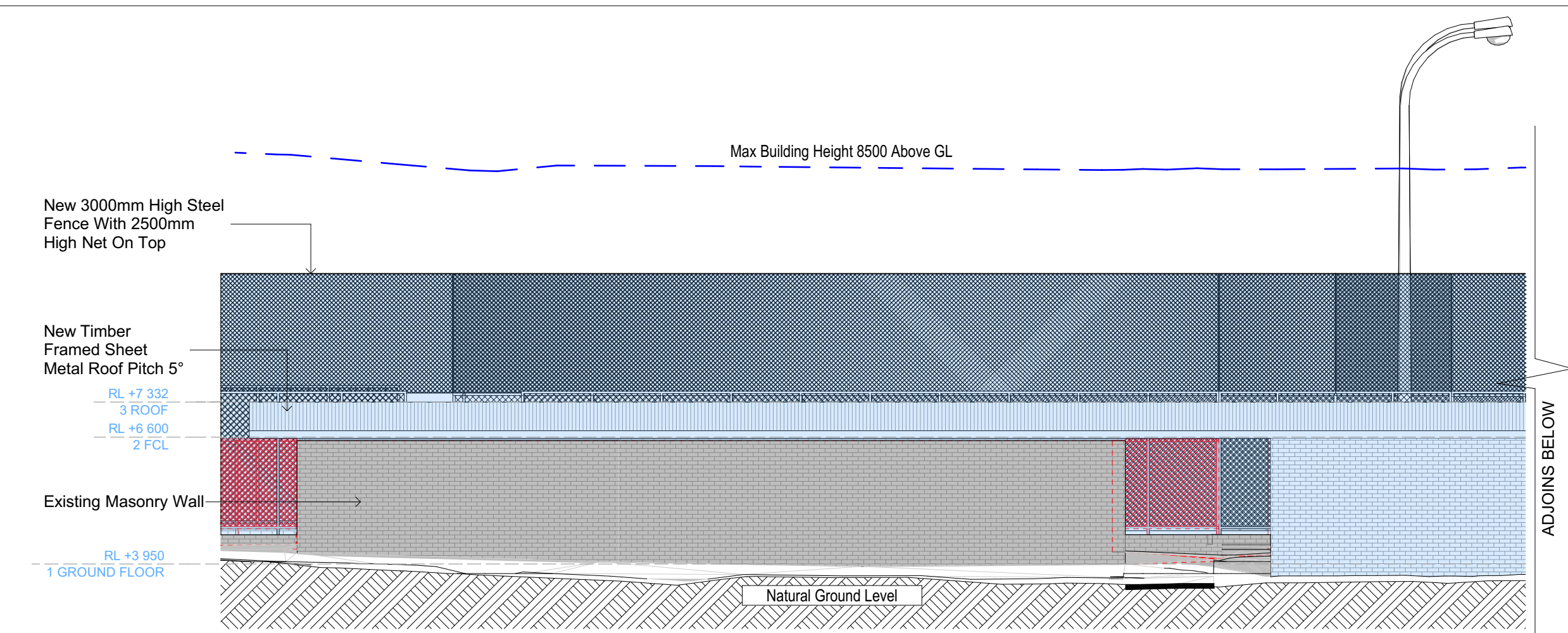
DRAWING TITLE :
ELEVATIONS 3

PROJECT NAME :
New Amenity Building & Additions

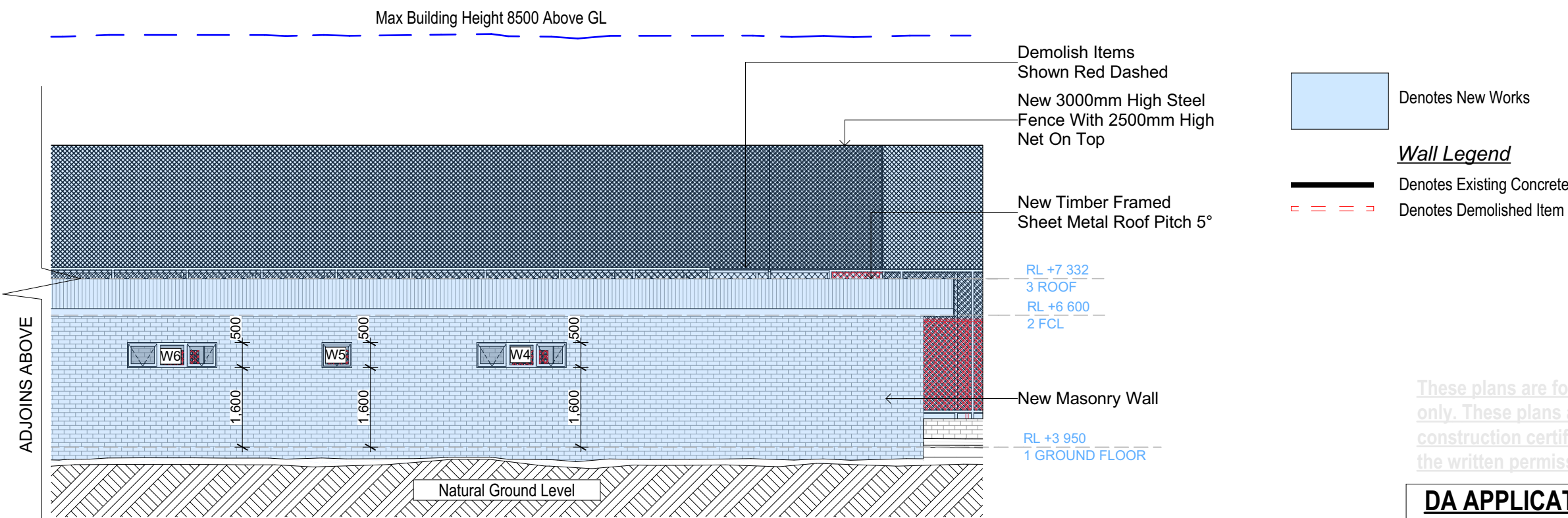
REVISION NO.	DATE
2	9-4-2021

DRAWING NO.:
DA4002

Plot Date: 9/04/2021
Sheet Size: A3



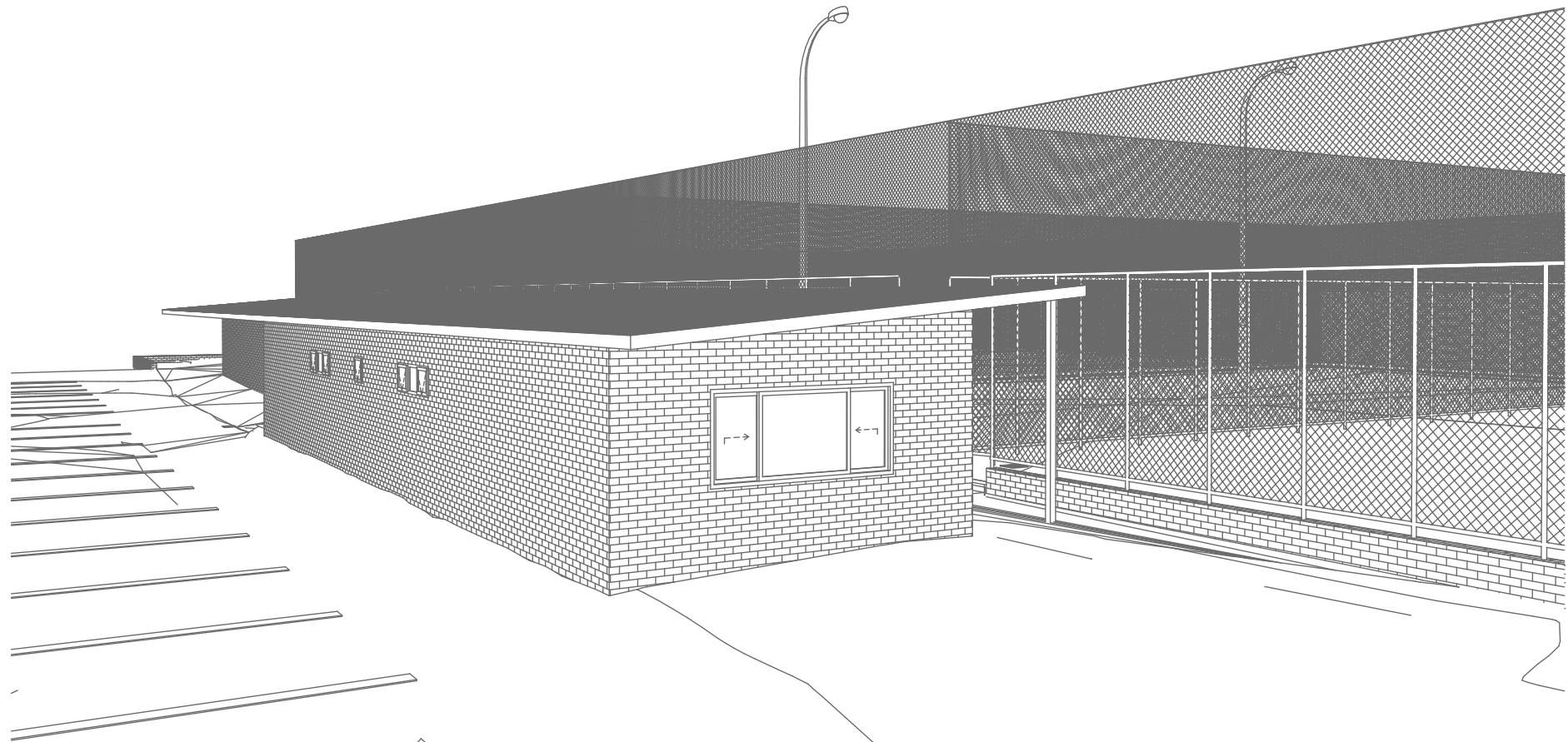
E-03 South 1:100



E-03 South 1:100

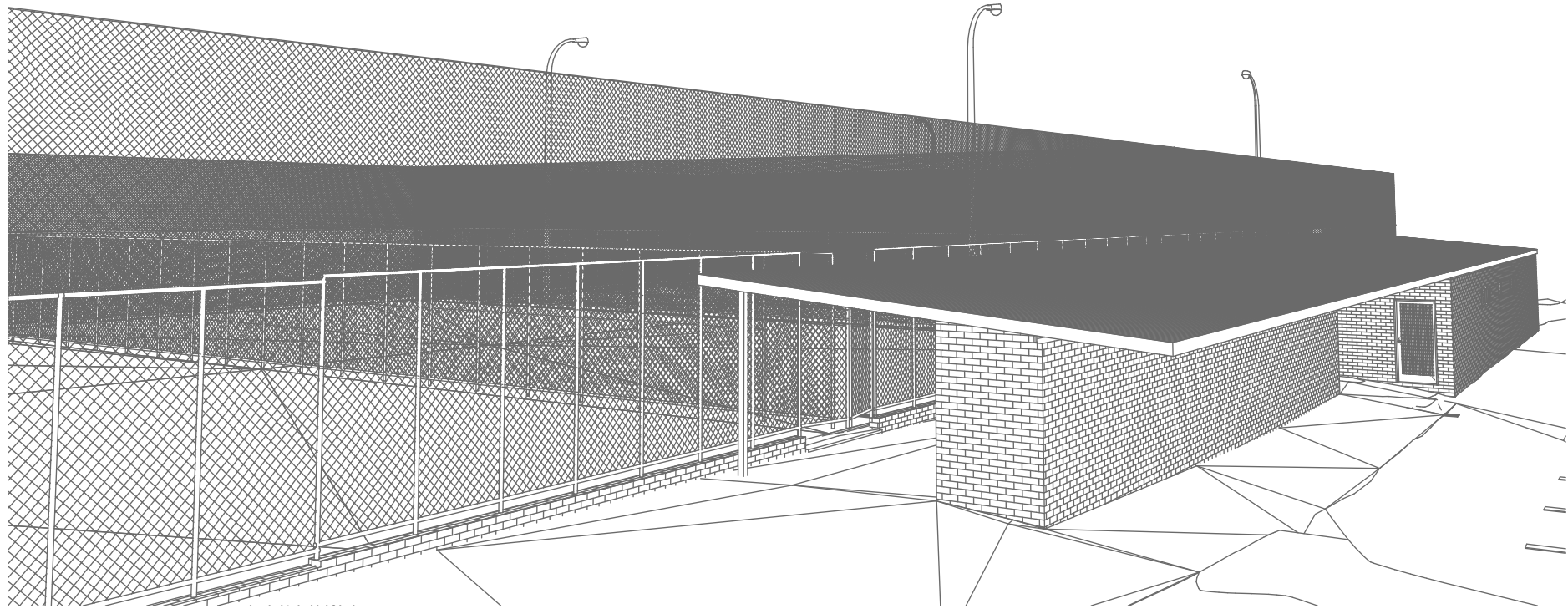
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DA APPLICATION ONLY
NOT FOR CONSTRUCTION



1
-

Perspective 1
1:200



2
-

Perspective 2
1:200

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**DA APPLICATION
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Rapid Plans
Building Design and Architectural Drafting

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PO Box 6239 Fitzroyville VIC 3065
Ph: (03) 9350-8545 Mobile: 0414-545-024
Email: info@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA



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Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

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Project North



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RPO020HAR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE

PROJECT NAME :
New Amenity Building & Additions

REVISION NO.	DATE
2	9-4-2021

DRAWING NO.
DA5000

Plot Date: 9/04/2021
Sheet Size: A3